



#2015-64

Crystal Pines Rehabilitation and Health Care Center Special Use Permit Amendment Project Review for Planning and Zoning Commission

Meeting Date: January 6, 2016

Requests:

1. Special Use Permit Amendment to allow the addition of a parking area.
2. Variations to
 - a) Article 4-200 C.4 to permit a parking area, which requires maneuvering from the public street.
 - b) Article 4-400 F.2.c from the requirement to provide a minimum 8-foot landscape area adjacent to a parking area.
 - c) Article 4-800 to allow variations in the required minimum and maximum lighting levels in the parking area.

Location: 335 N. Illinois Street

Acreage: 2.7 acre site

Existing Zoning: R-1 Single-Family Residential

Surrounding Properties:

North:	RE Residential Estate
South:	R-1 Single-Family Residential
East:	R-1 Single-Family Residential
West:	R-1 Single-Family Residential

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- **Existing Use:** This site currently has a Special Use Permit for a nursing home. Over the years, Crystal Pines has expanded to also provide rehabilitation services. As part of their services they provide training to nursing students. As the influx of students occurs during their training there is insufficient parking on site. The owners plan to provide 21 additional spaces.
- **Previous Approvals:**
 - 1995-15: Crystal Pines receives a Special Use Permit and variation for a side yard setback.
 - 1998-60: SUP Amendment to construct a building addition and an additional variation into the side yard setback.

Development Analysis:

General

- Request: Special Use Permit Amendment to allow the construction of a new parking area. Due to the lot constraints, they are not able to meet the minimum 8-foot interior landscape screening setback. Also, they would be working with the existing lighting on site and possibly install wall lights to illuminate the new parking area. The parking lot lighting may not meet the UDO requirements. Several parking spaces would be accessed from their drive aisle which is actually right-of-way, requiring that variation.
- Land Use: The land use map shows the area as Urban Residential. This land use designation allows other low-intensity residential style uses like a nursing home.
- Zoning: The site is zoned R-1 Single-Family Residential. The nursing home is allowed in this zoning district with a Special Use Permit, which they have.

Parking

- Parking for a nursing home is 1 space per 3 beds + 1 per employee on staff. Since Crystal Pines offers nursing training, their employee numbers fluctuate, requiring the need to provide additional parking.
- The new parking area would add 21 new parking spaces.

Landscape

- The petitioner is removing two trees, but maintaining all of the screening along the north side of the property.
- The petitioner is providing new landscaping around the parking area, which includes new parking lot islands containing trees and shrubs and screening along the west side.

Findings of fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit Amendment to allow a parking lot addition that requires a variation to the landscape screening setback and from the lighting requirements. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.

Meets *Does not meet*

4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.

Meets *Does not meet*

5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.

Meets *Does not meet*

6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.

Meets *Does not meet*

7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.

Meets *Does not meet*

8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.

Meets *Does not meet*

9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.

Meets *Does not meet*

10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.

Meets *Does not meet*

ZONING ORDINANCE VARIATION

The petitioner is requesting several variations:

- a) Article 4-200 C.4 to permit a parking area, which requires maneuvering from the public street.
- b) Article 4-400 F.2.c from the requirement to provide a minimum 8-foot landscape area adjacent to a parking area.
- c) Article 4-800 to allow variations in the required minimum and maximum lighting levels in the parking area.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.
 Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.
 Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
 Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets

Does not meet

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family and low-intensity residential style uses. This project meets the following goal:

Land Use - Commerce

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request to approve a Special Use Permit Amendment and Variations is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Crystal Pines, received 12/09/15)
 - B. Plat of Survey (Mionske, dated 07/02/2000, received 12/09/15)
 - C. Site Plan (Intech Consultants, Inc, dated 10/28/15, received 12/09/15)
 - D. Landscape Plan (Design Perspectives, dated 11/02/15, received 12/09/15)
2. The petitioner shall work with staff to provide sufficient lighting to the parking area so the area is safe, but lighting levels shall not shine into adjacent properties and meet the maximum light levels at the property lines.
3. Provide a Plat of Easement for the new MUE easement for the relocated watermain and fire hydrant, which includes language for the municipal maintenance agreement.
4. Provide wheel stops for the west side parking spaces.
5. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments.

**City of Crystal Lake
Development Application**

2015 64

Office Use Only
File # _____

Project Title: 335 N. Illinois Street/Crystal Pines Rehabilitation and Health Care Center

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit Amendment |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

RECEIVED
DEC 09 2015
BY: _____

Petitioner Information

Name: Crystal Pines Rehabilitation and Health Care Center
Address: c/o George Holler
7611 State Line Road, Ste. 301
Kansas City, MO 64114
Phone: 816-278-3104
Fax: 816-276-0104
E-mail: georgeh@tutera.com

Owner Information (if different)

Name: TI - Crystal Lake, LLC
Address: 7611 State Line Road, Suite 301
Kansas City, MO 64114
Phone: 816-278-3104
Fax: 816-276-0104
E-mail: georgeh@tutera.com

Property Information

Project Description: Parking lot expansion to accommodate residents, guests and employees of facility.

Project Address/Location: 335 N. Illinois Street, Crystal Lake, IL 60014

PIN Number(s): 14-33-151-007

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: _____

Attorney: Kelly A. Cahill, Zukowski, Rogers, Flood & McArdle, 50 Virginia Street,
Crystal Lake, IL 60014; 815-459-2050; 815-459-9057; kcahill@zrfmlaw.com

Engineer: Edward F. Seifert, PE, Intech Consultants, Inc., 1989 University Lane, Suite D,
Lisle, IL 60532; 630-966-5656; 630-964-5052; seifert@intechconsultants.com

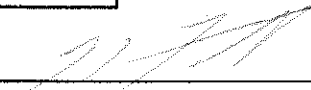
Landscape Architect: _____

Planner: _____

Surveyor: _____

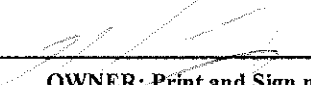
Other: _____

Signatures

 JOE TUTERA 12/4/15

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

 JOE TUTERA 12/4/15

OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

[Back to Results](#)

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE IN THE MATTER OF THE APPLICATION OF TI - Crystal Lake, LLC, as Owner and Crystal Pines Rehabilitation and Health Care Center, Petitioner LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of TI - Crystal Lake, LLC, Owner and Crystal Pines Rehabilitation and Health Care, Petitioner, for variations relating to the property located at 335 N. Illinois Street, Crystal Lake, IL 60014 consisting of 2.76 acres, PIN No. 14-33-151-007, currently zoned R-2 and any amendment to the existing special use permit, if deemed necessary. This application is filed for the purposes of seeking any and all necessary variances to permit the expansion of the existing parking lot to provide adequate parking for business patrons and employees on the Subject Property, and specifically a variance from Article 4, Section 4-200 C.4., to allow parking access that requires maneuvering off the public street, a variation from Section 4-400 F.2.c., perimeter landscaping not abutting rights-of-way to reduce the 8-foot minimum width, any variances necessary from the requirements of Article 4-800 regarding minimum and maximum lighting standards for parking lots, and any and all variances and amendments necessary for development of this project. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday, January 6, 2016, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Thomas Hayden, Chair Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald December 11, 2015.) 1140701

CITY OF
Crystal Lake Illinois



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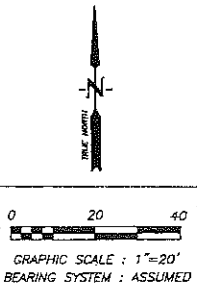
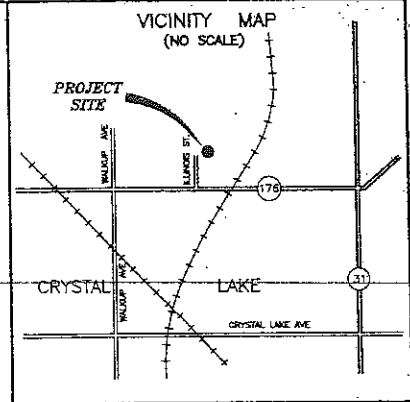
2015 64

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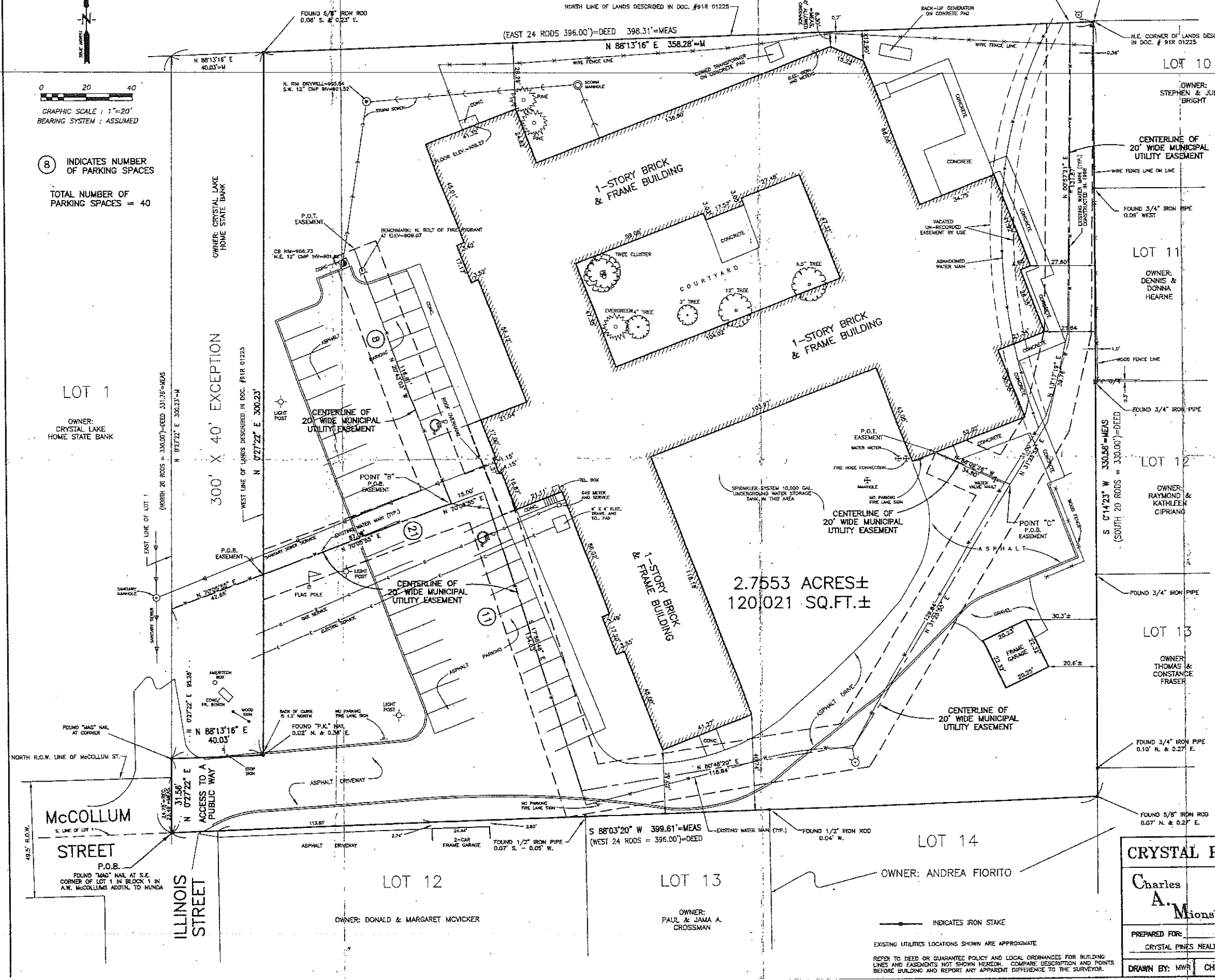
PLAT OF SURVEY

OWNER:
CRYSTAL LAKE
PARK DISTRICT

Crystal Pines Health Care Center
FHA Project No. 071-22030
Crystal Lake, McHenry County, Illinois
Date: 7-2-2000 2.7553 Acres 120,021 Square Feet



8 INDICATES NUMBER OF PARKING SPACES
TOTAL NUMBER OF PARKING SPACES = 40



BOUNDARY LEGAL DESCRIPTION
Part of the West Half of the Northwest Quarter of Section 33, described as follows: Beginning at the Southeast corner of Lot 1 in Block 1 of Aury W. McCollum's Addition to Nunda, being a subdivision of part of the West Half of the Northwest Quarter of Section 33, Township 44 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof recorded on December 6, 1899, as Document No. 7291 in Book 1 of Plots, page 76; thence North along the East line of Lot 1, 20 rods; thence East 24 rods; thence South 20 rods; thence West 24 rods to the place of beginning, in Township 44 North, Range 8 East of the Third Principal Meridian, (Excepting and reserving therefrom the North 300 feet of the West 40 feet of the above described real estate), in McHenry County, Illinois.

MUNICIPAL UTILITY EASEMENT DESCRIPTION
A 20-foot wide Municipal Utility Easement over that part of the West Half of the Northwest Quarter of Section 33, Township 44 North, Range 8 East of the Third Principal Meridian, the centerline of which is described as follows: Commencing at the Southeast corner of Lot 1 in Block 1 of Aury W. McCollum's Addition to Nunda, being a subdivision of part of the West Half of the Northwest Quarter of Section 33, Township 44 North, Range 8 East of the Third Principal Meridian, according to the plat thereof recorded December 5, 1899, as Document #7291 in Book 1 of Plots, page 75, in McHenry County, Illinois, said point being 23.49 feet South of the North right-of-way line of McCollum Street; thence North 07° 22' East along said East line of said Lot 1 for a distance of 95.28 feet; thence North 70° 05' 55" East for a distance of 42.56 feet to the point of beginning of said centerline description, said point also being on the West line of lands described in Document #918 01225 in McHenry County, Illinois; thence continuing North 70° 05' 55" East along said centerline for a distance of 87.08 feet to a point hereafter referred to as point "B"; thence continuing North 70° 05' 55" East along said centerline for a distance of 15.00 feet; thence South 17° 58' 48" East along said centerline for a distance of 134.03 feet; thence North 80° 48' 20" East along said centerline for a distance of 118.84 feet; thence North 31° 25' 55" East along said centerline for a distance of 123.84 feet to a point hereafter referred to as point "C"; thence continuing North 31° 25' 55" East along said centerline for a distance of 31.00 feet; thence North 13° 17' 19" East along said centerline for a distance of 39.76 feet; thence North 07° 57' 21" East along said centerline for a distance of 33.87 feet to a point of termination of said centerline; said point being located on the North line and 10.00 feet West of the Northeast corner of said lands described in Document #918 01225, All located in the City of Crystal Lake, in McHenry County, Illinois. And also:

A 20-foot wide Municipal Utility Easement over that part of the West Half of the Northwest Quarter of Section 33, Township 44 North, Range 8 East of the Third Principal Meridian, the centerline of which is described as follows: Beginning at the aforesaid point "B"; thence North 20° 43' 03" West along said centerline for a distance of 116.81 feet to a point of termination. All located in the City of Crystal Lake, in McHenry County, Illinois. And also:
A 20-foot wide Municipal Utility Easement over that part of the West Half of the Northwest Quarter of Section 33, Township 44 North, Range 8 East of the Third Principal Meridian, the centerline of which is described as follows: Beginning at the aforesaid point "C"; thence North 66° 09' 26" West along said centerline for a distance of 34.80 feet to a point of termination. All located in the City of Crystal Lake, in McHenry County, Illinois.

STATE OF ILLINOIS S.S.
COUNTY OF MCHENRY

I HEREBY CERTIFY to the U.S. Department of Housing and Urban Development (HUD), Midwest Care Center, Inc., AM Capital, Inc., and Chicago Title Insurance Company, and to their successors and assigns, that:

I made an on the ground survey per record description of the land shown hereon located in Crystal Lake, McHenry County, Illinois, on July 2, 2000; and that it and this map was made in accordance with the HUD Survey Instructions and Report, Form HUD-2457, and the requirements for an Urban Survey, as defined in the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys dated 1992.

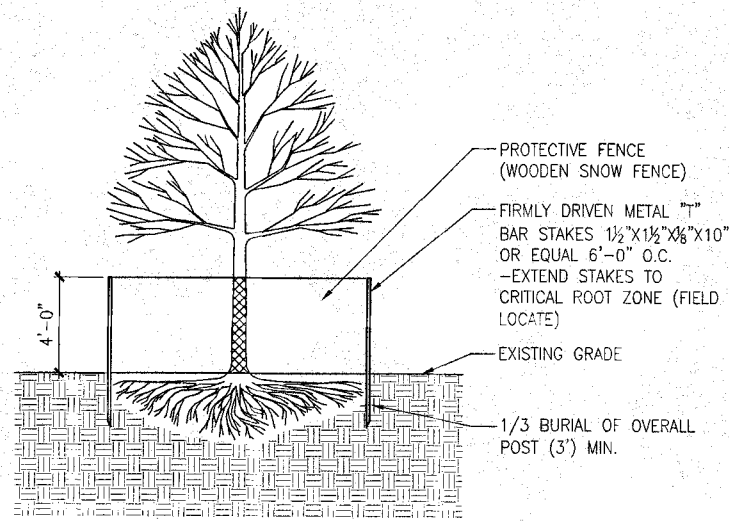
To the best of my knowledge, belief and information, except as shown hereon: There are no encroachments either way across property lines; title lines and lines of actual possession are the same; and the premises are free of any 100/500 year return frequency flood hazard, and such flood free condition is shown on the Federal Flood Insurance Rate Map, Community Panel No. 17047B 0002 C, dated September 4, 1985.

CHARLES A. MIONSKE, INC.
Date: July 2, 2000
Charles A. Mionske
Charles A. Mionske
Professional Land Surveyor No. 1780

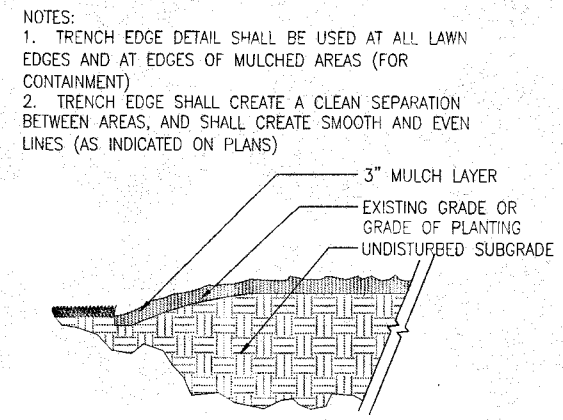
CRYSTAL PINES HEALTH CARE CENTER SURVEY

Charles A. Mionske Inc.	SURVEYING / LAND PLANNING 2024 STATE ROUTE 178 CRYSTAL LAKE, ILLINOIS 60014 (815)-455-3252	SCALE: 1" = 20' DATE: 7-2-2000 DATE OF FIELD WORK: 6-30-2000	REVISIONS
	PREPARED FOR: CRYSTAL PINES HEALTH CARE CENTER	ADDRESS: 335 ILLINOIS STREET	
DRAWN BY: MWP	CHECKED BY: CAM	JOB NO. 2000-186	

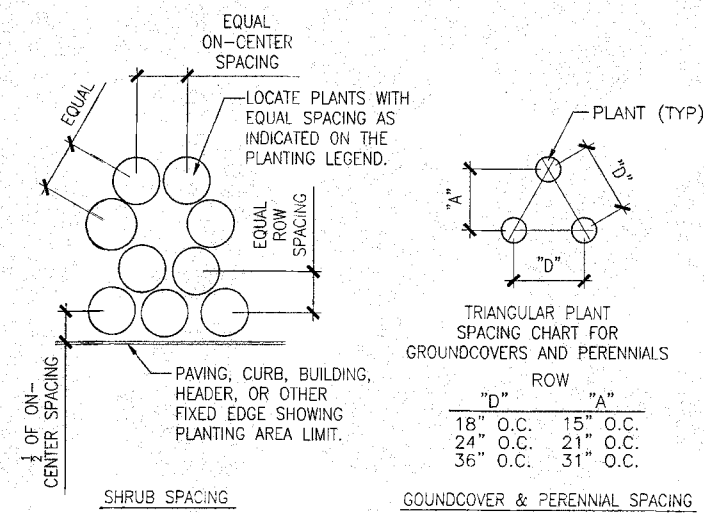
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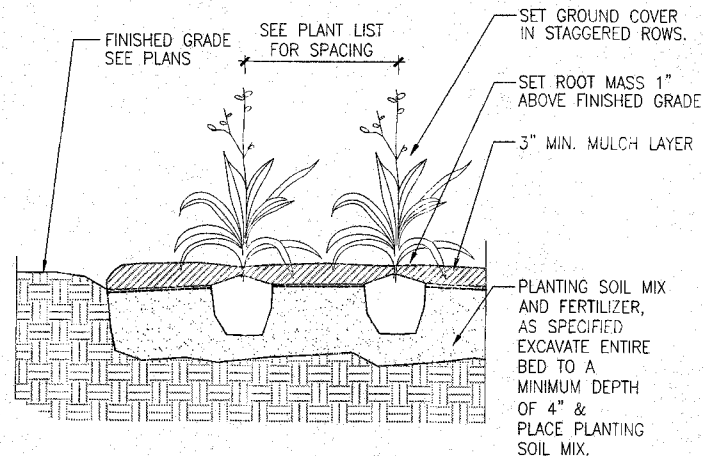
TREE PROTECTION FENCE
SCALE: NTS LS_Tree_Protection



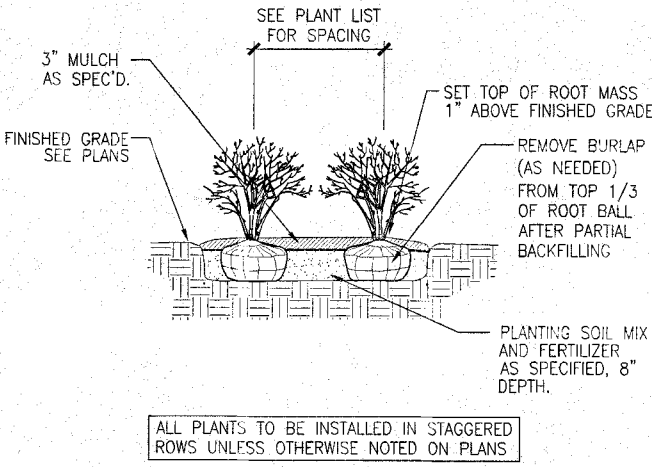
TRENCH EDGE DETAIL
SCALE: 1/2"=1'-0" DT-16-trench-gyn



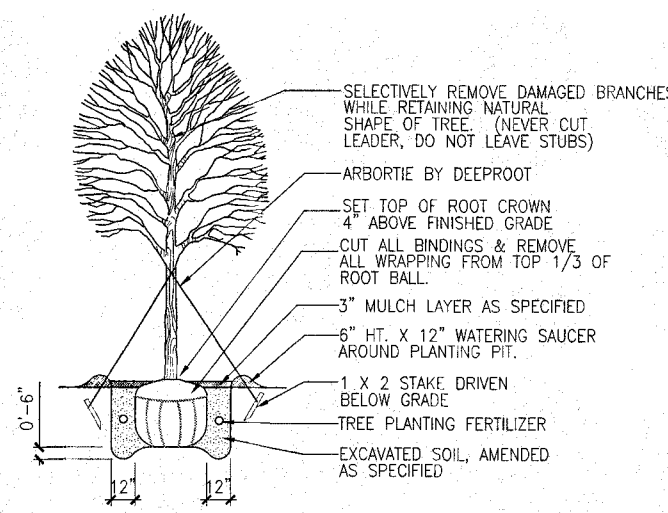
PLANT SPACING DETAIL
SCALE: 1/2"=1'-0" DT-plantspace-gyn



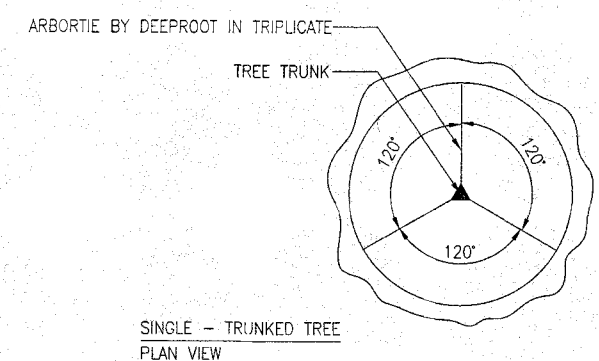
GROUNDCOVER PLANTING
SCALE: 1"=1'-0" DT-groundcover-gyn



SHRUB PLANTING DETAIL
SCALE: 1/2"=1'-0" DT-shrub-gyn



SHADE TREE PLANTING
SCALE: 1/4"=1'-0" DT-tree-w-wire-gyn



TREE GUYING DETAIL - SHADE TREE
SCALE: 1/4"=1'-0" DT-tree-w-wire-gyn-plan

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. SEE CONSTRUCTION NOTES.
2. DO NOT WILLFULLY PROCEED WITH PLANTINGS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY NECESSARY REVISIONS AND COSTS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AND/OR SUPPLIERS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. THE LANDSCAPE CONTRACTOR IS TO RECEIVE THE SITE AT +/- 1/10TH OF AN INCH. THE LANDSCAPE CONTRACTOR SHALL OBTAIN A LETTER OF GRADE FROM THE GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.
5. REFER TO SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.
6. ALL TREES SHALL BE TAGGED BY THE PROJECT MANAGER AT A NURSERY SELECTED BY THE LANDSCAPE CONTRACTOR OR AT THE DISCRETION OF THE PROJECT MANAGER.
7. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE PROJECT MANAGER PRIOR TO DIGGING ANY HOLES. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROJECT MANAGER ADEQUATE ADVANCE NOTICE FOR ON-SITE APPROVALS. THE LANDSCAPE CONTRACTOR IS TO THE FOLLOWING BEFORE BEGINNING INSTALLING PLANTINGS:
SHRUBS - LAY OUT THE ACTUAL CONTAINERS ON-SITE BEFORE DIGGING HOLES.
TREES - STAKE THE LOCATIONS BEFORE DIGGING HOLES. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE PROJECT MANAGER MAY BE REQUESTED TO BE RELOCATED AT THE SOLE EXPENSE OF THE LANDSCAPE CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AT LEAST 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
9. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE PROJECT MANAGER FOR RESOLUTION.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANTS FREE OF PESTS AND/OR DISEASES. PRE-SELECTED OR "PROJECT MANAGER TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.
11. GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS INDICATED ON THE PLANS.
12. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, UNLESS OTHERWISE NOTED.
13. ALL TREES, SHRUB AND GROUNDCOVER AREAS (EXCLUDING TURF AND SLOPE AREAS) ARE TO BE MULCHED PER DETAILS.
14. ALL MULCH TO BE SHREDDED HARDWOOD MULCH.
15. TREES SHALL BE SET BACK A MINIMUM OF TEN FEET (10') HORIZONTALLY FROM UTILITY STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES, FIRE HYDRANTS, TRANSFORMERS AND SWITCH CANS. TREES SHALL BE SET BACK A MINIMUM OF FIVE (5') HORIZONTALLY FROM SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS UNDER THE APPROVAL OF OWNER. REFER TO CIVIL DRAWINGS PREPARED BY OTHERS.
16. PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.
 1. SPRING PLANTING: 4/1 - 6/15
 2. FALL PLANTING: 9/1 - 11/1

PLANTING NOTES
SCALE: NTS DT-plantnote-gyn

CRYSTAL PINES PARKING LOT ADDITION

TUTERA SENIOR LIVING
7611 STATE LINE RD.
SUITE 301
KANSAS CITY, MO
64114



1280 Iroquois Avenue
Suite 110
Naperville, Illinois 60563
Telephone: (630) 428-3134
Fax: (630) 428-3159
www.design-perspectives.net

In Association With

REV.	COMMENT	DATE

SEAL:

DATE: 11/2/2015
JOB NO.: 2015-013
DRAWN BY: MJA
CHECKED BY: TS

DRAWING TITLE:
LANDSCAPE DETAILS

SHEET NO.:
LP-500

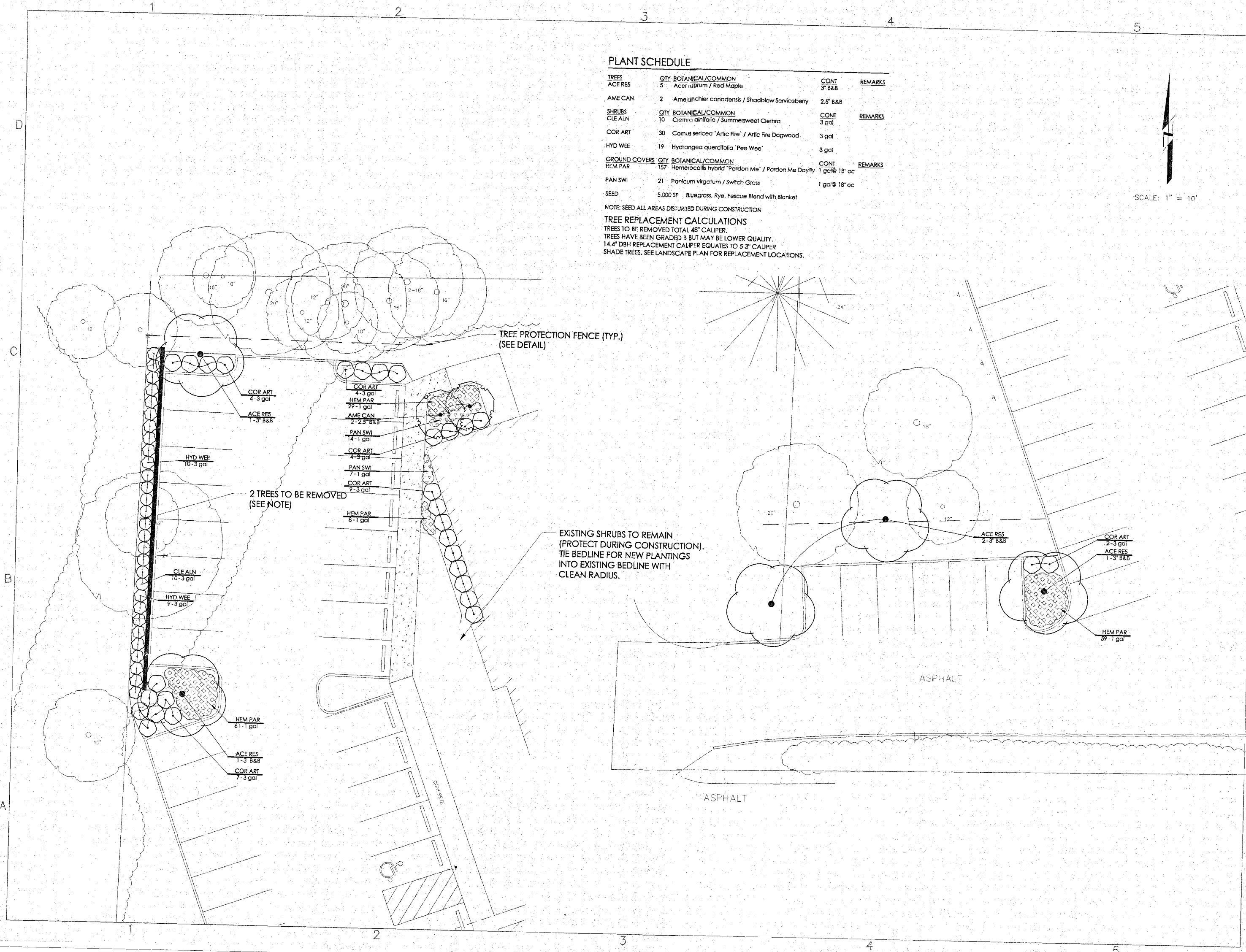
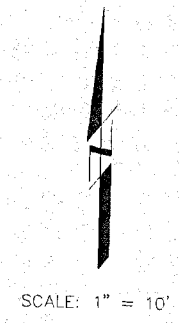
PLANT SCHEDULE

TREES	QTY	BOTANICAL/COMMON	CONT	REMARKS
ACE RES	5	Acer rubrum / Red Maple	3" B&B	
AME CAN	2	Ameiarchier canadensis / Shadblow Serviceberry	2.5" B&B	
SHRUBS	QTY	BOTANICAL/COMMON	CONT	REMARKS
CLE ALN	10	Clethra alnifolia / Summersweet Clethra	3 gal	
COR ART	30	Comus sericea "Artic Fire" / Artic Fire Dogwood	3 gal	
HYD WEE	19	Hydrangea quercifolia "Pee Wee"	3 gal	
GROUND COVERS	QTY	BOTANICAL/COMMON	CONT	REMARKS
HEM PAR	157	Hemerocallis hybrid "Pardon Me" / Pardon Me Daylily	1 gal @ 18" oc	
PAN SWI	21	Panicum virgatum / Switch Grass	1 gal @ 18" oc	
SEED	5,000 SF	Bluegrass, Rye, Fescue Blend with Blanket		

NOTE: SEED ALL AREAS DISTURBED DURING CONSTRUCTION

TREE REPLACEMENT CALCULATIONS

TREES TO BE REMOVED TOTAL 48" CALIPER.
 TREES HAVE BEEN GRADED B BUT MAY BE LOWER QUALITY.
 14.4" DBH REPLACEMENT CALIPER EQUATES TO 5.3" CALIPER
 SHADE TREES. SEE LANDSCAPE PLAN FOR REPLACEMENT LOCATIONS.



**CRYSTAL PINES
 PARKING LOT
 ADDITION**

**TUTERA SENIOR
 LIVING**
 7611 STATE LINE RD.
 SUITE 301
 KANSAS CITY, MO
 64114



1280 Iroquois Avenue
 Suite 110
 Naperville, Illinois 60563
 Telephone: (630) 428-3134
 Fax: (630) 428-3159
 www.design-perspectives.net

In Association With

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BY:

2015 64

REV.	COMMENT	DATE

SEAL:

DATE: 11/2/2015
 JOB NO.: 2015-013
 DRAWN BY: MJA
 CHECKED BY: TS

DRAWING TITLE:
**LANDSCAPE
 PLAN**

SHEET NO.:
 LP-100

FINAL ENGINEERING

CRYSTAL PINES PARKING LOT ADDITION

335 N. ILLINOIS STREET
CRYSTAL LAKE, ILLINOIS 60014

OWNER/DEVELOPER:

TUTERA SENIOR LIVING
7611 STATE LINE ROAD, SUITE 301
KANSAS CITY, MO 64114

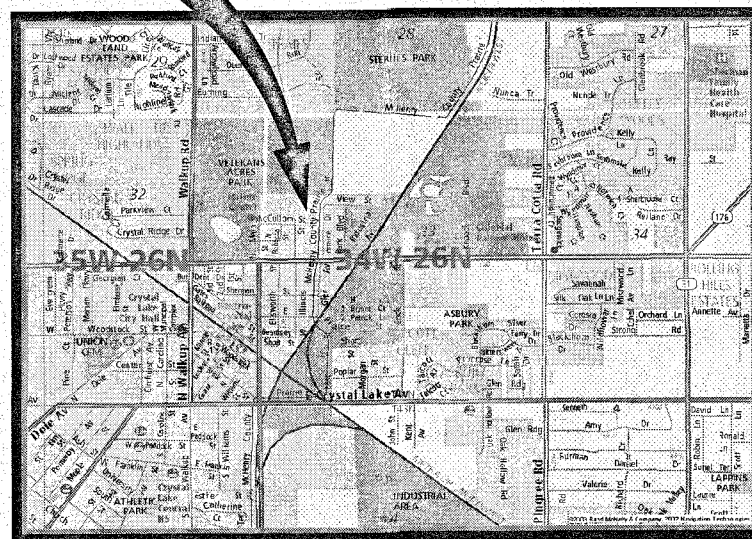
ENGINEER:

INTECH CONSULTANTS, INC.
1989 UNIVERSITY LANE, SUITE D
LISLE, ILLINOIS 60532-4500
PHONE NO.: 630-964-5656
E-MAIL: seifert@intechconsultants.com
ILLINOIS REGISTRATION NUMBER 184-001040

INDEX

1. COVER SHEET
2. EXISTING CONDITIONS
3. GEOMETRIC PLAN
4. GRADING, SOIL EROSION & UTILITY PLAN
5. SPECIFICATIONS
6. CRYSTAL LAKE NOTES AND SPECIFICATIONS
7. DETAILS

SITE



LOCATION MAP

NOT TO SCALE

BENCHMARKS

CONTROL BENCHMARKS:

NORTHWEST CORNER OF MAIN STREET AND WOODSTOCK STREET, CRYSTAL LAKE, NGS (NATIONAL GEODETIC SURVEY) CONTROL MONUMENT DESIGNATION "CRYSTAL LAKE 2A" PID A12859.
DATUM POINT THROUGH 6" LOGO CAP.
ELEVATION 928.39 (NAVD 88)

NGS (NATIONAL GEODETIC SURVEY) CONTROL MONUMENT DESIGNATION MCH176 2A, PID-A12865, 200' EAST OF THE WEST ENTRANCE TO LIPPOLD PARK, SOUTH OF ILLINOIS ROUTE 176.
DATUM POINT THROUGH 6" LOGO CAP.
ELEVATION 907.24 (NAVD 88)

SITE BENCHMARK:

FINISH FLOOR AT WEST ENTRANCE OF BUILDING.
ELEVATION 908.23

LEGEND

EXISTING	PROPOSED	
		SANITARY SEWER
		WATERMAIN
		STORM SEWER
		UNDERGROUND ELECTRIC LINE
		OVERHEAD WIRES
		GAS LINE
		TELEPHONE LINE
		FENCE
		SILT FENCE
		FIRE HYDRANT
		VALVE IN VAULT
		VALVE AND BOX
		INLET
		CATCH BASIN
		MANHOLE WITH OPEN LID
		MANHOLE WITH CLOSED LID
		FLARED END SECTION
		WATER SERVICE
		SANITARY SERVICE
		LIGHT POLE
		YARD LIGHT
		LIGHT POLE (MAST ARM)
		POWER POLE
		GUY WIRE
		HAND HOLE
		PEDESTAL
		SIGN
		CURB & GUTTER
		REVERSE PITCH CURB & GUTTER
		CONCRETE SIDEWALK
		SPOT ELEVATION
		CONTOUR
		OVERLAND FLOW
		DECIDUOUS TREE
		EVERGREEN
		SHRUB
		BUSHES
		CALLOUT FOR SANITARY MANHOLE
		FINISH GRADE AT HYDRANT
		VAULT RIM ELEVATION
		CALLOUT FOR STORM STRUCTURE RIM SAME AS T.C. WHEN IN CURB

2015 64

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BY: _____

FOR UNDERGROUND UTILITY
LOCATIONS, CALL
J.U.L.I.E.
TOLL FREE
TEL. 800-892-0123

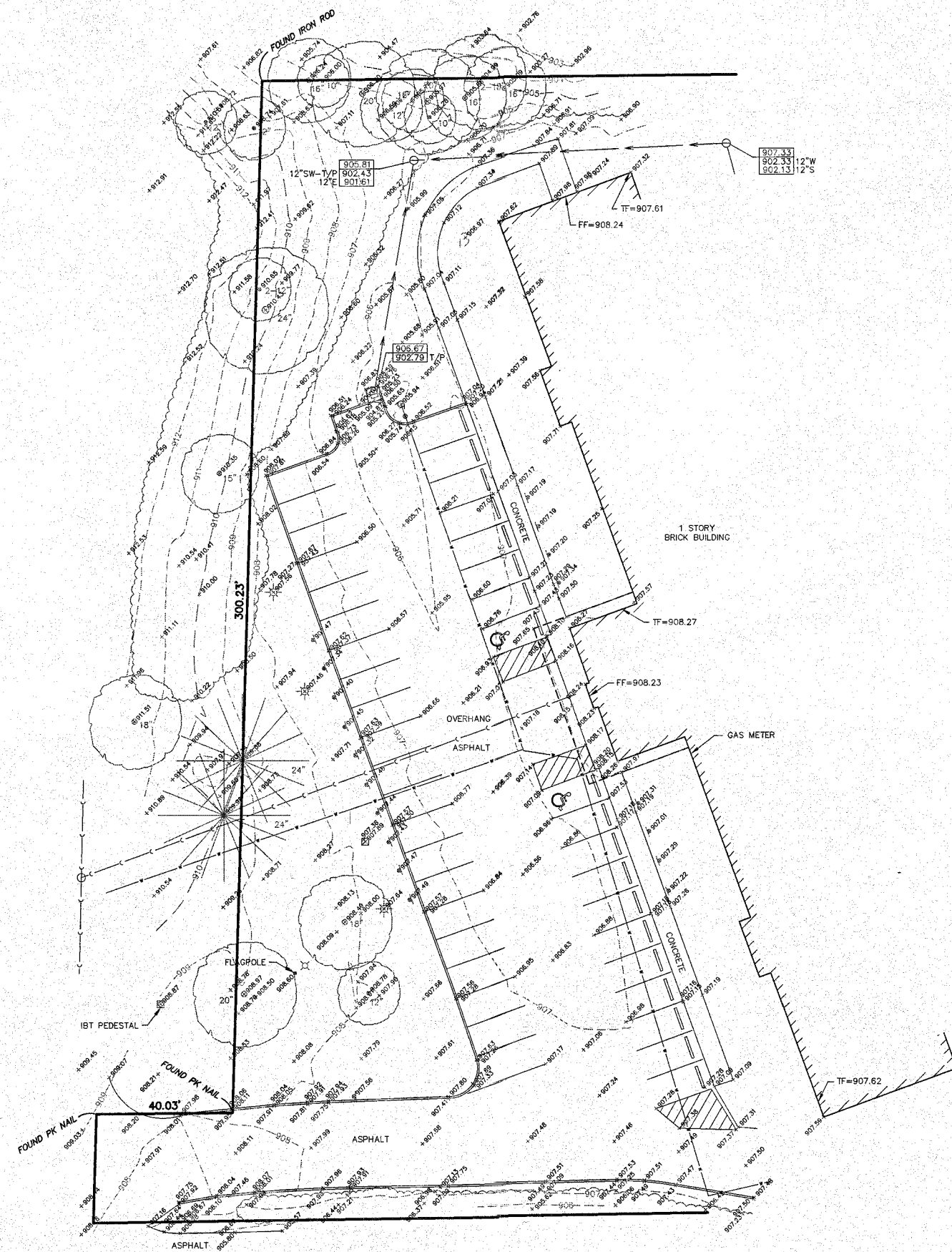
REVIEW SET
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<p>INTECH CONSULTANTS, INC. ENGINEERS - SURVEYORS 1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS 60532 PHONE: 630-964-5656 ILLINOIS REGISTRATION No. 184-001040</p>	<p>DATE _____ NO. _____ BY _____</p>
<p>TUTERA SENIOR LIVING 7611 STATE LINE ROAD SUITE 301 KANSAS CITY, MO 64114</p>	<p>CRYSTAL PINES PARKING LOT ADDITION</p>
<p>COVER SHEET</p>	
<p>SCALE NONE DATE 10-28-15 DRAWN SJP DESIGNED EFS PROJECT NO. 2015-013 SHEET 1 OF 7</p>	

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CRYSTAL PINES PARKING LOT ADDITION

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SCALE: 1" = 20'

LEGEND

EXISTING	
	STORM SEWER
	FIRE HYDRANT
	VALVE IN VAULT
	INLET
	MANHOLE WITH OPEN LID
	LIGHT POLE
	YARD LIGHT
	HAND HOLE
	PEDESTAL
	SIGN
	CURB & GUTTER
	SPOT ELEVATION
	CONTOUR
	TREE
	PINE
	TREE LINE
	CALLOUT FOR STORM STRUCTURE

INTECH CONSULTANTS, INC.
ENGINEERS - SURVEYORS
1888 UNIVERSITY LANE, SUITE D
LISLE, ILLINOIS 60532
PHONE: 630-994-6656
ILLINOIS REGISTRATION No. 184-001040

TUTERA SENIOR LIVING
7611 STATE LINE ROAD
SUITE 301
KANSAS CITY, MO 64114

CRYSTAL PINES
PARKING LOT ADDITION

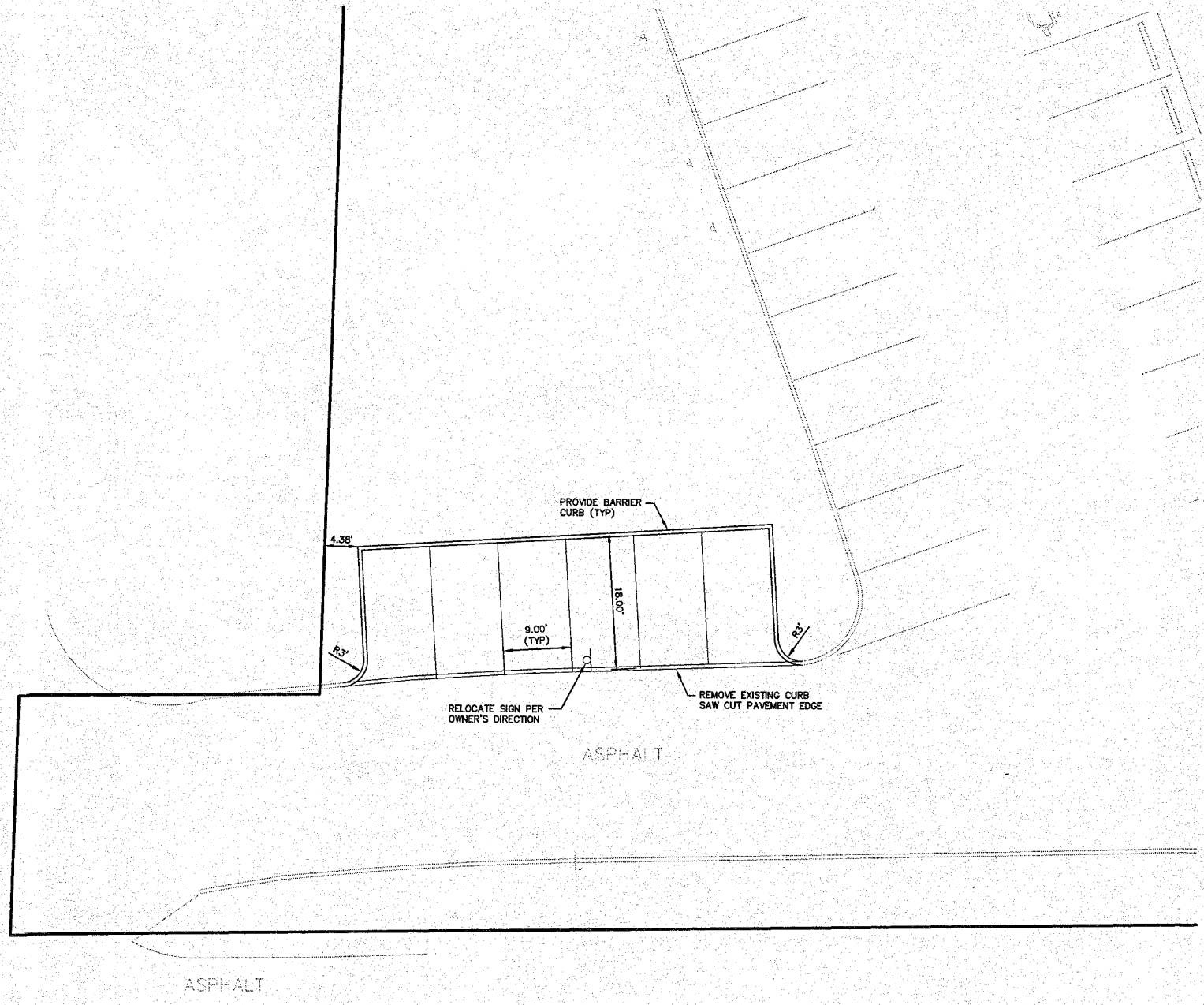
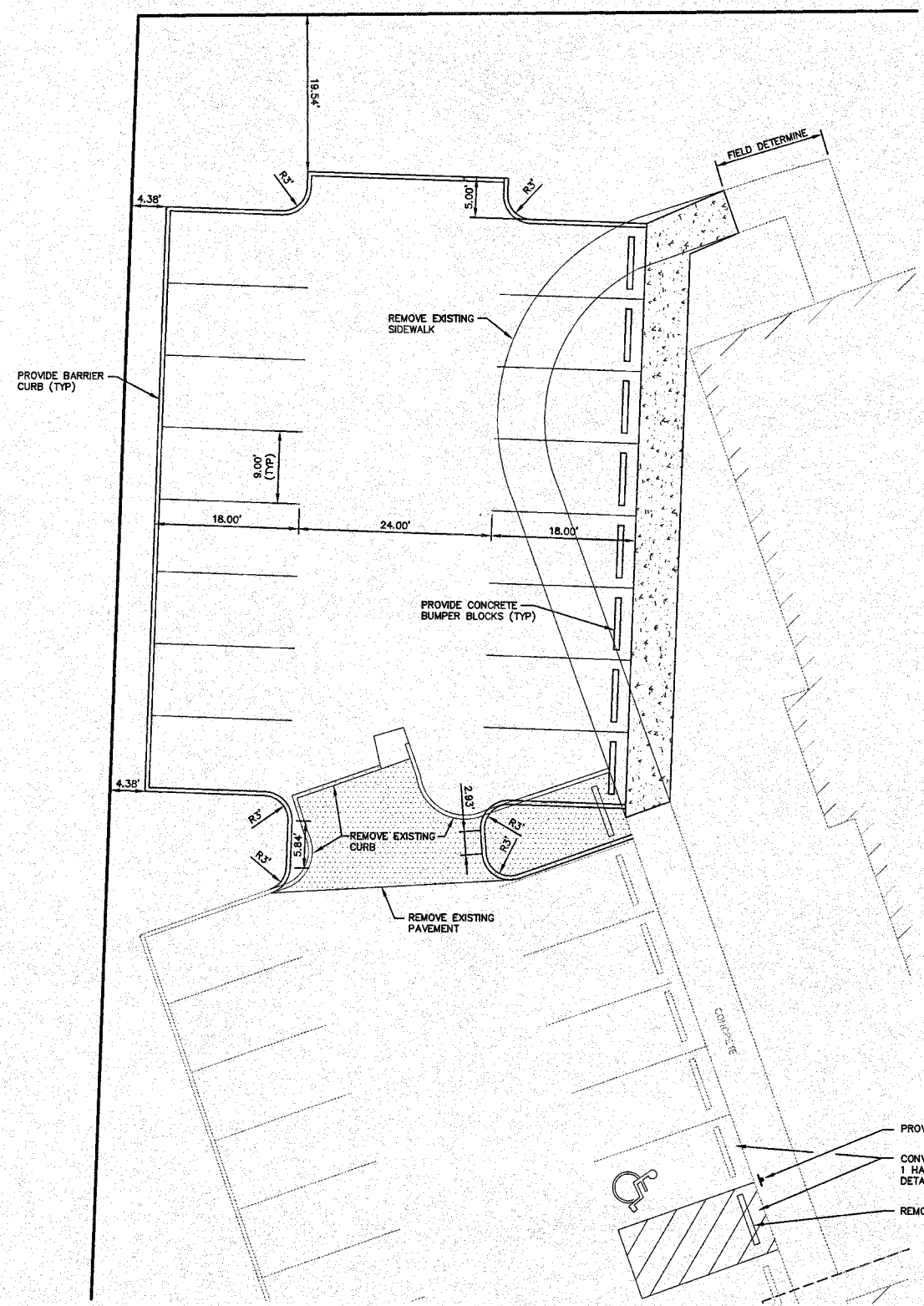
EXISTING
CONDITIONS

SCALE	1"=20'
DATE	10-28-15
DRAWN	SJP
DESIGNED	EF5
PROJECT NO.	2015-013
SHEET	2 OF 7

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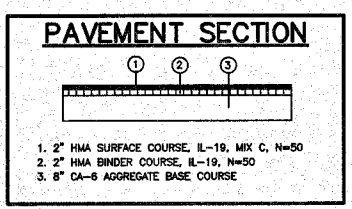
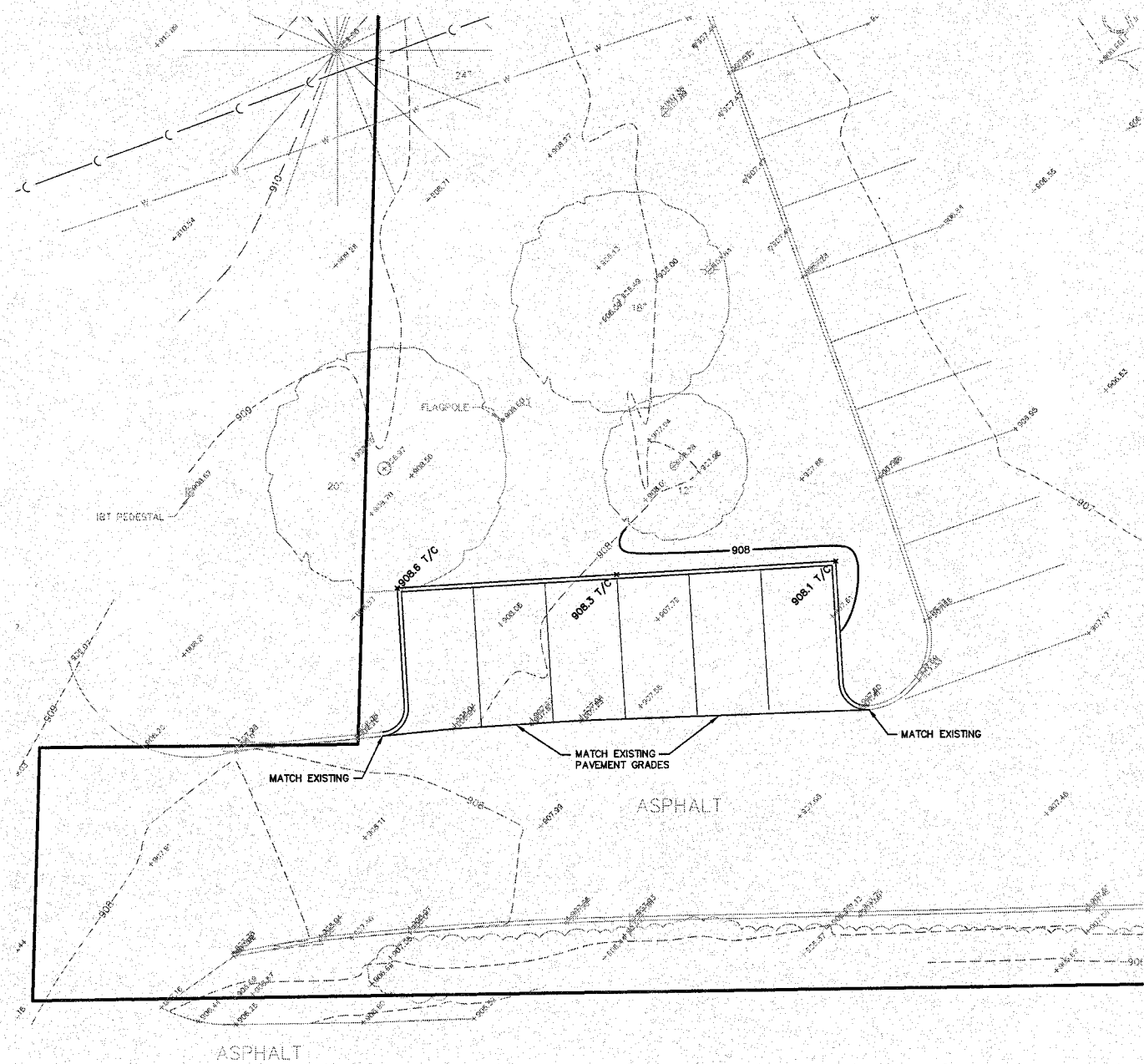
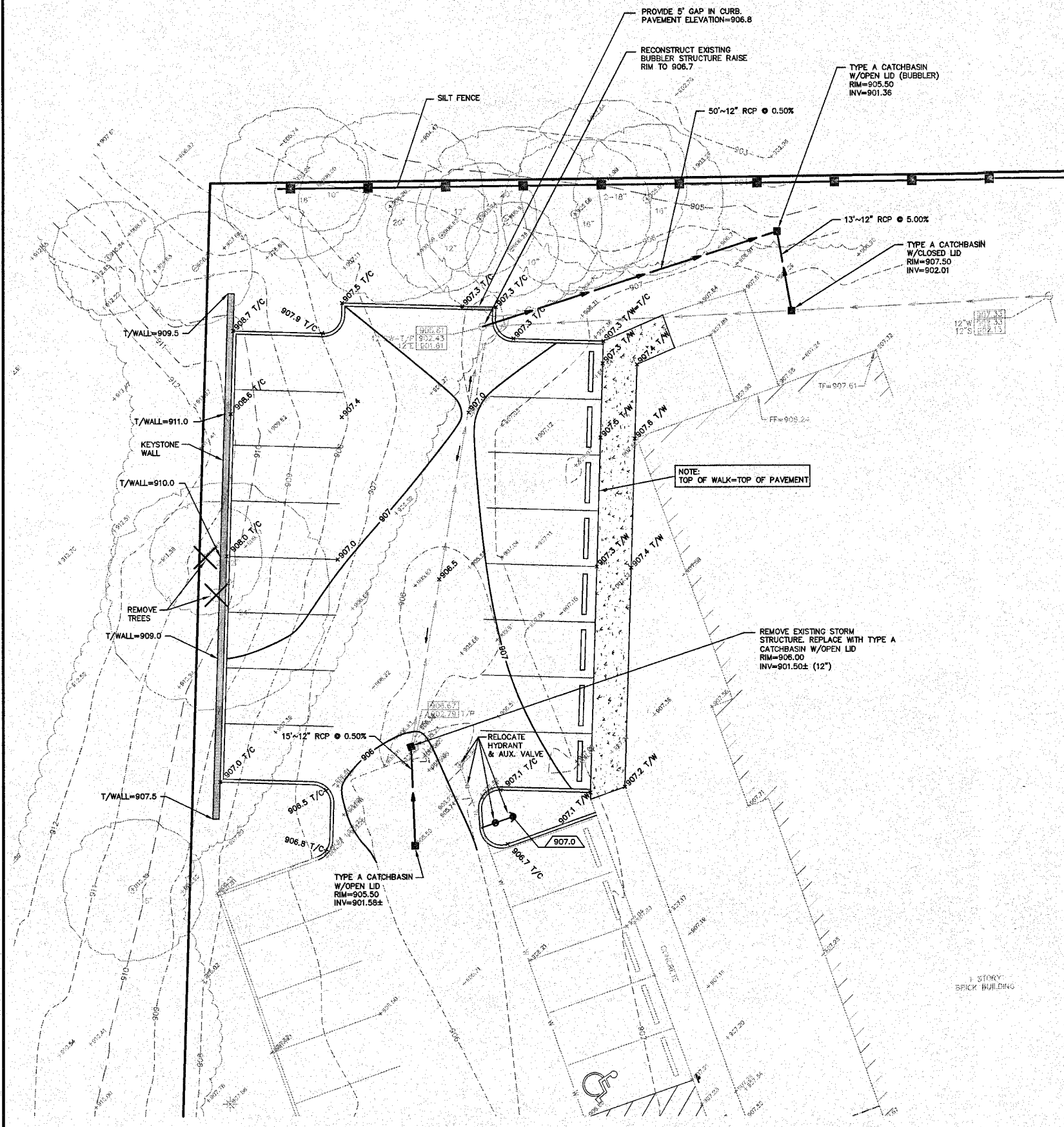


SCALE: 1" = 10'

REVIEW SET
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INTECH CONSULTANTS, INC. ENGINEERS - SURVEYORS 1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS 60532 PHONE: 833-964-5656 ILLINOIS REGISTRATION NO. 184-001066	
TUTERA SENIOR LIVING 7611 STATE LINE ROAD SUITE 301 KANSAS CITY, MO 64114	DATE: _____ NO. _____ REVISION: _____ BY: _____
CRYSTAL PINES PARKING LOT ADDITION	
GEOMETRIC PLAN	
SCALE: 1"=10' DATE: 10-28-15 DRAWN: SJP DESIGNED: EFS PROJECT NO.: 2015-013 SHEET 3 OF 7	

SCALE: 1" = 10'



REVIEW SET
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INTECH CONSULTANTS, INC. 1080 UNIVERSITY LANE, SUITE D URBANA, ILLINOIS 60532 PHONE: 630-984-6666 ILLINOIS REGISTRATION NO. 164-070490		
TUTERA SENIOR LIVING 7611 STATE LINE ROAD SUITE 301 KANSAS CITY, MO 64114	CRISTAL PINES PARKING LOT ADDITION	GRADING, SOIL EROSION & UTILITY PLAN
SCALE: 1"=10' DATE: 10-28-15 DRAWN: SJP DESIGNED: EFS	PROJECT NO. 2015-013 SHEET 4 OF 7	DATE: 10-28-15 DRAWN: SJP DESIGNED: EFS PROJECT NO.: 2015-013 SHEET: 4 OF 7

NOTES:

1. ALL CATCH BASINS SHALL BE 4'-0" IN DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
2. IN ADDITION TO THE REQUIREMENTS OF ART. 602.15 OF THE STANDARD SPECIFICATIONS THE CONTRACTOR SHALL FURNISH AND COMPACT THE SPECIFIED BACKFILL MATERIAL.
3. DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 8 INCHES.

LOCATION	ELVY	NEENAH
B or M 8.12 CMG	7235 M2	R3502A
DEPRESSED CURB	7210 M3	R-2511
PAVED	1920	R-1713
NON-PAVED	1920	R2555

ALTERNATE MATERIALS FOR WALLS	D	C	T
PRE CAST REINFORCED CONCRETE SECTIONS	750	250	4
CAST-IN-PLACE CONCRETE	607	250	4

CASTING SCHEDULE

Approved: City Engineer *Jacob* Drawing Name **CATCH BASIN, TYPE A** Drawing Number **UD-01b** Date: 4/15/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. TRENCH BACKFILL TO SUBGRADE AND WITHIN 2 FEET OF FINISHED PAVEMENT DRIVEWAY CURBS AND GUTTER OR SIDEWALK. TRENCH BACKFILL MATERIALS SHALL BE DOT APPROVED GRANULAR MATERIAL, DOT GRADATION CA-7 OR CA-11 FROM 4 INCHES BELOW HORIZONTAL CENTER OF PIPE.
2. INITIAL BACKFILL TO DEPTH AS INDICATED MATERIAL SHALL BE DOT APPROVED GRANULAR MATERIAL, DOT GRADATION CA-7 OR CA-11.
3. UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED WITH COMPACTED SUITABLE MATERIAL.
4. TRENCH WIDTH: PIPE O.D. + 12 INCHES MINIMUM PIPE I.D. + 18 INCHES MAXIMUM.
5. CONTRACTORS SHALL COMPLY WITH THE LATEST OSHA STANDARDS INCLUDING, BUT NOT LIMITED TO, SLOPING AND BENCHING TRENCHING WALLS, TRENCH SHIELDING AND SHIELDING SYSTEMS, SHIELD SYSTEMS, AND HAZARDOUS ATMOSPHERES.

NOTE: ALL DUCTILE IRON SHALL BE SUBJECT TO POLY WRAP PER CITY ENGINEER.

Approved: City Engineer *Jacob* Drawing Name **TYPICAL TRENCH CROSS SECTION** Drawing Number **UG-03** Date: 4/15/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE INSTALLED IN THE CURB OR CURB AND GUTTER IN PROLONGATION WITH JOINTS IN ADJACENT P.C.C. PAVEMENT OR BASE COURSE.
2. WHEN CURB AND GUTTER IS CONSTRUCTED ADJACENT TO FLEXIBLE PAVEMENT, A 1" THICK PREFORMED EXPANSION JOINT FILLER, CONFORMING TO THE CROSS SECTION OF THE CURB AND GUTTER, SHALL BE INSTALLED AT POINTS OF CURVATURE FOR SHARP RADIUS CURVES AND CONSTRUCTION JOINTS SHALL BE PLACED BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20 FEET.
3. ALL EXPANSION JOINTS SHALL BE INSTALLED WITH A 1" DIAMETER X 18" COATED SMOOTH DOWEL BAR CONFORMING TO ART. 710.46 OF THE STANDARD SPECIFICATIONS. THE DOWEL BAR SHALL BE FITTED WITH A CAP HAVING A PINCHED STOP THAT WILL PROVIDE 1" OF EXPANSION.
4. ALL CONSTRUCTION JOINTS SHALL BE PROVIDED WITH 12" DIAMETER BAR CONFORMING TO WASH TO WASH OR M.S.T.E. BARS SHALL BE PLACED ON 9" CENTERS (MINIMUM 2 PER JOINT).
5. TRANSITIONS: THE TRANSITIONS FROM FULL HEIGHT CURB TO DEPRESSED CURB SHALL BE MADE AT THE RATE OF 3" PER FOOT OF LENGTH OR FLATTER.
6. EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 100 FEET.

Approved: City Engineer *Jacob* Drawing Name **CURB: CONCRETE CURB TYPE B** Drawing Number **RD-05b** Date: 4/15/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. CLASS 60 CONCRETE SHALL BE USED THROUGHOUT (UNLESS OTHERWISE NOTED).

Approved: City Engineer *Jacob* Drawing Name **CURB: SIDEWALK WITH INTEGRAL CURB** Drawing Number **RD-05c** Date: 4/15/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. EXPANSION RESISTANT (1/4" NYLON ROPE, 2 PLUG WASHERS).
2. DUMP STRAPS (2 EACH).

Approved: City Engineer *Jacob* Drawing Name **INLET SEDIMENT CONTROL DEVICE** Drawing Number **EC-04** Date: 4/15/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES.
3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
4. WHEN TWO (2) SECTIONS OF FILTER CLOTH JOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
5. MATERIAL SHALL BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
6. DOUBLE ROWS OF SILT FENCE SPACED FIVE (5) FEET APART SHALL BE PLACED AROUND EXISTING STORMWATER MANAGEMENT FACILITIES OR WETLANDS AS ADDITIONAL PROTECTION.

Approved: City Engineer *Jacob* Drawing Name **SILT FENCE** Drawing Number **EC-01** Date: 11/2/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. MAX. SLOPE = 2%.
2. CONCRETE PARKING BUMPERS REQUIRED IF BARRIER CURB NOT PRESENT.
3. REFER TO CURRENT EDITION OF THE ILLINOIS ACCESSIBILITY CODE, SECTION 400.310(c) AND ILLUSTRATIONS "B" (FIGURE 6), "C", AND "D".

Approved: City Engineer *Jacob* Drawing Name **TYPICAL HANDICAP ACCESSIBLE PARKING STALL** Drawing Number **TR-06** Date: 6/12/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

PIPE SIZE	TEELUG	90'	45'	21.42'	11.48'
6	4	2	1	1	1
8	4	3	1	1	1
10	7	5	2	1	1
12	9	6	3	2	1
14	12	8	4	3	2
16	15	12	7	5	3
18	18	15	9	6	4
24	40	30	15	10	6

NOTES:

1. ALL BLOCKING SHALL BE POURED CLASS 60 CONCRETE AGAINST UNDISTURBED EARTH.
2. ALL BENDS OR ELBOWS GREATER THAN 11 1/4" SHALL HAVE THURST BLOCKING. FORM AS TO NOT COVER BOLTS.
3. IN LIEU OF THURST BLOCKING MECHANICAL JOINT RESTRAINTS OR APPROVED EQUAL CAN BE USED AS APPROVED BY THE ENGINEER.

Approved: City Engineer *Jacob* Drawing Name **THRUST BLOCK INSTALLATION** Drawing Number **UW-03** Date: 4/15/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

NOTES:

1. PROVIDE CLASS 60 CONCRETE BASE AND BLOCKING AGAINST UNDISTURBED EARTH.
2. DRAIN SLUMP TO BE 3/4" CUBIC YARD OF 3/4" WASHED STONE.
3. CONCRETE SUPPORT.
4. CONCRETE BLOCK OR BRICK SUPPORT.
5. PIPE AS REQUIRED TO MAINTAIN 24" SEPARATION AS SHOWN (DIRECT MECHANICAL JOINT CONNECTION IF APPROVED BY CITY).
6. RUBBER VALVE BOX STABILIZER.
7. USE "CORTEX" STEEL THE ROOFS BETWEEN AUXILIARY VALVE AND WATER MAIN (UNLESS STEEL MAY BE REQUIRED BY THE CITY ENGINEER). ANY DISTANCE GREATER THAN 47" SHALL BE REDUCED TO METALLIC FLANGE. NO COUPLINGS ARE PERMITTED IN ROOFS.
8. CONCRETE BLOCKING CAST IN PLACE 3000 PSI.
9. 4" X 4" PORT TO FACE PAVEMENT OR AS DIRECTED BY CITY ENGINEER.
10. ALL NEWLY INSTALLED HYDRANTS MUST BE TOP COATED WITH RUST-OLEUM FIRE HYDRANT ENAMEL (COLOR = FIRE HYDRANT RED).
11. MIN. 48" BETWEEN HYDRANT AND ANY VERTICAL OBSTRUCTIONS.
12. MIN. 48" BETWEEN HYDRANT AND ANY LANDSCAPING WITH A MATURE HEIGHT GREATER THAN 12".
13. ALL VALVE AND HYDRANT HARDWARE MUST BE STAINLESS STEEL INCLUDING NUTS, BOLTS, AND WASHERS.

Approved: City Engineer *Jacob* Drawing Name **FIRE HYDRANT** Drawing Number **UW-06** Date: 11/2/2007
 Victor C. Ramirez, P.E., Director of Engineering and Building Division
 Crystal Lake, ILLINOIS Engineering Division

INTECH CONSULTANTS, INC.
 1889 UNIVERSITY LANE, SUITE D
 ENGINEERS - SURVEYORS
 LISLE, ILLINOIS 60532
 PHONE: 630-964-5656

TUTERA SENIOR LIVING
 7611 STATE LINE ROAD
 SUITE 301
 KANSAS CITY, MO 64114

CRYSTAL PINES
 PARKING LOT ADDITION

DETAILS

SCALE: NONE
 DATE: 10-28-15
 DRAWN: SJP
 DESIGNED: EFS
 PROJECT NO: 2015-013
 SHEET 7 OF 7

REVIEW SET
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