



#2015-49 113 N. Crystal Beach Ave (Thinnes)–Variation Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	October 7, 2015
<u>Request:</u>	Variations from Article 3-200, Article 7-200(B) and Article 7-300(B)(4) for an existing front porch and an enlargement of a nonconforming structure that does not meet the minimum front yard setback, to allow a 14.16-foot encroachment and a second story addition.
<u>Location:</u>	113 N. Crystal Beach Ave
<u>Acreage:</u>	6,500 square feet
<u>Existing Zoning:</u>	R-2 (Single Family Residential)
<u>Surrounding Properties:</u>	North: R-2 (Single Family Residential) South: R-2 (Single Family Residential) East: R-2 (Single Family Residential) West: R-2 (Single Family Residential)
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3798)

Background:

- **Existing Use:** The property is currently improved with a single-family home and an existing front porch. The existing home is two-stories and the second story presently has a smaller footprint than the first floor.
- **Background:** The petitioner would like to add onto the second story. The existing first floor of the principal structure encroaches 4.16 feet into the required front yard setback. The existing front porch encroaches an additional 10 feet into the front yard setback. The second story addition would increase the volume of the encroachment in the front yard setback.
- **UDO Requirements:** The minimum front yard setback for an established neighborhood and nonconforming lot is the average existing front yard setback of the dwellings on the two closest lots, which is 24 feet.

Development Analysis:

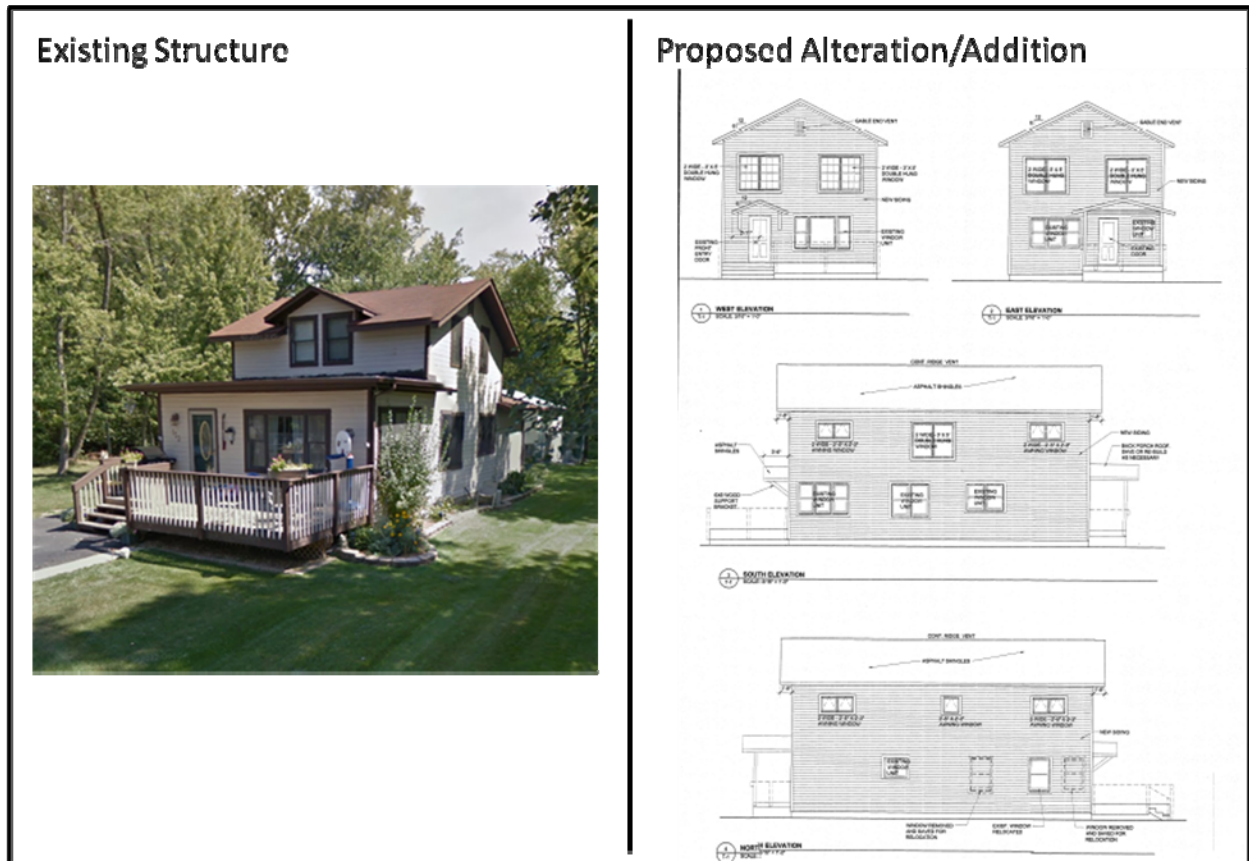
General

- **Request:** The petitioner is requesting a variation to allow a 14.16-foot encroachment into the 24-foot front yard setback for a second story addition and an existing front porch.

- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- **Zoning:** The site is zoned R-2 (Single Family Residential).

Site Layout

- The required front yard setback is 24 feet.
- The principal structure currently encroaches 4.16 feet into the front yard setback.
- The existing front porch currently encroaches an additional 10 feet into the front yard setback.
- The proposed second story addition is within the same footprint of the existing principal structure.
- The proposed second story addition would increase the volume of the nonconformity since the existing principal structure is located within the required front yard setback.



Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3-200, Article 7-200(B) and Article 7-300(B)(4) for an existing front porch and an enlargement of a nonconforming structure that does not meet the minimum front yard setback, to allow a 14.16-foot encroachment and a second story addition. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Thinnes, received 08/31/15)
 - B. Plan Set (Korte Architecture, received 08/12/15)
 - C. Survey (RLS, dated 07/24/01, received 08/31/15)
2. The architectural style of the addition shall be complementary to the principal structure.
3. The petitioner shall address all of the review comments and requirements of the Fire Rescue and Community Development Departments.

2015 49

Application for Simplified Residential Variation

Application Number: _____

FOR OFFICE USE ONLY

Project Name: _____

Date of Submission: _____

I. Applicant

Richard R Thienes III
Name

113 N. Crystal Beach ave.
Street

Crystal Lake IL 60014
City State Zip Code

815-871-2459 _____ R10069@gmail.com
Telephone Number Fax Number E-mail address

II. Owner of Property (if different)

Name

Address Telephone Number

III. Project Data

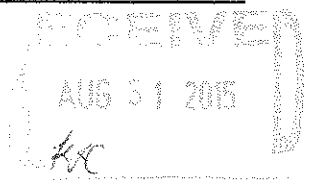
- 1. a. Location/Address: 113 N. Crystal Beach ave.
- b. PIN #: 18-01-226-004

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

Home 4.16 Feet run setback

IS THE HARDSHIP SELF-CREATED? NO



ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION? Yes

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

NO

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY? NO

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUBSTANTIALLY INCREASE THE DANGER OF FIRE; OR ENDANGER PUBLIC SAFETY? none of the above

3. List any previous variations that are approved for this property: none to my knowledge


IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

 Rudolf R. Thomas III 8-30-15

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

RECEIVED
AUG 31 2015
HFC

7 PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE APPLI-
CATION OF Richard Thinnis III

LEGAL NOTICE

Notice is hereby given in compli-
ance with the Unified Development
Ordinance (UDO) of the City of
Crystal Lake, Illinois, that a public
hearing will be held before the
Planning and Zoning Commission
of the City of Crystal Lake upon the
application of Richard Thinnis III
for variations relating to the fol-
lowing described real estate commonly
known as 113 N. Crystal Beach
Avenue, Crystal Lake, Illinois
60014, PIN: 18-01-226-004.

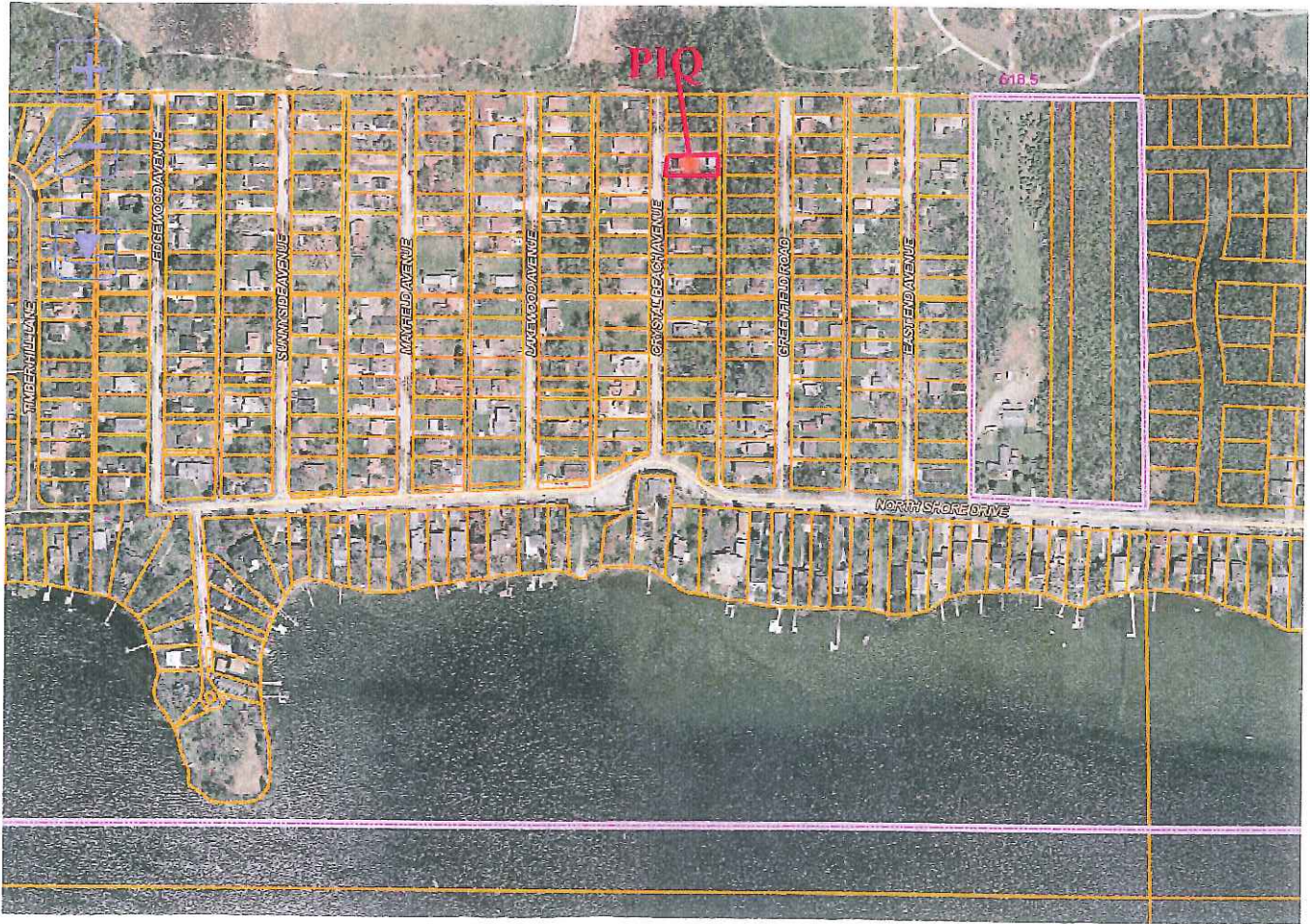
This application is filed for the pur-
pose of seeking zoning variations
pursuant to Articles 3-200, 7-
200B, and 7-300B 4 of the UDO,

from the minimum front yard set-
back requirements to allow a 4.16-
foot encroachment of a second sto-
ry addition that will be added to the
existing nonconforming principal
structure, as well as any other vari-
ations that may be necessary to
complete the project as proposed.
Plans for this project can be viewed
at the City of Crystal Lake Commu-
nity Development Department at
City Hall.

A public hearing before the Plan-
ning and Zoning Commission for
this request will be held at 7:30
p.m. on Wednesday September
16, 2015, at the Crystal Lake City
Hall, 100 West Woodstock Street,
at which time and place any per-
son determining to be heard may
be present.

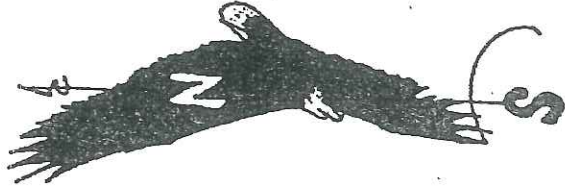
Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
September 1, 2015) NW 7262



Plat of Survey

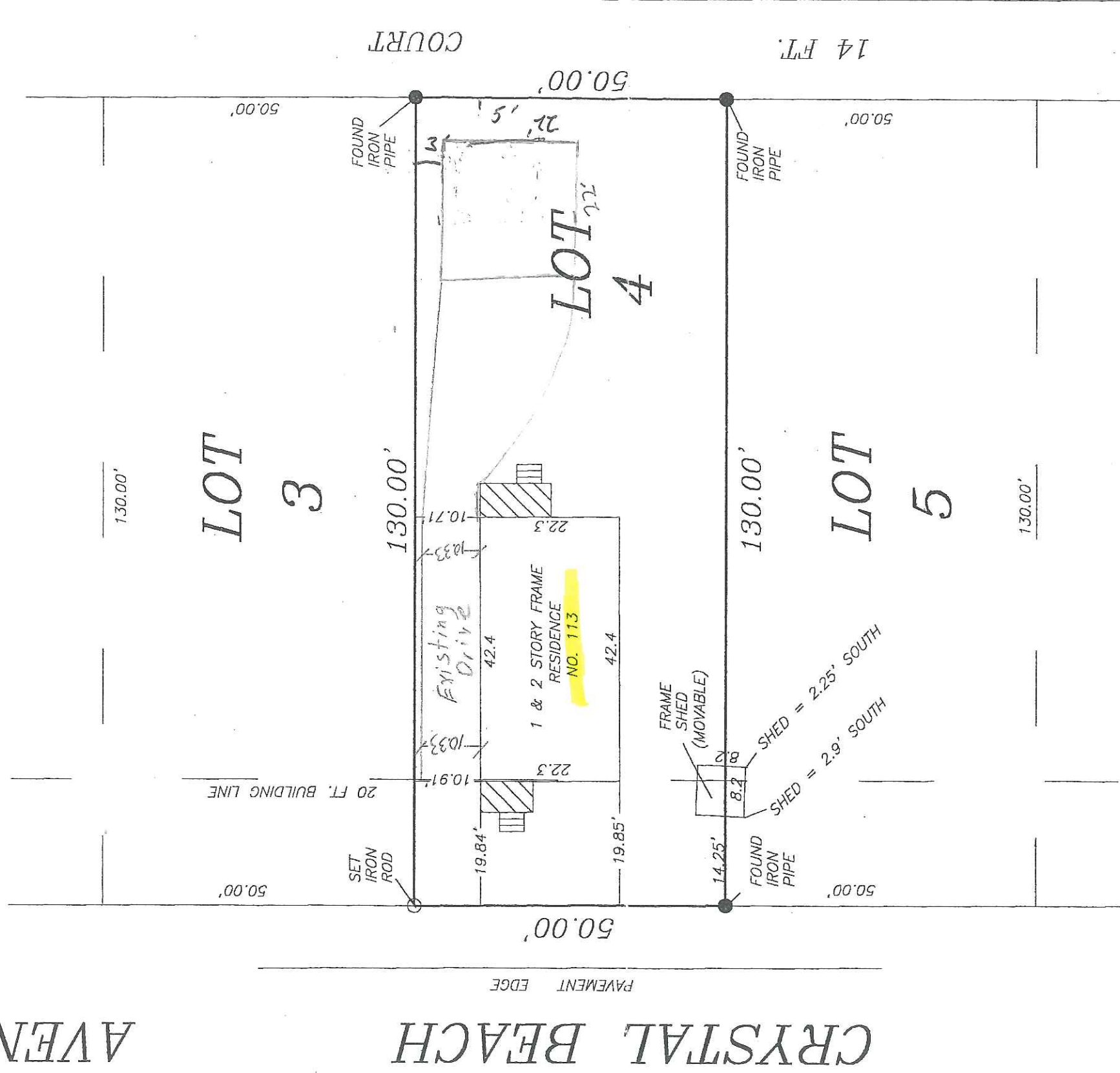
2015 49



LOT 4 IN BLOCK 10 NORTH CRYSTAL LAKE PARK BEACH, SECTION 1, TOWNSHIP 43 NORTH, RANGE 7, EAST IN THE COUNTY OF MCHENRY, ILLINOIS.

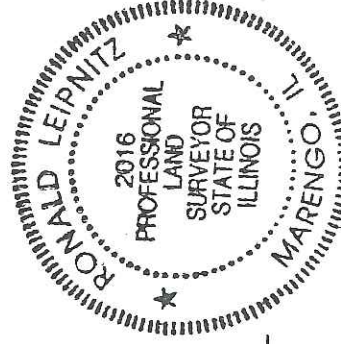
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AUG 31 2015
BY:

AVENUE



NOTE: FOR BUILDING LINES AND EASEMENTS, REFER TO ABSTRACT OF TITLE FOR POSSIBLE ADDITIONAL EASEMENTS, COVENANTS, RESTRICTIONS OR OTHER ENCUMBRANCE UPON SUBJECT PROPERTY. REFER TO VILLAGE, CITY OR COUNTY CODES FOR FRONT, SIDE AND/OR REAR BUILDING SETBACK RESTRICTIONS.

NOTE: ACCORDING TO FIRM MAP, COMMUNITY PANEL NO. 170732-0330 D. EFFECTIVE MAY 19, 1997 THIS PROPERTY DOES NOT FALL WITHIN A FLOOD HAZARD AREA.



Scale 1" = 20'

Iron stakes set
Iron stakes found
Distances are given in feet & decimals
DIMENSIONS OR ANGLES ARE NOT TO BE ASSUMED FROM SCALING.

ORDERED BY BISHOP & ASSOC. - AUSTIN / McINTYRE

DATE: JULY 24, 2001

ORDER NO. 010774

STATE OF ILLINOIS, } SS
COUNTY OF MCHENRY }

R L S LAND SURVEYORS
405 MENGE ROAD
MARENGO, IL. 60152
(815) 943-5490

This is to certify that we have surveyed the above described property according to the Official Record, and the above plat correctly represents said survey.

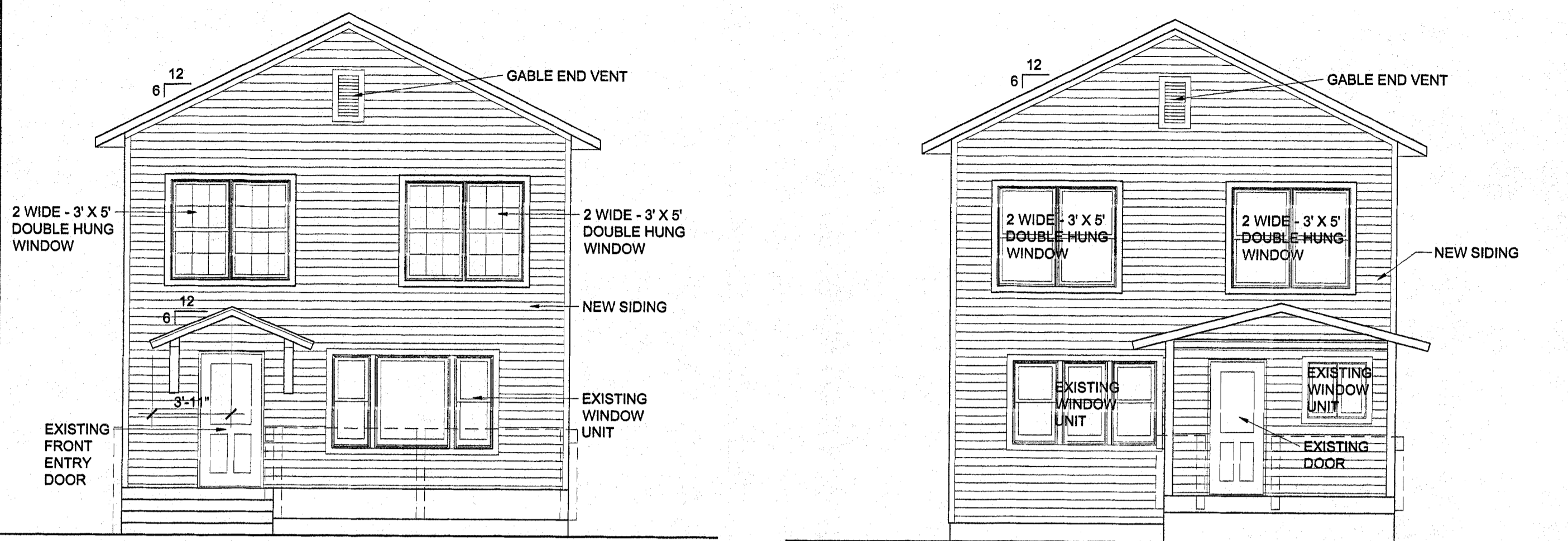
Ronald Leipnitz
ILL. PROF. SURVEYOR NO. 2016

Compare you description and site markings with this plat and AT ONCE report any discrepancies which you may find.

THINNES RESIDENCE

113 CRYSTAL BEACH AVE

SECOND FLOOR ADDITION

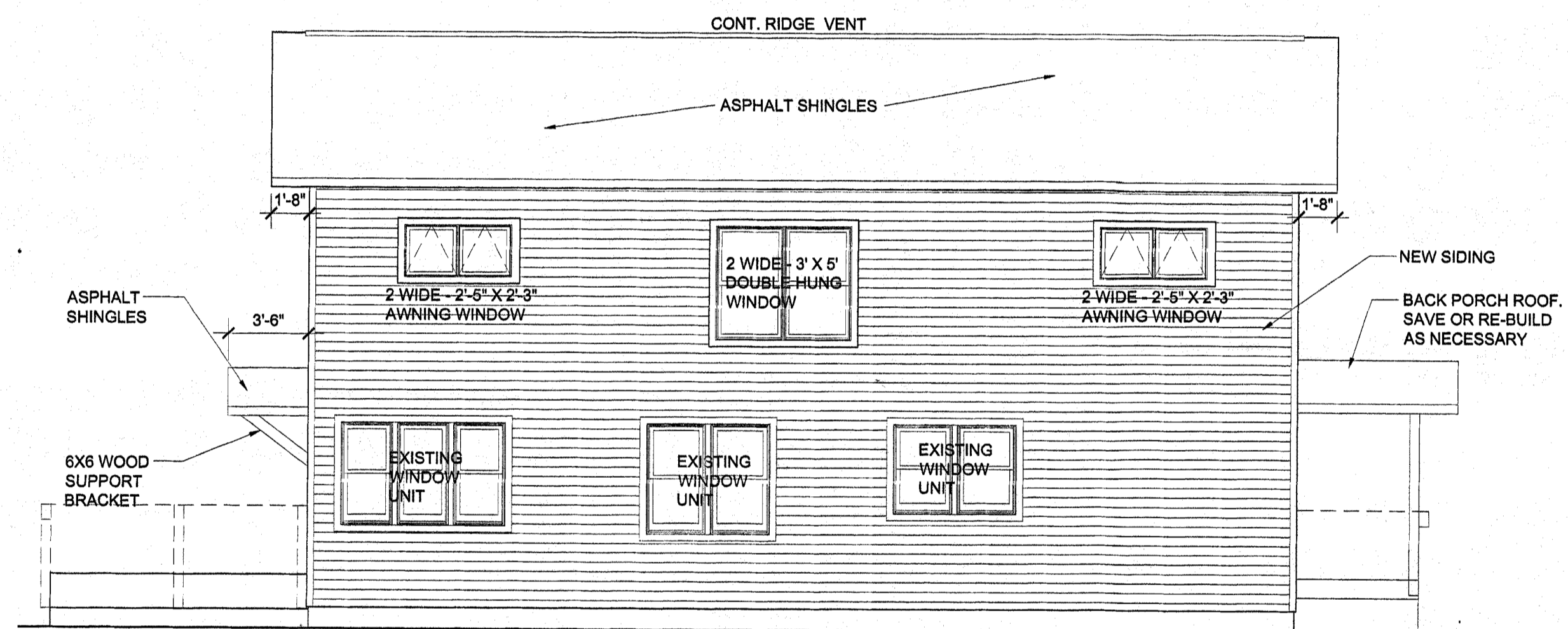


1 WEST ELEVATION
T-1 SCALE: 3/16" = 1'-0"

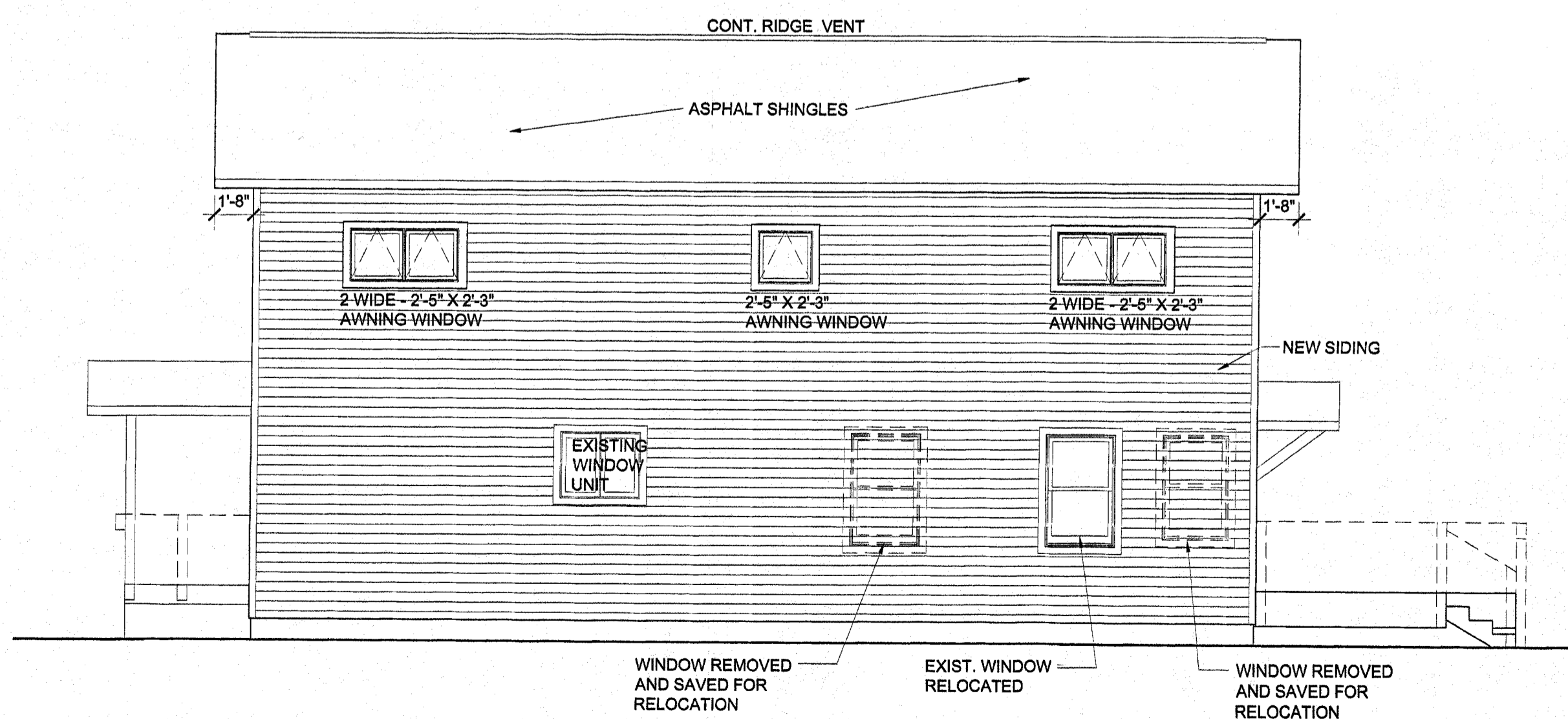
2 EAST ELEVATION
T-1 SCALE: 3/16" = 1'-0"

INDEX OF DRAWINGS

SHEET	DESCRIPTION
T-1	GENERAL NOTES, INDEX OF DRAWINGS, LOCATION MAP, ELEVATIONS, DEMO
A-1	FLOOR PLANS, FRAMING PLANA, CRAWL SPACE PLAN, PLAN NOTES
A-2	ROOF PLAN, TRUSS PROFILE, BUILDING SECTION, SECTION DETAIL
A-3	MECHANICAL AND ELECTRICAL PLANS, PLUMBING DIAGRAMS, MEP NOTES

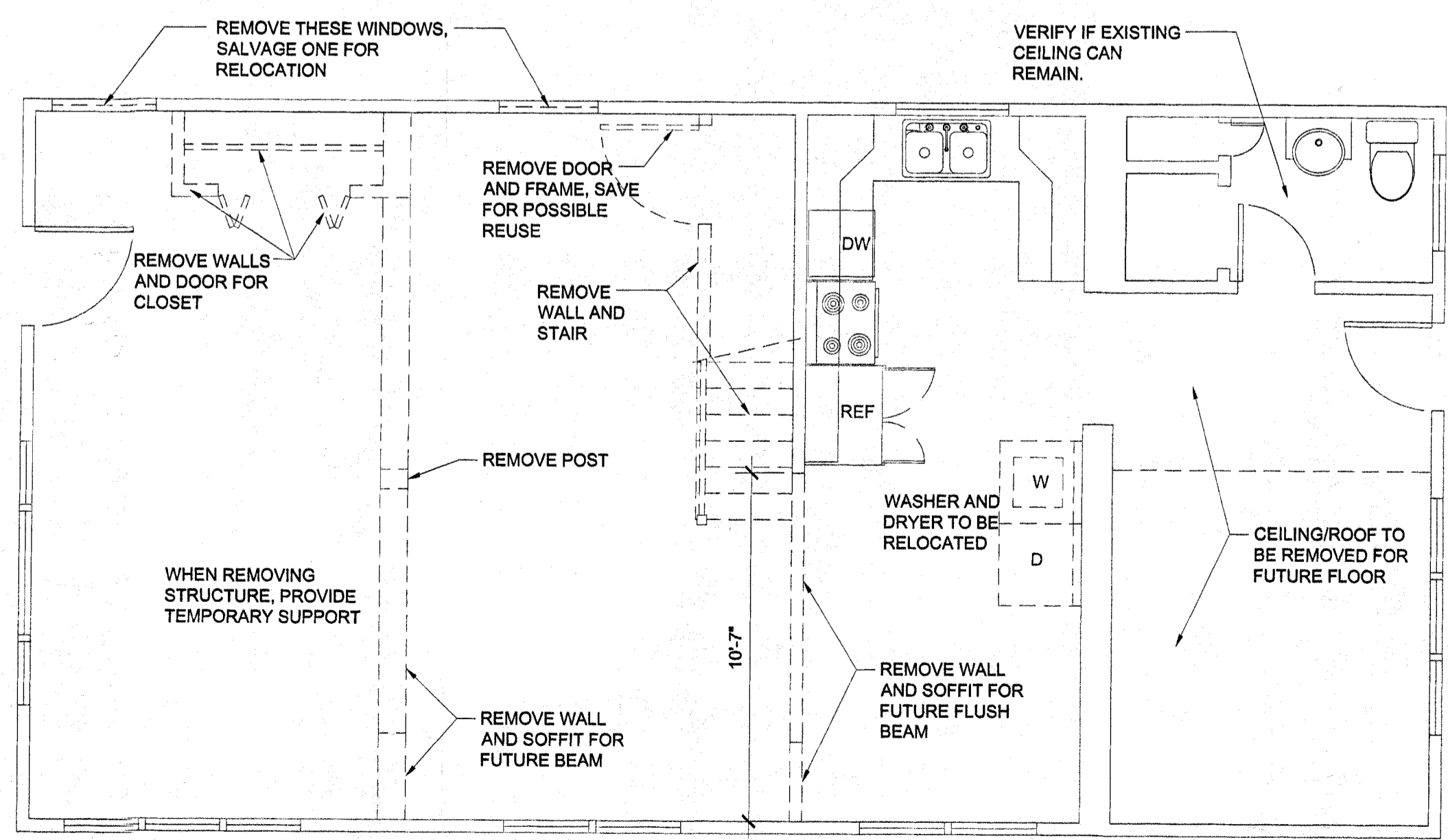
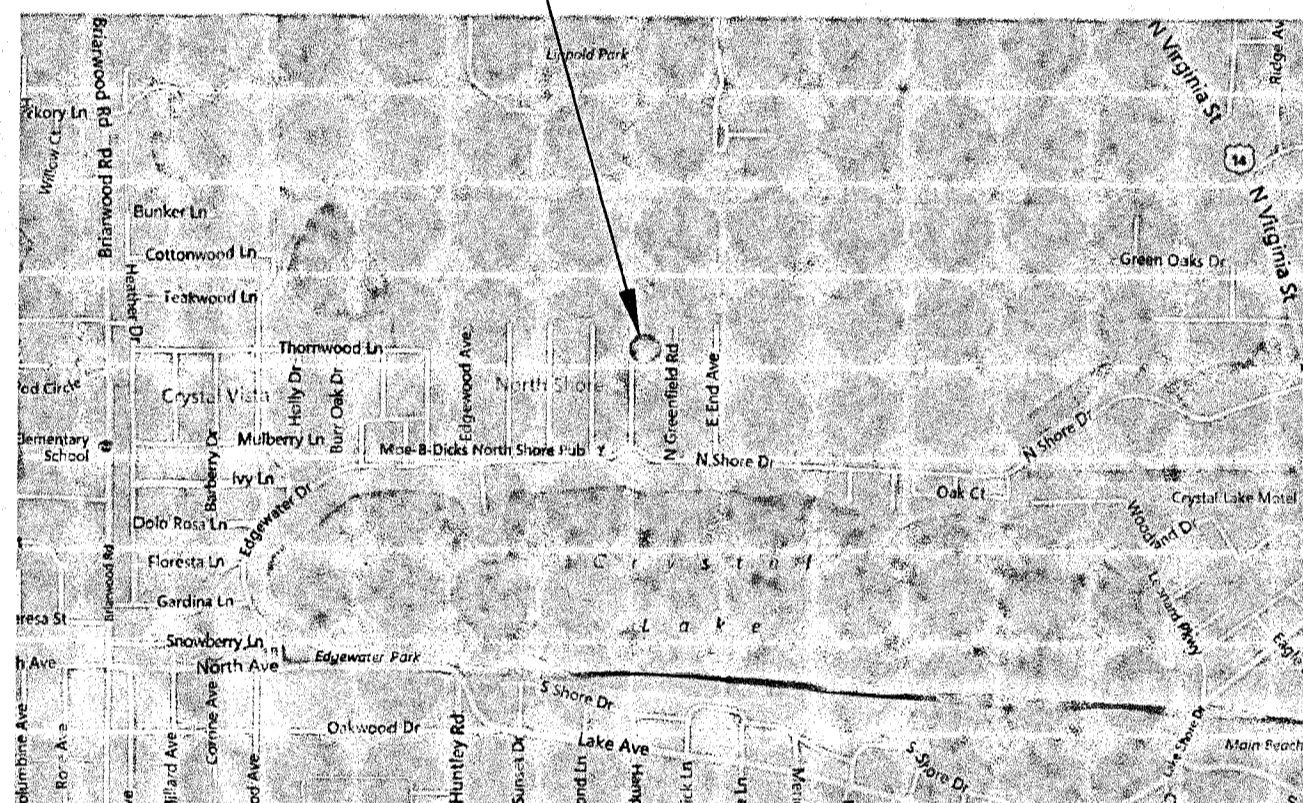


3 SOUTH ELEVATION
T-1 SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
T-1 SCALE: 3/16" = 1'-0"

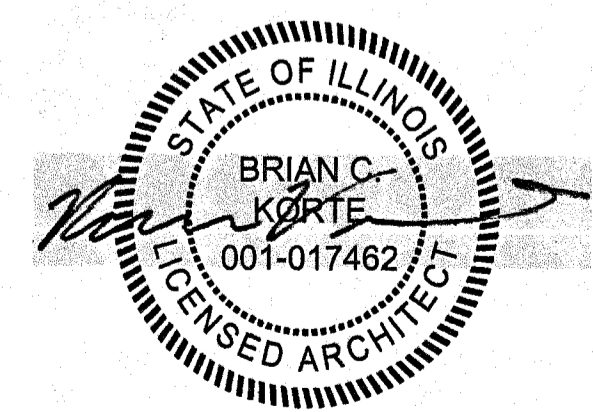
Project Location:
113 CRYSTAL BEACH AVE



5 DEMOLITION PLAN
T-1 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- THESE CONTRACT DOCUMENTS ARE SUBJECT TO THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," AIA DOCUMENT A201, 1997 EDITION, EXCEPT AS MAY BE AMENDED BY THE NOTES WHICH ARE PART OF THE CONTRACT DOCUMENTS FOR THIS JOB.
- A. LINES, LEVELS, SURVEYS:**
THE CONTRACTOR WILL, WHEN REQUIRED BY THE WORK, USE CURRENT SURVEY INFORMATION PROVIDED BY THE OWNER TO ESTABLISH LINES WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR GRADES, ELEVATIONS, AND BENCH MARKS USED DURING CONSTRUCTION.
- B. PERMITS:**
ALL PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AND PAID FOR BY THE OWNER. THE CONTRACTOR SHALL MAKE TIMELY ARRANGEMENTS FOR ALL REQUIRED INSPECTIONS OF THE WORK.
- C. GOVERNING MEASUREMENTS AND DIMENSIONS:**
DO NOT SCALE THE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER OTHER DRAWINGS AND DETAILS. REVIEW DISCREPANCIES WITH THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK INVOLVING DIMENSIONS WHICH ARE IN DOUBT.
- D. DISCREPANCIES OR OMISSIONS:**
1. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL VISIT THE JOB SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF, AT ANY TIME, HE BECOMES AWARE OF DISCREPANCIES AMONGST THE CONTRACT DOCUMENTS OR IF THE EXISTING CONDITIONS ARE NOT AS DESCRIBED BY THE CONTRACT DOCUMENTS.
2. THE ARCHITECT SHALL DEFINE AND/OR CLARIFY THE INTENT OF THE DOCUMENTS WHEN DISCREPANCIES OR OMISSIONS ARE DISCOVERED OR WHEN THE EXISTING CONDITIONS ARE NOT AS ANTICIPATED BY THE DOCUMENTS.
3. THE CONTRACTOR SHALL SEEK A REVIEW OF A DISCREPANCY OR OMISSION, BY THE ARCHITECT, BEFORE PROCEEDING WITH WORK AFFECTED BY THE DISCREPANCY OR OMISSION.
4. FAILURE TO SEEK A REVIEW MAY CAUSE PORTIONS OF THE WORK AFFECTED BY DISCREPANCIES OR OMISSIONS TO BE REJECTED.
5. WORK REJECTED UNDER THESE CIRCUMSTANCES, IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS, AS DETERMINED BY THE ARCHITECT WILL BE PAID SOLELY AT THE CONTRACTOR'S EXPENSE.
- E. SCOPE AND QUALITY OF THE WORK:**
THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH THE INTENT THAT EACH TRADE INVOLVED WITH THE WORK SHALL PROVIDE ALL LABOR AND MATERIALS NEEDED FOR A COMPLETELY FINISHED, FULLY FUNCTIONAL ASSEMBLY. WORK IS TO BE OF THE BEST QUALITY, IN KEEPING WITH THE STANDARD OF THE INDUSTRY FOR EACH TRADE. CONTRACTORS, SUBCONTRACTORS, AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOR REQUIRED TO PERFORM INSTALLATIONS OF ALL ITEMS DESCRIBED, INDICATED OR IMPLIED AND TO DUPLICATE MATERIALS, DETAILS, ETC. OF EXISTING CONDITIONS AS NECESSARY.
- F. GUARANTEE:**
THE WORK SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. DURING THIS TIME THE CONTRACTOR SHALL GUARANTEE THE WORK TO BE FREE FROM DEFECTS RESULTING FROM WORKMANSHIP OR FAULTY MATERIALS. DEFECTIVE WORK SHALL BE PROMPTLY REPAIRED OR REPLACED BY THE CONTRACTOR DURING THE WARRANTY PERIOD AT NO EXTRA COST TO THE OWNER. THE CONTRACTOR SHALL MAINTAIN PREMISES IN A NEAT AND ORDERLY CONDITION AT ALL TIMES.
- G. EXTRA WORK:**
WORK BEYOND THE SCOPE OF THE BASE BID SHALL NOT BE EXECUTED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACTOR SHALL PROVIDE A PROPOSAL DESCRIBING THE COST OF EXTRA WORK FOR REVIEW BY THE ARCHITECT AND OWNER BEFORE EXECUTING ANY EXTRA WORK. ONLY THE OWNER MAY AUTHORIZE EXTRA WORK. EXTRA WORK WILL NOT AFFECT THE CONTRACT SUM WITHOUT A CHANGE ORDER. PAYMENT FOR EXTRA WORK WILL NOT BE CERTIFIED WITHOUT A PROPERLY EXECUTED CHANGE ORDER.
- H. MINIMUM REQUIREMENTS:**
ALL BUILDING SYSTEMS, COMPONENTS AND ASSEMBLIES, AS WELL AS THE BUILDING AS COMPLETED, SHALL COMPLY WITH THE MINIMUM REQUIREMENTS FOR CONSTRUCTION AS SET FORTH BY THE CODE ADOPTED BY THE GOVERNING JURISDICTION AND ANY LOCAL AMENDMENTS.
- I. OWNER / CONTRACTOR CHANGES:**
ANY CHANGES, REVISIONS, OR AMENDMENTS TO THE CONTRACT DOCUMENTS MADE BY THE OWNER OR CONTRACTOR, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT WILL BE AT THE OWNERS OR CONTRACTORS LIABILITY. THE OWNER AND CONTRACTOR WILL HOLD HARMLESS THE ARCHITECT FOR ANY ERRORS OR OMISSIONS RESULTING FROM A CHANGE TO THE DOCUMENTS THAT WAS NOT REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT.



EXP. 11/30/16

RECEIVED
AUG 12 2015

2015 49

korte_architecture.com
ph 815.444.9160
Crystal Lake, IL 60014

korte_architecture

DATE	
ISSUANCE	
DRAWN BY: BCK	PROJECT NUMBER: 1522
PROJECT: THINNES RESIDENCE 2ND FLOOR ADDITION 113 CRYSTAL BEACH AVE CRYSTAL LAKE, IL. 60014	
SHEET CONTENTS: DEMOLITION PLAN GENERAL NOTES INDEX OF DRAWINGS ELEVATIONS	
SHEET NO.	T-1

KORTE ARCHITECTURE COPY RIGHT 2015

LOAD TABLE

AREA	LIVE LOAD	DEAD LOAD	REMARKS
ROOF	40 PSF	20 PSF	
EXTERIOR BALCONIES	40 PSF		
DECKS / FIRE ESCAPES	40 PSF		
PASSENGER VEHICLE GARAGES	50 PSF		
ATTICS WITHOUT STORAGE	5 PSF	10 PSF	
ATTICS WITH STORAGE	20 PSF	10 PSF	
FLOOR	40 PSF	10 PSF	
FLOOR (SLEEPING)	30 PSF	10 PSF	
STAIR	40 PSF		
GUARDRAILS / HANDRAILS	200 PSF		
GUARDRAIL IN-FILL COMPONENTS	50 PSF		

STRUCTURAL NOTES:

- ALL HEADERS IN EXTERIOR WALLS TO BE (2) 2x6 INSULATED HEADERS U.N.O. ON PLANS.
- ALL HEADERS IN INTERIOR WALLS TO BE (2) 2x6 HEADERS U.N.O. ON PLANS.
- ALL FLOOR JOISTS SHALL BE #2 CANADIAN SPRUCE-PINE-FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS. BRIDGING TO BE 8'-0" O.C. MAX.
- DRILLING OR NOTCHING OF STUDS OR JOISTS SHALL COMPLY WITH REQUIREMENTS OF THE UNIFORM DWELLING CODE.

LIGHT AND VENTILATION TABLE

ROOM NAME	AREA (SQ.FT.)	LIGHT REQ'D	VENT. REQ'D	VENT. REQ'D	REMARKS
BEDROOM 1	116	9.3	28	4.6	14.8
BEDROOM 2	107	8.6	28	4.3	14.8
BEDROOM 3	113	9.0	21.2	4.5	11.6
BEDROOM 4	121	9.7	28	4.8	14.8
BEDROOM 5	109	8.7	28	4.3	14.8

LIGHT AND VENTILATION TABLE GENERAL NOTES:

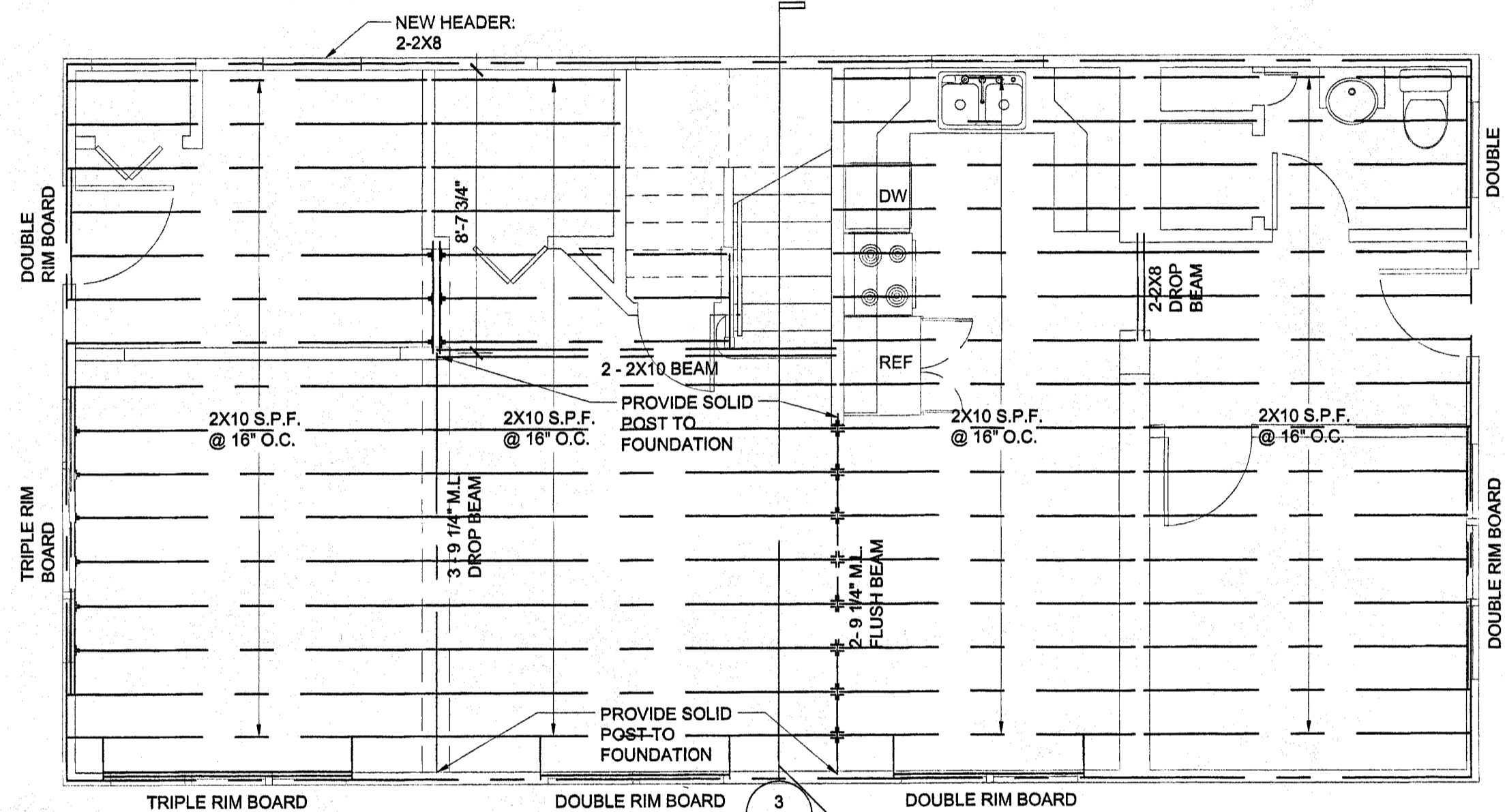
- ARTIFICIAL VENT AND LIGHT TO BE PROVIDED IN BASEMENTS, CRAWL SPACES AND ATTICS AS REQUIRED.
- CONTRACTOR TO VERIFY VENT AND LIGHT CODE COMPLIANCE IF WINDOW MANUFACTURER, TYPE OR SIZES ARE SUBSTITUTED.

PARTITION LEGEND:

INTERIOR PARTITION:
2x4 WOOD STUDS AT 16" O.C.
W 1/2" GYP. BD. BOTH SIDES
SEE WALL SECTIONS FOR
EXTERIOR WALL CONSTRUCTION.

GENERAL PLAN NOTES:

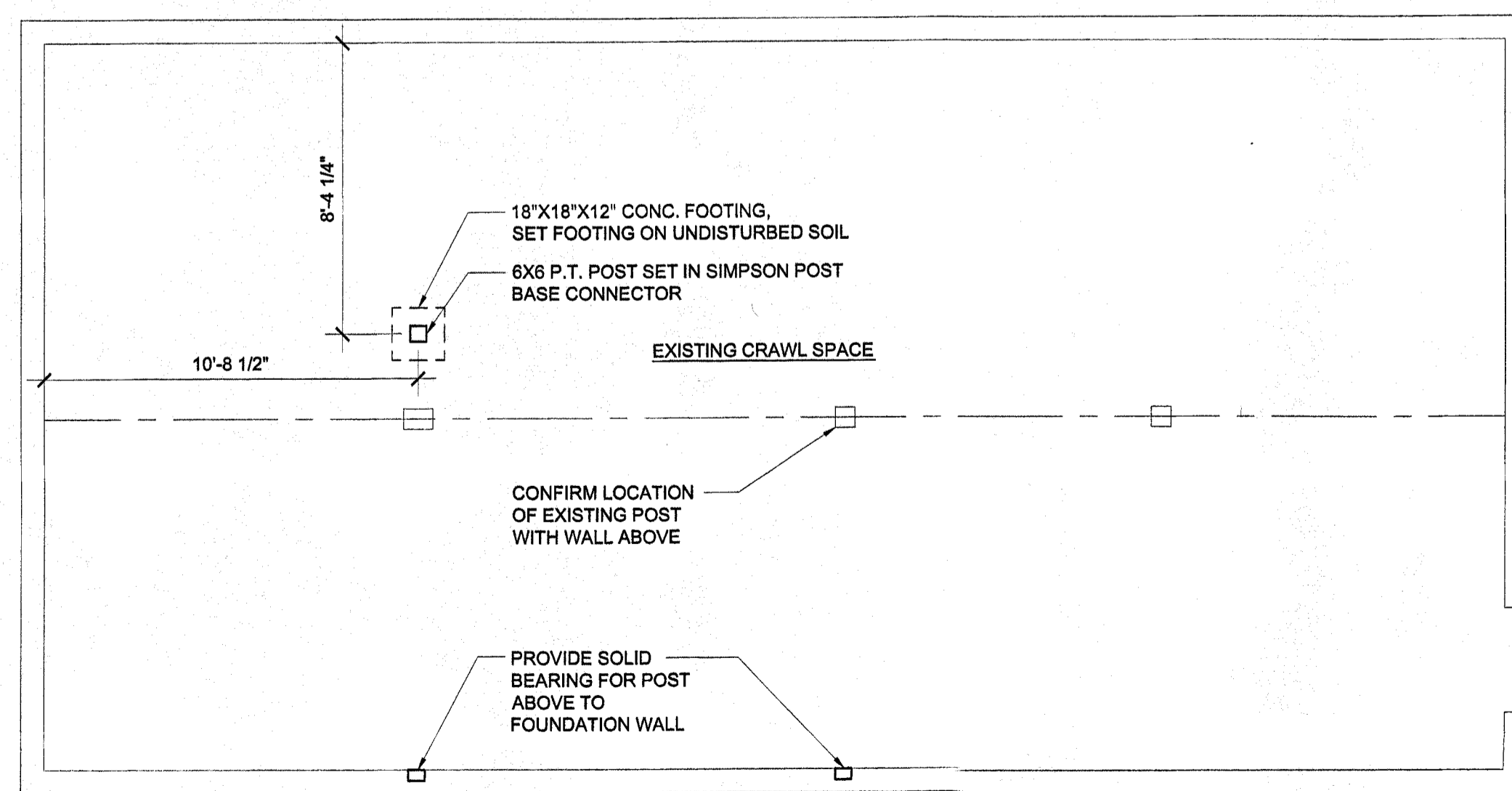
- WALL AND PARTITION DIMENSIONS SHOWN ON PLAN ARE NOMINAL DIMENSIONS.
- WALL AND PARTITION DIMENSIONS ARE SHOWN TO FINISHED FACE OF WALL.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE.
- LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS AND UNDER BATHTUBS.
- STAIR NOTES:
MIN STAIR WIDTH = 36"
MAX HANDRAIL PROJECTION = 4 1/2"
MIN HEADROOM = 6'-6"
MAX RISER = 8"
MIN TREAD = 9" NOSING TO NOSING
MIN - MAX HANDRAIL HEIGHT = 30"-38"
GUARDRAIL HEIGHT = 36"
VERTICAL RAIL SPACING SHOULD NOT ALLOW PASSAGE OF 4" SPHERE.
HANDRAILS TO END IN LINE WITH THE TOP AND BOTTOM RISERS.
- GLAZING AT ALL HAZARDOUS LOCATIONS SHALL BE OF AN APPROVED SAFETY GLAZING. ALL GLAZING SHALL MEET THE REQUIREMENTS OF UNIFORM DWELLING CODE.



- NOTES:**
- ASSUMPTIONS HAVE BEEN MADE REGARDING THE EXISTING CEILING/FLOOR STRUCTURE DUE TO IT NOT BEING READILY OBSERVED.
 - ALL ELECTRICAL IN CEILING/FLOOR NEEDS TO BE REMOVED TO ALLOW FOR NEW FLOOR JOIST BEING NESTED ALONGSIDE EXISTING FLOOR JOIST OR CEILING JOIST.
 - IF CONDITIONS ARE DIFFERENT THAN ASSUMED, THE ARCHITECT SHOULD BE NOTIFIED.
 - PROVIDE SOLID BEARING AT BEAMS AND WALLS WHERE NEW FLOOR JOISTS ARE INSTALLED.
 - IF FINISHED FLOOR HEIGHT OF SECOND FLOOR IS DIFFERENT THAN SHOWN, THE STAIR WILL BE AFFECTED. THIS WILL NEED TO BE CONSIDERED AND ACCOMMODATED IN THE NEW STAIR CONFIGURATION.

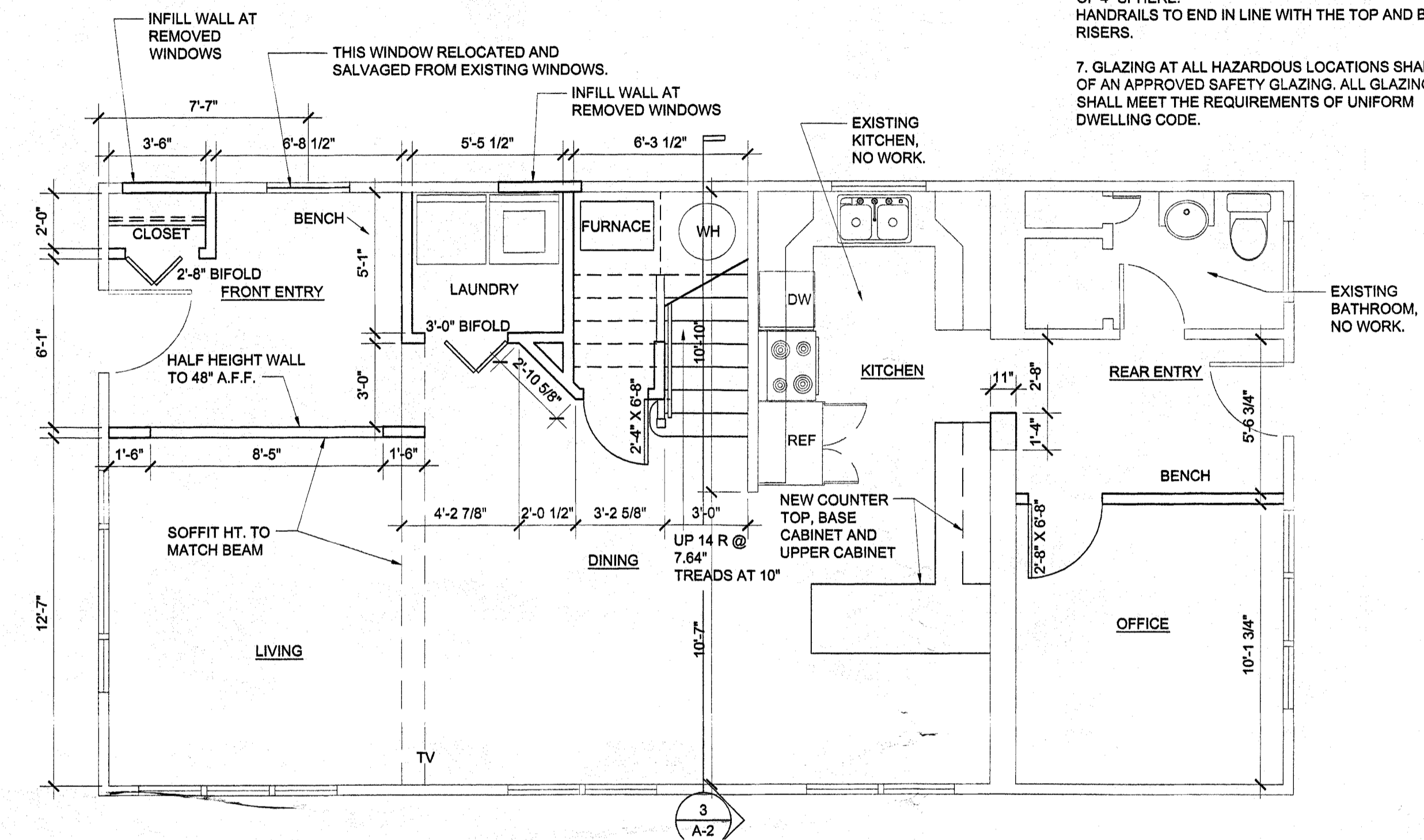
1 SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



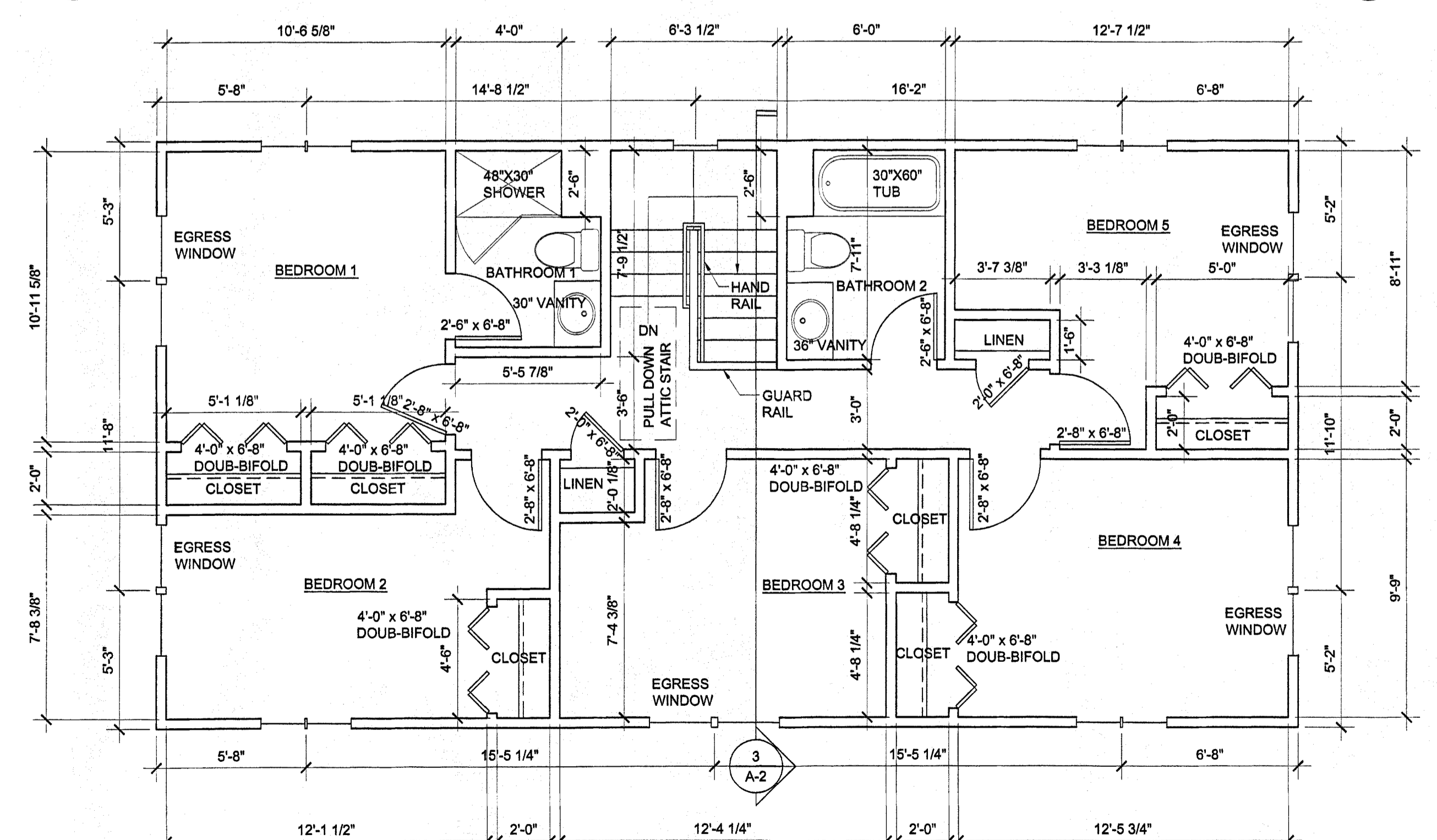
3 CRAWL SPACE PLAN

SCALE: 1/4" = 1'-0"



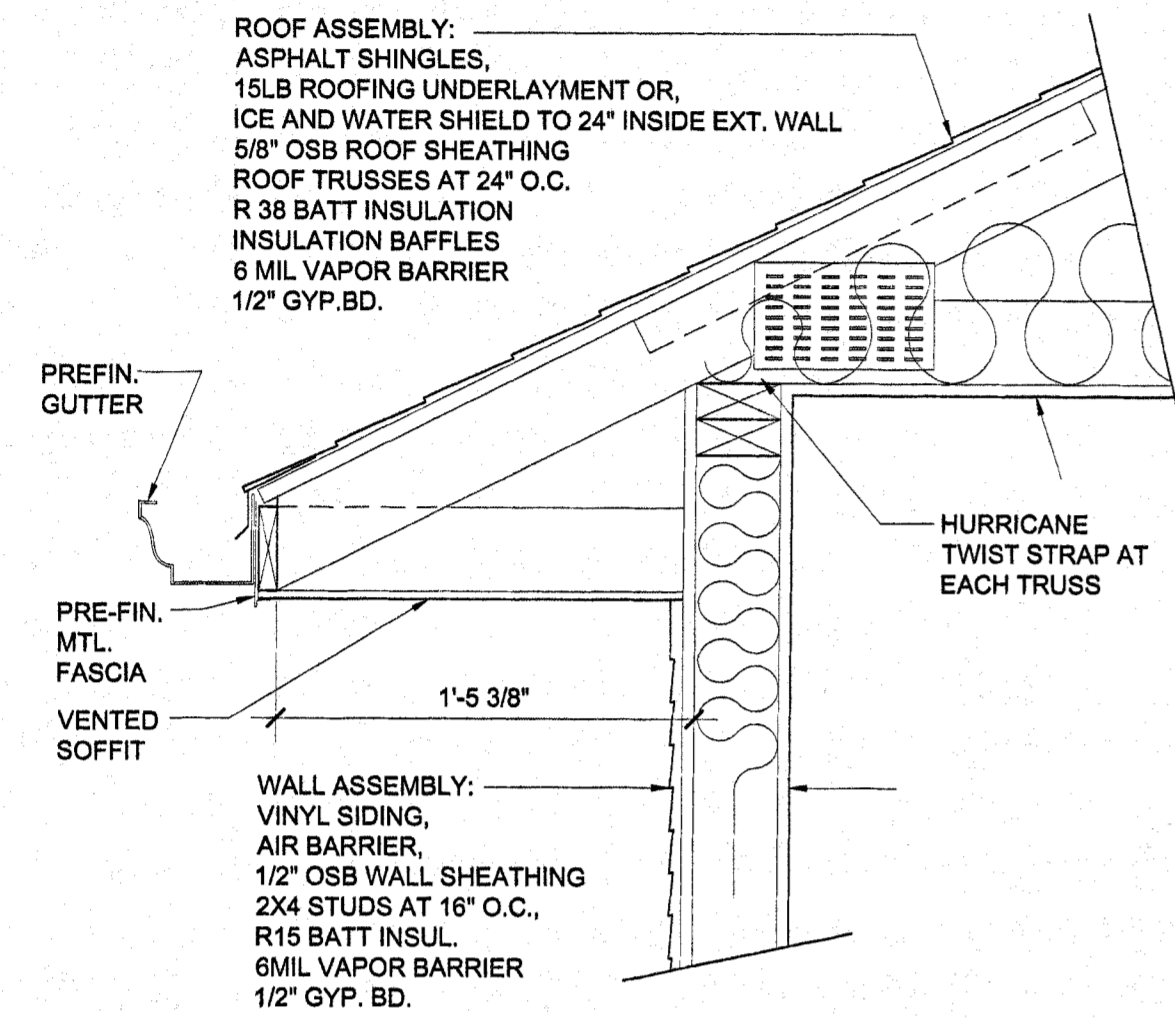
2 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

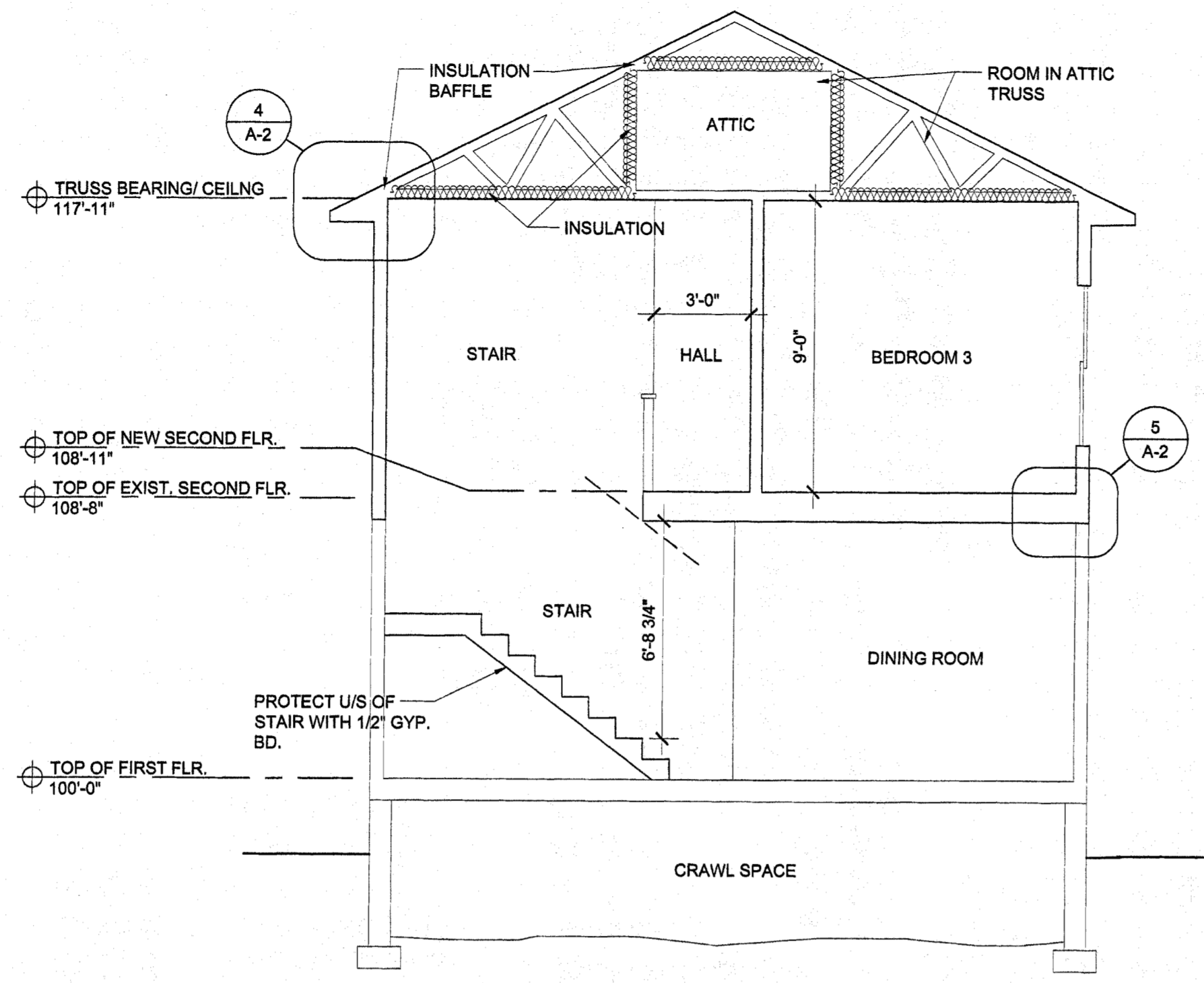


4 SECOND FLOOR PLAN

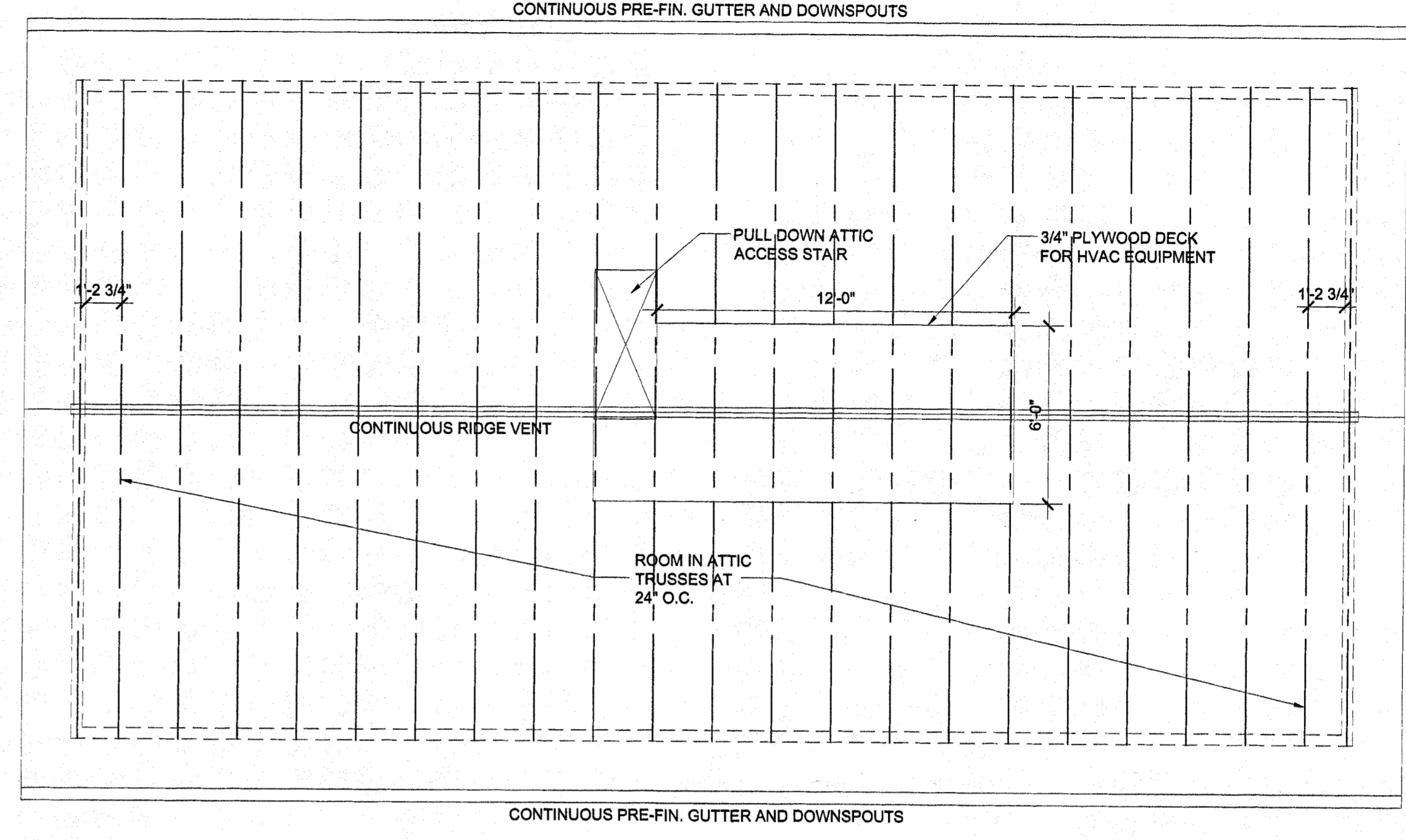
SCALE: 1/4" = 1'-0"



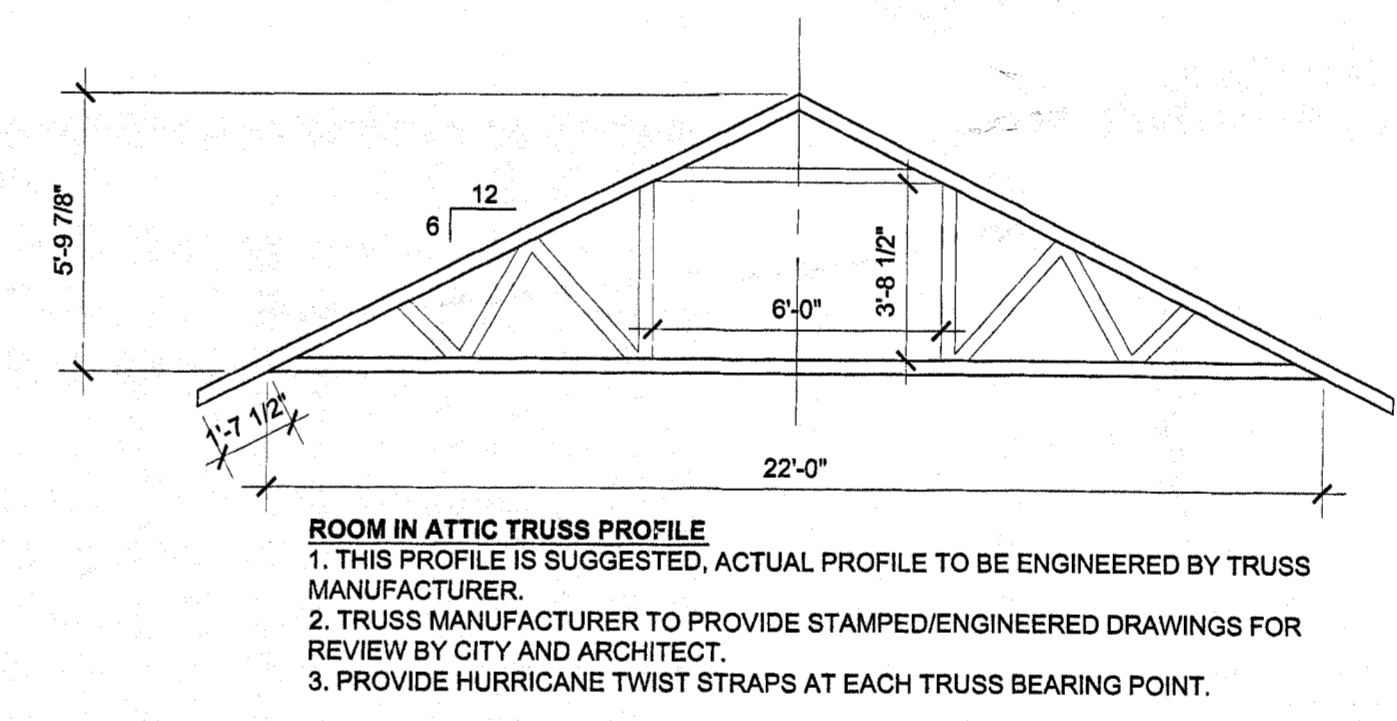
4
A-2
DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



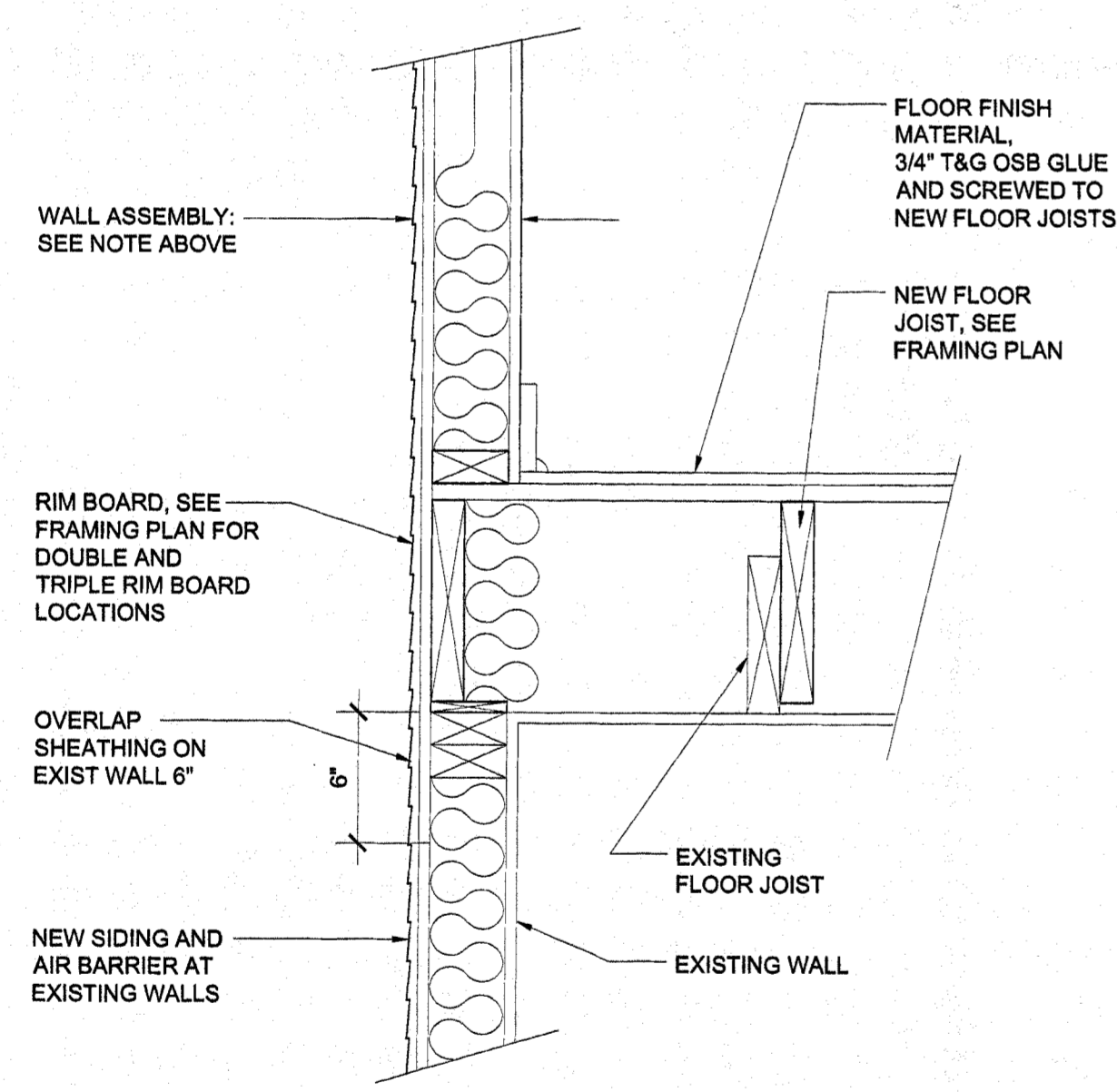
3
A-2
BUILDING SECTION
SCALE: 1/4" = 1'-0"



1
A-2
ROOF PLAN / ROOF FRAMING
SCALE: 1/4" = 1'-0"



2
A-2
ROOF TRUSS PROFILE
SCALE: 1/4" = 1'-0"



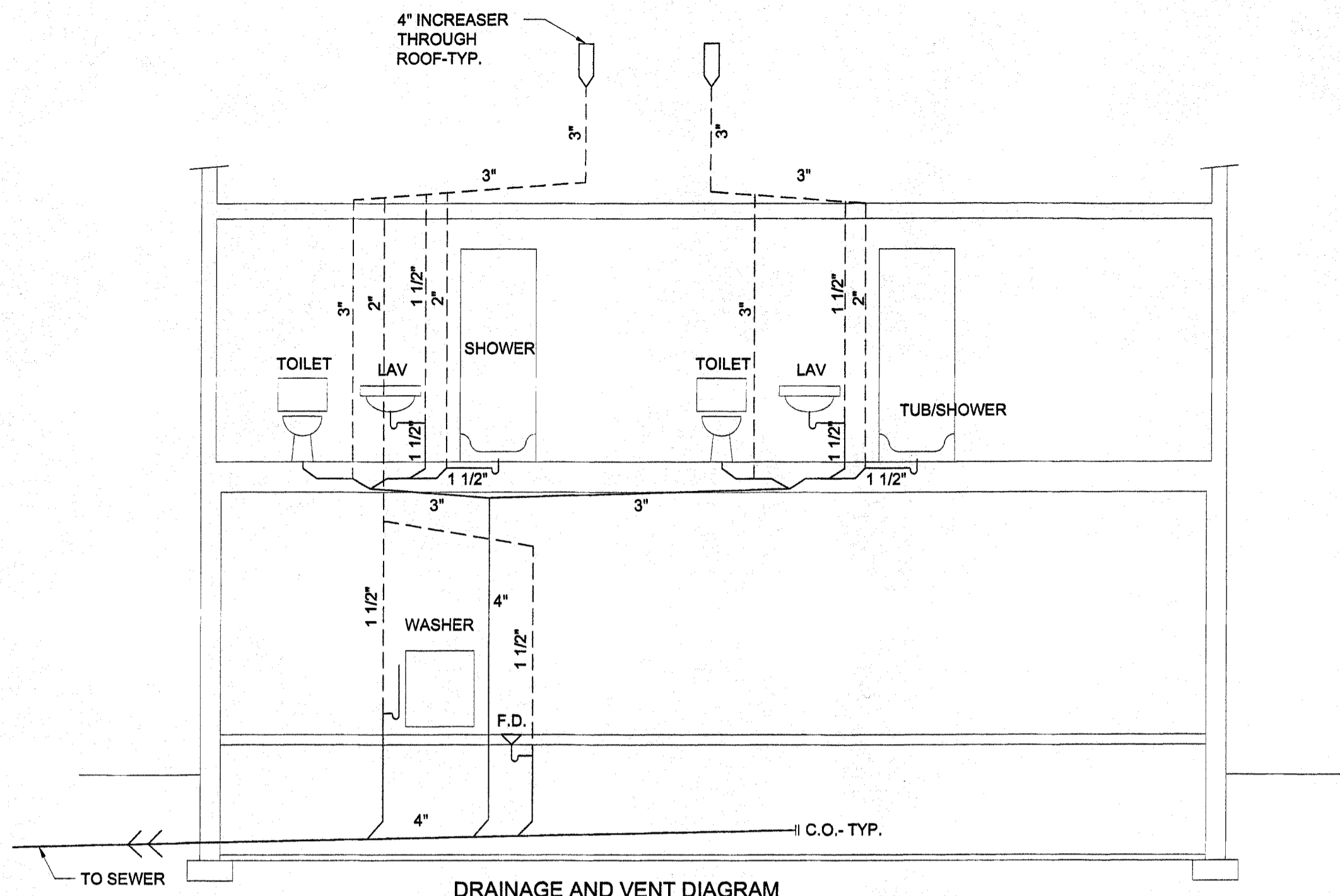
5
A-2
DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

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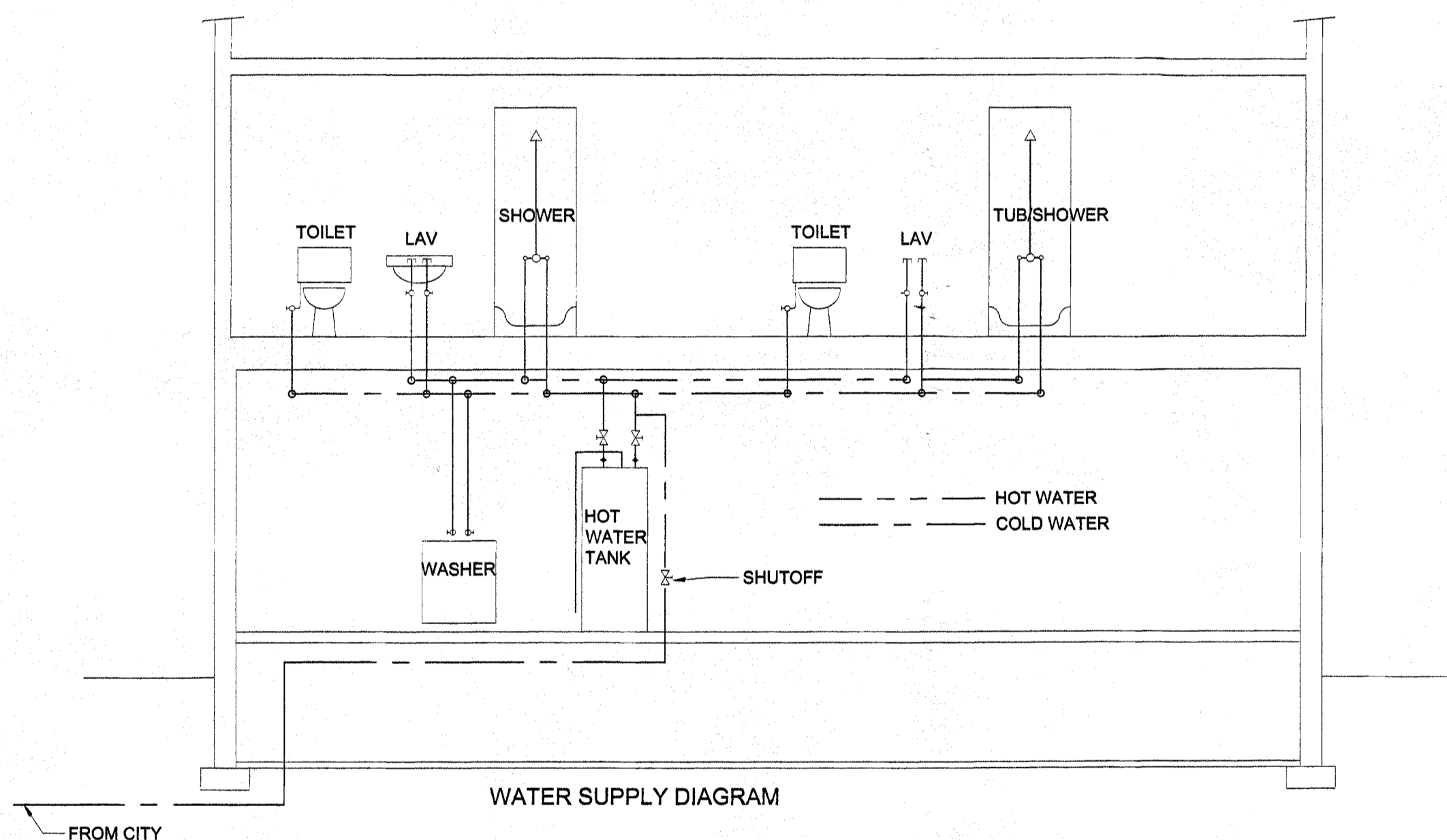
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ISSUANCE	DATE			
DRAWN BY: BCK	PROJECT NUMBER: 1522	PROJECT: THINNES RESIDENCE 2ND FLOOR ADDITION 113 CRYSTAL BEACH AVE CRYSTAL LAKE, IL 60014		
SHEET CONTENTS: ROOF PLAN TRUSS PROFILE BUILDING SECTION DETAIL SECTIONS		SHEET NO. A-2		

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DRAINAGE AND VENT DIAGRAM



WATER SUPPLY DIAGRAM

PLUMBING NOTES:

- ENTIRE INSTALLATION SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER AND THE GOVERNING AUTHORITY SHALL CONSTITUTE A COMPLETE SYSTEM. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE, PRESERVE MAXIMUM HEADROOM AND AVOID OMISSIONS. ALL MATERIALS, WORKMANSHIP AND EQUIPMENT SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SYSTEM ACCEPTANCE.
- ALL FIXTURES SHALL HAVE MIN. 12" AIR CHAMBERS AT EACH RISER AND SHUT-OFFS VALVES.
- HUBLESS PIPE AND FITTINGS ARE NOT ALLOWED.
- TEES OR CROSSES ARE NOT ALLOWED ON WASTE LINES.
- ALL FLASHINGS TO BE PVC.
- END VENTING IS NOT REQUIRED, STACK VENT SHALL BE INSTALLED DOWNSTREAM OF WASTE LINES.
- INCREASERS TO BE INSTALLED THROUGH ROOF.
- WASTE AND VENT PIPING TO BE SCH 40 PVC.
- 1/2" TYPE COPPER NOT ALLOWED.

MECHANICAL GENERAL NOTES:

- ENTIRE INSTALLATION SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER AND THE GOVERNING AUTHORITY SHALL CONSTITUTE A COMPLETE SYSTEM. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE, PRESERVE MAXIMUM HEADROOM AND AVOID OMISSIONS. ALL MATERIALS, WORKMANSHIP AND EQUIPMENT SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SYSTEM ACCEPTANCE.
- MECHANICAL CONTRACTOR SHALL VERIFY DUCT RUNS (SUPPLY AND RETURN) PRIOR TO ANY WORK BEING DONE TO INSURE SUFFICIENT SPACE AND ACCESS FOR NEW DUCT WORK. ANY CHASE, BOX-OUT, OR SOFFIT NEEDS TO BE COORDINATED WITH THE ARCHITECT.
- MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT, INCLUDING LISTING FOR OUTSIDE INSTALLATION WHEN APPLICABLE.
- ALL FRESH AIR INTAKES SHALL BE A MINIMUM OF 10' FROM HAZARDOUS OR NOXIOUS CONTAMINANTS SUCH AS VENTS, CHIMNEYS AND PLUMBING VENTS.
- ALL EQUIPMENT TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS FOR CLEARANCE. THIS INFORMATION IS TO BE PROVIDED TO THE CITY/VILLAGE.
- DUCT GAUGE TO BE 26 GAUGE, HANGERS BY BASSET WITH A MAXIMUM SPACING OF 8'.
- FLEXIBLE AIR DUCTS AND CONNECTORS LENGTH SHALL BE LIMITED IN LENGTH TO 10', AND ONLY ALLOWED WHEN BOTH ENDS ARE ACCESSIBLE.
- A DRIP LEG SHALL BE INSTALLED AT ALL GAS APPLIANCES.
- EXHAUST FROM ALL TOILET ROOMS SHALL DISCHARGE TO THE EXTERIOR.
- CONTRACTOR TO VERIFY NUMBER AND LOCATION OF RETURN AIR GRILLS TO ENSURE A BALANCED HEATING AND COOLING SYSTEM.
- PROVIDE ALL NECESSARY DRIP PANS, AND CONDENSATE LINES TO ENSURE A COMPLETE AND FUNCTIONAL INSTALLATION.

MECHANICAL PROJECT NOTES:

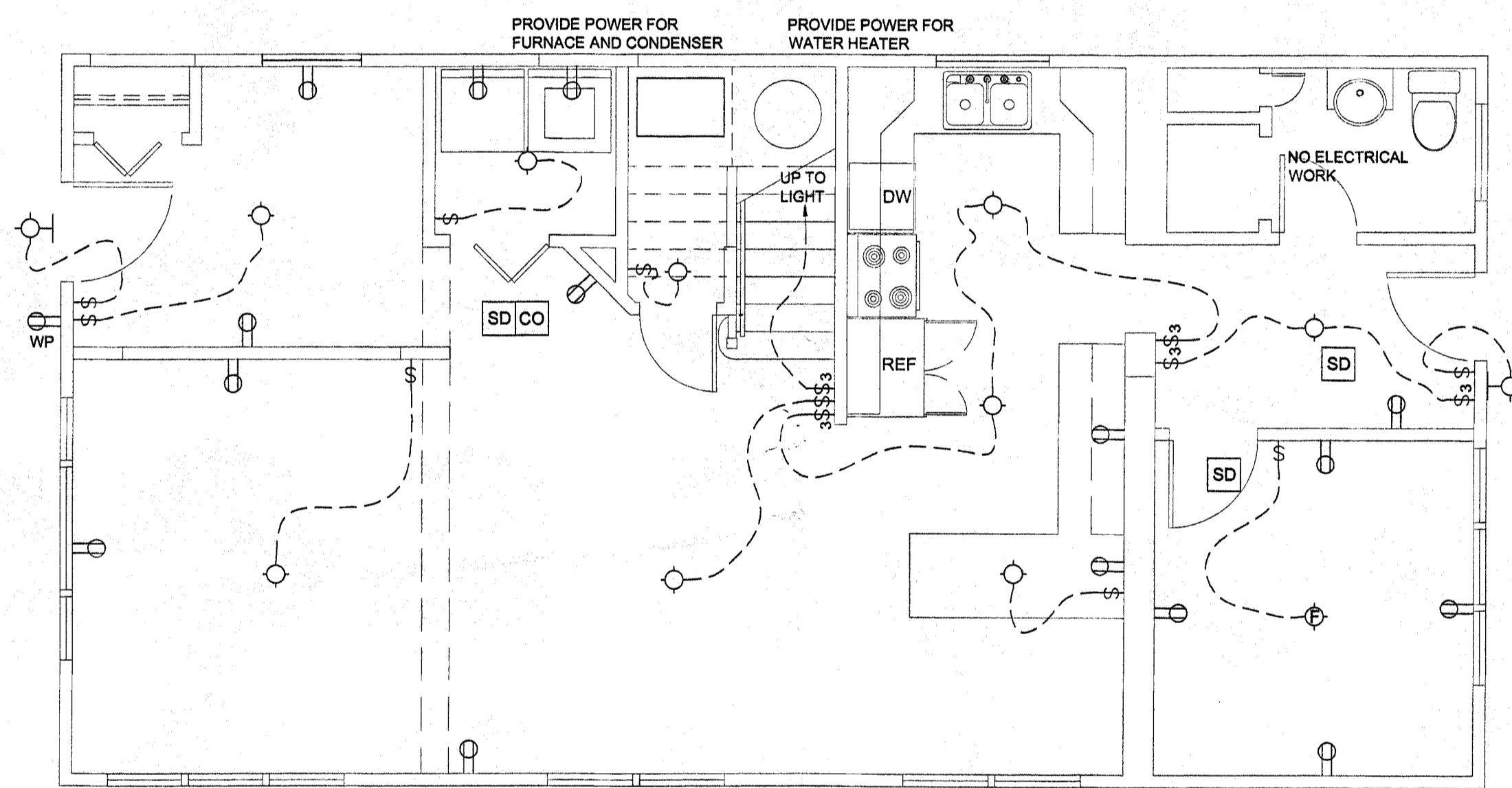
- THE MECHANICAL WORK INCLUDES USING THE EXISTING FURNACE AND CONDENSOR TO SERVE THE FIRST FLOOR ONLY.
- A NEW FURNACE WILL BE LOCATED IN THE ATTIC OVER THE SECOND FLOOR. IT WILL HAVE A CONDENSOR LOCATED NEAR THE EXISTING CONDENSOR.
- ALL DUCTWORK FOR THE SECOND FLOOR TO BE LOCATED IN THE ATTIC AND SHALL BE INSULATED.
- THE HVAC CONTRACTOR SHALL SIZE THE FURNACE, CONDENSOR, AND ALL DUCT WORK.

ELECTRICAL SYMBOL LEGEND

- BATHROOM FAN/LIGHT COMBINATION
- BRACED FAN J-BOX
- CEILING LIGHT
- WALL LIGHT
- DUPLEX RECEPTACLE
- SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- INTERCONNECTED SMOKE DETECTOR
- INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR

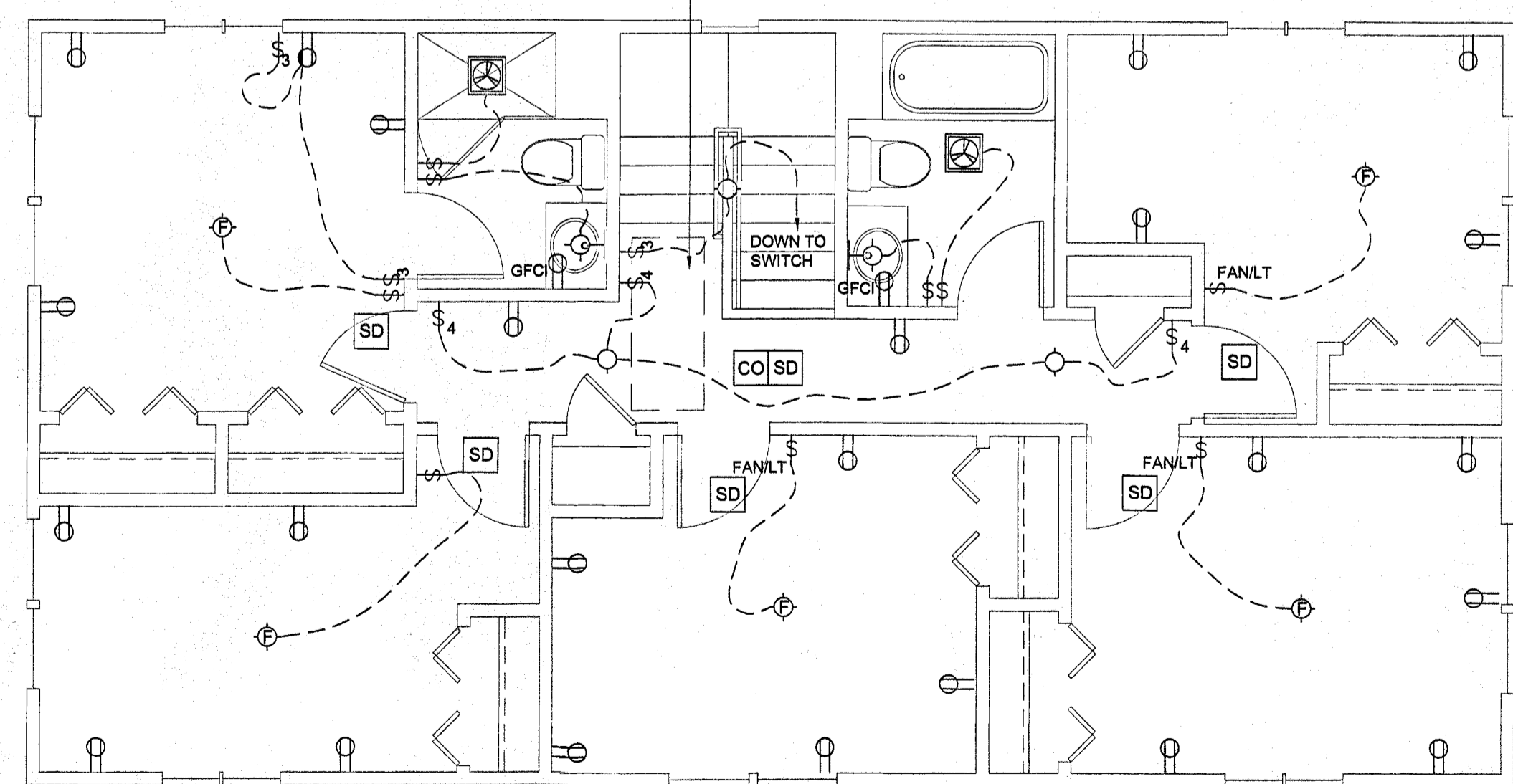
ELECTRICAL GENERAL NOTES:

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- GROUNDING SHALL COMPLY WITH LOCAL INSPECTION AUTHORITY.
- ALL MATERIALS USED SHALL BEAR THE UL LABEL AND BE OF THE APPROPRIATE NEMA STANDARD. ALL MATERIALS LOCATED NEAR A WATER SOURCE SHALL BE GROUND FAULT CIRCUIT INTERRUPTED. ALL MATERIALS LOCATED OUTSIDE SHALL BE WATER RESISTANT.
- LAYOUT IS DIAGRAMMATIC AND WORK SHALL BE INSTALLED TO MEET FIELD CONDITIONS AND EQUIPMENT SELECTED. PROVIDE SHOP DRAWINGS AS REQUIRED AND VERIFY ALL EQUIPMENT AND LAYOUT PRIOR TO INSTALLATION.
- FOR CLARITY OF ALL PLANS, SOME CONDUIT AND WIRE HAS NOT BEEN SHOWN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL COMPLETE AND OPERATING SYSTEMS, INCLUDING ALL CONDUIT AND WIRING.
- CONDUIT SHALL BE CONCEALED WHERE POSSIBLE. WHERE EXPOSED, CONDUIT SHALL BE RUN IN STRAIGHT LINES PARALLEL AND/OR PERPENDICULAR TO THE BUILDING STRUCTURE. CONDUITS INSTALLED IN AREAS SUBJECT TO DAMAGE SHALL BE RIGID GALVANIZED, OR INTERMEDIATE METAL TYPE. MINIMUM CONDUIT SHALL BE 1/2" DIAMETER TRADE.
- ALL CONDUCTORS SHALL BE COPPER, MINIMUM NUMBER 12 THHN.
- INSTALLATIONS REQUIRING FLEXIBLE CONNECTION SHALL BE IN FLEXIBLE METAL CONDUIT NOT TO EXCEED 6', WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR INSTALLED BETWEEN THE EQUIPMENT AND THE DISCONNECTION MEANS.
- ALL CONDUITS INSTALLED IN CONCRETE OR BELOW GRADE SHALL BE RIGID HEAVY WALL GALVANIZED STEEL OR INTERMEDIATE METAL GALVANIZED CONDUIT. ALL CONDUITS WHICH CONTAIN SERVICE ENTRANCE CONDUCTORS OR SUB FEED CONDUCTORS SHALL BE ENCASED IN MINIMUM FOUR INCHES OF SURROUNDING CONCRETE.
- ALL CONDUCTORS INSTALLED FOR LOW VOLTAGE APPLICATIONS SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING OR RIGID GALVANIZED STEEL CONDUIT IN ALL AREA THAT ARE NOT ACCESSIBLE.
- ALL CONDUCTORS SHALL BE INSTALLED IN RIGID HEAVY WALL GALVANIZED STEEL CONDUIT, INTERMEDIATE METAL CONDUIT OR ELECTRICAL METALLIC TUBING.
- WIRING SYSTEMS AND CONDUCTORS SHALL NOT BE INSTALLED IN ANY CONDUIT SYSTEM OR JUNCTION BOX UNTIL ALL WALL FINISHES ARE APPLIED.
- PROVIDE DISCONNECTING MEANS AT EACH FURNACE, HEATER, CONDENSER, WATER HEATER OR HEAT PUMP AND INSTALLED PER CITY/VILLAGE CODES.
- ALL RECEPTACLES SHALL BE MINIMUM 20A.
- PROVIDE AND MAINTAIN CODE-REQUIRED MINIMUM CLEARANCES FOR ALL ELECTRICAL PANELS.
- ELECTRICAL GROUNDING SHALL BE TO STREET SIDE OF METER, NOT JUMPERED.



1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



2 SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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SHEET CONTENTS: ELECTRICAL PLAN PLUMBING DIAGRAMS MEP NOTES			
SHEET NO. A-3			

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