



#2012-114
4850 Cog Circle – Menards
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	November 19, 2012
<u>Request:</u>	Final PUD Amendment for outdoor sales, storage and display for a propane fueling station.
<u>Location:</u>	4850 Cog Circle
<u>Acreage:</u>	Approximately 13 acres
<u>Zoning:</u>	B-2 PUD General Commercial Planned Unit Development
<u>Surrounding Properties:</u>	North M PUD (General Kinematics) South B-2 PUD (Regal Cinema) East R-3B PUD (Sports Authority) West B-2 General Commercial (In-line Retail)
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- History: Annexed in 1999 with the existing site improvements.
- Previous Approvals: In 2002, Menards purchased a rear lot with the Customer Service Center and joined it with the main lot.
- Previous Approvals: In 2003, they received approval for a Final PUD amendment to construct a building overhang and expansion of the outdoor construction yard.

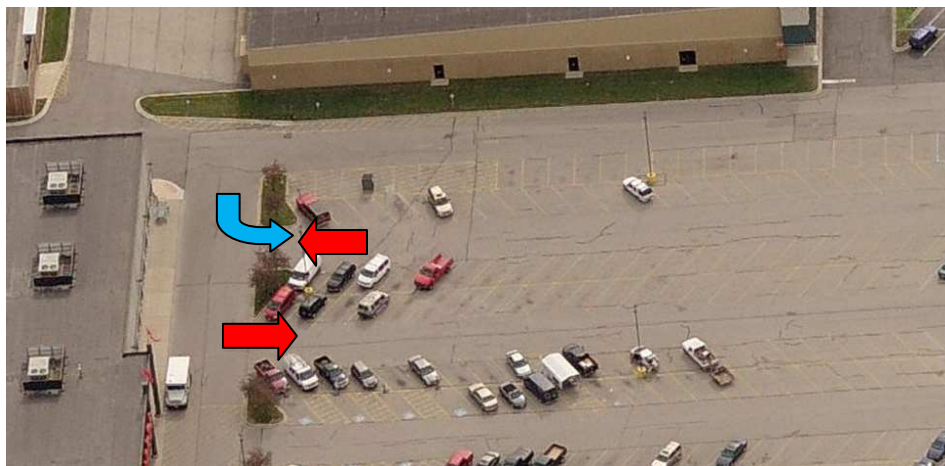
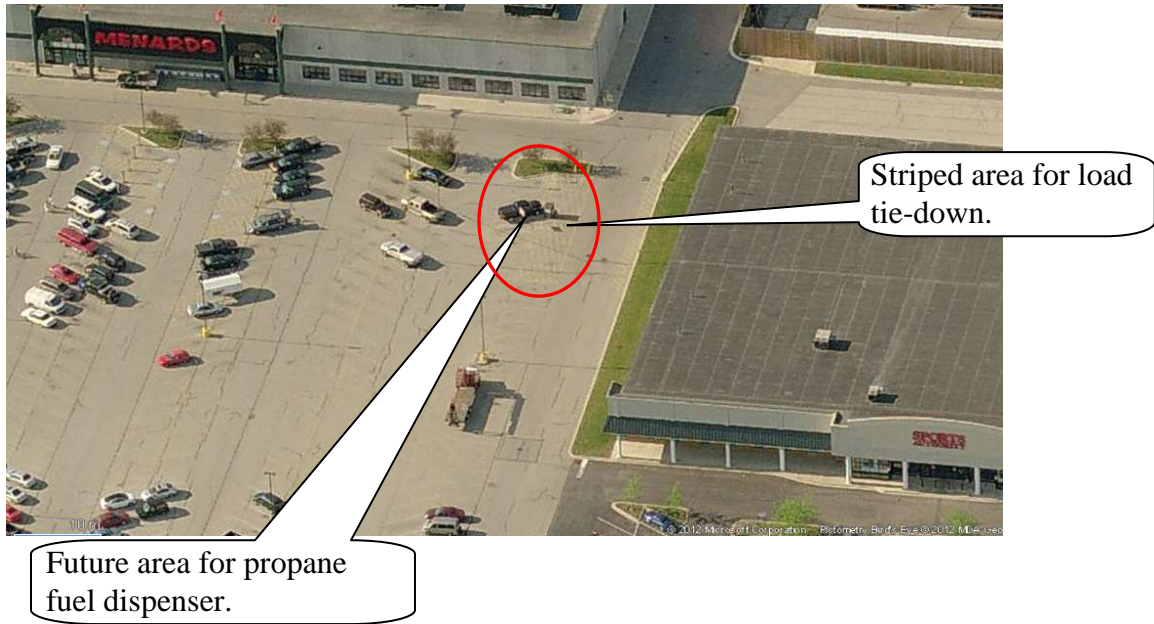
Development Analysis:

General

- Request: Final Planned Unit Development Amendment for outdoor sales, storage and display for propane fueling station.
- Land Use: The land use map shows the area as Commerce. This is an appropriate land use designation for the Menards and ancillary outdoor sales with a fuel station.
- Zoning: The site is zoned B-2 PUD. B-2 zoning is appropriate for these uses.

Site Layout

- Menards is located on the north side of the lot with the parking lot to the south.
- The first row along the west side of the site is the main drive aisle into the property in addition to the access into the rear construction yard.
- This first row of parking has an area striped no parking to allow for loads to be tied down after leaving the rear construction yard. See the aerial pictures below.



- The red arrows indicate the traffic flow for the parking lot.
- The blue arrow shows a possible conflicting traffic movement if drivers of vehicles try to access the propane fuel station and their fill location is on the driver's side. Staff is noting that there is a possible concern with the one-way drive aisle. A condition of approval has been added to address this issue.

Fuel Station

- The fuel station will be operated by a certified store employee.
- Customers can park in designated parking spaces for propane cylinder filling.
- Customers can pull adjacent to the fuel nozzle to fill their vehicles.
- A solid 6-foot composite fence will be installed around the propane tank, scale and other necessary equipment.
- Regulatory and advertising signage is located on the exterior of the fence and on the canopy within the fenced enclosure.

Findings of fact:

Final Planned Unit Development Amendment

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow outdoor sales, storage and display for a propane fuel station. The amendment shall be reviewed in terms of its affect on the character of the PUD. In addition outdoor storage, sales and display has the following criteria, listed below:

For all uses for Outdoor Display & Sales, Service and Storage

- a. In no instance shall outside display and sales, storage or service of merchandise be located within, nor encroach upon, a fire lane, maneuvering aisle, or a parking space necessary to meet the minimum parking requirements of the use(s) on the property.

Meets *Does not meet* *Not applicable*

- b. Where sidewalks are present, an unobstructed portion of sidewalk measuring not less than 6 feet shall be continuously maintained for pedestrian access and no point of access or egress from any property or any individual unit within any property shall be blocked at any time.

Meets *Does not meet* *Not applicable*

Outdoor Storage

(Definition: The keeping in an unroofed area, of any goods, materials, merchandise or vehicles in the same place for more than 24 hours, except areas solely designated for garbage or trash for a particular use)

- a. Up to 2 vehicles that are used in the normal day-to-day operation of a business are exempt from being treated as outdoor storage as long as long as the vehicles are located in the rear of the property (not visible from the right-of-way except local streets and alleys).

Meets *Does not meet* *Not applicable*

- b. Vehicle repair and maintenance uses are exempt from the screening requirement for outdoor storage only for vehicles that are awaiting pick-up no longer than 7 calendar days after repairs are completed.

Meets *Does not meet* *Not applicable*

- c. Excepting outdoor display areas, building supplies or construction equipment, including lumberyards, home improvement sales and services, tool and equipment sales or rental establishments is treated as storage.

Meets *Does not meet* *Not applicable*

- d. Junk or rubbish is not permissible outdoor storage unless the use is a permitted junkyard/salvage yard or landfill.

Meets *Does not meet* *Not applicable*

- e. Cart corrals are not considered outdoor storage; however their location shall be delineated on permit plans and approved by staff.

Meets *Does not meet* *Not applicable*

- f. Donation, drop boxes or similar appurtenances are prohibited as outdoor storage.

Meets *Does not meet* *Not applicable*

Outdoor Display and Sales

- a. Outdoor display and sales are limited to 15 percent of the total floor area and 1/3rd the length of the façade (along which the display is located) of the use requesting the outdoor display and sales. Automobile dealers, other vehicle dealers and rental and leasing services, lumberyards and nurseries are exempt from the percent and length limitation.

Meets *Does not meet* *Not applicable*

- b. Where outdoor display is located adjacent to a building, an unoccupied area of not less than 3 feet in width shall be provided for pedestrian access between any outside display and vehicle overhang areas of any adjacent parking lot.

Meets *Does not meet* *Not applicable*

- c. Outdoor display and sales is limited to items normally produced or sold in the principal structure on the property during business hours only.

Meets *Does not meet* *Not applicable*

- d. Inventory cannot be displayed or stored in landscape areas or buffers; in the public right-of-way or on private access roads; in parking spaces or on elevated pads, ramps and similar structures.

Meets *Does not meet* *Not applicable*

- e. Inventory must be setback at least 20 feet from adjacent residential properties.

Meets *Does not meet* *Not applicable*

- f. Propane Tanks: Twenty pound propane tanks are permitted, provided the tanks are stored in a locked storage container, no more than 1 storage container per property and the storage container does not exceed 50 cubic feet and 6 feet in height and complies with all applicable fire and safety codes, is located to allow at least 3 feet of clearance for pedestrian traffic and advertising is limited to 1 square foot.

Meets *Does not meet* *Not applicable*

- g. The short-term sale of agricultural products that are seasonal in nature, including but not limited to produce, nursery stock, Christmas trees, pumpkins, farmers' markets, and other similar products as qualified by the Zoning Administrator are subject to the approval of a Temporary Use Permit. Please refer to Section 2-500, Temporary Use Criteria of the UDO.

Meets *Does not meet* *Not applicable*

- h. For purposes of these guidelines, the term “Outdoor Vending Machine” is any self-contained or connected appliance, machine, and/or storage container located outside or in a non-enclosed space that dispenses or provides storage of a product or service. Newspaper racks, pay telephones, air pumps, vacuum machines and automatic teller machines are not considered or regulated as vending machines. Outdoor vending machines shall be located within a clearly delineated, contained, architecturally screened area designated for such machines. Decorative structures, such as, but not limited to, screen walls, trellises, columns, and roof covers, shall be used to contain the vending machine area if the existing architecture or building form does not already establish a contained location. The location of outdoor vending machines shall be coordinated with the architecture of the building. The vending machine or machines shall not cover up or obscure existing architectural features, such as, but not limited to, windows, landscape planters, and decorative trim. Please contact the City Manager’s Office for further information on license requirements for vending machines.

Meets *Does not meet* *Not applicable*

- i. No gas station shall engage in the display or sale of garden or household supplies or other retail items outside the main structure. Any outdoor vending machines must meet the criteria provided in sub-section (h) above. Sale of incidental auto-related items is limited to 15 percent of the total floor area and 1/3 the length of the façade (along which the display is located)

Meets *Does not meet* *Not applicable*

Recommended Conditions:

A motion to recommend approval of the Final Planned Unit Development Amendment with the following conditions:

1. Approved plan, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Jim Hartman, received 11/15/12)
 - B. Site Plan (Menard Inc., dated 8/13/12, revised, 11/13/12, received 11/15/12)
 - C. Propane tank details (Menard, Inc., dated 08/06/12, received 11/15/12)
2. Additional advertising signs, beyond what is illustrated on these plans, are not permitted, unless they are on a temporary basis in compliance with the UDO.
3. Menards shall monitor the vehicle conflict and parking situation. If the store manager or City staff find that there are numerous vehicle conflict issues with the location of the propane fueling station, Menards shall work with the City to revise the parking layout in this area.
4. The conditions of the original approval ordinance #5164 A and subsequent PUD Amendment Ordinance #5402 shall remain applicable, unless otherwise amended by this request.
5. The petitioner shall address all of the review comments of Engineering and Building, Fire Rescue and Planning and Economic Development Departments.

**City of Crystal Lake
Development Application**

Office Use Only
File # 12-114

Project Title: Menards - Propane Dispenser

RECEIVED
NOV 15 2012
BY:

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input checked="" type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Jim Hartman - Menards GM
Address: 4850 Route 14
Crystal Lake, IL 60014
Phone: 815-356-2008
Fax: 815-459-7083
E-mail: _____

Owner Information (if different)

Name: Menard, Inc
Address: 5150 Menard Drive
Eau Claire, WZ 54703
Phone: 715-876-4071 Jeff Karnitz
Fax: 715-876-2423
E-mail: JKarnitz@Menard - Inc. Com

Property Information

Project Description: Menards - 4850 Cog Circle in
Crystal Lake, Illinois

Project Address/Location: See above

PIN Number(s): 19-03-352-001

Development Team

Please include address, phone, fax and e-mail

Developer: Monard, Inc.

Architect: _____

Attorney: _____

Engineer: _____


Landscape Architect: _____

Planner: _____

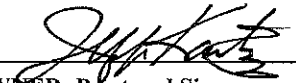
Surveyor: _____

Other: _____

Signatures

 _____ 11/13/12
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

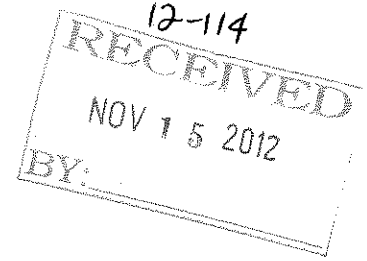
 _____ 11/13/12
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



November 14, 2012

City of Crystal Lake
100 W. Woodstock Street
Crystal Lake, IL 60014
Attn: Elizabeth Maxwell



Re: Menards – Propane Dispenser Project

Elizabeth -

Enclosed are the Menards propane dispenser project submittals for the November 19th committee review meeting. We are very excited for the opportunity to install this alternative fuels dispenser in the City of Crystal Lake. We see this as a "Win" for the City of Crystal Lake, Menards and the environment.

The dispenser is being installed using incentives provided by a State of Illinois initiative to promote clean fuels and alternative energy. The dispensing facility will be used to fill propane cylinders and recreational vehicles (campers, motor homes, etc.) for our guests as well as be used to fill our new propane powered pickup trucks and eventually new propane powered fork lifts.

As this alternative fuel grows and becomes more commonplace, this facility will also allow us to service the needs of local fleet and municipality vehicles. It is important to note, however, that this will NOT be a self service facility. Propane will only be dispensed by certified personnel. Training for certification will be conducted by Ferrellgas who will service our facility.

Hopefully this gives you a good understanding of the project and the shared benefits of its installation. It is our hope that with this dispenser installed, it will encourage you to convert some of your city's vehicles to propane and continue this clean fuels initiative for future generation's benefit.

If you have any questions or require additional materials to be submitted for the November meeting, please call me at 715-876-4071.

Sincerely,

Jeff Karnitz
Store Planning/Construction Department
Menard, Inc.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION
OF James Hartman on behalf of
Menard Inc.

LEGAL NOTICE

Notice is hereby given in compli-
ance with the Unified Development

Ordinance of the City of Crystal
Lake, Illinois that a public hearing
will be held before the Planning
and Zoning Commission of the City
of Crystal Lake upon the applica-
tion of James Hartman, on behalf
of Menard Inc., for a Special Use
Permit Amendment for a Final
Planned Unit Development Amend-
ment, relating to the following de-
scribed real estate commonly
known as 4850 Cog Circle in Crys-
tal Lake, Illinois 60014. PIN: 19-
03-352-001

This application is filed for the
purpose of seeking an amendment
to a Special Use Permit, which
granted a Planned Unit Develop-
ment approval, to allow the instal-
lation of a propane fueling station,
which includes removal of parking,
the installation of a fence and relat-
ed regulatory and advertising sig-
nage as well as any other varia-
tions necessary to approve the
plans as presented, pursuant to Ar-
ticle 4-500 Planned Unit Develop-
ment Standards B. General Stan-
dards and C. Development Stan-
dards and Article 9-200 E. of the
Unified Development Ordinance.
Plans for this project can be viewed
at the City of Crystal Lake Commu-
nity Development Department at
City Hall.

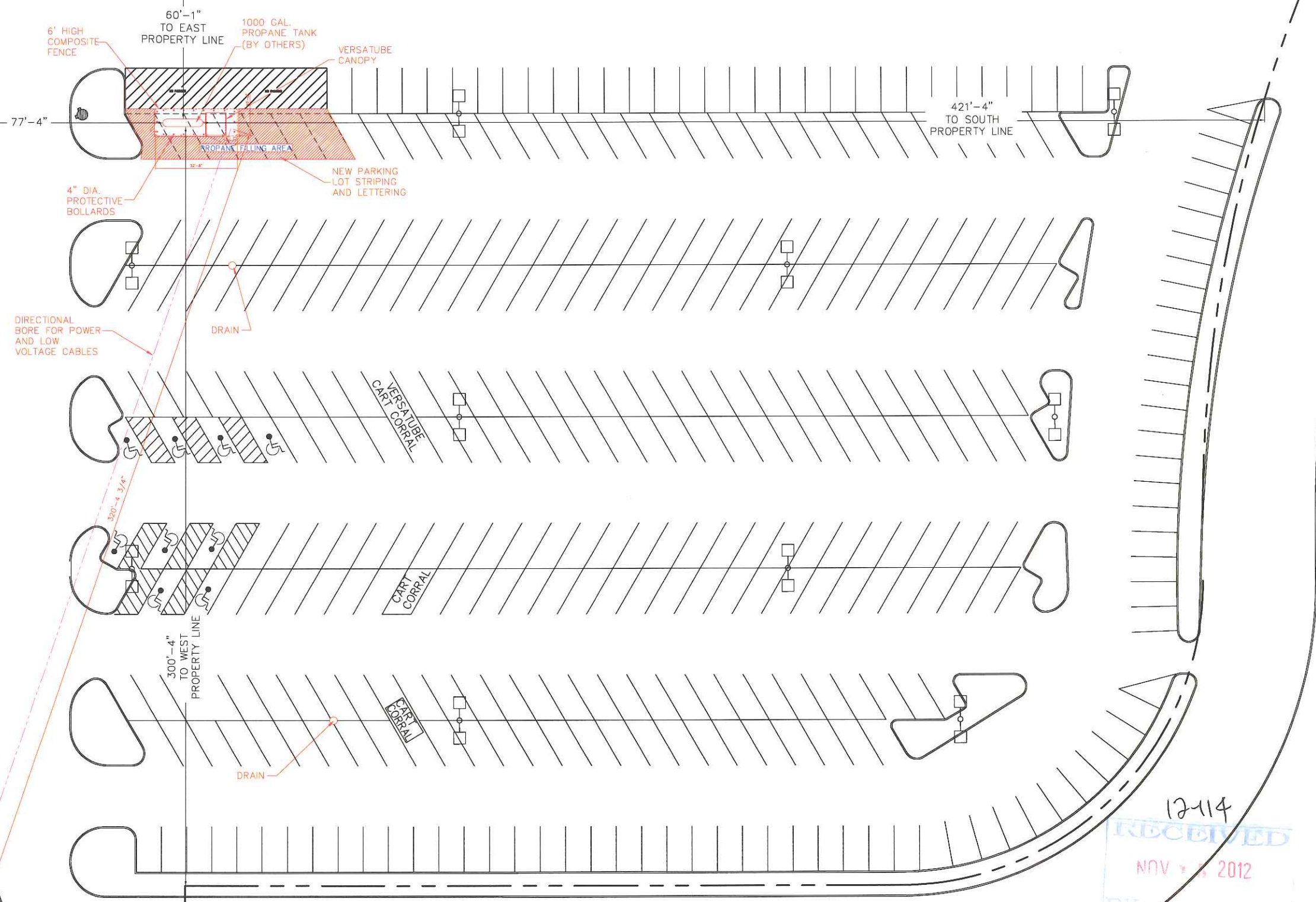
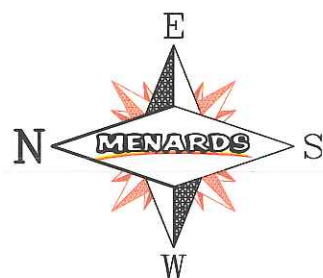
A public hearing before the Plan-
ning and Zoning Commission for
this request will be held at 7:30
p.m. on Monday November 19,
2012, at the Crystal Lake City Hall,
100 West Woodstock Street, at
which time and place any person
determining to be heard may be
present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
November 3, 2012)

MENARDS

CRYSTAL LAKE
4850 ROUTE 14
CRYSTAL LAKE, IL 60014

CONTACT AT FERRELL GAS:
BRYAN SUMMERS
630-688-0801

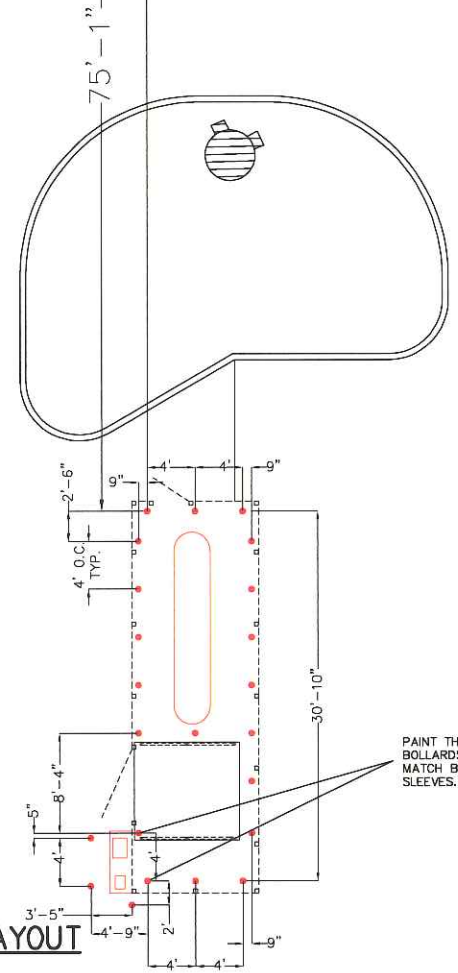


- NOTES:**
- SEE DP-1 FOR BOLLARD, FENCING, VERSATUBE DETAILS AND CONCRETE WORK.
 - SEE EL-1 FOR ELECTRICAL DETAILS
 - SEE SPEC PAGES 1-4 FOR TANK AND PUMP INFO.
 - SEE S-1 FOR STRIPING AND LETTERING
 - SEE SIGN 1-3 FOR PLACEMENT OF SIGNS

12-114
RECEIVED
NOV 7 2012
BY:

MENARD, INC.		PROJECT TITLE	
STORE PLANNING & CONSTRUCTION EAU CLAIRE, WISCONSIN		CRYSTAL LAKE, IL	
SCALE 1"=20' FIELD WORK CHANGE		SHEET TITLE 1000 GALLON PROPANE TANK SITE PLAN	
NO.	DATE	DESCRIPTION	BY
1	11/13/12	CHANGED FENCING TO COMPOSITE	BPS
2			
3			
CAD DWG NAME			YDCRYSTALLAKE
SHEET NO.			800

15'-4"
FROM CORNER
OF BUILDING

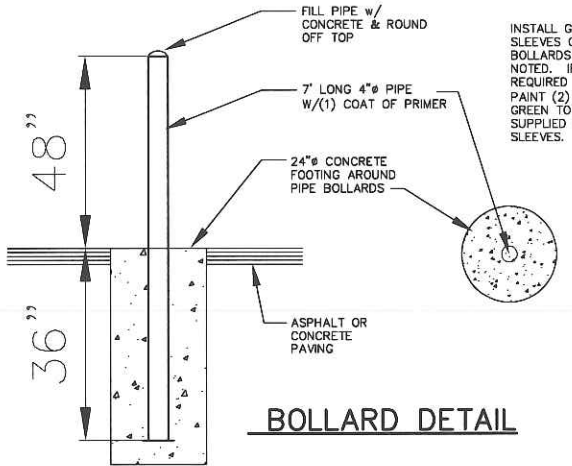


NOTES:
CONTRACTOR TO
INSTALL BOLLARDS
PER DETAILS

ALL DIMENSIONS ARE
TO THE CENTER OF
THE BOLLARDS.

BOLLARDS AND
BOLLARD SLEEVES
SUPPLIED BY MENARDS.

PAINT THESE 2
BOLLARDS GREEN TO
MATCH BOLLARD
SLEEVES.

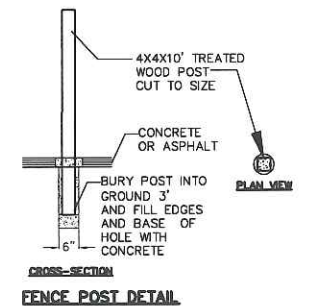


BOLLARD DETAIL

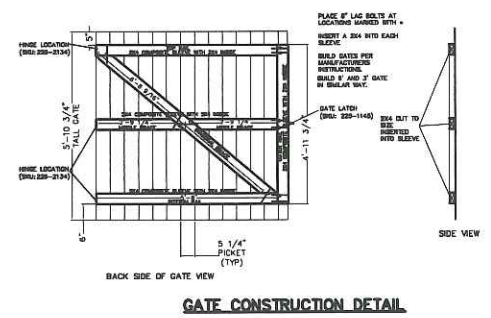
NOTES:
ALL DIMENSIONS ARE TO THE CENTER OF
THE POSTS.

ALL COMPOSITE FENCE COMPONENTS
SUPPLIED BY MENARDS. CONTRACTOR
TO INSTALL. FOLLOW MANUFACTURERS
INSTRUCTIONS.

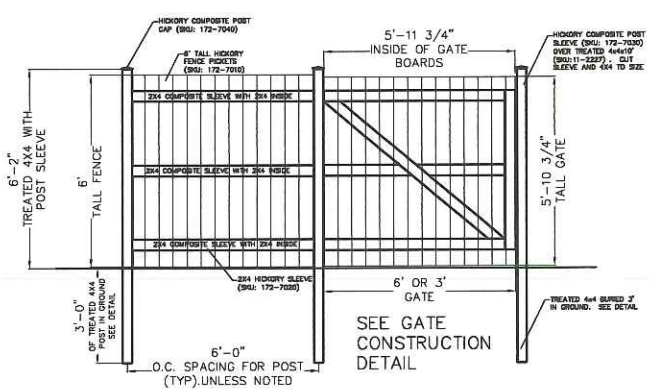
FENCE PICKETS TO BE SET 1/2" OFF
GROUND.



FENCE POST DETAIL

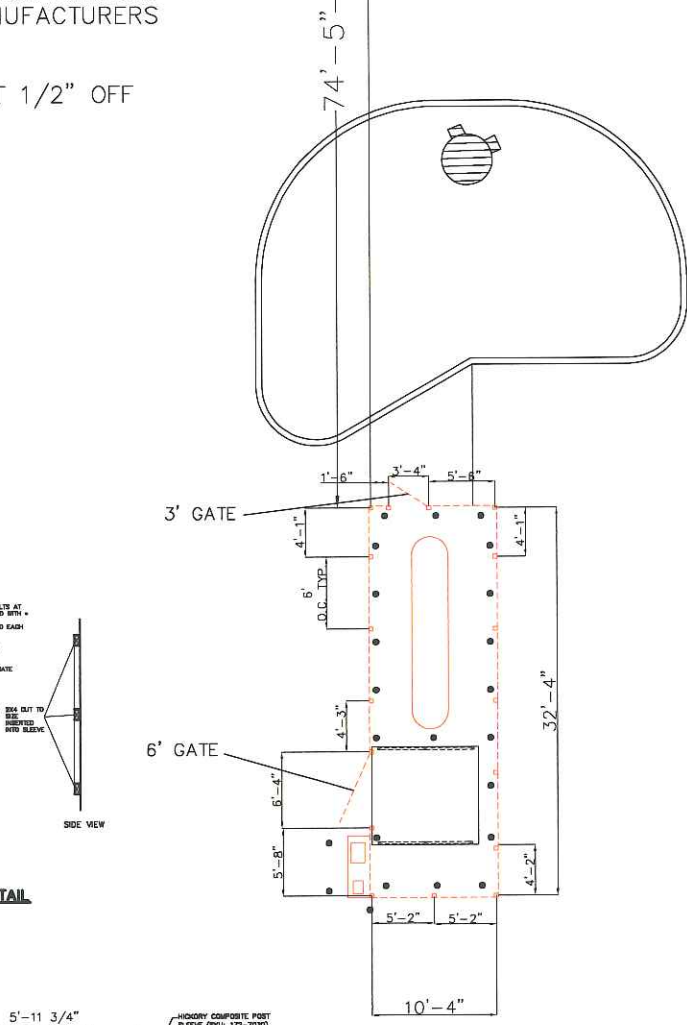


GATE CONSTRUCTION DETAIL

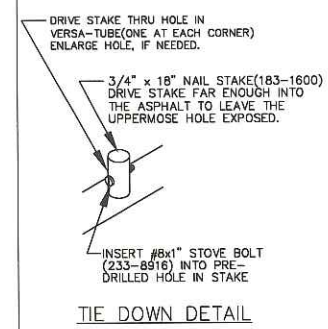


PRIVACY STYLE COMPOSITE GATE AND FENCE DETAIL

16'-6"
FROM CORNER
OF BUILDING



**COMPOSITE FENCE
POST LAYOUT**



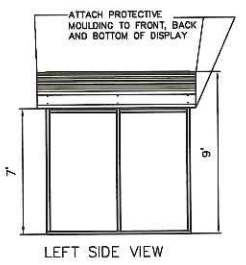
TIE DOWN DETAIL

NOTE:
VERSATUBE CANOPY TO BE BUILT
PER MANUFACTURER'S INSTRUCTIONS

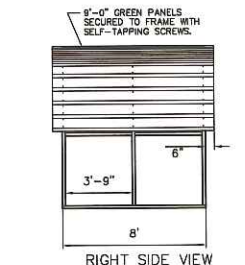
-SCREW PANELS DOWN THROUGH FLAT
NOT THROUGH RIB OF STEEL

-TOP PANELS MUST OVERLAP LOWER
PANELS

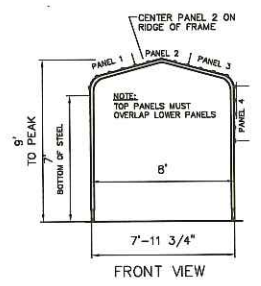
-ATTACH FRAME TO ASPHALT USING
3/4" x 18" NAIL STAKE(183-1600)
SEE DETAIL- 2 PER SIDE



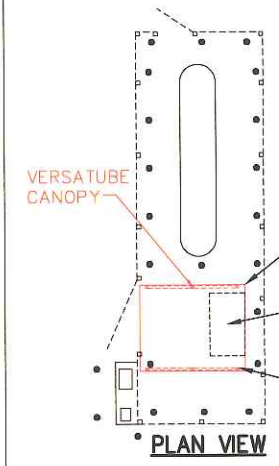
LEFT SIDE VIEW



RIGHT SIDE VIEW



FRONT VIEW



PLAN VIEW

VERSATUBE MUST BE SET
SO BOLLARD IS ON INSIDE
OF VERSATUBE AND
FRONT EDGE OF STEEL
LINES UP WITH CHAINLINK
GATE.

CONTRACTOR TO
ASSEMBLY STORAGE SHED
(SKU: 193-2603) AND
SET IN PLACE. STORE
TO SET SCALE IN PLACE.

20# B/C FIRE EXTINGUISHER
MOUNTED TO VERSATUBE FRAME
4' A.F.F. (SUPPLIED BY MENARDS)

VERSATUBE DETAIL

NOTES:
CONCRETE SLABS NEED TO
BE POURED FOR THE
DISPENSER AND CARD
READER TO SIT ON. TWO
FOOTINGS FOR THE TANK TO
SIT ON AND A FOOTING FOR
THE PUMP/MOTOR TO SIT
ON.

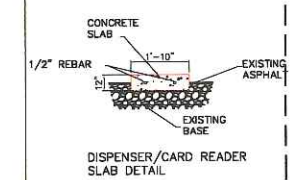
THE TOP OF ALL SLABS TO
BE COMPLETELY LEVEL.
IN THE CASE WHERE THE
EXISTING SURFACE SLOPES,
THE SLABS SHOULD BE
FLUSH ON ONE SIDE AND
EXTEND ABOVE THE EXISTING
SURFACE ON THE OTHER.
(UNLESS NOTED)

ALL SLABS TO BE
REINFORCED WITH 1/2"
REBAR 12" O.C. AT THE
MIDPOINT OF THE SLAB AND
RUNNING THE ENTIRE
LENGTH.

SLAB TO BE 22" Wx2" Lx12" T UNDER
DISPENSER AND CARD READER.
START SLAB AT CORNER OF FENCING
AS SHOWN.

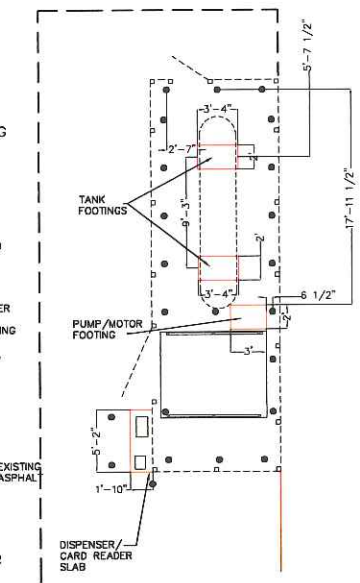
6" OF SLAB TO BE ABOVE GRADE,
6" BELOW GRADE.

SEE DETAIL BELOW.

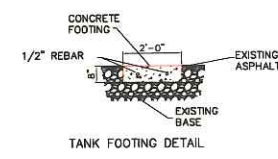


**DISPENSER/CARD READER
SLAB DETAIL**

CONCRETE SLABS

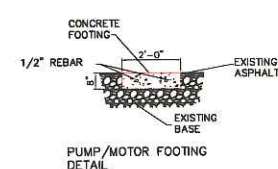


FOOTINGS FOR TANK LEGS TO
BE 2' W x 3'-4" L x 8" T.
FOOTINGS NEED TO BE PLACED
9"-3" FROM CENTER TO CENTER
OF FOOTINGS. SEE DETAIL BELOW
AND DIMENSIONS TO THE LEFT.



TANK FOOTING DETAIL

FOOTING FOR PUMP/MOTOR
TO BE 2' W x 3' L x 8" T.
FOOTING NEED TO BE
PLACED AT THE
DIMENSIONS SHOWN. SEE
DETAIL BELOW



**PUMP/MOTOR FOOTING
DETAIL**

MENARD, INC.		PROJECT TITLE	
STORE PLANNING & CONSTRUCTION EAU CLAIRE, WISCONSIN		CRYSTAL LAKE, IL	
SCALE 3/32"=1'-0" UNLESS NOTED OTHERWISE		SHEET TITLE PROPANE TANK DETAILS	
BY BPS	DATE 9/20/12	CAD DWG NAME YDCRYSTALLAKE	
REVISIONS		BY	SHEET NO.
NO.	DATE	DESCRIPTION	
1	11/13/12	CHANGED FENCING TO COMPOSITE	
2			
3			

REMOVE CONCRETE SIDEWALK FROM WALL TO CURB FOR DIRECTIONAL BORE AND REINSTALL ONCE CONDUITS ARE INSTALLED. SLABS TO BE TIED TOGETHER WITH 1/2" REBAR 6" O.C.

CONDUITS LOCATED ON OUTSIDE WALL OF ELECTRICAL ROOM OF BUILDING FOR POWER AND LOW VOLTAGE LINES SEE DETAIL 1

DIRECTIONAL BORE (4) 2" CONDUITS FROM LOCATION IN PARKING LOT TO OUTSIDE WALL OF ELECTRICAL ROOM. CONDUITS TO CONTAIN THE FOLLOWING:

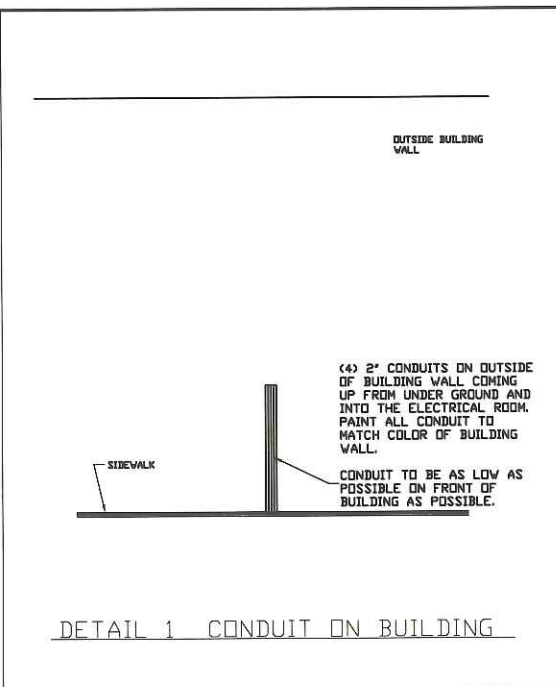
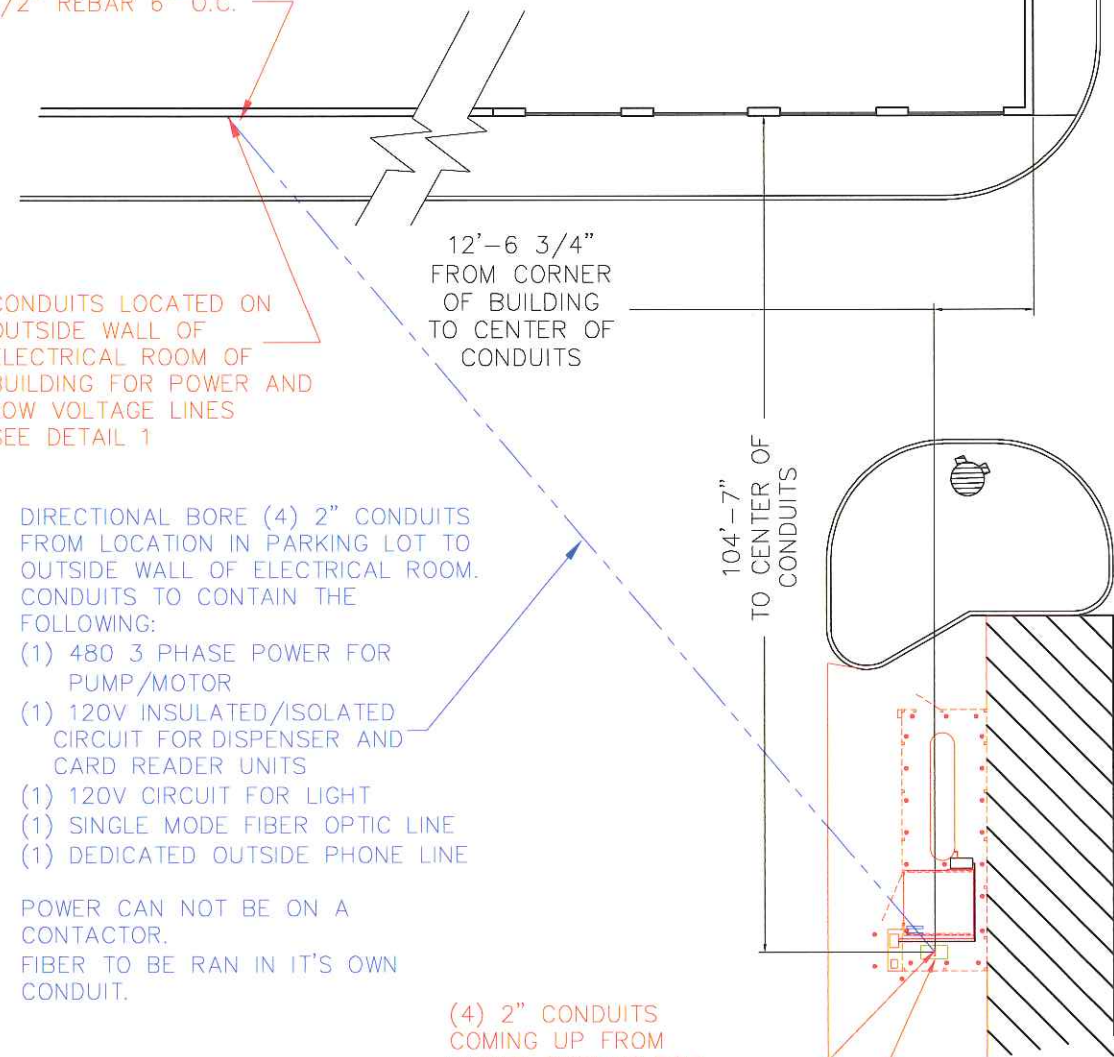
- (1) 480 3 PHASE POWER FOR PUMP/MOTOR
- (1) 120V INSULATED/ISOLATED CIRCUIT FOR DISPENSER AND CARD READER UNITS
- (1) 120V CIRCUIT FOR LIGHT
- (1) SINGLE MODE FIBER OPTIC LINE
- (1) DEDICATED OUTSIDE PHONE LINE

POWER CAN NOT BE ON A CONTACTOR. FIBER TO BE RAN IN IT'S OWN CONDUIT.

(4) 2" CONDUITS COMING UP FROM UNDER GROUND FOR POWER, FIBER OPTIC, AND PHONE. RUN POWER AND LOW VOLTAGE CABLES TO REQUIRED LOCATIONS

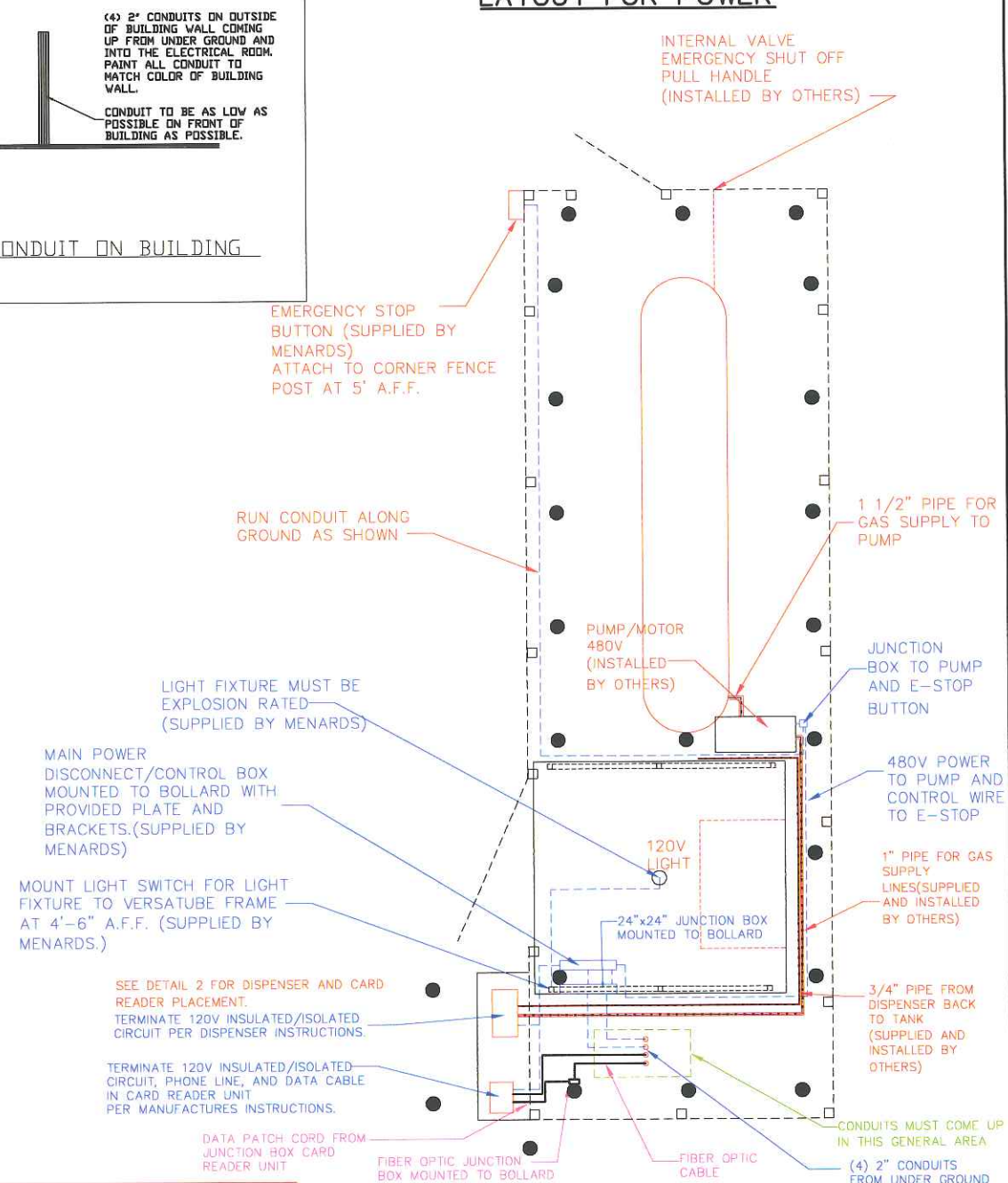
REPLACE THE ASPHALT THAT WAS REMOVED FOR DIRECTIONAL BORING WITH 6" THICK CONCRETE.

ELECTRICAL LAYOUT

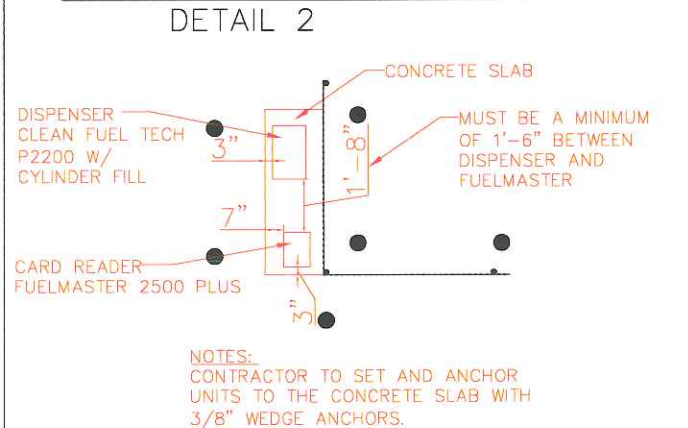


NOTES:
 ALL CONDUIT MUST BE RIGID CONDUIT.
 ELECTRICIAN TO SUPPLY ALL WIRE INCLUDING PHONE AND FIBER OPTIC. WHENEVER POSSIBLE THESE ITEMS MUST BE PURCHASED FROM MENARDS. MENARDS TO SUPPLY ALL CONDUIT AND BOXES.
 ALL ELECTRICAL WORK MUST MEET LOCAL, STATE AND NEC REQUIREMENTS.
 ALL GAS PIPING TO BE COMPLETE BY OTHERS.
 ALL CONDUITS ON BUILDING WALLS MUST BE PAINTED TO MATCH WALL COLOR.
 CONDUIT RUNNING TO PUMP WILL BE ATTACHED TO UNISTRUT ANCHORED TO GROUND. (UNISTRUT TO BE INSTALLED BY OTHERS.)
 ELECTRICIAN TO HOOK UP POWER, DATA AND CONTROL WIRES TO THE DISPENSER, CARD READER, PUMP AND E-STOP UNITS TO PROVIDE A FULLY OPERATIONAL SYSTEM.

LAYOUT FOR POWER

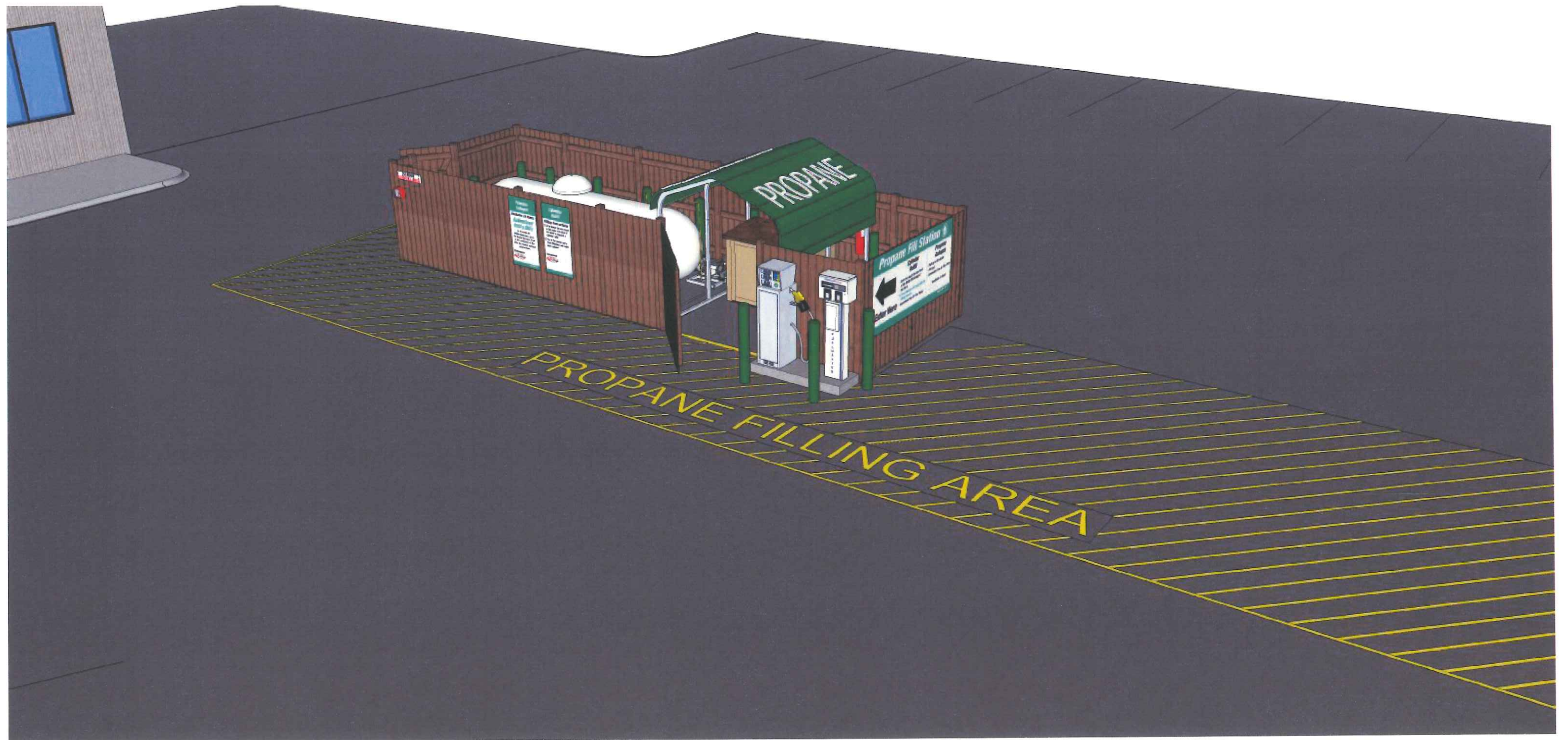


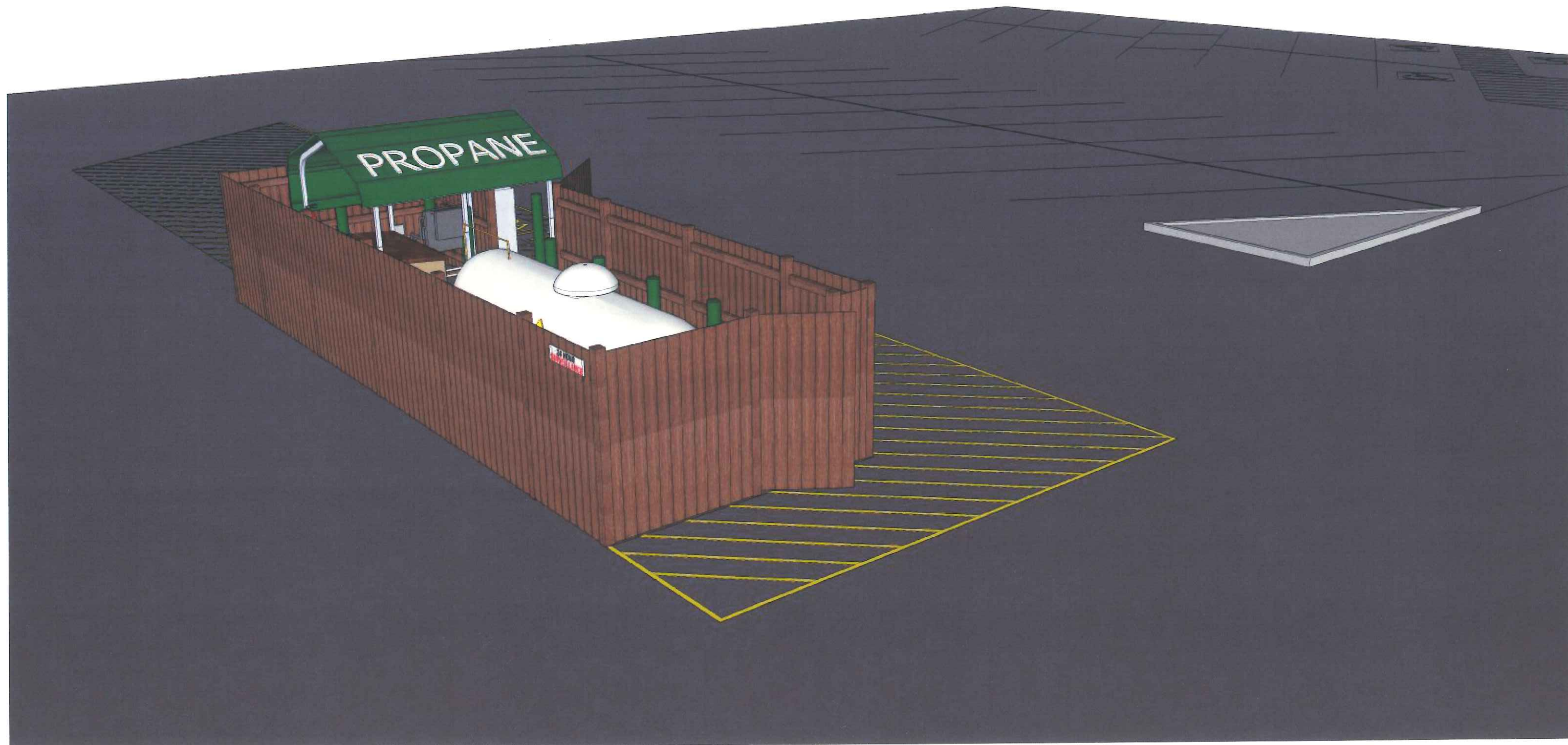
DISPENSER AND CARD READER PLACEMENT



KEY:
 GAS LINE ————
 POWER ————
 LOW VOLTAGE ————
 SEE SPEC PAGES 1-4 FOR PIPE LAYOUT AND DETAILS

MENARD, INC.		PROJECT TITLE	
STORE PLANNING & CONSTRUCTION EAU CLAIRE, WISCONSIN		CRYSTAL LAKE, IL	
SCALE 3/32"=1'-0"		BY BPS	DATE 9/20/12
SHEET TITLE		ELECTRICAL DETAILS	
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/13/12	CHANGED FENCING TO COMPOSITE	BPS
2			
3			
CAD DWG NAME			YDCRYSTALLAKE
			SHEET NO.
			EL-1





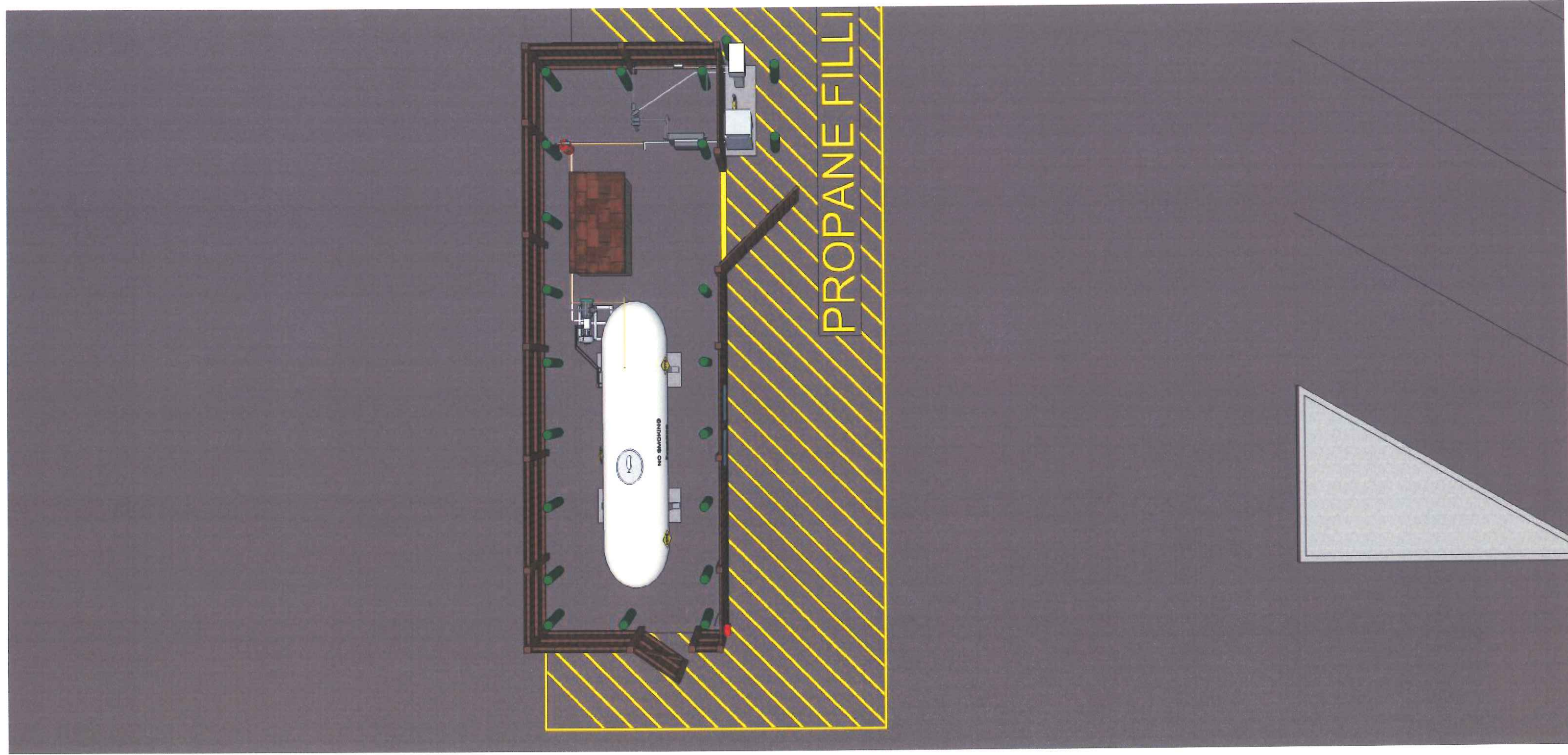


24 HOUR SURVEILLANCE

Propane Safety
Available 24 Hours
Authorized Users Only
In order to be authorized users, you must first be trained and certified by a qualified professional. Please contact us for more information.

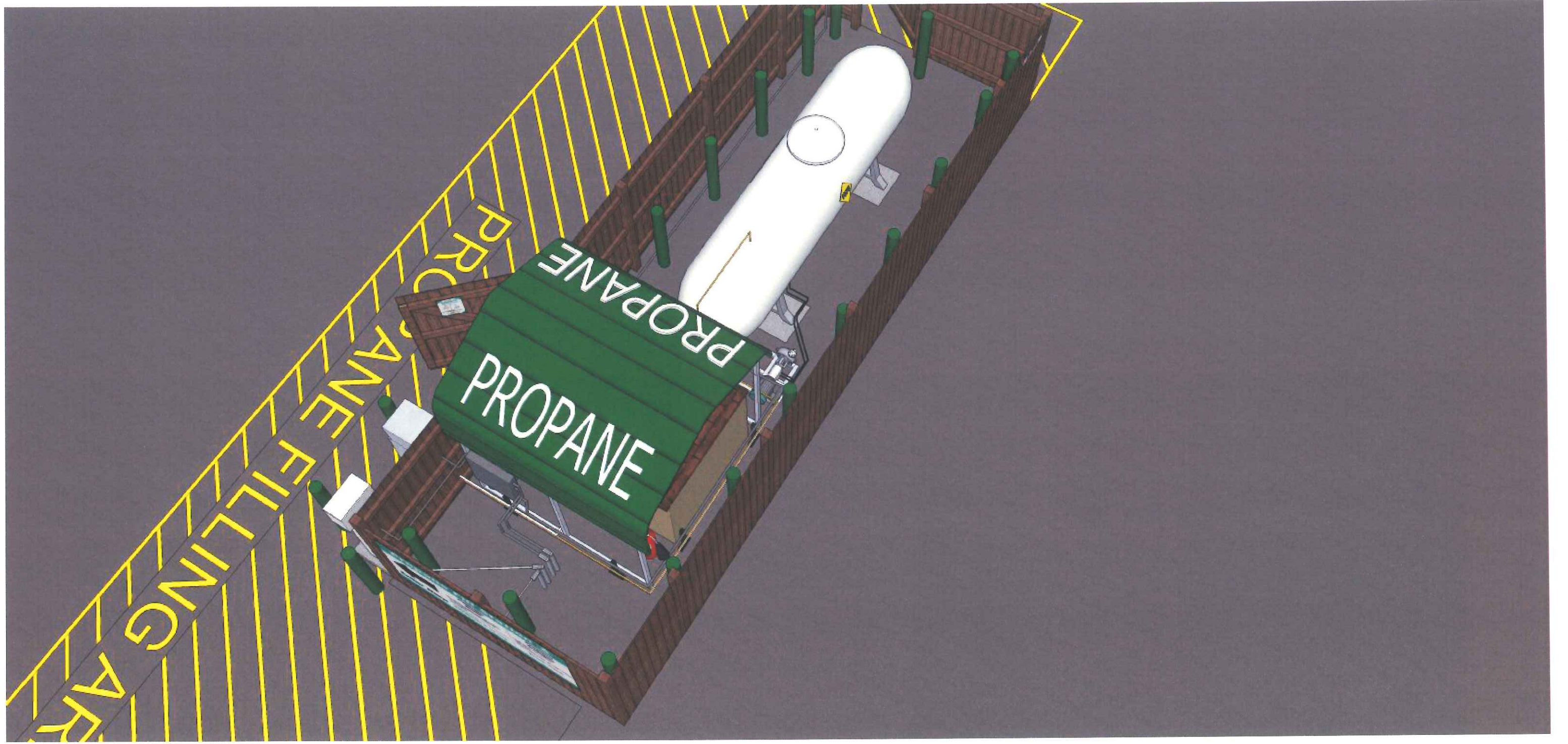
Filling Instructions
Fill to the correct level at the top of the tank. Do not overfill. A float in the tank will shut off the flow of propane if the tank is overfilled. A float in the tank will shut off the flow of propane if the tank is overfilled.

PROPANE FILLING AREA



PROPANE FILLI

KC SWAPKIND





24 HOUR SERVICE

Propane Autogas
Available 24 Hours
Authorized Users Only
To receive an authorized user, go to the Owner Service Desk or the attendant of the area to receive customer instructions.

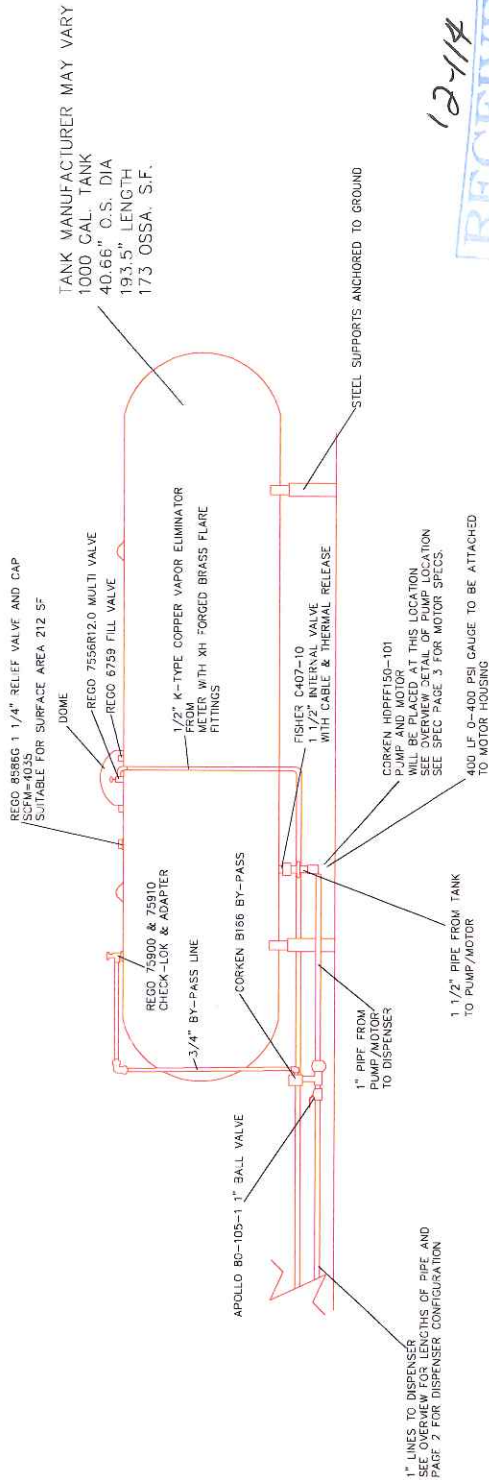
Cylinder Refill
Filling Instructions
1) Go to Guest Service Desk at the main entrance of the store to request a cylinder refill.
2) Pay at the pump and a Host Member will take your cylinder.

Convenient

PROPANE FILLING AREA

TANK AND ALL GAS PIPE
INSTALLED BY CAS COMPANY.

GENERAL NOTES:
 -MOST PARTS CAN BE FOUND LPG & NH3 CATALOG. THESE PARTS OR THEIR EQUIVALENT DEPENDING ON AVAILABILITY WILL BE USED.
 -DISPENSER CAN BE FOUND AT WWW.CLEANFUELUSA.COM
 -ALL PIPING IS THREADED SCH 80 SEAMLESS 0-106-B
 -ALL THREADED PIPE FITTINGS SUCH AS UNIONS, ELBOWS, TEES, ETC. ARE FORGED STEEL 2000# RATED OR STRONGER.
 -SIGNAGE WILL INCLUDE-NO SMOKING, PROPANE, HAZMAT WARNING DECALS, DISPENSING INSTRUCTIONS, AND EMERGENCY CONTACT INFORMATION.
 -EMERGENCY CABLE PULL AND EMERGENCY ELECTRICAL SWITCH WILL BE DESIGNATED WITH SIGNS ALSO.
 -AREA IS WELL LITE WITH EXISTING PARKING LOT LIGHTS.
 -METER WILL BE PROVED & REGISTERED WITH STATE.
 -INSTALLATION WILL COMPLY TO NFPA 58 & 70 AND ALL STATE AND LOCAL CODES.



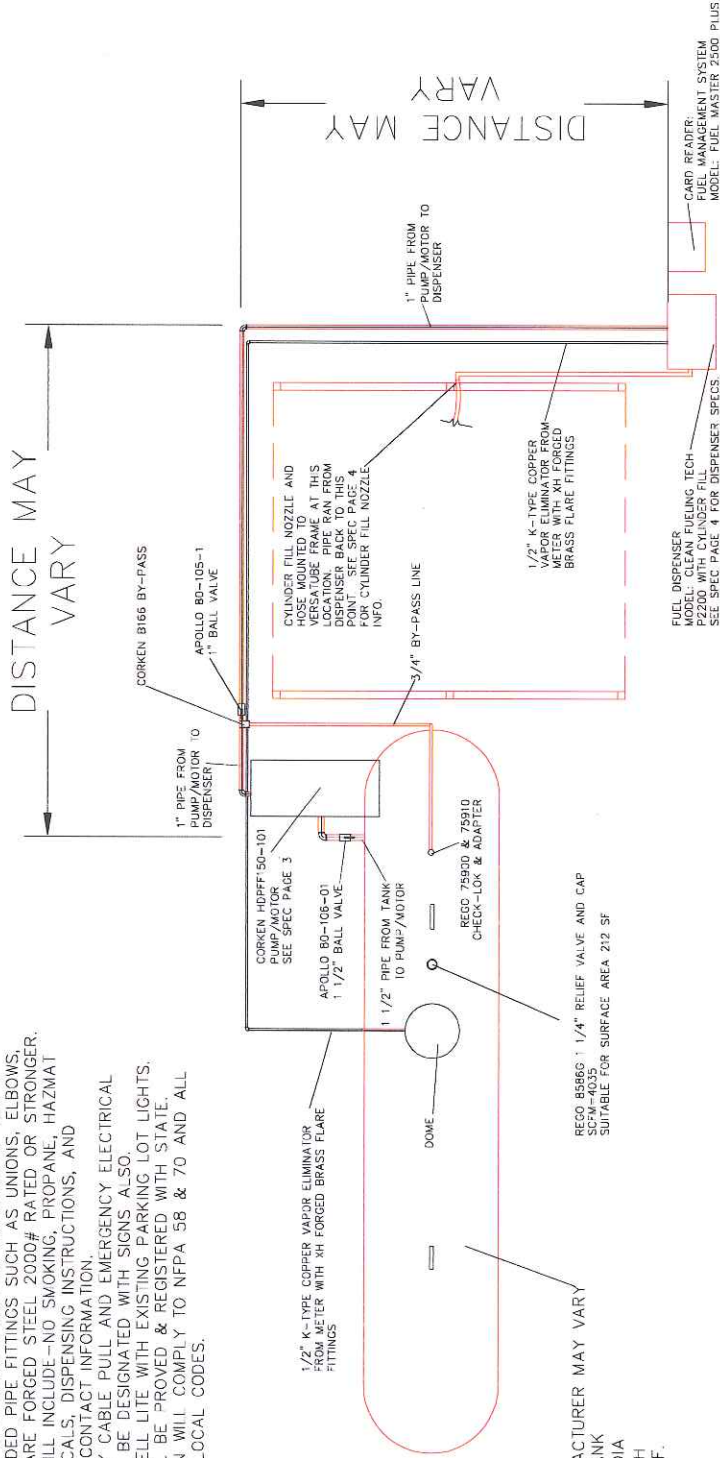
SIDE VIEW OF TANK
NOT TO SCALE

12-114
 RECEIVED
 NOV 15 2012
 BY:

PROJECT MENARD, INC STORE PLANNING DEPT. EAU CLAIRE, WI	NO. 1		DATE 9/10/12	BY BPS	SCALE 1/4"=1'-0"	CAD DWG	
	NO. 2				BY BPS	DETAIL	
	NO. 3				DATE 8/6/12	DWG NO.	
SHEET SIDE VIEW SPECS						PAGES SPEC 1	

TANK AND ALL GAS PIPE
INSTALLED BY GAS COMPANY.

- GENERAL NOTES:
- MOST PARTS CAN BE FOUND LPG & NH3 CATALOG. THESE PARTS OR THEIR EQUIVALENT DEPENDING ON AVAILABILITY WILL BE USED.
 - DISPENSER CAN BE FOUND AT WWW.CLEANFUELUSA.COM
 - ALL PIPING IS THREADED, SCH. 80, SEAMLESS, 0-106-B.
 - ALL THREADED PIPE FITTINGS SUCH AS UNIONS, ELBOWS, TEES, ETC. ARE FORGED STEEL 2000# RATED OR STRONGER.
 - SIGNAGE WILL INCLUDE-NO SMOKING, PROPANE, HAZMAT WARNING DECALS, DISPENSING INSTRUCTIONS, AND EMERGENCY CONTACT INFORMATION.
 - EMERGENCY CABLE PULL AND EMERGENCY ELECTRICAL SWITCH WILL BE DESIGNATED WITH SIGNS ALSO.
 - AREA IS WELL LITE WITH EXISTING PARKING LOT LIGHTS.
 - METER WILL BE PROVIDED & REGISTERED WITH STATE.
 - INSTALLATION WILL COMPLY TO NFPA 58 & 70 AND ALL STATE AND LOCAL CODES.



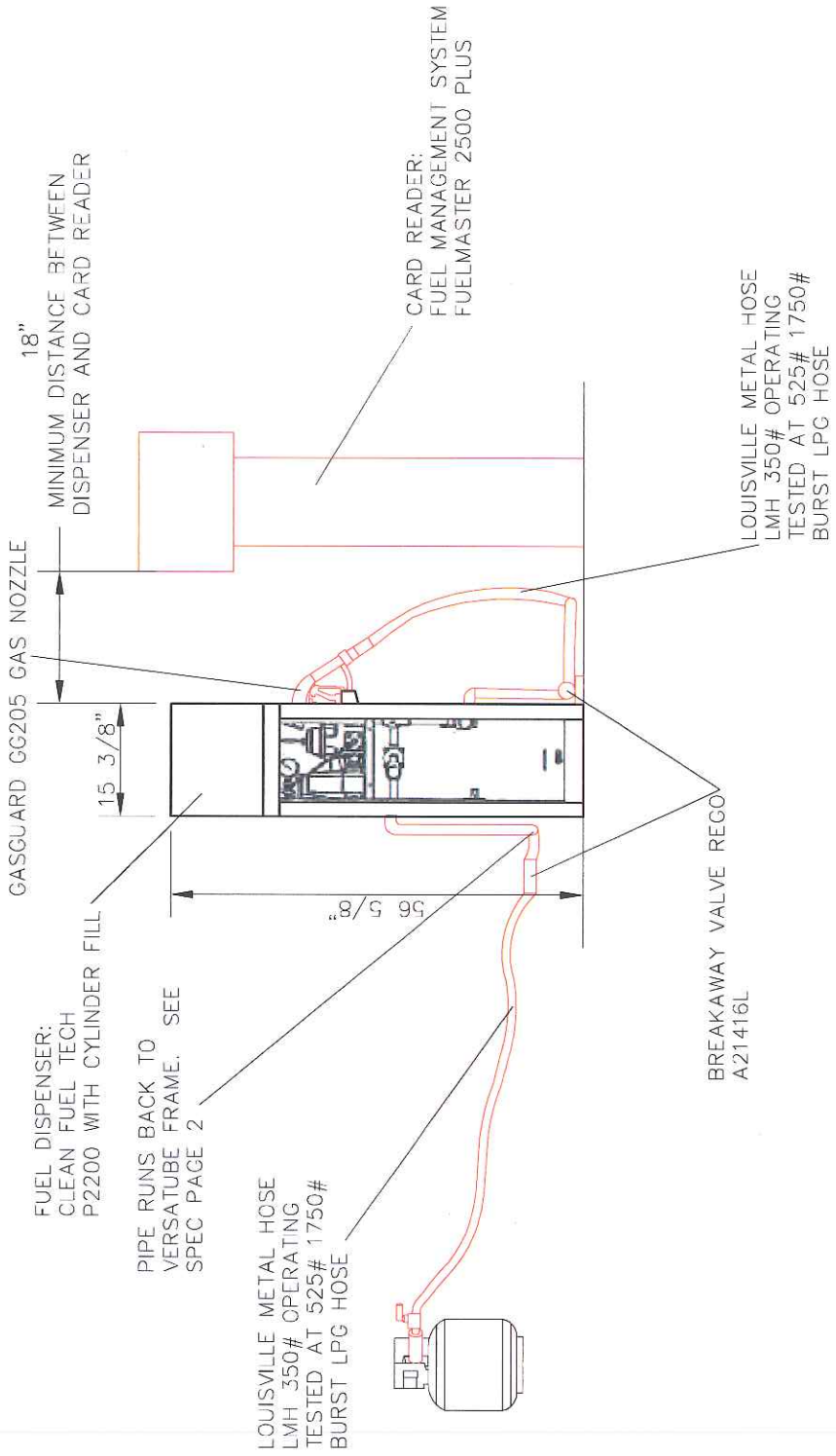
TOP VIEW OF TANK AND DISPENSER
NOT TO SCALE

TANK MANUFACTURER MAY VARY
1000 GAL. TANK
40.66" O.S. DIA
193.5" LENGTH
173 O.S.S.A. S.F.

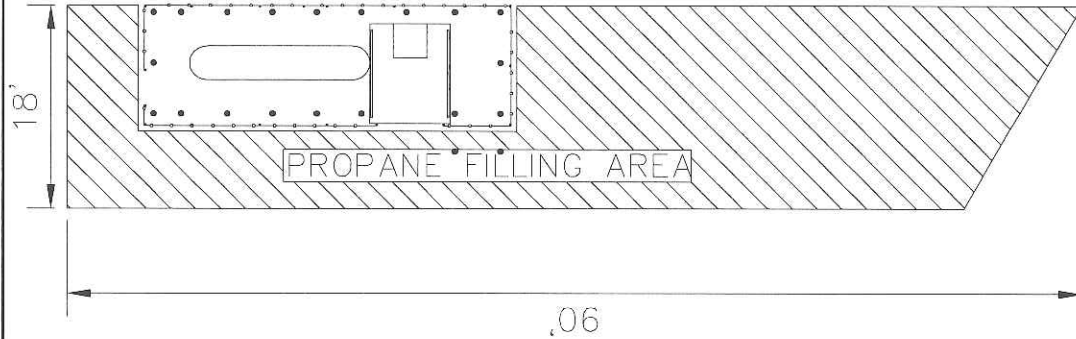
MENARD, INC STORE PLANNING DEPT. EAU CLAIRE, WI	PROJECT		CAD DWG		
	PROPANE TANK		DETAIL PAGES		
	SHEET		DWG NO.		
TOP VIEW SPECS		NO.	DATE	BY	SCALE
		1	9/10/12	BPS	1/4" = 1'-0"
		2		BPS	
		3			
		DATE		8/6/12	
		SPEC 2			

FUEL DISPENSER SPECS

- FUEL DISPENSER MODEL: CLEAN FUEL TECH P2200 WITH CYLINDER FILL
- FUEL MANAGEMENT SYSTEM: FUELMASTER 2500 PLUS



MENARD, INC		PROJECT		CAD DWG	
STORE PLANNING DEPT. EAU CLAIRE, WI		PROPANE TANK		DETAIL PAGES	
SHEET		NO.		SCALE	
FUEL DISPENSER/SCALE SPECS		1		1/2"=1'-0"	
		2		BY BPS	
		3		DATE 8/6/12	
				DWG NO. SPEC 4	



- NOTES:
1. ALL STRIPING PAINT TO MEET STATE D.O.T. SPEC'S AND LOCAL CODES.
 2. ENTIRE AREA TO BE STRIPED SHALL BE AIR BROOMED AND CLEANED OF ALL DEBRIS AND COMPLETELY DRY PRIOR TO PAINTING.
 3. PARKING LOT STRIPING TO BE AS INDICATED ON PLAN (TO MEET ALL STATE AND LOCAL CODES).
 4. ALL STRIPING TO BE YELLOW UNLESS OTHERWISE NOTED.
 5. PRECAST BASES OF LIGHT POLES IN PARKING LOT OR NON-CURBED AREAS ONLY TO BE PAINTED YELLOW.
 6. ANY ADDITIONAL SIGNAGE AND/OR CURB STRIPING REQUIRED BY AUTHORITY HAVING JURISDICTION WILL BE SUPPLIED AND INSTALLED BY CONTRACTOR.
 7. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF PAINT STRIPE.
 8. PROPANE FILLING AREA STRIPING REQUIREMENTS:
 - PROPANE FILLING AREA STRIPING TO BE PAINTED YELLOW.
 - 4" WIDE STRIPES AT 3'-0" APART AT A 45 DEGREE ANGLE AS SHOWN.
- STENCIL THE WORDS
 "PROPANE FILLING AREA"
 LETTERS TO BE 2' TALL
 CENTER LETTERING ON STRIPED AREA
 STRIPING SHOULD STOP 6"
 OFF OF CHAINLINK FENCE
- THE STRIPING SHOULD COVER 8 EXISTING
 PARKING STALES. FILL IN
 CURB RETURN AREAS WHERE REQUIRED.
- BLACK OUT EIXSTING PARKING STRIPING.
- SEE PLAN 800 FOR LOCATION OF STRIPING.

MENARD, INC STORE PLANNING DEPT. EAU CLAIRE, WI	PROJECT		NO.		DATE	BY	SCALE	CAD DWG
	PROPANE FILLING AREA		1				1/16" = 1'-0"	DETAIL
	STRIPING AND STENCIL DETAIL		2				BY BPS	DWG NO.
		3				DATE		S-1
								8/29/12

FRONT ELEVATION SIGN LAYOUT

CONTRACTOR TO MOUNT ALL SIGNS TO COMPOSITE FENCE WITH WAFER HEAD SCREWS AT GIVEN LOCATIONS BELOW UNLESS NOTED. SIGNS MUST BE LEVEL.

SIGN A: 24 HOUR SURVEILLANCE 24"x6"
INSTALL 8 1/2" FROM CORNER AND 4 1/2" FROM TOP OF FENCE.

BOTH SIGNS B AND C WILL BE 5'-8" FROM GROUND

SIGN B: PROPANE AUTOGAS 24"x48"
INSTALL 11'-10" FROM LEFT CORNER OF FENCE.

SIGN C: CYLINDER REFILL 24"x48"
INSTALL 6" FROM CORNER OF AUTOGAS SIGN .

SIGNS D AND E ARE ON INSIDE OF GATE.

SIGN D: SCALE SIGN 11"x14"

INSTALLED 3'-8" FROM INSIDE POST OF GATE TO CORNER OF SIGN AND MOUNTED ON TOP GATE SUPPORT .

SIGN E: AUTHORIZED PERSONNEL ONLY 24"x6"

INSTALL 2" FROM CORNER OF INSIDE POST TO OUTSIDE CORNER OF SIGN AND MOUNT ON TOP GATE SUPPORT.

SIGN F: FIRE EXTINGUISHER SIGN 4"x18"
MOUNT TO VERSATUBE FRAME WITH SELF TAPING SCREWS ABOVE FIRE EXTINGUISHER. MOUNT AS HIGH AS POSSIBLE

ALL OTHER SAFETY SIGNS INSTALLED BY OTHERS.



PICTURE FOR REFERENCE ONLY
NOT TO SCALE

MENARD, INC STORE PLANNING DEPT. EAU CLAIRE, WI	PROJECT		FRONT ELEVATION		NO. DATE		SCALE	CAD DWG
	SHEET		SIGN DETAIL		1	11/13/12	1/16"=1'-0"	DETAIL
	SIGN DETAIL		2		BY			DWG NO.
		3		DATE				SIGN-1

LEFT ELEVATION SIGN LAYOUT

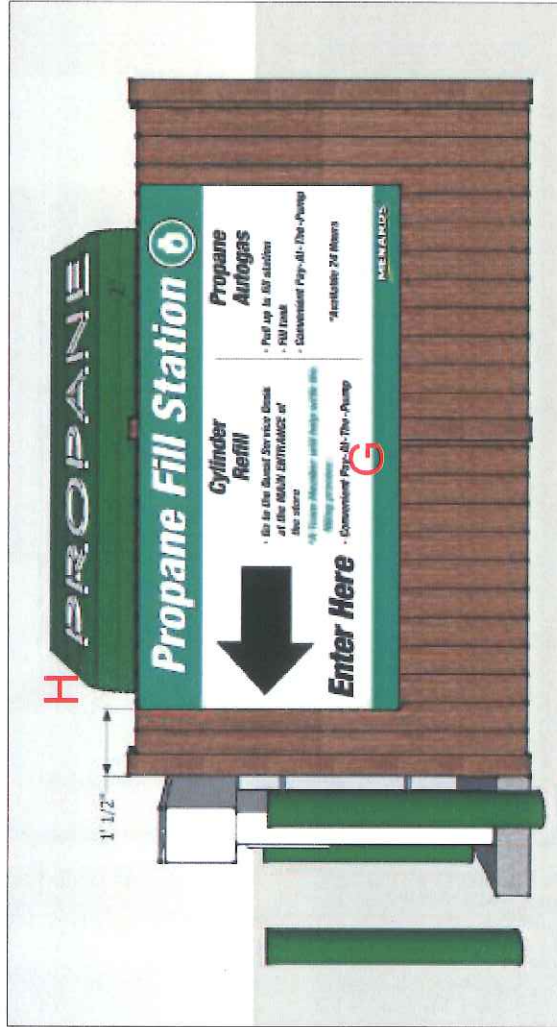
CONTRACTOR TO MOUNT ALL SIGNS TO COMPOSITE FENCE WITH WAFER HEAD SCREWS AT GIVEN LOCATIONS BELOW UNLESS NOTED. SIGNS MUST BE LEVEL.

SIGN G: PROPANE FILL STATION 96"x48"

INSTALL 1' 1/2" FROM LEFT CORNER AND 2" FROM TOP OF FENCE.

DECAL H: PROPANE DECAL TO BE INSTALLED ON EDGE OF VERSATUBE ROOF STEEL. DECAL SHOULD BE CENTERED ON ROOF AND WRAP AROUND CURVED EDGE. PLACE THE SAME DECAL ON OPPOSITE SIDE OF ROOF AT SAME HEIGHT. INSTALL DECAL ON OTHER SIDE OF ROOF FIRST. BOTH SHOULD BE PLACED AT SAME HEIGHT. CLEAN ROOF STEEL BEFORE INSTALL DECAL.

ALL OTHER SAFETY SIGNS INSTALLED BY OTHERS.



PICTURE FOR REFERENCE ONLY
NOT TO SCALE

MENARD, INC STORE PLANNING DEPT. EAU CLAIRE, WI	PROJECT	RIGHT ELEVATION					
	SHEET	SIGN DETAIL					
	NO.	DATE	BY	SCALE	CAD DWG	DETAIL	PAGES
	1			1/16"=1'-0"			
	2			BPS			
	3			DATE			
							SIGN-2
							11/13/12

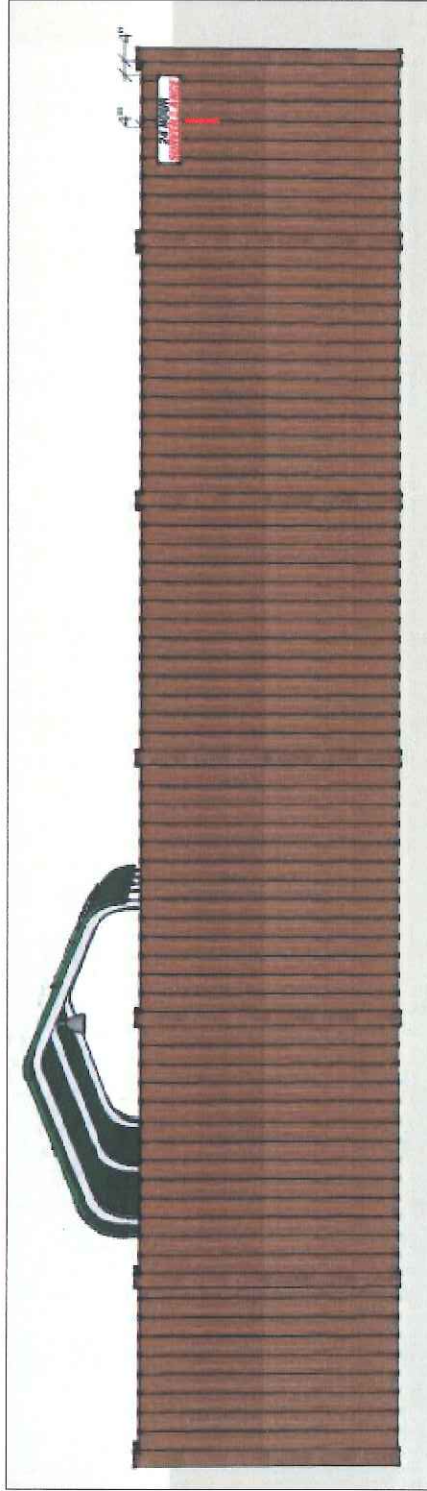
BACK ELEVATION SIGN LAYOUT

CONTRACTOR TO MOUNT ALL SIGNS TO COMPOSITE FENCE WITH WAFER HEAD SCREWS AT GIVEN LOCATIONS BELOW.
SIGNS MUST BE LEVEL.

SIGN I: 24 HOUR SURVEILLANCE 24"x6"

INSTALL 4" FROM CORNER AND TOP OF FENCE.

ALL OTHER SAFETY SIGNS INSTALLED BY OTHERS.



PICTURE FOR REFERENCE ONLY
NOT TO SCALE

MENARD, INC STORE PLANNING DEPT. EAU CLAIRE, WI	PROJECT	BACK ELEVATION			CAD DWG	DETAIL	PAGES
	SHEET	SIGN DETAIL			SCALE	1/16"=1'-0"	DWG NO.
					BY	BPS	SIGN-3
				DATE		DATE	11/13/12