



#2016-02 REVISED Burger King SUP Amendment/ Variation Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	March 2, 2016
<u>Requests:</u>	1. A Special Use Permit Amendment to allow changes to the approved elevations, and 2. A variation from Article 4-1000(F) to allow 84.3 square feet, which is greater than permitted 75 square feet of wall signage on a single façade.
<u>Location:</u>	855 E. Terra Cotta Ave
<u>Acreage:</u>	Approximately 1.6 acres
<u>Zoning:</u>	B-2 (General Commercial)
<u>Surrounding Properties:</u>	North: County B-1 & B-2 (Neighborhood Business & Alcoholic Beverage Business) South: B-2 (General Commercial) East: B-2 (General Commercial) West: County B-1 (Neighborhood Business)
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3615)

Background:

- **Existing Use:** The subject property is an existing Burger King.
- **Previous Approvals:**
 - A special use permit was approved in 1996 to allow a drive through facility and a fast food restaurant. The special use permit included approved elevations.
 - In 2001, an amendment to the special use permit was approved to allow changes to the freestanding sign.

Development Analysis:

- **Request:** The petitioner is requesting a SUP Amendment to allow changes to the approved elevations and a variation from Article 4-1000(F) to allow greater than 75 square feet of wall signage on a single façade.
- **Land Use:** The land use map shows the area as Commerce. This land use designation is appropriate for the area.
- **Zoning:** The site is zoned B-2. This is an appropriate zoning designation for the area.

Existing Façade:

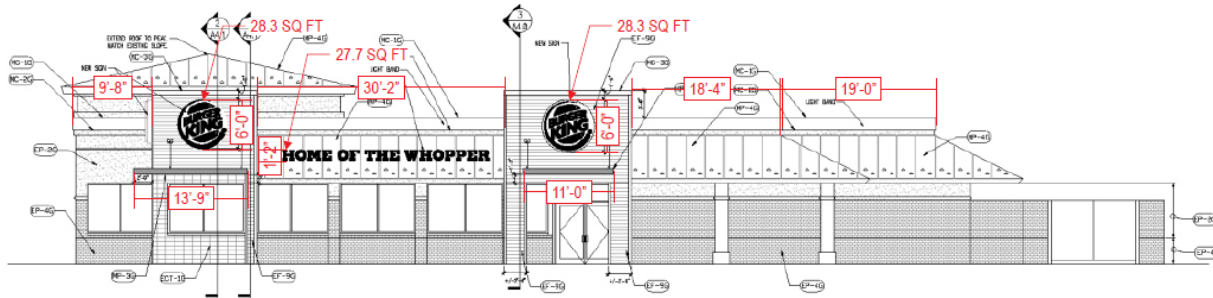


Proposed Façade:

- The proposed changes to the exterior elevations meet the Unified Development (UDO) design standards for a renovation.
- The proposed elevations are a modern architectural design.
- The existing building is constructed of brick and EIFS and the proposed changes include painting both building materials.
- The proposed roofing material is metal.
- The proposed façade is accented with stone tile and fiber cement siding in a cedar finish.
- **The petitioner is proposing to remove the light band component. The red metal panel will remain from the light band, but the lighting components will be removed.**

Proposed Signage:

- **The total square footage of proposed wall signage is 132.96 square feet, which is less than the UDO allowance.**
- The petitioner has reduced the total wall signage by eliminating the light band. The previous request was for a total of 373.26 square feet of wall signage.
- The proposed west façade has 84.3 square feet of wall signage. West elevation is pictured below.



Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future commercial uses. The following goal is applicable to this request:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Findings of Fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit Amendment to allow changes to the approved exterior elevations. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*
3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*

4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*
6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*
7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*
8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*
9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.
 Meets *Does not meet*
10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.
 Meets *Does not meet*

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 4-900(E) to allow 84.3 square feet, which is greater than 75 square feet of wall signage on a single facade. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion is made to recommend approval of the petitioner's request, the following conditions are recommended:

- 1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Massey, dated 01/04/16, received 01/07/16)
 - B. Elevations (Interplan LLC, dated 12/23/15, received 01/07/16)
 - C. Plan Set (Interplan LLC, dated 12/23/15, received 01/07/16)

D. Sign Package (Interplan LLC, dated 12/26/15, received 01/28/16)

E. Email regarding Light Band (Interplan LLC, received 2/25/16)

2. Any cosmetic change to the freestanding sign should be complementary to the principal structure.
3. The light band will be disabled; the red metal band will be allowed to remain non-illuminated.
4. The conditions of approval from previous ordinances for the subject property are still valid.
5. Any future changes to the façade may be approved administratively if the design standards in Article 4-900 are met.
6. The petitioner shall comply with all of the requirements of the Community Development, Public Works, Police and Fire Rescue Departments.

Kathryn Cowlin

From: Jonathan Nuscher [JNuscher@interplanllc.com]
Sent: Thursday, February 25, 2016 11:13 AM
To: Kathryn Cowlin
Cc: Nicole Weir
Subject: FW: 2015.0347 Crystal Lake BK 10235

Follow Up Flag: Follow up
Flag Status: Flagged

Katie,

See below for the confirmation that Sandy (the franchise construction director) is accepting the metal panel in lieu of the illuminated light band. I hope this is sufficient.

Jonathan Nuscher | Project Manager
o 630.932.2336 | f 630.932.2339
JNuscher@interplanllc.com | www.interplanllc.com

From: Sandy MacDonald [<mailto:smacdonald@tomsking.com>]
Sent: Thursday, February 25, 2016 11:09 AM
To: Jonathan Nuscher
Subject: RE: 2015.0347 Crystal Lake BK 10235

Ok.

Sandy MacDonald
815-444-2008* Cell: 815-271-2055
smacdonald@tomsking.com

From: Jonathan Nuscher [<mailto:JNuscher@interplanllc.com>]
Sent: Thursday, February 25, 2016 10:37 AM
To: Payne-Drueke, Cory <vcpayne@whopper.com>; Sandy MacDonald <smacdonald@tomsking.com>
Subject: RE: 2015.0347 Crystal Lake BK 10235

Sandy,

Attached are the revised elevations indicating the red band is metal panel instead of a light band.

I need to send a copy of this email to the city with a response stating that this is acceptable.

Thanks,

Jonathan Nuscher | Project Manager
o 630.932.2336 | f 630.932.2339
JNuscher@interplanllc.com | www.interplanllc.com

From: Jonathan Nuscher
Sent: Wednesday, February 24, 2016 5:20 PM
To: 'Payne-Drueke, Cory'

Cc: 'Sandy MacDonald'
Subject: 2015.0347 Crystal Lake BK 10235

Cory,

Attached is the staff report for the previous meeting as well as the minutes of the meeting. I do not have a copy of the actual ordinance. I'll track that down in the morning. I'll get the revised elevations out in the morning as well showing the change of the light band to a red metal panel.



Over 40 Years and 40,000 Projects

Jonathan Nuscher | Project Manager
One South 280 Summit Ave, Ste D | Oakbrook Terrace, IL 60181
o 630.932.2336 | f 630.932.2339
JNuscher@interplanllc.com | www.interplanllc.com

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2016 02

City of Crystal Lake Development Application

Office Use Only
File # _____

Project Title: Burger King - Crystal Lake, IL

DP
Jan 17, 2016

Action Requested

- Annexation
- Comprehensive Plan Amendment
- Conceptual PUD Review
- Final PUD
- Final PUD Amendment
- Final Plat of Subdivision
- Preliminary PUD
- Preliminary Plat of Subdivision
- Rezoning
- Special Use Permit Amendment
- Variation
- Other

Petitioner Information

Name: Nicole Weir - Agent (Interplan, LLC)

Address: 604 Courtland Street, Orlando, FL
32804

Phone: (407)645-5008

Fax: (407)629-9124

E-mail: nweir@interplanllc.com

Owner Information (if different)

AEC BRNST 41001, LLC

Name: C/O TOMS KING

Address: 335 Commerce Dr.
CRYSTAL LAKE, IL 60014

Phone: 815-444-2008

Fax: 815-356-9781

E-mail: SMACDONALD@TOMSKING.COM

Property Information

Project Description: Interior/Exterior facade remodel of an existing Burger King fast food restaurant with drive-thru, to include ADA upgrades to the restrooms, new paint, fixtures and flooring. No kitchen work or site work is proposed.

Project Address/Location: 855 E. Terra Cotta Avenue, Crystal Lake, IL 60014

PIN Number(s): Parcel ID #14-34-326-061

Development Team

Please include address, phone, fax and e-mail

Developer: TOM KING, 335 COMMERCE DR, CRYSTAL LAKE, IL 60014

Architect: Interplan, LLC; 604 Courtland Street, Orlando, FL 32804 P: (407)645-5008 F: (407)629-9124

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: Agent: Nicole Weir; Interplan, LLC; 604 Courtland St., Orlando, FL 32804 p: (407)645-5008

Signatures

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Karen Mossey, Karen Mossey 1-4-15
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION OF THE
CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE APPLI-
CATION OF) Interplan, LLC on behalf
of ARC BKMST41001 LLC)

LEGAL NOTICE

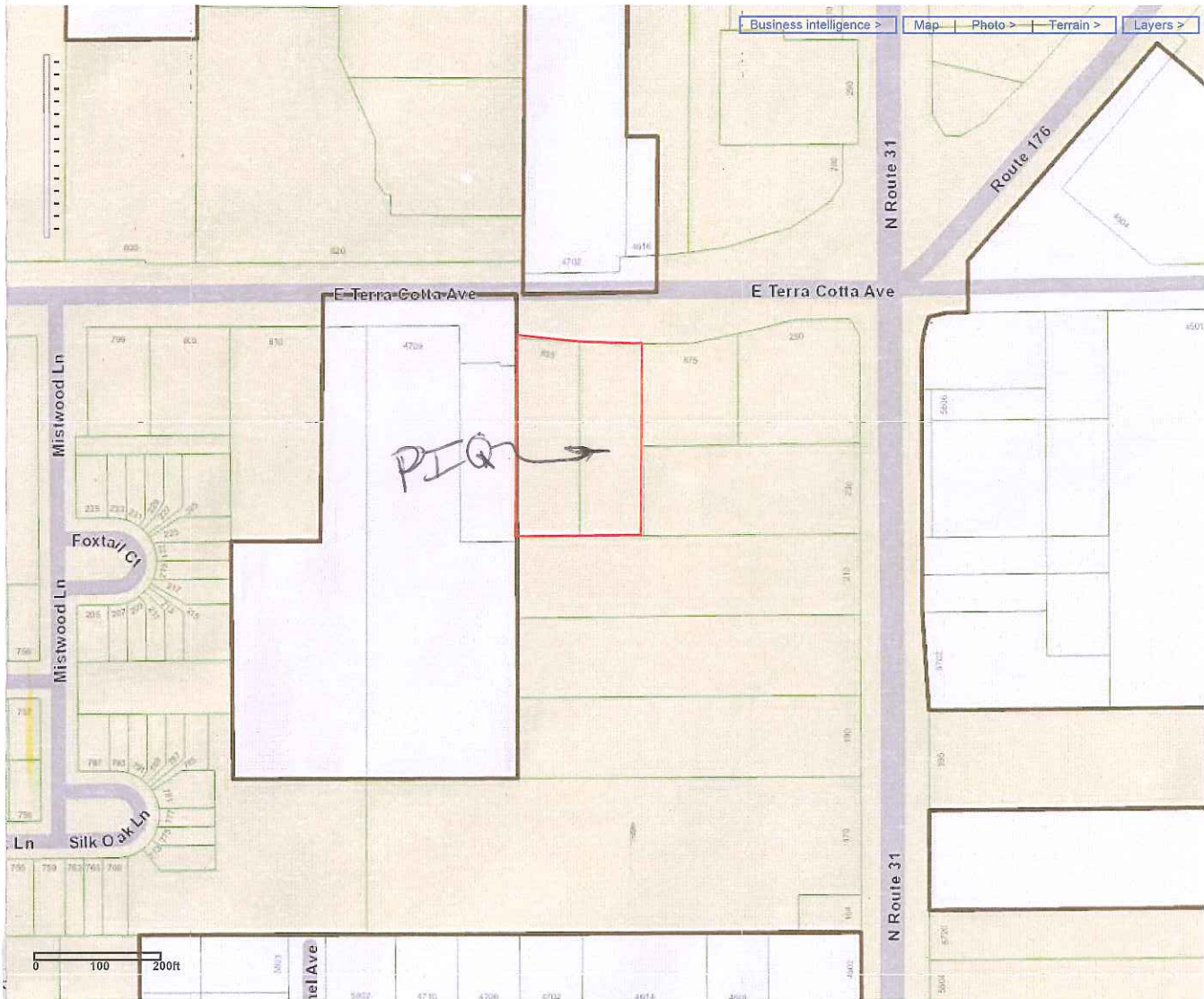
Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application of Interplan LLC on behalf of ARC BKMST41001 LLC seeking a Special Use Permit Amendment and variations, located at 855 E. Terra Cotta Ave, Crystal Lake, Illinois. PIN 14-34-326-061

This application is filed for the purpose of seeking a Special Use Permit Amendment pursuant to Article 9-200(D) to amend the approved elevations for a fast food and drive through facility and variations from Articles 4-900(E) for a building that does not meet the commercial design standards and 4-1000(F) to allow greater than 75 square feet of signage on a single facade, as well as any other variations as necessary to complete the project as proposed. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday February 17, 2016, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
on January 30, 2016) 1154631





**CRYSTAL LAKE PLANNING AND ZONING COMMISSION
WEDNESDAY, FEBRUARY 17, 2016
HELD AT THE CRYSTAL LAKE CITY COUNCIL CHAMBERS**

The meeting was called to order by Chairman Hayden at 7:30 p.m. On roll call, members Esposito, Goss, Greenman, Jouron, Skluzacek, and Hayden were present. Mr. Batastini was absent.

Michelle Rentzsch, Director of Community Development, Katie Cowlin and Elizabeth Maxwell, both Planners, were present from Staff.

Mr. Hayden asked those in attendance to rise to say the Pledge of Allegiance. He led those in attendance in the Pledge.

Mr. Hayden stated that this meeting was being televised now as well as recorded for future playback on the City's cable station.

2016-02 BURGER KING – 855 E Terra Cotta Ave – PUBLIC HEARING

A Special Use Permit Amendment to allow changes to the approved elevations, and a variation from Article 4-1000(F) to allow a total of 373.26 square feet of wall signage and to allow greater than 75 square feet of wall signage on a single façade.

Mr. Hayden stated that the sign had been posted. He said the surrounding property owners were notified and the Certificate of Publication was in the file. Mr. Hayden waived the reading of the legal notice without objection.

Jonathan Nuscher, architect, was present to represent the petition. He showed the existing elevations of the store and the proposed elevations and explained the changes to the exterior of building. There are also interior changes.

There was no one in the public who wished to comment on this petition. The public portion was closed at this time.

Mr. Jouron asked if the color shown on the roof is correct. Mr. Nuscher passed around the samples. Mr. Jouron likes the changes and the colors.

Mr. Greenman said part of request is for a variation for wall signage. The Commission needs to ensure the Findings of Fact are met. He asked what the hardship is for the variation. Mr. Nuscher said the signs are standard corporate sizes and they need to comply with their standards. Mr. Greenman understands that there are corporate standards that are requested, but he doesn't believe that fulfills the hardship requirements. He suggested that the petitioner think about the hardship so when he goes before Council he will be able to share that with the Council members. Mr. Greenman said he doesn't feel the Findings of Fact have been met

and can't support the request.

Mr. Esposito said he was also looking to see what the hardship would be. It could possibly be the way the building is situated on the lot. Mr. Nuscher said this is mostly to upgrade the look. The signs are not seen very well from the street.

Mr. Skluzacek like the upgrades to the building and feels it looks much better. He agrees with the previous comments made regarding the sign variation.

Mr. Goss said the petitioner's request is for a larger square footage than what staff is recommending. He doesn't have a problem with 132 square feet. He also believes the elevations presented may be mislabeled. Mr. Goss said he would add a condition that the light band not be installed. Mr. Nuscher said that is part of the request. Mr. Goss can't approve it.

Mr. Hayden said the light band counts as signage. If it is not illuminated, he can support the request. He added that the petitioner doesn't present a hardship. Mr. Esposito said a similar request was made by Chase Bank and it was not approved. Mr. Goss added that the petitioner can ask Council.

Mr. Hayden reviewed the petitioner's options. He can continue to a future meeting so he has time to speak with corporate about the possible changes or the PZC can vote on this request. Mr. Nuscher said he would like to be continued to a future meeting. Ms. Cowlin said the light band was approved in 1996 and it would still be valid the way the conditions presently read.

Mr. Goss moved to continue 2016-02 Burger King at 855 E. Terra Cotta Avenue to the March 2, 2016 PZC meeting. Mr. Greenman seconded the motion. On roll call, all members voted aye. Motion passed.



BURGER KING RENOVATIONS TO BK #10235 855 E TERRA COTTA CRYSTAL LAKE IL, 60014

RENOVATIONS BASED ON THE 20/20 GARDEN GRILL DESIGN

SHEET INDEX

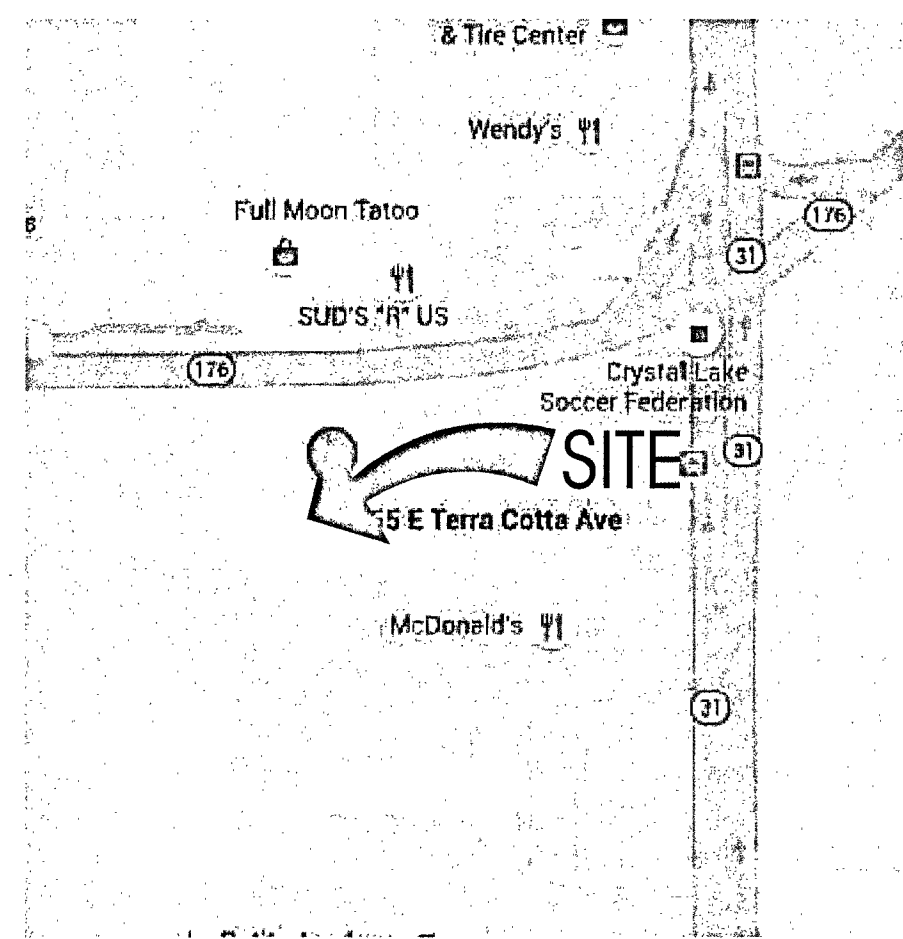
SHT. NO.	DESCRIPTION	SHT. NO.	DESCRIPTION
CS	INDEX, CODE ANALYSIS, LOCATION MAP, LEGEND		INTERIOR DECOR
C1.0	SITE PLAN, OPT. PAD CONFIGURATION, PRE-FAB DETECTOR LOOP		
C2.0	HANDICAP SIGN AND PAINTED SYMBOL, ADA RAMP AND STALLS		
ARCHITECTURAL DRAWINGS			
A1.0	FLOOR PLAN		
A1.1	REFLECTED CEILING PLAN		
A1.2	ROOF PLAN AND ADA SITE DETAILS		
A2.0	EXTERIOR ELEVATIONS		
A2.1	EXTERIOR ELEVATIONS		
A3.0	ENLARGED RESTROOM PLAN AND ELEVATIONS		
A4.0	WALL SECTIONS		
A4.1	WALL SECTIONS		
A4.2	NOT USED		
A5.0	NOT USED		
A6.0	NOT USED		
A7.0	DOOR AND WINDOW SCHEDULE AND DETAILS		
A8.0	FINISH SCHEDULES - EXTERIOR		
A9.0	MANUFACTURERS AND SUPPLIERS		

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

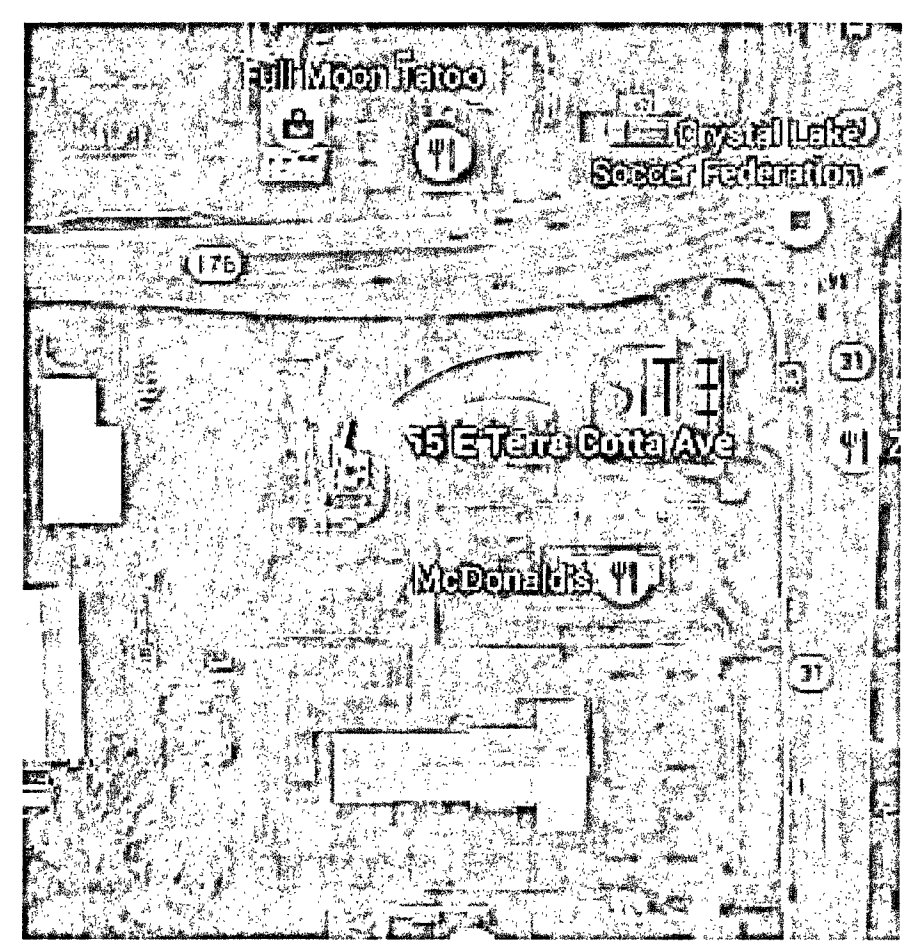
ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339

SEAL: date 1.5.2016

VICINITY MAP



LOCATION MAP



GENERAL SITE ACCESSIBLE NOTES

- SURFACE SLOPES OF PARKING SPACES FOR THE PHYSICALLY DISABLED SHALL NOT EXCEED 1/4-INCH PER FOOT IN ANY DIRECTION.
- PEDESTRIAN WAYS THAT ARE ACCESSIBLE TO THE PHYSICALLY DISABLED SHALL BE PROVIDED FROM EACH DISABLED PARKING SPACE TO RELATED FACILITIES, INCLUDING CURB CUTS OR RAMPS AS REQUIRED.
- THE SURFACE OF EACH PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION DUPLICATING THE SYMBOL OF ACCESSIBILITY CONSISTING OF A WHITE FIGURE ON A BLUE BACKGROUND, AT LEAST 3 FEET SQUARE.
- WALKS AND SIDEWALKS SHALL HAVE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2-INCH AND SHALL BE A MINIMUM OF 48-INCHES IN WIDTH.
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL (5% GRADIENT) IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
- SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4-INCH PER FOOT (2.08%).
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2-INCH. WHEN CHANGES IN LEVELS DO OCCUR, THEY SHALL NOT BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4-INCH MAY BE VERTICAL.
- WHEN CHANGES IN LEVELS GREATER THAN 1/2-INCH ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS & PEDESTRIAN RAMPS.
- THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE SLIP-RESISTANT AND SHALL BE OF CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
- CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OF STREET INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB.
- CURB RAMPS SHALL BE A MINIMUM OF 4 FEET IN WIDTH AND SHALL LIE GENERALLY, IN A SINGLE SLOPED PLANE, WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
- THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED ONE VERTICAL TO 12 HORIZONTAL.
- A LEVEL LANDING 3 FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED ONE VERTICAL TO 12 HORIZONTAL.
- THE LOWER END OF EACH CURB RAMP SHALL HAVE A 1/2-INCH COUNTER SLOPE IMMEDIATELY ADJACENT TO RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20.
- THE SLOPE OF TYPICAL RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL. THE LENGTH OF THE LANDING AT THE BOTTOM AND THE TOP OF THE RAMP SHALL BE 5 FEET X THE WIDTH OF THE RAMP.

REFER TO THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" FOR ADDITIONAL REQUIREMENTS.

NOTES TO GENERAL CONTRACTOR:
GENERAL CONTRACTOR TO MODIFY THE EXISTING ROUTE TO THE BUILDING TO COMPLY WITH THE ACCESSIBLE ROUTE REQUIREMENTS OF THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" IF REQUIRED.
GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING SITE CONDITIONS DURING BIDDING. DISCUSS THE SCOPE OF WORK WITH EYM FOODS LLC CONSTRUCTION MANAGER BEFORE SUBMITTING BIDS.

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF MASONRY OR FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- ALL ANGLES SHALL BE 45, 90, 135 DEGREES UNLESS OTHERWISE NOTED ON PLAN.
- ALL INTERIOR OPENINGS TO BE 3'-0" WIDE CLEAR UNLESS OTHERWISE DIMENSIONED ON PLAN. BULKHEAD TO ALIGN WITH TOP OF DOOR FRAMES, TYPICAL. REFER TO DOOR SCHEDULE FOR HEIGHT.
- DOOR FRAMES OCCURRING ADJACENT TO INTERSECTING PARTITIONS SHALL BE INSTALLED FOUR INCHES FROM THE PARTITION UNLESS OTHERWISE NOTED ON PLANS.
- ALL PARTITION EXTERIOR CORNERS SHALL HAVE SCREW-ATTACHED METAL CORNER BEADS UNLESS NOTED OTHERWISE.
- WALL SURFACES SHALL BE PROPERLY PREPARED TO RECEIVE NEW FINISHES. JOINTS SHALL NOT BE VISIBLE AFTER NEW FINISH HAS BEEN APPLIED.
- GYPSUM WALLBOARD ON PARTITION REQUIRING A RATING OF ONE-HOUR OR MORE SHALL BE TAPED AND THE SCREWS SPOTTED WHETHER OR NOT WALL TREATMENT IS SCHEDULED.
- BLOCKING/BACKING IS REQUIRED AT THE FOLLOWING LOCATIONS--
1. WALL MOUNTED ACCESSORIES OR EQUIPMENT
2. WALL MOUNTED DOORSTOPS
3. WALL MOUNTED DOOR HOLD-OPEN DEVICES AND/OR CLOSERS
4. TOILET ROOM ACCESSORIES
5. OTHER LOCATIONS AS REQUIRED BY ARCHITECT
- ALL EQUIPMENT AND APPLIANCES ARE SUPPLIED BY BUILDING OWNER UNLESS NOTED OTHERWISE ON PLAN. GENERAL CONTRACTOR TO VERIFY ALL EQUIPMENT AND APPLIANCE DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL FINISHES SHALL MEET FBC CODE, CHAPTER 8 FINISH REQUIREMENTS. REFER TO COVER SHEET FOR CODE DATA BLOCK. CONTRACTOR TO COORDINATE AND SUPPLY BK REPRESENTATIVE WITH FINISH SAMPLE IF DEVIATION FROM DRAWINGS.

DEMO GENERAL NOTES:

- ALL DEMOLITION IS TO BE PERFORMED IN A SWIFT, SAFE MANNER SO AS TO KEEP DISTURBANCE TO BUILDING TENANT TO A MINIMUM IT IS UNDERSTOOD THAT ALL SALVAGEABLE ITEMS REMOVED IN DEMOLITION INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, HARDWARE, GLAZING, CASEWORK, HVAC EQUIPMENT, LIGHTING, RECEPTACLES, ETC. SHALL REMAIN ON SITE AS OWNER PROPERTY. COORDINATE STORAGE REQUIREMENTS WITH OWNER.
- G.C. TO CONSTRUCT OR PROVIDE PROTECTION BARRIERS AS NEEDED FOR SAFETY AND TO CONTAIN DUST DUE TO DEMOLITION. GENERAL CONTRACTOR SHALL TAKE CAREFUL MEASURES TO CONTAIN THE SPREAD OF DUST AND FUMES OUT OF THE WORK AREA THROUGH OPENINGS, DUCTWORK, ETC.
- CONTRACTOR TO PATCH AND/OR REPAIR REMAINING FLOOR, WALL AND CEILING SURFACES AS NEEDED DUE TO DEMOLITION OF REMOVAL OF CONSTRUCTION TO MATCH EXISTING.
- ITEMS "TO BE RELOCATED" SHALL BE STORED IN A PLACE DESIGNATED IN CONSTRUCTION AREA ACCORDING TO OWNER'S INSTRUCTION.
- REMOVE ALL DEMOLISHED MATERIALS FROM BUILDING AND SITE UNLESS NOTED OTHERWISE OR RETURNED TO OWNER. ALL OTHER DEMOLISHED MATERIAL SHALL BE COMPLETELY DESTROYED PRIOR TO DISPOSAL.
- GENERAL CONTRACTOR SHALL PROVIDE DEMOLITION AS INDICATED ON DRAWING INCLUDING REMOVAL AND DISPOSAL OF ALL FLOORING, WALL BASE, GYPSUM WALLBOARD, INTERIOR FRAMING, WINDOWS, ACOUSTIC CEILING TILE, PLUMBING FIXTURES, DOORS, FRAMES, HARDWARE, GLAZING, CASEWORK, ELECTRICAL EQUIPMENT, LIGHT FIXTURES, RECEPTACLES, WIRING, CABLE, CONDUIT, WITHIN LIMITS OF CONSTRUCTION AND NOT IN USE IN AREAS OF WORK FROM WITHIN WALLS AND ABOVE CEILING.
- DINING AREA WALLS SLATED TO REMAIN SHOULD HAVE ALL FINISHES REMOVED (BACK TO GYP BD.) THAT WILL INHIBIT INSTALLATION OF NEW FINISHES.
- GENERAL CONTRACTOR SHALL PROVIDE DEMOLITION AS REQUIRED WITHIN LIMITS OF CONSTRUCTION AND AS INDICATED ON DRAWINGS FOR EXTERIOR WALLS, ROOF, AND INTERIOR. DEMOLITION TO INCLUDE, BUT NOT LIMITED TO: REMOVAL AND DISPOSAL OF ALL FRAMING, ROOFING, FINISH MATERIALS, WINDOW/DOORS & FRAMES, ELECTRICAL EQUIPMENT, LIGHT FIXTURES, RECEPTACLES, WIRING, ANTENNA CABLE, CONDUIT, HVAC EQUIPMENT, SUPPLY/ DIFFUSERS, AND DUCT WORK, NOT IN USE IN AREAS OF WORK FROM WITHIN WALLS AND ABOVE CEILING.

OWNER & CONSULTANTS

OWNER
BURGER KING CORPORATION
TOMS KING
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008

ARCHITECT
INTERPLAN LLC
ONE SOUTH SUMMIT AVENUE SUITE D,
OAKBROOK TERRACE IL 60181
PHONE: 630-932-2339
ARCHITECT OF RECORD: DENNIS CABALA
CONTACT: JONATHAN NUSCHER
E-MAIL: JNUSCHER@INTERPLANLLC.COM

CODE / PROJECT DATA

BUILDING CODE: 2006 IBC
PLUMBING CODE: 2009 IBC
ELECTRICAL CODE: 2009 NEC
MECHANICAL CODE: 2006 IMC
FIRE & LIFE SAFETY CODE: 2006 INTERNATIONAL FIRE CODE
CONSTRUCTION CLASSIFICATION: WITH 2000 NFPA LIFE SAFETY CODE TYPE V-B - NONCOMBUSTIBLE

TOTAL GROSS BUILDING AREA= +/-3,603 S.F.
(ALLOWED AREA FOR TYPE V-B = 6,000 S.F.)

OCCUPANCY GROUP: A-2 (ASSEMBLY, SMALL)

BUILDING AREAS:
BUILDING TOTAL (GROSS): +/-3,603 SQ. FT.
DINING ROOM AREA (GROSS): +/-945 SQ. FT.
KITCHEN (GROSS): +/-902 SQ. FT.
PLAYGROUND (GROSS): +/-840 SQ. FT.

OCCUPANCY LOAD:
ASSEMBLY (UNCONCENTRATED): +/-945 S.F. / 15 = 63 PEOPLE
KITCHEN: +/-902 S.F. / 200 = 4 PEOPLE
WAITING: +/-132 S.F. / 5 = 26 PEOPLE
TOTAL: 89 PEOPLE

WIND SPEED: 90 MPH

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL, PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO ARCHITECT OR ENGINEER PRIOR TO BID.
- THESE DOCUMENTS ARE BASED UPON MEASURED DRAWINGS AND OTHER INFORMATION PROVIDED BY THE OWNER AS WELL AS NON-INVASIVE SITE VISITS. THE MEASURED DRAWINGS INCLUDE ONLY THOSE ELEMENTS AND SYSTEMS EXPOSED TO VIEW AND HAVE NOT BEEN FIELD VERIFIED. THE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED WITHOUT THE BENEFIT OF KNOWLEDGE OF THE EXACT EXISTING STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING BUILDING ELEMENTS AND SYSTEMS, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. REVIEW THE CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES PRIOR TO BID. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRE, OR FOR ANY DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
- CONTRACTOR, DURING PRE-BID SITE VISIT, SHALL TAKE NOTICE OF ANY VISUALLY APPARENT CODE VIOLATIONS AND ALLOW IN HIS/HER BID FOR CORRECTING SUCH VIOLATIONS.
- CONTRACTORS ARE CAUTIONED TO COORDINATE ITEMS IN THEIR SCOPE OF WORK WITH OTHER TRADES.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES DISCOVERED DURING DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT.
- THESE NOTES APPLY TO ALL SHEETS.

SYMBOLOLOGY / LEGEND

	ELEVATION NUMBER		ROOM NAME
	SHEET NUMBER		ROOM NUMBER
	DETAIL, SECTION OR OR PLAN NUMBER		EQUIPMENT NUMBER
	WALL SECTION NUMBER, BUILDING SECTION LETTER		ELEV. DATUM POINT
	DETAIL NUMBER		NEW COLUMN GRID NUMBER OR LETTER
	SHEET NUMBER		EXISTING COLUMN GRID NUMBER OR LETTER
	NOTE NUMBER		DOOR NUMBER
	WINDOW NUMBER		REVISION NUMBER
	INTERIOR FINISH NUMBER		EXTERIOR FINISH NUMBER/ INTERIOR PARTITION

CONTACTS

GOVERNMENTAL AGENCIES

DEPT.: PLANNING AND ZONING
CITY OF CRYSTAL LAKE PLANNING DEPARTMENT
CONTACT: KATIE COWLEY (PLANNER)
ADDRESS: 100 WEST WOODSTOCK STREET, P.O. BOX 597, CRYSTAL LAKE, IL 60039
PHONE: 815.356.3615
EMAIL:

DEPT.: CITY OF CRYSTAL LAKE BUILDING DEPARTMENT
CONTACT: DAVID DODGE (PLAN REVIEWER)
ADDRESS: 100 WEST WOODSTOCK STREET, P.O. BOX 597, CRYSTAL LAKE, IL 60039
PHONE: 815.356.3605
EMAIL:

DEPT.: CRYSTAL LAKE FIRE RESCUE DEPARTMENT
CONTACT: BOB KOHLEY (DISTRICT FIRE CHIEF)
ADDRESS: 100 WEST WOODSTOCK, CRYSTAL LAKE, IL 60039
PHONE: 815.356.3648
EMAIL: FPB@CRYSTALLAKE.ORG

DEPT.: MCHENRY DEPARTMENT OF HEALTH
CONTACT: SAM CRAIG
ADDRESS: 220 NORTH SEMINARY AVE. WOODSTOCK, IL 60098
PHONE: 815.334.4584
EMAIL:

ABBREVIATIONS

AC	AIR CONDITIONING	FF	FINISH FLOOR	REBAR	REINFORCING BAR
AFF	ABOVE FINISH FLOOR	FR	FIRE RATED	REF	REFERENCE
AHU	AIR HANDLING UNIT	GALV	GALVANIZED	REIN	REINFORCE
AL	ALUMINUM	GYPBD	GYPSUM BOARD	REQ'D	REQUIRED
ASPH	ASPHALT	HC	HANDICAPPED	RO	ROUGH OPENING
BD	BOARD	HDW	HARDWARE	SB	SPLASHBLOCK
BLKT	BLANKET	HM	HOLLOW METAL	SHLVS	SHELVES
CJ	CONTROL JOINT	HVAC	HEATING, AIR CONDITIONING, & VENT	SIM	SIMILAR
CLG	CEILING	INFO	INFORMATION	SPEC	SPECIFICATION
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	SS	STAINLESS STEEL
COL	COLUMN	LAC	LAY-IN ACOUSTICAL CEILING	STL	STEEL
CONC	CONCRETE	MAS	MASONRY	STOR	STORAGE
CONT	CONTINUOUS	MAX	MAXIMUM	SUSP	SUSPENDED
CPT	CARPET	MECH	MECHANICAL	TREAD	TREAD
CT	CERAMIC TILE	MFR / MFR	MANUFACTURER	TELE	TELEPHONE
C/L	CENTER LINE	MIN	MINIMUM	TPD	TOILET PAPER DISPENSER
DBL	DOUBLE	MO	MASONRY OPENING	TYP	TYPICAL
DF	DRINKING FOUNTAIN	MIR	MIRROR/MOISTURE RESISTANT	UNC	UNLESS NOTED OTHERWISE
DIA	DIAMETER	INSUL	INSULATION	UNT	UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE
DIM	DIMENSION	MTL	METAL	VERT	VERTICAL
DN	DOWN	NA	NOT APPLICABLE	VT	VINYL THRESHOLD
EA	EACH	NTC	NOT IN CONTRACT	WC	WATER CLOSET
EN	EXPANSION JOINT	NOM	NOMINAL	WD	WOOD
ELEV / EL	ELEVATION	NTS	NOT TO SCALE	WP	WATERPROOF
EQ	EQUAL	OC	ON CENTER	WWF	WELDED WIRE FABRIC
EXIST	EXISTING	OPP	OPPOSITE	W/	WITH
FD	FLOOR DRAIN	PLYWD	PLYWOOD		
FE	FIRE EXTINGUISHER	PREFAB	PREFABRICATED		
		PSF	POUNDS PER SQUARE FOOT		
		PT	PAIN / PRESSURE TREATED		
		QT	QUARRY TILE		
		R	RISER/RADIUS		

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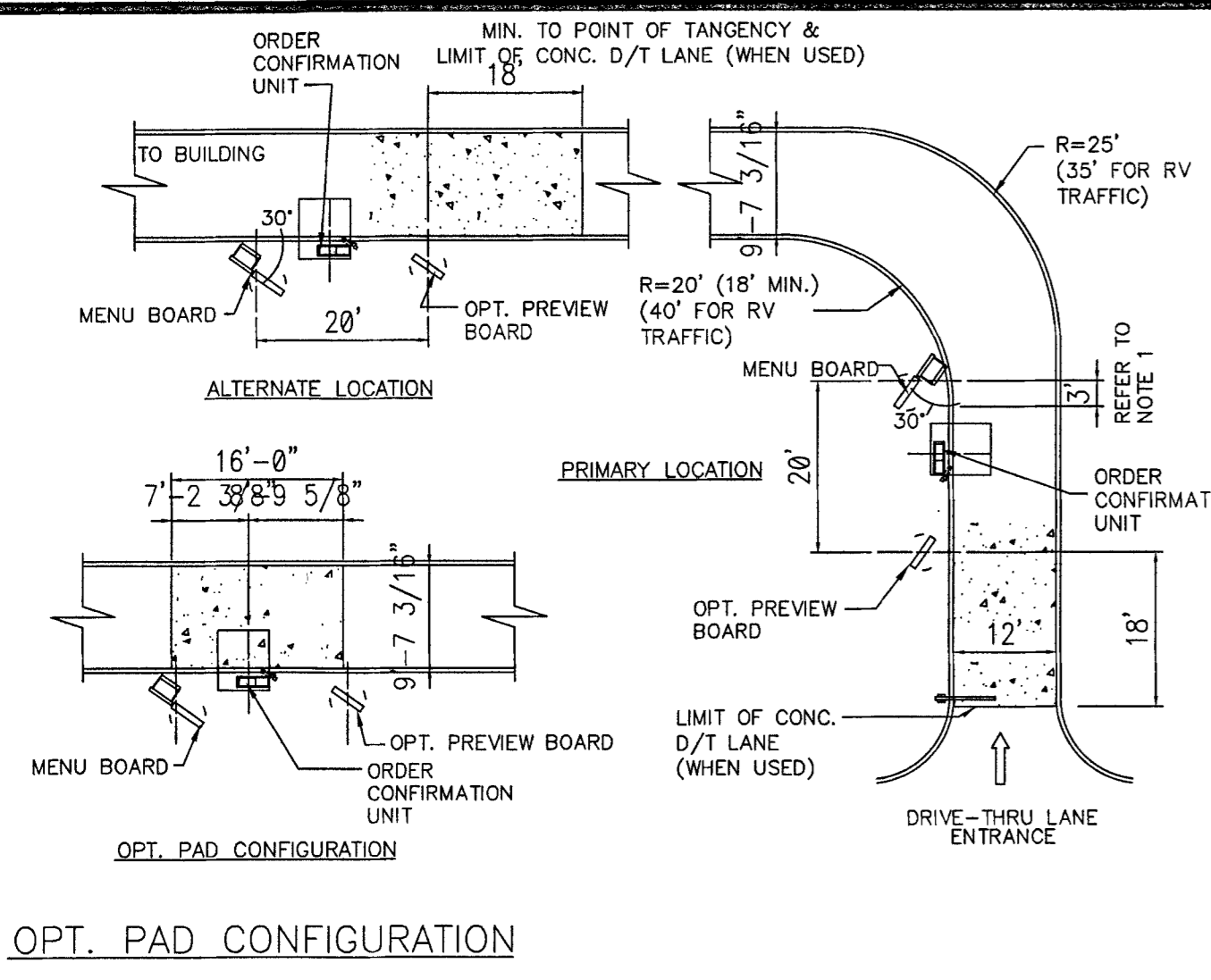
BURGER KING REMODEL

BK 10235
855 E TERRA COTTA
CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
DATE: 12.23.15

CS
COVER SHEET

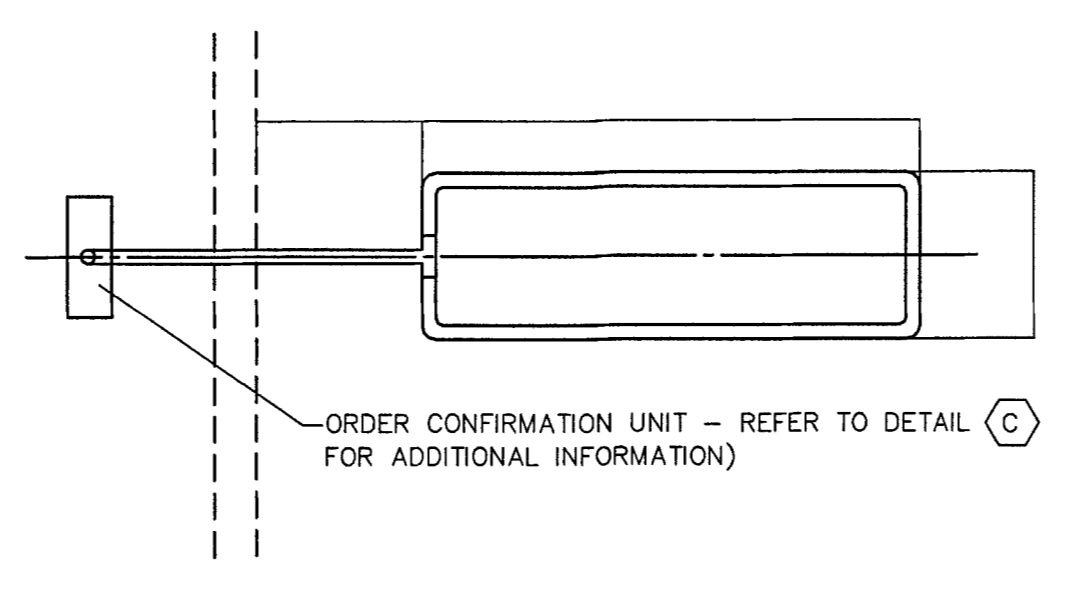
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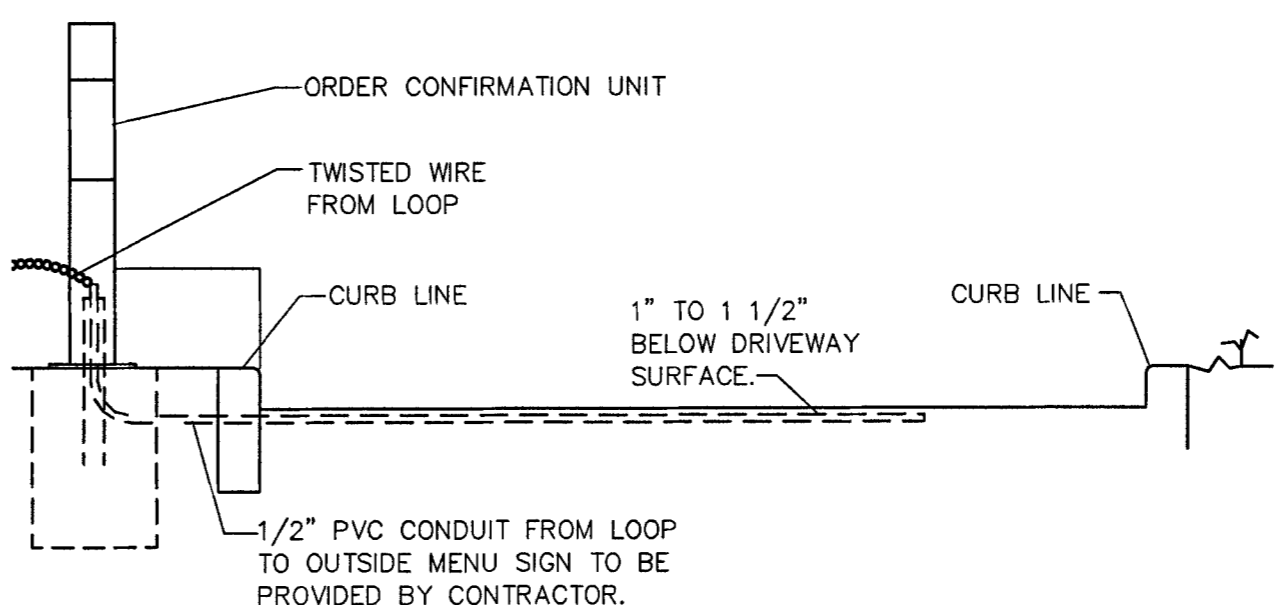
1 SINGLE DRIVE THROUGH CONFIGURATION 1"=20'

- NOTES:**
- DRAWING REFLECTS MENU BOARD IN PREFERRED LOCATIONS. FOR OPTIONAL LOCATION AND ADDITIONAL INFORMATION, REFER TO DETAIL I OF VIII AND SITE DETAIL CA.
 - ORDER CONFIRMATION UNITS SHOULD BE 100' (MIN.) FROM FOOD DELIVERY WINDOW.
 - IN NO CASE SHOULD THE ORDER STATIONS BE PLACED ON THE CURVE.
 - CONCRETE DRIVE-THRU LANE IS OPTIONAL WHEN USED, IT IS TO BE CONTINUOUS AS INDICATED ON THIS DRAWING TO 9' PAST CENTER OF CUSTOMER COURTESY POST AS INDICATED ON DETAIL TEMPLATE VIII OF VII. CONCRETE TO BE 3,500 P.S.I., 6" THICK, WITH 6X6-W2.9XW2.9 W.W.M. WITH PREMOULDED BITUMINOUS NON-EXTRUDING EXPANSION JOINTS AT 10' O.C. OPTIONAL TO POUR A 4" BASE SLAB OF 3000 P.S.I. CONCRETE, IMMEDIATELY FOLLOWED BY A 2" SURFACE SLAB OF 3500 P.S.I. CONCRETE DYED BLACK USING ADMIXTURE (CHROMIX C-24 "CHARCOAL" BY SCHOFIELD CO. OR EQUAL.) INSURE THE 2" WEARING SURFACE BONDS TO THE BASE SLAB.
 - IN LIEU OF FULL CONCRETE D/T LANE, 12' X 20' (MIN.) CONCRETE PAD MAY BE USED. (ALSO OPTIONAL)

- GENERAL NOTES:**
- IF LONGER LOOP PATTERNS (OTHER THAN SPECIFIED) ARE NEEDED, CONTACT MANUFACTURER/SUPPLIER.
 - SEE LOOP SIZE AND PLACEMENT FOR THE PROPER NUMBER OF TURNS.
 - IF NO CONDUIT IS PROVIDED, SAW CUT LEAD- IN SHOULD CONTINUE THRU CONC. CURB TO BASE OF ORDER CONFIRMATION UNIT.
 - MITER CORNERS OF SAW CUT TO PREVENT SHARP TURNS WHICH COULD CUT THE WIRE INSULATION.
 - DETECTOR LOOPS ARE REQUIRED AT DRIVE THRU ORDER CONFIRMATION UNIT AND AT EACH DRIVE THRU WINDOW. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - FOR TECHNICAL ASSISTANCE AND PARTS CONTACT:
3M SOUND PRODUCT (800) 328-0033 OR HM ELECTRONICS, INC. (800) 909-6604



2 PRE-FAB DETECTOR LOOP NTS



LOOP SIZE	NO. OF TURNS
2 FT X 4 FT	6
2 FT X 6 FT	5
2 FT X 8 FT	4

- DEMOLITION NOTES:**
- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
 - WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 - THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
 - THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
 - THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A STATE REGISTERED LAND SURVEYOR).

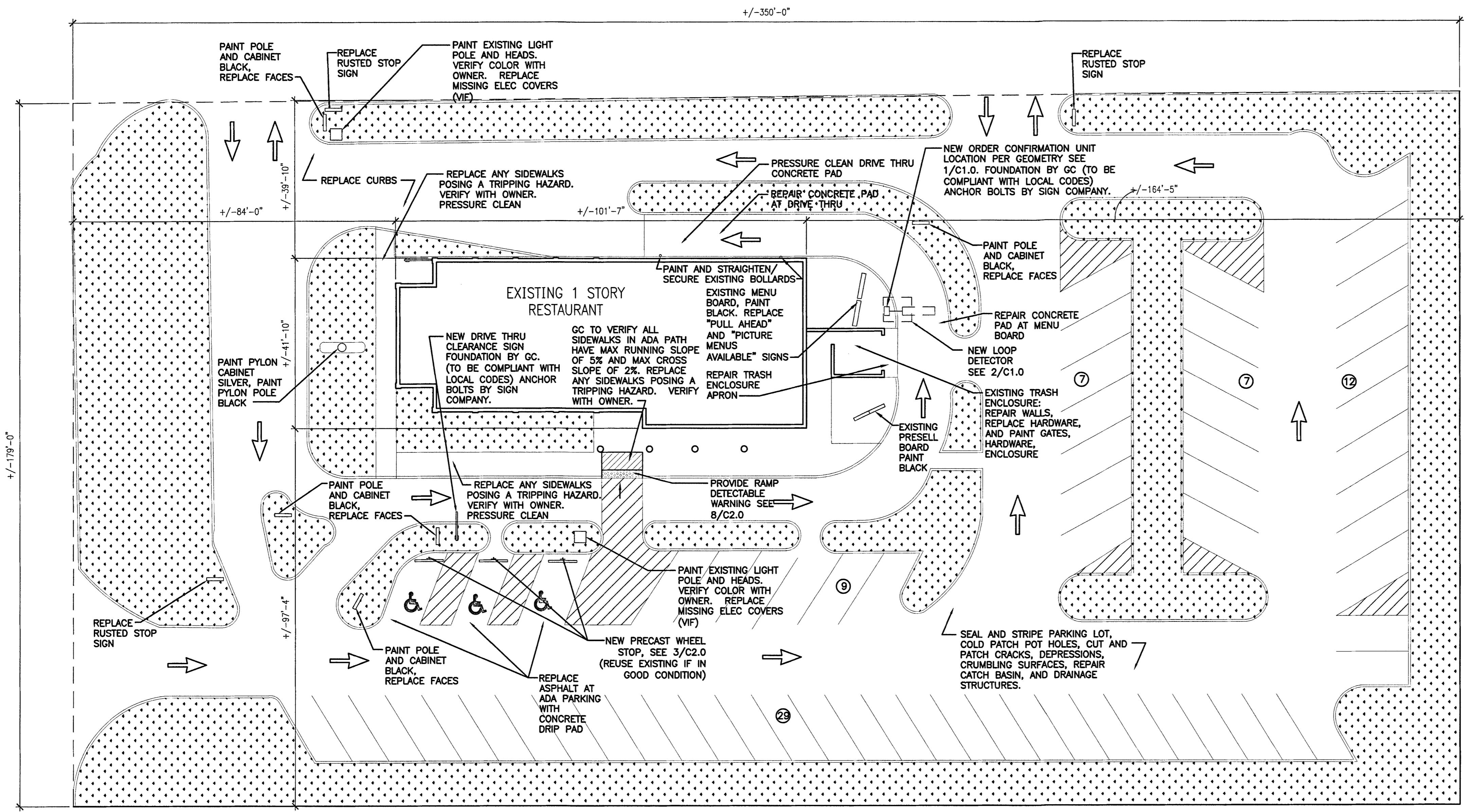
- SITE NOTES:**
- CONCRETE DRIVE-THRU APPROACH TO BE 3,500 PSI CONCRETE 6" THICK WITH 6X6-W2.9XW2.9 W.W.M. WITH PREMOULDED BITUMINOUS NON-EXTRUDING EXPANSION JOINTS AT 10' O.C.
 - EXISTING SANITARY SEWER AND WATER SERVICE TO THE EXISTING BUILDING ARE TO REMAIN.
 - NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD ELEVATIONS.
 - REPAIR ALL EXISTING DAMAGE CURB, REPAIR POT HOLES WITHIN PARKING AREAS; SOD ALL AREAS DISTURBED DURING CONSTRUCTION AND ALL OPEN AREAS. INCLUDE THE COST OF REPAIRS AND SODDING IN BID PACKAGE.
 - LANDSCAPING BY LANDSCAPING CONTRACTOR (BY OWNER).

- SITE CONCRETE NOTES**
- PROVIDE THE FOLLOWING SIDEWALK REQUIREMENTS UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS:
- SIDEWALKS SHALL BE 5" THICK WITH 6"x6" W1.4W1.4 W.W.M. ON 4" COMPACTED GRANULAR BASE
 - CONTROL JOINTS (CJ) SHALL BE SPACED SO AS TO OBTAIN APPROXIMATELY SQUARE SECTIONS W/ A MAXIMUM SPACING OF 5'-0" O.C.
 - EXPANSION JOINTS (EJ) SHALL BE SPACED AT 48'-0" O.C. AND WHERE SIDEWALK ABUTS A STRUCTURE
- PROVIDE THE FOLLOWING CURB REQUIREMENTS UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS:
- CURBS SHALL HAVE CONTROL JOINTS AT 15'-0" O.C. AND EXPANSION JOINTS AT 60'-0" O.C. AND AT TANGENT POINTS OF ALL RADIUS OF LESS THAN 100'-0".
 - CURB CONTROL JOINTS SHALL BE 1" DEEP SAW CUTS MADE WITHIN 48 HOURS OF PLACING CONCRETE. MAXIMUM SPACING TO BE 15'-0" O.C.
 - CURB REINFORCING STEEL SHALL NOT RUN THROUGH EXPANSION JOINTS.
 - LAP BARS 12" AT ALL SPLICES.
 - REINFORCING STEEL DOWELS SHALL BE PROVIDED AT ALL CURB CONSTRUCTION JOINTS.
 - EXPANSION JOINTS SHALL BE 1/2" WIDE PREFORMED FILLER, FULL DEPTH.
 - ALL CURB RETURN RADIUS ARE 5' UNLESS NOTED.

- SITE ASPHALT NOTES**
- PROVIDE THE FOLLOWING ASPHALT REQUIREMENTS UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS:
- PRIOR TO OVERLAY REMOVE AND REPLACE DETERIORATED ASPHALT AND POTHOLES (CONFIRM AREAS WITH OWNER)
 - ADJUST SEWER COVERS TO PROPER HEIGHT TO BE LEVEL WITH 1 1/2" OVERLAY
 - MACHINE GRIND NECESSARY AREAS TO ACHIEVE PROPER WATER FLOW.
 - INSTALL SCRATCH LEVELING COURSE ON ENTIRE AREA TO FILL ALL DIPS AND HOLES AND FLATTEN OUT LOT.
 - PRIME AREA WITH SS-1 EMULSION.
 - INSTALL NEW 1 1/2" COMPACTED DEPTH SURFACE COURSE OF CLASS - 11 MODIFIED BITUMINOUS ON THE ENTIRE AREA TO FORM A SMOOTH TRANSITION.
 - RE STRIPE PER DRAWINGS

BURIED UTILITIES NOTE

BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM ARCHIVES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT JULIE @ 1-800-892-0123 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.



SITE PLAN 1/16" = 1'-0"

INTERPLANE

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339

SEAL:

12.23.15 ISSUED FOR BID
12.23.15 ISSUED FOR PERMIT
NO DATE REMARKS

RESTAURANT FOR:

TOM'S King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
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BURGER KING CORPORATION

BURGER KING REMODEL

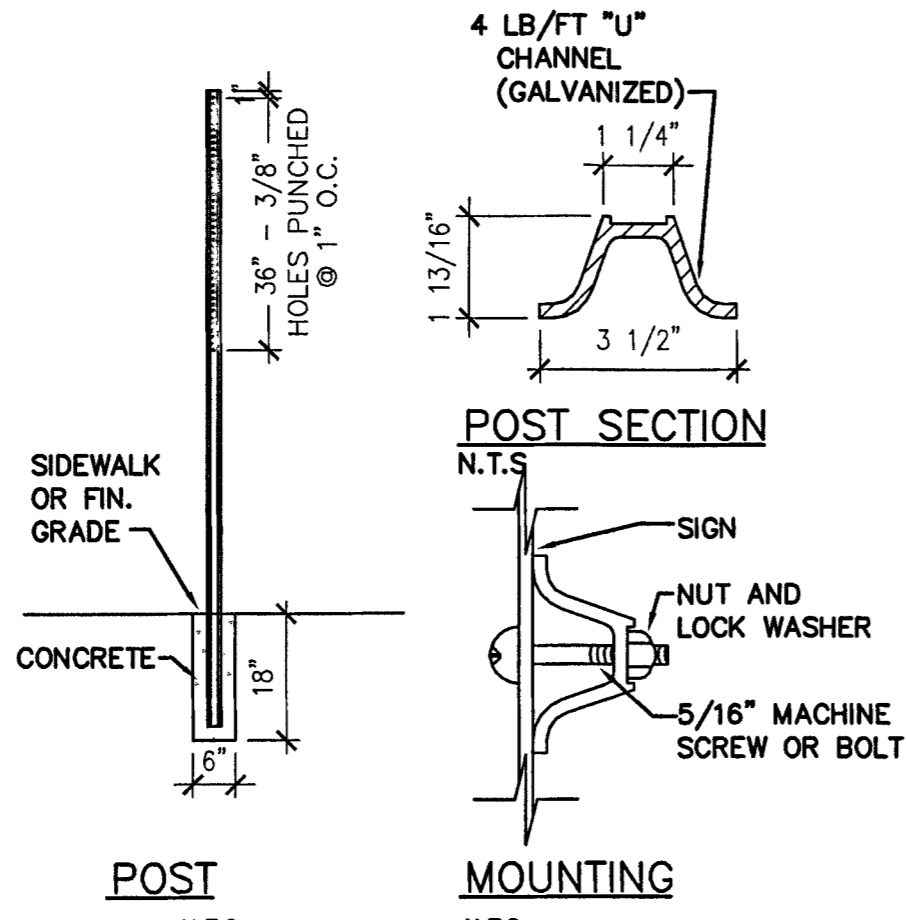
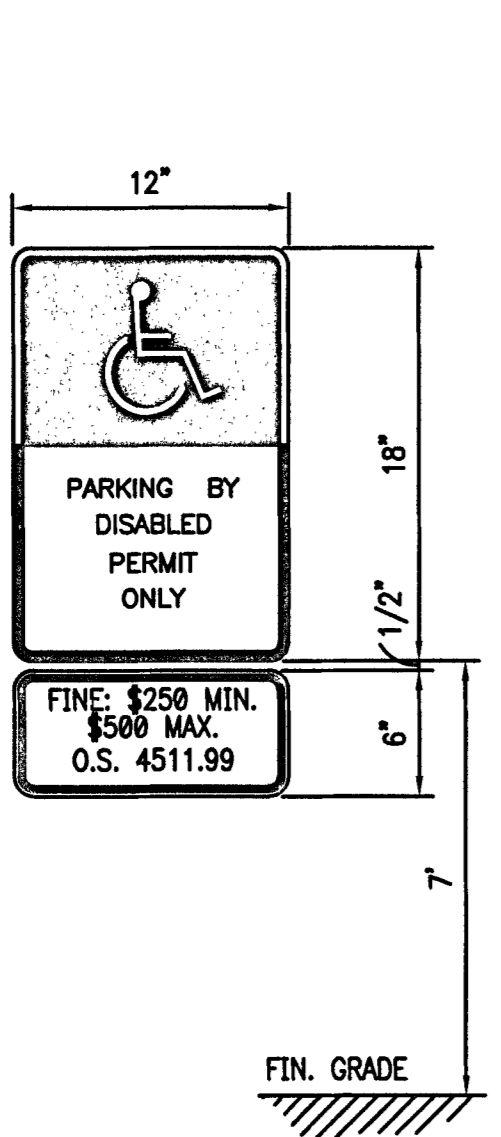
BK 10235
855 E TERRA COTTA
CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
DATE: 12.23.15

C1.0
SITE DETAILS

CHECKED: JN DRAWN: HP

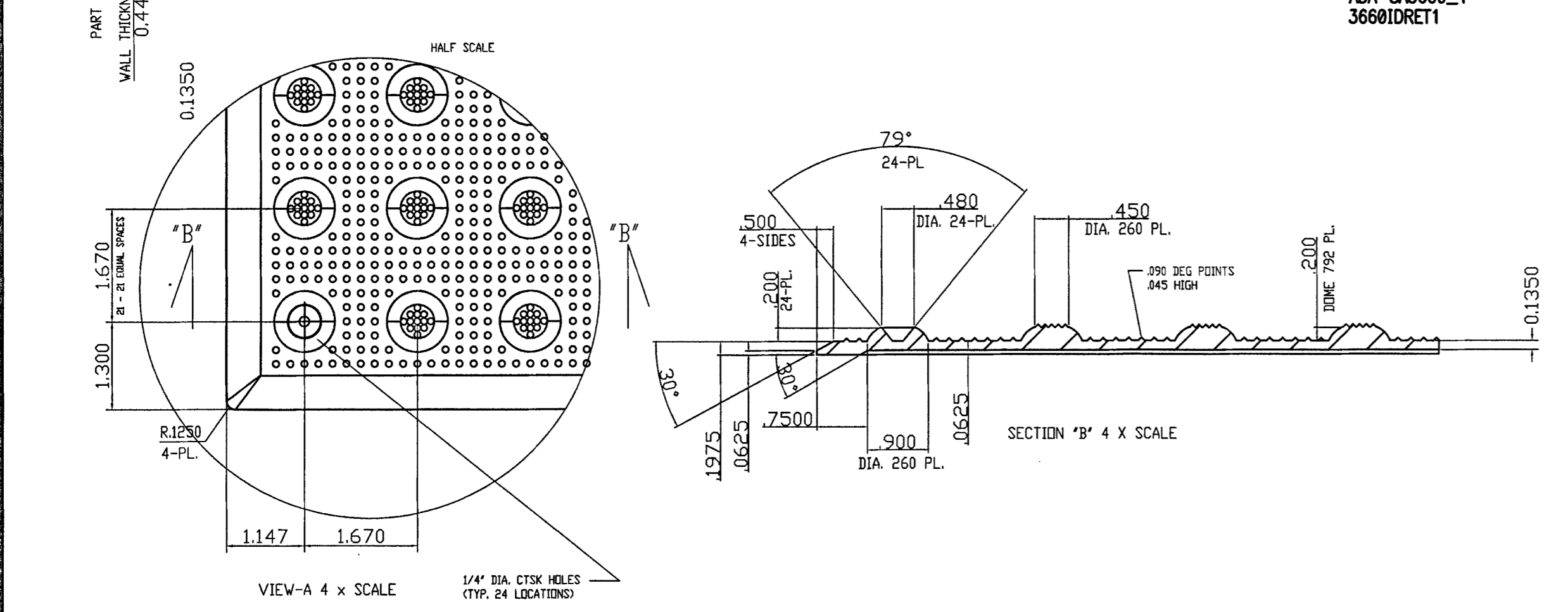
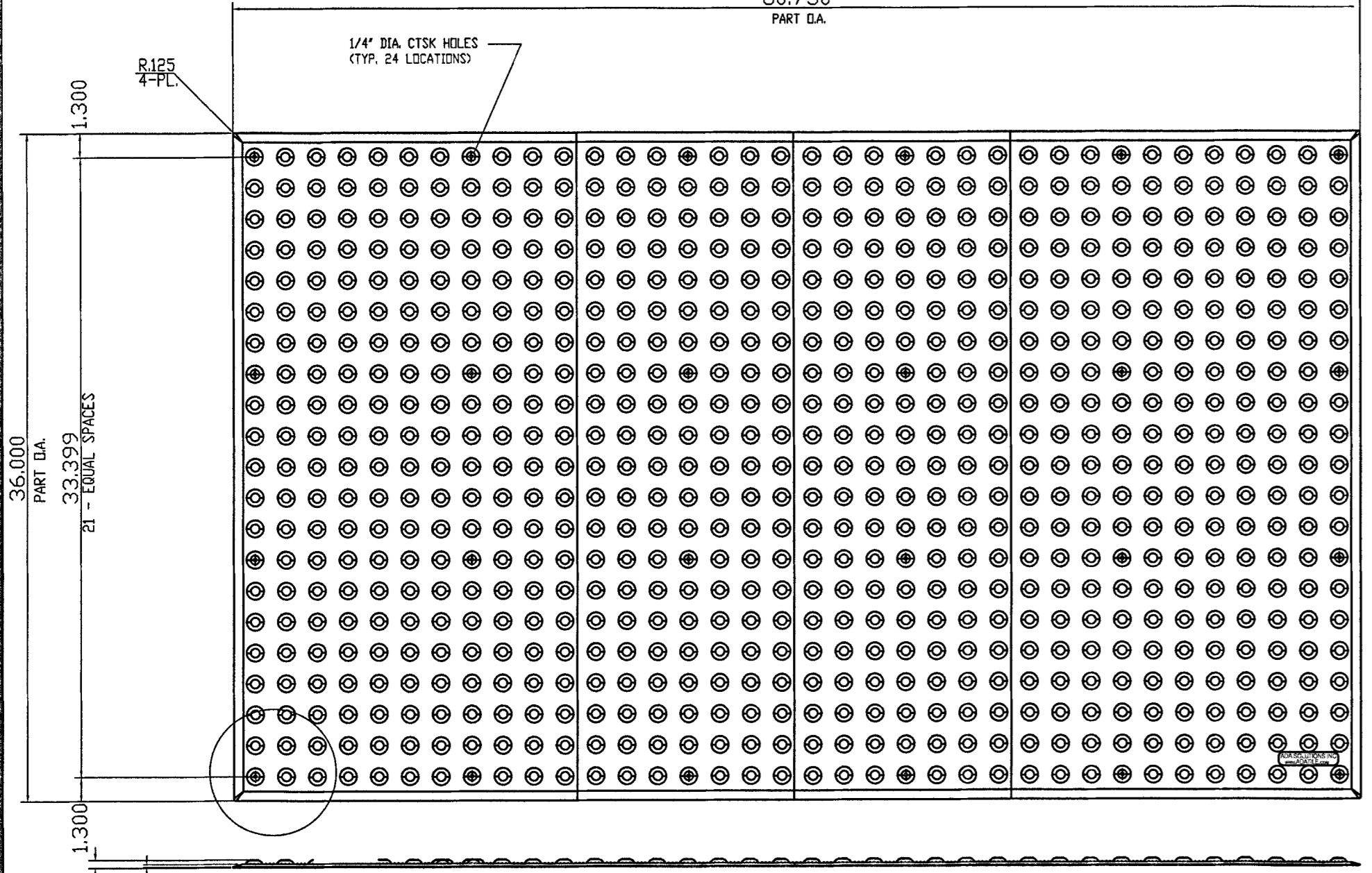
- NOTES:
1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD.
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER. CONTRACTOR SHALL VERIFY FINE AMOUNT & ORDINANCE NUMBER.
 5. ONE(1) SIGN REQUIRED FOR EACH PARKING SPACE.
 6. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 7. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.
 8. 1 IN EVERY 8 HANDICAP ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE. SIGNS MUST CONTAIN DESIGNATION "VAN ACCESSIBLE"



INSTALLATION DIAGRAMS

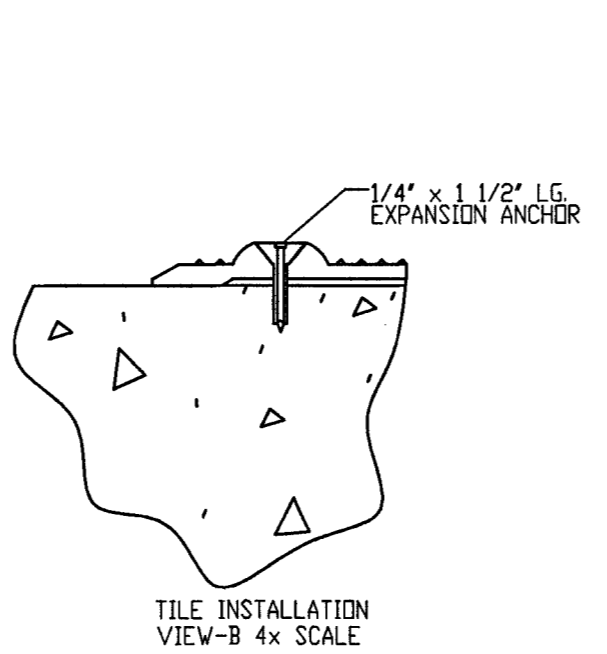
NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOLS ARE REQUIRED TO CONTRAST WITH BACKGROUND.

1 HANDICAP SIGN NTS



5 DETECTABLE WARNING NTS

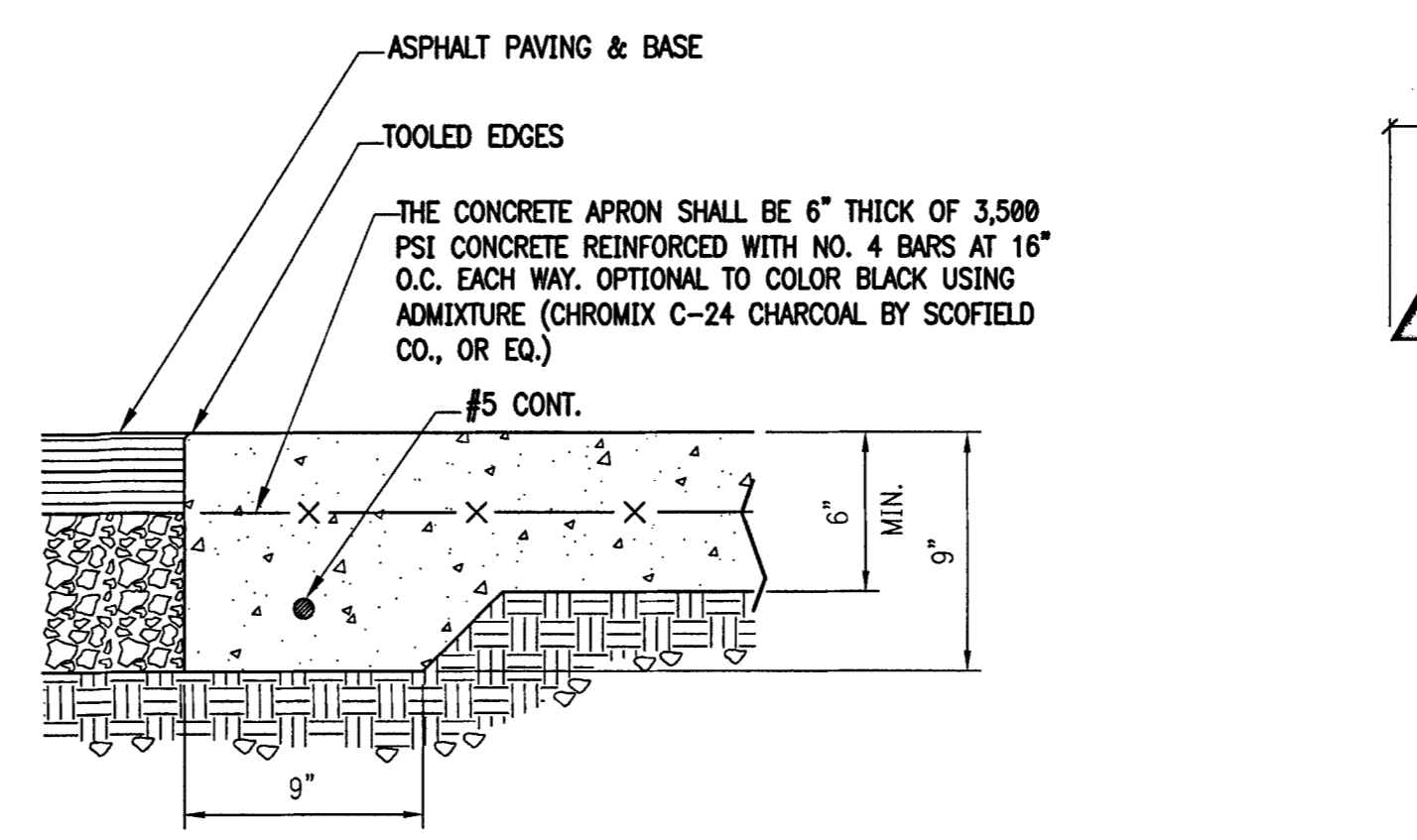
2 PAINTED HANDICAP SYMBOL NTS



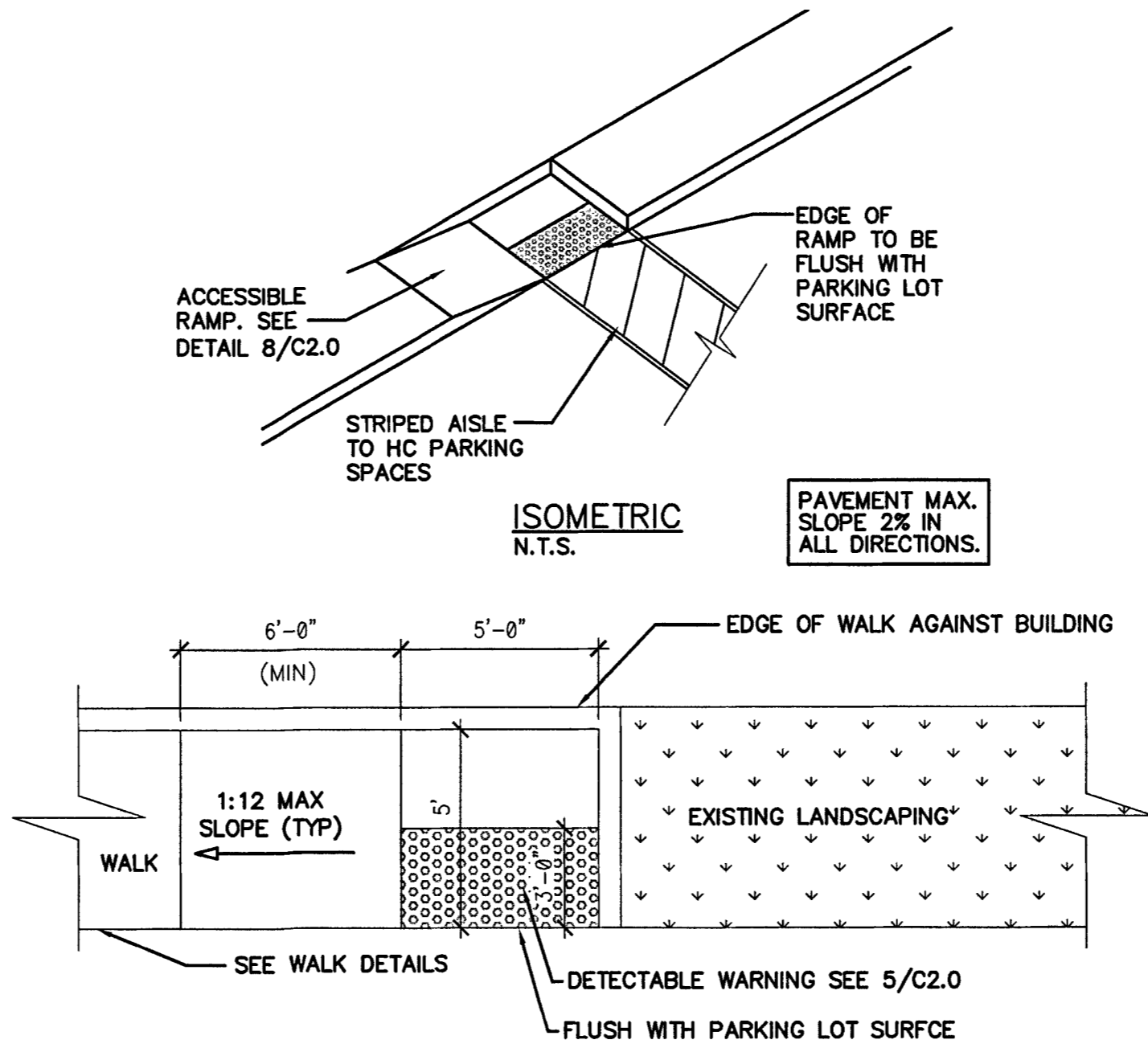
- NOTE:
1. CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPE SHALL BE 0.02 OR FLATTER.
 2. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING OR APPLYING A TRUNCATED DOME MATERIAL IN CONFORMANCE WITH THE ACCESSIBILITY CODE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN

ADA SOLUTIONS, INC.
SURFACE APPLIED TACTILE WARNING SURFACE PANEL
24-ANCHOR LOCATIONS
1.670" IN LINE TRUNCATED DOME PATTERN
PART SIZE: 36" X 60"
PLANS AND DETAILS
ADA-SA3660_1
3660IDRET1

3 PRECAST CONCRETE WHEELSTOP NTS

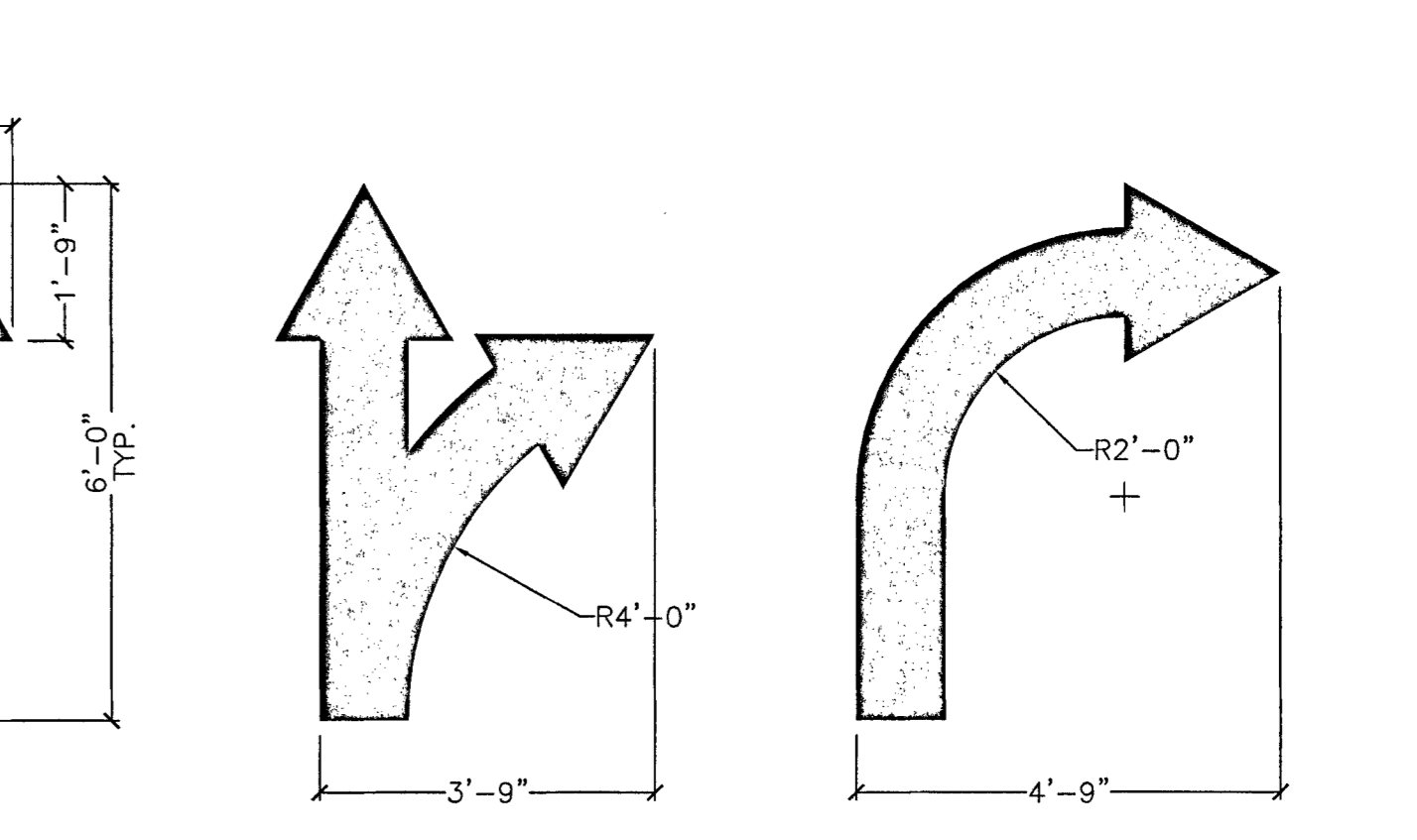


6 CONCRETE APRON NTS

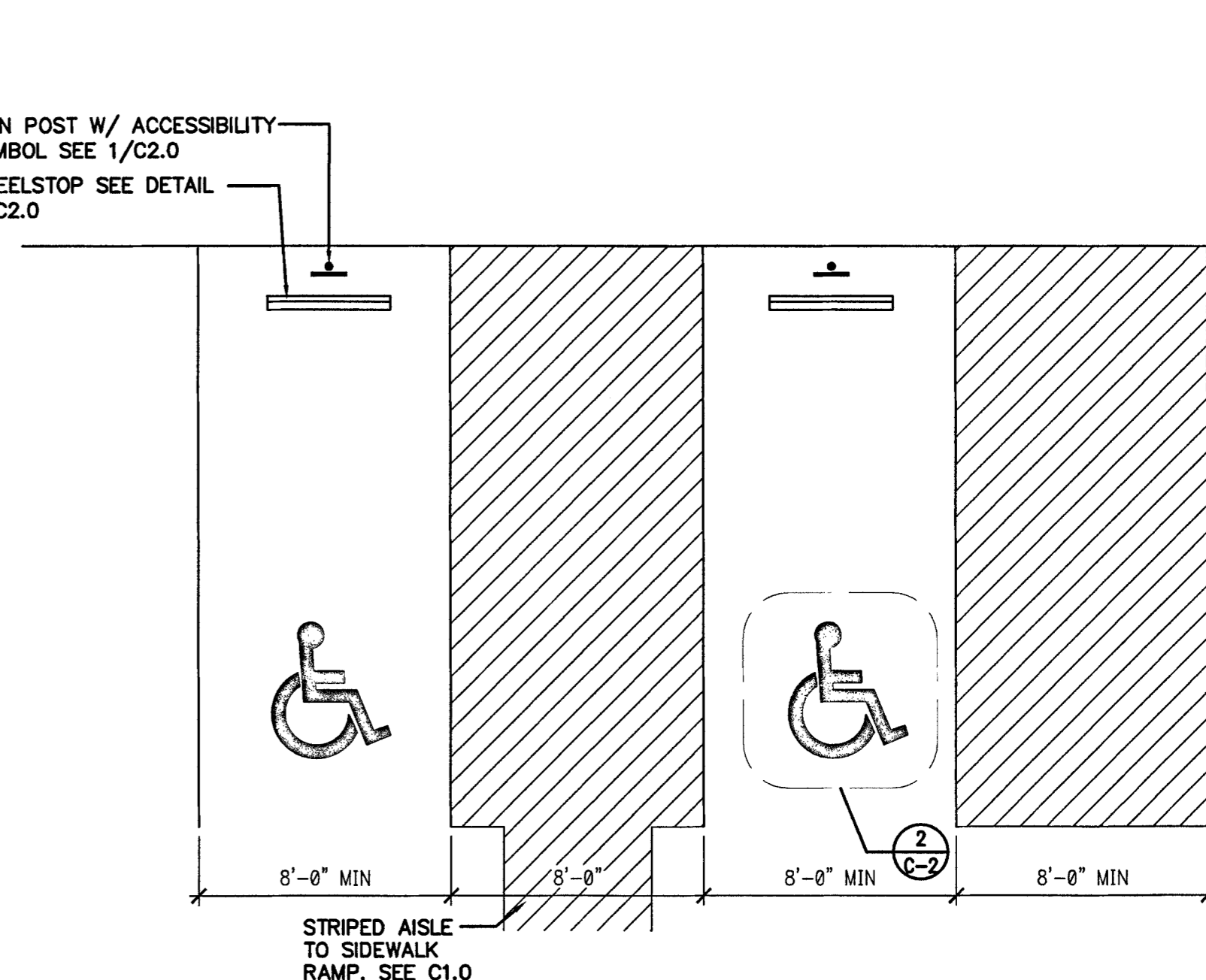


8 ACCESSIBLE PARKING RAMP NTS

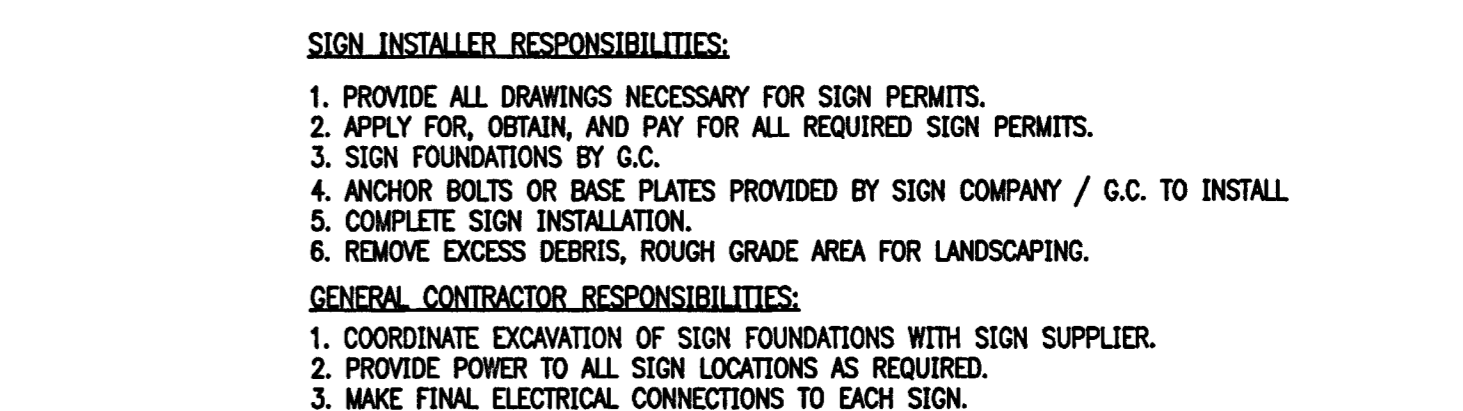
4 BRUSHED CONCRETE WALK NTS



7 PAINTED TRAFFIC ARROWS NTS

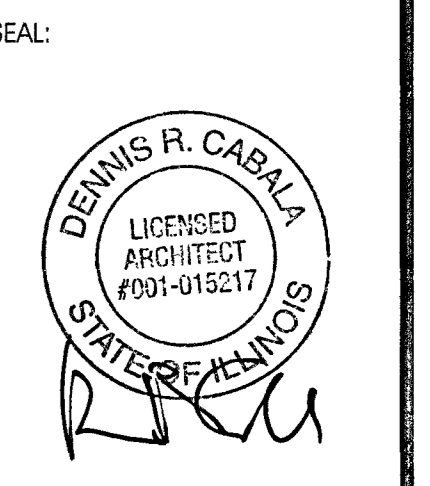


9 ACCESSIBLE PARKING STALLS NTS



10 GENERAL SIGNAGE NOTES

- SIGN INSTALLER RESPONSIBILITIES:
1. PROVIDE ALL DRAWINGS NECESSARY FOR SIGN PERMITS.
 2. APPLY FOR, OBTAIN, AND PAY FOR ALL REQUIRED SIGN PERMITS.
 3. SIGN FOUNDATIONS BY G.C.
 4. ANCHOR BOLTS OR BASE PLATES PROVIDED BY SIGN COMPANY / G.C. TO INSTALL
 5. COMPLETE SIGN INSTALLATION.
 6. REMOVE EXCESS DEBRIS, ROUGH GRADE AREA FOR LANDSCAPING.
- GENERAL CONTRACTOR RESPONSIBILITIES:
1. COORDINATE EXCAVATION OF SIGN FOUNDATIONS WITH SIGN SUPPLIER.
 2. PROVIDE POWER TO ALL SIGN LOCATIONS AS REQUIRED.
 3. MAKE FINAL ELECTRICAL CONNECTIONS TO EACH SIGN.



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REVISIONS

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BURGER KING CORPORATION

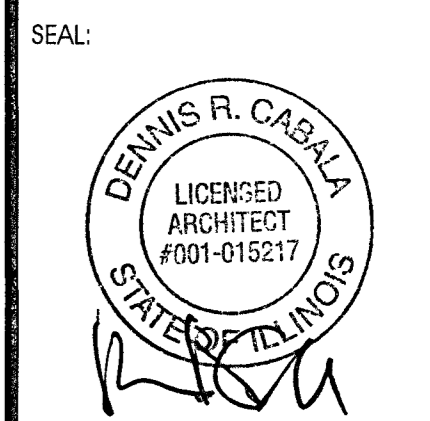
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C2.0
SITE DETAILS

CHECKED: JN DRAWN: HP



LEGEND

- EXISTING WALL
- E1 EXISTING DOOR
- N1 NEW DOOR
- R1 RELOCATED/ REUSED DOOR
- NEW WALL
- NEW FURRED-OUT WALL
- FE FIRE EXTINGUISHER
- EXISTING TO BE REMOVED
- NEW WINDOW SEE A7.0

- P1 5/8" USG "SHEETROCK" TYPE "X" GYPSUM WALL BOARD PANELS AT FINISH FLOOR TO 6" ABOVE CEILING. FINISH PER INTERIOR ELEVATIONS & DECOR PACKAGE.
 - P1a 2x4 WOOD STUDS AT 16" O.C. SECURE TO STRUCTURE ABOVE. AT P1a, USE 5 1/2" WOOD STUDS AT 16" O.C. SECURE TO STRUCTURE ABOVE.
 - P2 SOUND BATT INSULATION
 - P2a 5/8" USG "SHEETROCK" TYPE "X" GYPSUM WALL BOARD PANELS AT FINISH FLOOR TO 6" ABOVE CEILING. PAINT PER DECOR PACKAGE.
 - P2b 2x6 WOOD STUDS AT 16" O.C. FLOOR TO DECK.
 - P2c 5/8" USG "DUROCK" PANELS AT FINISH FLOOR TO DECK.
 - W1 2x4 STUDS AT 16" O.C., 5/8" GYPSUM BD ON BOTH SIDES AND R13 BATT INSULATION.
 - W1a 2x4 STUDS AT 16" O.C., 5/8" GYPSUM BD ON BOTH SIDES. FINISH PER DECOR PACKAGE.
 - W2 2x6 STUDS AT 16" O.C. WITH R-19 BATT. INSULATION. GYPSUM BD ON THE INSIDE AND PLYWOOD SHEATHING ON THE EXTERIOR SIDE. SEE WALL SECTIONS, EXTERIOR ELEVATIONS, AND DECOR DRAWINGS FOR FINISHES.
 - W3 2x6 STUDS AT 16" O.C. 5/8" GYPSUM BD ON BOTH SIDES AND R19 BATT INSULATION.
 - W4 HALF WALL - 2x4 STUDS AT 16" O.C., 5/8" GYPSUM BD ON BOTH SIDES. NEW STOREFRONT WINDOWS ABOVE TO MATCH EXISTING PLAYGROUND WALL.
- 2 PARTITION & WALL SCHEDULE NTS

KEYED NOTES

1. INSTALL NEW FRONT SERVICE COUNTER. COUNTER PROVIDED & INSTALLED BY G.C. REFER TO DECOR DRAWINGS.
2. PARTITION BELOW COUNTER BY G.C. G.C. TO VERIFY IF PARTIAL WALL DEMOLITION IS POSSIBLE FOR 34" ADA COUNTER TO ACHIEVE MOST COMPETITIVE BID. POS CABLING SHOULD BE STORED ABOVE CEILING IN LIEU OF DEMOLITION, UNTIL RE-INSTALLATION. G.C. TO PROVIDE POWER CONNECTIONS FOR RE-INSTALLATION OF POS AND EQUIPMENT AT FRONT COUNTER. BE SURE TO LEAVE OPENING IN STONE WALL FOR POS CABLING.
3. INSTALL NEW WALL TILE PER DECOR DRAWINGS.
4. PROVIDE AND INSTALL NEW DUROCK BACKING IN ALL WALLS IN THE RESTROOMS (TYPICAL). INSTALL NEW FINISHES PER DECOR DRAWINGS.
5. PROVIDE WOOD BLOCKING IN WALLS BEHIND NEW/RELOCATED PLUMBING ACCESSORIES AND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL). PATCH AND REPAIR WALLS AND PREPARE FOR NEW FINISHES.
6. INSTALL NEW FINISHES PER THE DECOR DRAWINGS.
7. NOTUSED
8. PROVIDE WALL FURRING AT 16" O.C. MAX FOR NEW ARCHITECTURAL ELEMENTS ON FACE OF EXISTING BUILDING. REFER TO EXTERIOR ELEVATIONS.
9. PROVIDE NEW WALL CONSTRUCTION. REFER TO PARTITION & WALL SCHEDULE.
10. REPAIR DRIVE THRU WINDOW AND SILLS.
11. NEW AWNING ABOVE.
12. REPLACE TILE BASE.
13. SEE ENLARGED RESTROOM PLAN ON A3.0 FOR NEW LAYOUT AND FIXTURE MOUNTING DIMENSIONS.
14. PROVIDE "MAXIMUM OCCUPANT LOAD" SIGN.
15. NOT USED
16. EXISTING STOREFRONT TO REMAIN. CLEAN ALL GLASS, TOUCH UP PAINT ON FRAMES, AS NEEDED. REPLACE ANY FAILED SEALS.
17. OWNER TO REMOVE AND RELOCATE FREESTYLE UNIT DURING CONSTRUCTION. PLUMBER IS REQUIRED TO RESET DRAIN HOOKUPS.
18. INSTALL NEW FLOOR TILE PER DECOR DRAWINGS.
19. REPAIR FLOOR TILE. ***BID ALTERNATE TO INSTALL NEW.
20. CLEAN AND BUFF FLOOR AFTER INSTALLATION/REPAIR OF FINISH MATERIALS.
21. NOT USED
22. NOT USED
23. CLEAN EXISTING FLOOR DRAIN.
24. NOT USED
25. REPAIR DOOR CLOSURE. ***BID ALTERNATE TO REPLACE
26. NOT USED
27. NOT USED
28. NOT USED
29. NEW DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE ON A7.0.
30. NEW SERVICE DOOR. SEE PLAN AND DOOR SCHEDULE ON A7.0 - SEE EXTERIOR ELEVATIONS FOR FINISH PAINT COLOR.
32. NOT USED
33. REPAIR AND CLEAN PLAYGROUND EQUIPMENT.
34. REPAIR/REPLACE SAFETY PADDINGS AT POST.
35. PRESSURE CLEAN AREA.

DEMOLITION KEYED NOTES

- D1. REMOVE EXISTING FRONT SERVICE COUNTER AND PARTITION BELOW COUNTER. GC TO VERIFY PARTIAL WALL DEMOLITION IS POSSIBLE FOR 34" ADA COUNTER. GC TO LEAVE EXISTING POWER CONNECTIONS FOR RE-INSTALLATION OF POS AND EQUIPMENT. POS TO BE REMOVED BY OWNER.
- D2. REMOVE EXISTING SEATING AND TABLES INCLUDING SUPPORT FRAMES. PATCH AND REPAIR FLOOR AS NEEDED. SOLID BLACK TILES TO BE USED FOR PATCHING.
- D3. REMOVE QUEUE RAIL. PATCH AND REPAIR FLOOR AS NEEDED. SOLID BLACK TILES TO BE USED FOR PATCHING.
- D4. NOT USED
- D5. REMOVE EXISTING ELECTRONIC INTERIOR MENU BOARD AND STORE FOR RE-INSTALLATION ONCE THE REMODEL IS COMPLETED. - BY OWNER
- D6. REMOVE PARTITIONS IN RESTROOMS. RELOCATE ANY EXISTING PLUMBING/ELECTRICAL AS REQUIRED PER NEW RESTROOM LAYOUT. REFER TO SHEETS A3.0.
- D7. REMOVE EXISTING FLOOR TILE. PATCH AND REPAIR FLOOR. PREP FOR NEW FINISHES.
- D8. NOT USED
- D9. NOT USED
- D10. REMOVE EXISTING PLUMBING FIXTURES AND TOILET ACCESSORIES. RELOCATE AS NECESSARY TO MEET ADA. REFER TO A-3.0 ENLARGED TOILET ROOM PLAN FOR MORE INFORMATION.
- D11. REMOVE EXISTING HALF WALLS AS INDICATED, PATCH AND REPAIR FLOOR AS NEEDED. SOLID BLACK TILES TO BE USED FOR PATCHING.
- D12. NOT USED
- D13. REMOVE EXISTING DOOR AND HARDWARE. SEE THIS SHEET FOR LOCATION AND A7.0 FOR NEW DOOR SPECIFICATIONS.
- D14. REMOVE WALL FINISHES TRIM AND PREPARE FOR NEW FINISHES TO BE INSTALLED. SEE DECOR DRAWINGS FOR FINISHES AND SPECIFICATIONS.
- D15. REMOVE AND STORE EXISTING CONDIMENT / SELF-SERVICE BEVERAGE BAR.
- D16. OWNER TO REMOVE AND RELOCATE FREESTYLE UNIT DURING CONSTRUCTION. PLUMBER IS REQUIRED TO RESET DRAIN HOOKUPS.
- D17. NOT USED
- D18. NOT USED
- D19. EXISTING FLOOR TILE REMAIN, PATCH AND REPAIR AS NEEDED. ***SOLID BLACK TILE TO BE USED FOR PATCHING.
- D20. NOT USED

12.23.15 ISSUED FOR BID
12.23.15 ISSUED FOR PERMIT
NO DATE REMARKS

REVISIONS

RESTAURANT FOR:
TOMS King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008

BURGER KING CORPORATION

BURGER KING REMODEL

BK 10235
855 E TERRA COTTA
CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
DATE: 12.23.15

A1.0
FLOOR PLAN

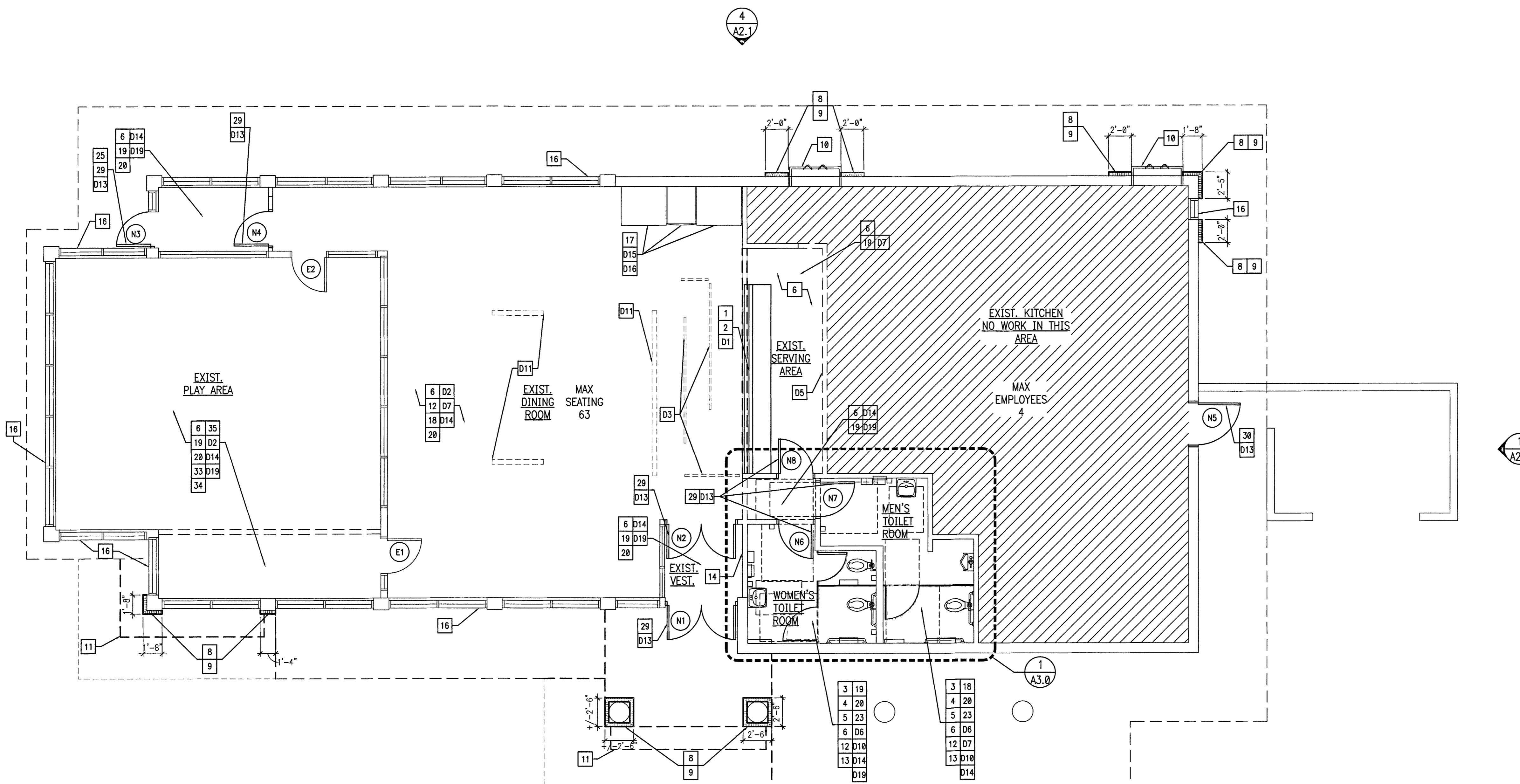
CHECKED: JN DRAWN: HP

NOTE TO CONTRACTOR:

1. DO NOT DISCARD HIGH CHAIRS.
2. DO NOT REMOVE OR DISPOSE OF SECURITY CAMERAS.
3. SAVE ALL ARTWORK/WALL ARTIFACTS AND REINSTALL.

NOTE:

SEE THE INTERIOR DECOR DRAWINGS FOR INTERIOR FLOOR AND WALL FINISHES, FINISH SCHEDULE AND DETAILS.



FLOOR PLAN
SCALE: 3/16" = 1'-0"



2
A2.0

3
A2.1

4
A2.1

1
A2.0

1
A3.0

3 19
4 20
5 23
6 D6
12 D10
13 D14
D19

3 18
4 20
5 23
6 D6
12 D7
13 D10
D14

LIGHT FIXTURE SCHEDULE				
TYPE	MANUFACTURER	CATALOG NO.	WATTAGE	REMARKS
B	LSI	BESA LIGHT "LUCIA" GARNET (5 PENDANT FIXTURE) 6JC-169741-SN-LMPFL	GU-24	DECORATIVE GLASS PENDANT LIGHT. PENDANTS TO BE CENTERED OVER TABLES PER DECOR DRAWINGS. COORDINATE LOCATION AND QUANTITY WITH DECOR SUPPLIER. HEIGHTS VARY. LOWEST BOTTOM OF LIGHT: 6'-6" A.F.F. AT DINING TABLE 6'-4" A.F.F. AT SOFT SEATING
	SECURITY	BESA LIGHT "LUCIA" GARNET (5 PENDANT FIXTURE) 6JC-169741-SN-LMPFL	GU-24	
	CREE (RUUD)-HERMITAGE	BESA LIGHT "LUCIA" GARNET (5 PENDANT FIXTURE) 6JC-169741-SN-LMPFL	GU-24	
	CAL LIGHTING	(5 PENDANT FIXTURE) PCS-1077-BS		CONTACT: ROBERT COOPER 1-800-321-6677 x-102
B1	LSI	BESA LIGHT "TAMBURO" GARNET 704241-SN-LMPFL	GU-24	DECORATIVE GLASS WALL SCONCE. COORDINATE LOCATION AND QUANTITY WITH DECOR SUPPLIER. HEIGHTS VARY. LOWEST BOTTOM OF LIGHT: 6'-4" A.F.F.
	SECURITY	BESA LIGHT "TAMBURO" GARNET 704241-SN-LMPFL	GU-24	
	CREE (RUUD)-HERMITAGE	BESA LIGHT "TAMBURO" GARNET 704241-SN-LMPFL	GU-24	
B2	LSI	BESA LIGHT "LUCIA" GARNET (1 PENDANT FIXTURE) 1TT-169741-SN-LMPFL	GU-24	DECORATIVE GLASS SINGLE PENDANT LIGHT. PENDANTS TO BE CENTERED OVER TABLES PER DECOR DRAWINGS. COORDINATE LOCATION AND QUANTITY WITH DECOR SUPPLIER. HEIGHTS VARY. LOWEST BOTTOM OF LIGHT: 6'-6" A.F.F. AT DINING TABLE 6'-8" A.F.F. AT SOFT SEATING
	SECURITY	BESA LIGHT "LUCIA" GARNET (1 PENDANT FIXTURE) 1TT-169741-SN-LMPFL	GU-24	
	CREE (RUUD)-HERMITAGE	BESA LIGHT "LUCIA" GARNET (1 PENDANT FIXTURE) 1TT-169741-SN-LMPFL	GU-24	
B2	CAL LIGHTING	(SINGLE PENDANT FIXTURE) PCI-1077-10-BS		CONTACT: ROBERT COOPER 1-800-321-6677 x-102
	LSI	1JT-4124RM-SN-LAMP (RUBY) 1JT-4124VM-SN-LAMP (VANILLA)	50 XENON	DECORATIVE PENDANT LIGHT WITH STAINLESS RING ACCENT. PENDANTS TO BE CENTERED OVER TABLES PER DECOR DRAWINGS. COORDINATE LOCATION AND QUANTITY WITH DECOR SUPPLIER. BOTTOM OF LIGHT @ 6'-6" A.F.F.
	SECURITY	5F7681JT4124RM / 5F141BK4RPS (RUBY) 5F7681JT4124VM / 5F141BK4RPS (VANILLA)	26 CFL	
	CREE (RUUD)-HERMITAGE	*BES00003 w/ RS9042&	18 CFL	

C	LSI	FB38-MAB-LMPFL	26 CFL	6" DIAMETER SURFACE MOUNTED CYLINDER, BLACK. JUNCTION BOX (LOCATION VARIES W/ MANUFACTURER)
	SECURITY	5F141SLSP5741	26 CFL	
	CREE (RUUD)-HERMITAGE	RS9035A-1B8 w/ RS9035B-NF8 w/ L-9121&	26 CFL	
D	LSI	SP7000A/71359SBFFL/BH27/LAMP-LMP2635	26 PLT	7" DIAMETER RECESSED DOWN LIGHT
	SECURITY	5F1687500N/5F1687532BL-S	26 CFL	
	CREE (RUUD)-HERMITAGE	RC6 W/ LR6-10L LT6WH-DR	11 WATT LED	
E	LSI	1TFA-2-32-SD-SS010-LM735-UE	(2)32 FL	1x4 RECESSED FLUORESCENT
	SECURITY	R142BLW120/GFK14	(2)32 FL	
	CREE (RUUD)-HERMITAGE	*F14GTD011	(2)32 FL	
G	LSI	GA-432-SD-SS010-LM735-UE	(4)32 FL	2x4 RECESSED FLUORESCENT
	SECURITY	R244BLW120	(4)32 FL	
	CREE (RUUD)-HERMITAGE	*J24RG0015	(4)32 FL	
G2	LSI	PGN18-432-FD-SS010-LM735-UE	(4)32 FL	2x4 RECESSED FLUORESCENT (DINING ROOM DROPPED CEILING OPTION)
	SECURITY	RD4GSZAHBIE	(4)32 FL	ORDER BLACK TRIM WITH BLACK CEILING AND WHITE TRIM WITH HAZE CEILING.
	CREE (RUUD)-HERMITAGE	*J24PG3014	(4)32 FL	
J (OPTIONAL)	SECURITY	X1AFB132K1YBQ1E	(1) 2B FL	MANUFACTURER: STONCO MODEL: XPRESSIVES SERIES 4" LINEAR FLUOR. DESCRIPTION: CHOOSE NECK EXTERIOR FIXTURE MARKED FOR WET LOCATION ARM STYLE SL4 W/ACSSXX CABLE SUPPORT
	CREE (RUUD)-HERMITAGE	*B8C000716 W/(2)*B8C000717 W/*B8C000718	150 MH	

K	LSI	SCET-S-100-PSMV-PG-120-WHT (100W PSMH) CROSSOVER SERIES XSL2.5 LED 50 CW 120 WHT	100 MH	DROP DOWN METAL HALIDE FIXTURE
	SECURITY	UCL-853-100MH-S-WH-120/277 (100W PSMH) 851 SERIES 8851 DL 42 FP OW WH 120	100 MH	
	CREE (RUUD)-HERMITAGE	MRC0410-1A	100 MH	
L	LSI	HW5-FTW-150-CMH-F-120-MSV	150 MH	SURFACE MOUNTED EXTERIOR WALL SCONCE
	SECURITY	RWSC-175MH-UD-PS-MT	175 MH	NOTE: 1. FIXTURES ARE TO MATCH STOREFRONT FRAMES 2. LSI FIXTURE "L", COLOR SILVER, TO BE USED IN CANOPIES WHEN USING OPEN CANOPIES
	CREE (RUUD)-HERMITAGE	SE9141& (SILVER) OR SE9140& (BLACK) SE9139& (RED) SE5410-M (BRONZE)	100 MH	
M	LSI	EG3-2-32-SS10-WL-LM830-UE	(2)32 FL	WET LISTED 4'-0" FLUORESCENT UNDER CANOPY LIGHT ARE TO BE INSTALLED POINTING DOWN. G.C. TO PROVIDE AND INSTALL BRACKETS AS REQUIRED.
	SECURITY	5F141SLSLUN42	(2)32 FL	
	CREE (RUUD)-HERMITAGE	HS14V2X32-U3	(2)32 FL	
N	LSI	EG2-WB-150-PSMH-PG-MT-BLK	150 MH	WALL MOUNTED SECURITY LIGHT
	SECURITY	SWP-175MH-WH/PS	175 MH	
	CREE (RUUD)-HERMITAGE	MGWP0615-M	175 MH	
EM	LSI	LES 6 100 WH	(2) 7.2	EMERGENCY LIGHT
	SECURITY	PE 6	-	
	CREE (RUUD)-HERMITAGE	EMP22WH	-	
EMX	LSI	PRX-R-U-WB-WH-PR50-R12	(2) 5.4	EXIT/EMERGENCY LIGHT
	SECURITY	14104567	-	
	CREE (RUUD)-HERMITAGE	EXPCORWH	-	

NOTES:
 1. NOT ALL LIGHT FIXTURE TYPES SHOWN ON SCHEDULE MAY BE USED ON THIS PROJECT. REFER TO LIGHTING PLAN FOR PROJECT SPECIFIC TYPES AND QUANTITIES.
 2. PENDANT FIXTURES "B" MUST BE CENTERED OVER TABLE TOPS. COORDINATE WITH DECOR DRAWINGS.
 3. CONTRACTOR TO NOTIFY LIGHTING SUPPLIER OF THE FOLLOWING: FIXTURE TYPES "C" AND "D" WILL BE REQUIRED TO BE LENS AT THE LOCATIONS OVER THE SERVICE AREA AND OVER THE SELF-SERVE DRINK AREA. FIXTURE TYPE "G2" WILL REQUIRE A LENS OR TUBE GUARD AT THOSE LOCATIONS.

GENERAL NOTES

- A. ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLAN ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
- B. THE REFERENCE HEIGHTS INDICATED ON PLAN ARE FROM APPROXIMATE FINISH FLOOR (A.F.F.)
- C. GENERAL CONTRACTOR TO COORDINATE DINING ROOM LIGHTING WITH APPROVED INTERIOR DECOR PLANS.
- D. CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES AND ALSO MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN DUE TO ADDITIONAL REQUIREMENTS, LOCAL CODES, ETC.
- E. CONTRACTOR TO COORDINATE PENDANT LIGHT LOCATIONS WITH DECOR SUPPLIER'S DRAWINGS.
- F. ALL FIXTURES SHALL BE LOCATED IN CENTER OF CEILING TILES UNLESS OTHERWISE NOTED.
- G. SEE THIS SHEET FOR LIGHTING LAYOUT REQUIREMENTS AND ADDITIONAL INFORMATION.
- H. FOR FINISH SPECIFICATIONS, REFER TO FINISH SCHEDULE ON A8.0 SHEET.

NOTE:
SEE THE INTERIOR DECOR DRAWINGS FOR INTERIOR FLOOR AND WALL FINISHES, FINISH SCHEDULE AND DETAILS.

NOTE:
GRIDPOINT ENERGY MANAGEMENT SYSTEM IS IN THIS RESTAURANT. GIVE CAUTION TO SENSOR/THERMOSTATS.

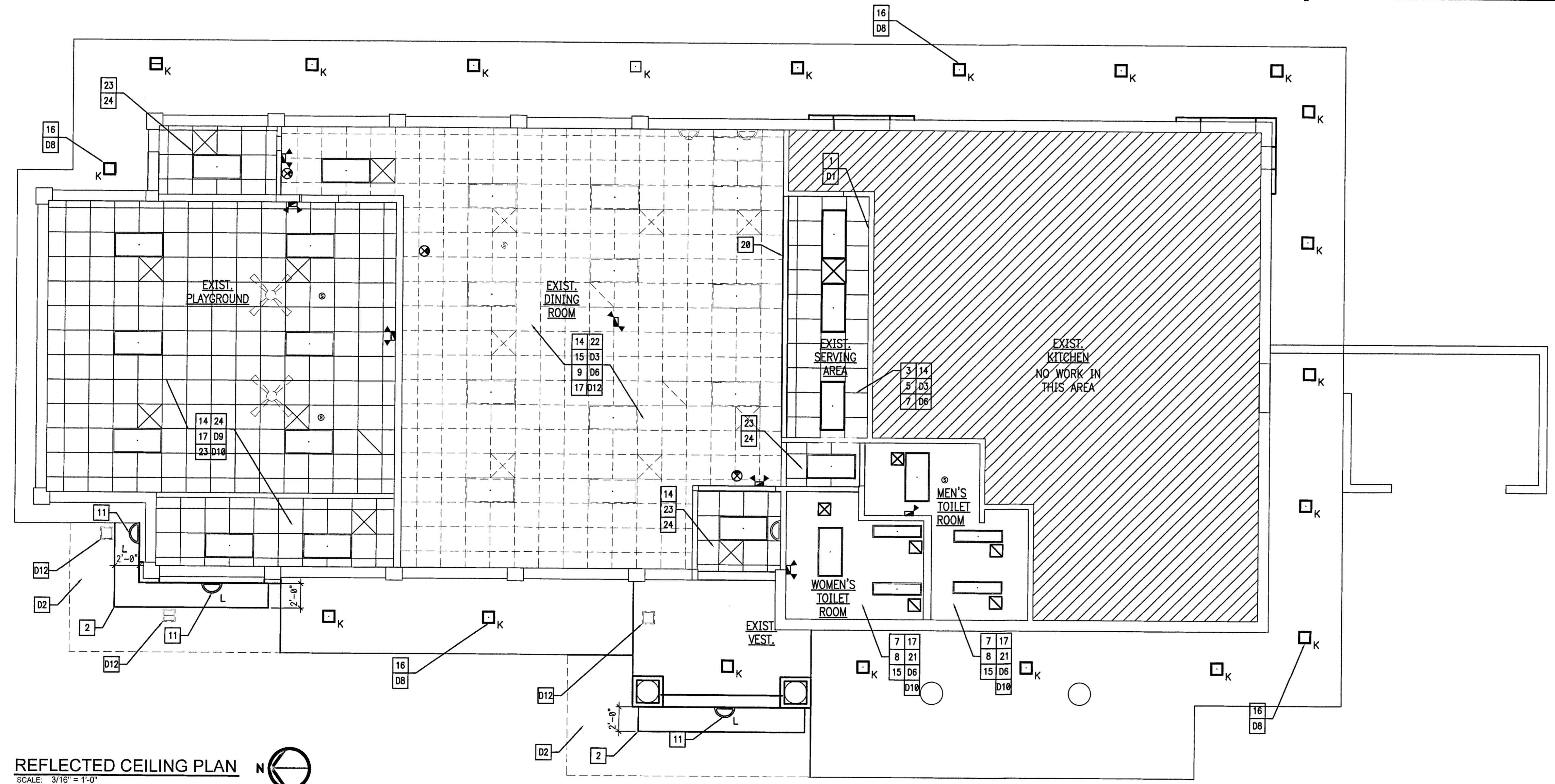
LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	SUPPLY AIR DIFFUSERS
[Symbol]	RETURN AIR GRILLES
[Symbol]	EXHAUST FAN GRILLES
[Symbol]	CEILING GRID & TILE: 2'x2'
[Symbol]	CEILING GRID & TILE: 2'x4'
[Symbol]	NEW GYPSUM BD. CEILING

KEYED NOTES

- EXISTING MENU BOARD WALL. FINISH PER DECOR SCHEDULE. RE-INSTALL MENU BOARD WITH ANGLE BRACKET. -BY OWNER
- PREFABRICATED METAL CANOPY TYPICAL. COORDINATE WITH CANOPY VENDOR FOR WALL BLOCKING REQUIREMENTS.
- NEW SUSPENDED CEILING GRID. REPAIR GRID AS REQUIRED, LEVEL, CLEAN. INSTALL NEW TILE, SEE NOTE 5.
- NOT USED.
- NEW SUSPENDED ACOUSTICAL CEILING TILE, USG 24 X 24 X 3/4" RADAR CLIMA PLUS CEILING PANEL, FL EDGE, COLOR WHITE.
- NOT USED.
- NEW SUPPLY / RETURN DIFFUSERS (COLOR: WHITE) -FURNISHED AND INSTALLED BY OWNER.
- REPAIR EXISTING LIGHT FIXTURES.
- PENDANT LIGHTS TO BE CENTERED OVER TABLES. COORDINATE WITH DECOR DRAWINGS AND SEATING PLAN. -SUPPLIED BY OWNER INSTALLED BY GC.
- NOT USED.
- NEW UNDER CANOPY LIGHT FIXTURE TO BE LOCATED SO THAT LIGHT SOURCE IS NOT VISIBLE. G.C. TO SUPPLY 4-BOX AS INDICATED BY AWNING/CANOPY VENDOR. CONNECT NEW LIGHTS TO EXISTING CIRCUITS. VERIFY IN FIELD. PROVIDED BY CANOPY MANUFACTURER.
- NOT USED.
- NOT USED.
- SECURITY CAMERAS TO REMAIN. DO NOT REMOVE, DO NOT THROW OUT.
- CONNECT NEW LIGHTS TO EXISTING CIRCUITS. VERIFY IN FIELD.
- INSTALL SOFFIT LIGHTS, SEE LIGHTING SCHEDULE ON THIS SHEET.
- INSTALL NEW EMERGENCY LIGHTING AND EXIT SIGNS. -SUPPLIED BY OWNER INSTALLED BY GC.
- NOT USED.
- NOT USED.
- NOT USED.
- NEW SOFFIT OVER SERVICE COUNTER.
- PATCH AND REPAIR EXISTING DRYWALL CEILING. PREP FOR NEW FINISH.
- REPLACE THERMOSTAT.
- EXISTING CEILING GRID.
- EXISTING CEILING TILE.

DEMOLITION KEYED NOTES

- REMOVE EXISTING ELECTRONIC INTERIOR MENU BOARD AND STORE FOR RE-INSTALLATION ONCE THE REMODEL IS COMPLETED. -BY OWNER
- REMOVE EXISTING ROOF AND PARAPET WHERE SHOWN. REFER TO ROOF PLAN AND SECTIONS FOR MORE INFORMATION ON THE EXTENT OF THE DEMOLITION. REMOVE SOFFIT LIGHTS AND RELATED WIRING BACK TO SOURCE, LOCATED IN THE ROOF THAT WILL BE DEMOLISHED.
- REMOVE EXISTING CEILING TILES.
- NOT USED.
- REMOVE EXISTING DIFFUSERS, SEE PLAN FOR LOCATION OF NEW DIFFUSERS.
- NOT USED.
- REMOVE EXISTING SOFFIT LIGHTS. LEAVE ELECTRICAL CONNECTIONS FOR USE WITH NEW LIGHT FIXTURES. SEE PLAN FOR LOCATION OF NEW SOFFIT LIGHT FIXTURE.
- REMOVE EXISTING CEILING FAN IN PLAYGROUND. CAP ELECTRICAL CONNECTION.
- REMOVE EXISTING EMERGENCY LIGHTING AND EXIT SIGNS. REPLACE ALL FIXTURES WITH NEW IN CURRENT LOCATION, UNLESS NOTED OTHERWISE. TO INCLUDE REAR DELIVERY DOOR SIGN.
- NOT USED.
- REMOVE EXISTING LIGHT FIXTURE AND CONDUIT BACK TO SOURCE.



REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

INTERPLANS
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

ONE SOUTH 280 SUMMIT AVE
 SUITE D
 OAKBROOK TERRACE, IL 60191
 PH 630.932.2336
 FX 630.932.2339

SEAL:
 DENNIS R. CABALA
 LICENSED ARCHITECT
 #001-015217
 STATE OF ILLINOIS

12.23.15 ISSUED FOR BID
 12.23.15 ISSUED FOR PERMIT
 NO DATE REMARKS

REVISIONS

RESTAURANT FOR:
TOM'S King
 335 COMMERCE DRIVE
 CRYSTAL LAKE, IL 60014
 815-444-7008

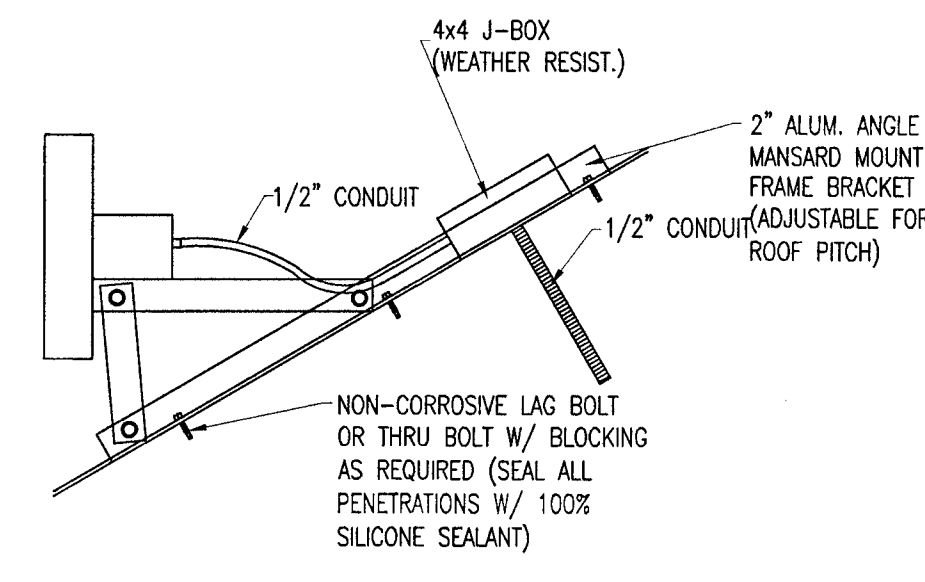
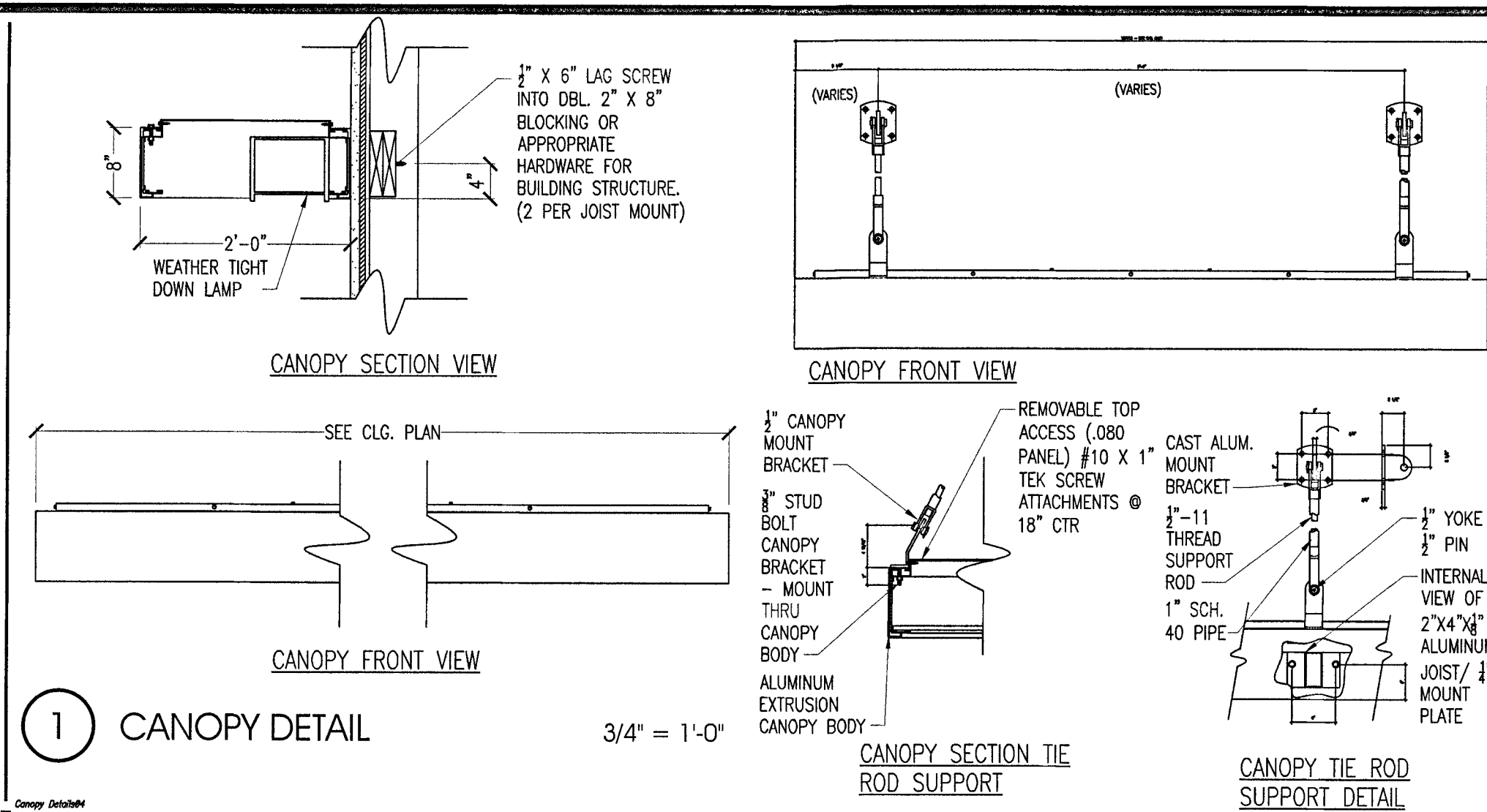
BURGER KING CORPORATION

BURGER KING REMODEL
 BK 10235
 855 E TERRA COTTA
 CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
 DATE: 12.23.15

A1.1
 CEILING PLAN

CHECKED: JN DRAWN: HP

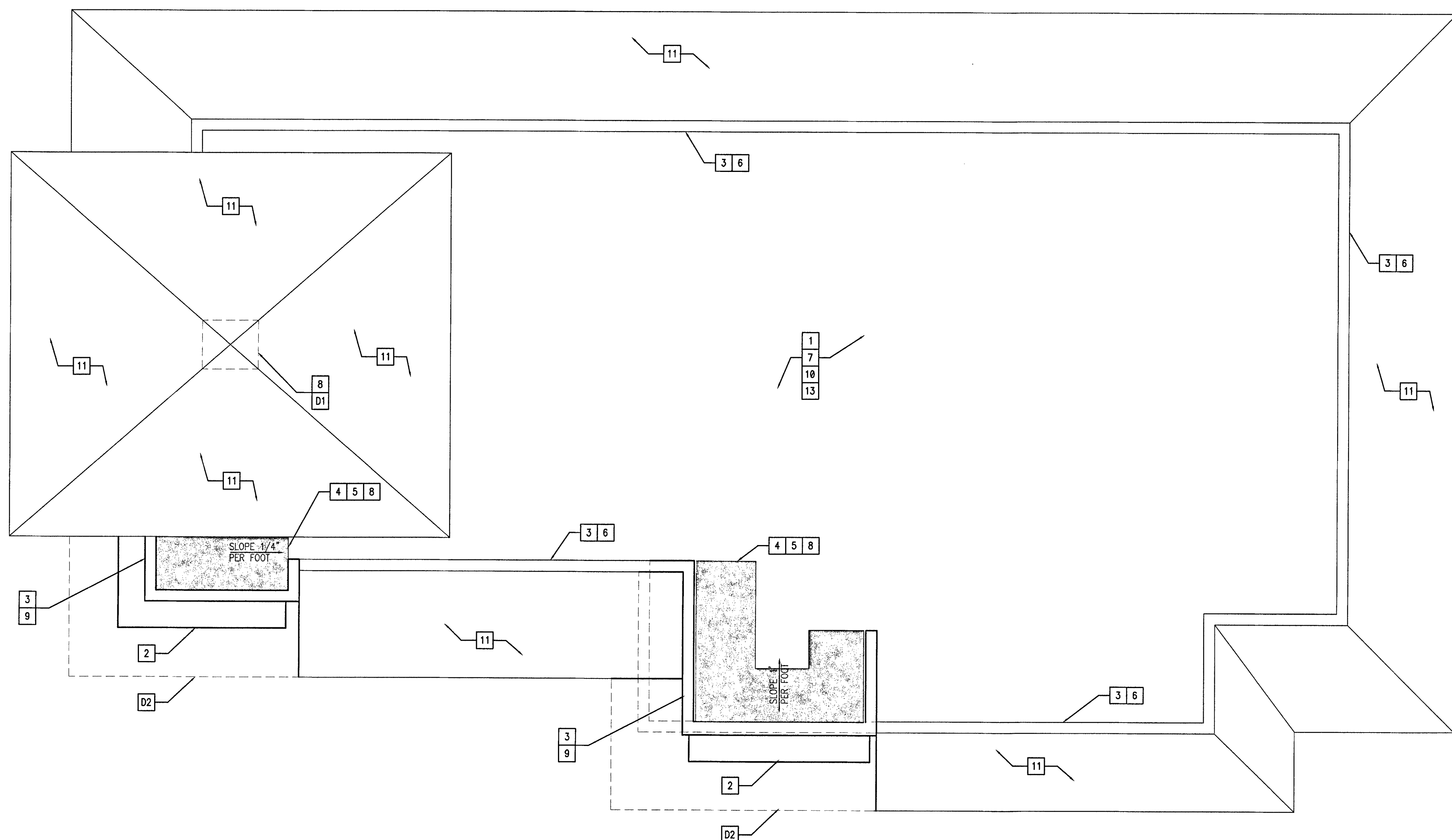


NOTE: VERIFY ALL CANOPY DIMENSIONS IN FIELD PRIOR TO FABRICATION.

NOTE: VERIFY CONDITION AND MODIFICATIONS TO LIGHT BAND WITH OWNER.

- KEYED NOTES**
- EXISTING ROOFING SYSTEM TO REMAIN. G.C. SHALL PROVIDE SUITABLE PATCH AT EXISTING/NEW ROOF MATERIAL JOINT TO MAINTAIN WATERTIGHT SEAL.
 - NEW PREFABRICATED METAL AWNING BY SIGN COMPANY. REFER TO DETAIL 1/A1.2. G.C. TO PROVIDE BLOCKING IN NEW FACADE FOR AWNING SUPPORT.
 - NEW METAL COPING AND CAP FLASHING, REFER TO ELEVATIONS FOR COLOR.
 - VERTICAL EDGE OF KICKER - WRAP WITH BUILDING MATERIAL FOR WATERTIGHT SEAL.
 - NEW DIAGONAL BRACING AT NEW PARAPET. REFER TO WALL SECTIONS. PROVIDE NEW ROOF MEMBRANE TO MATCH EXISTING.
 - RETROFIT EXISTING LIGHT BAND. MOVE ELECTRIC HOOK UP AS REQUIRED TO WORK WITH NEW PARAPET CONDITIONS. REFER TO EXTERIOR ELEVATIONS. *** BID ALTERNATE TO REPLACE WITH NEW LED LIGHT BAND.
 - EXISTING ROOF TOP EQUIPMENT TO REMAIN. VERIFY CONDITION W/ OWNER
 - NEW ROOFING SYSTEM TO MATCH EXISTING AT NEW ROOF CONSTRUCTION. G.C. SHALL PROVIDE SUITABLE PATCH AT EXISTING TO NEW ROOF MATERIAL JOINT TO MAINTAIN WATERTIGHT SEAL. G.C. SHALL SUPPLY NEW ROOF, INCLUDING ALL FLASHING AND ACCESSORIES AS REQUIRED TO MAINTAIN EXISTING EQUIPMENT/LOCATIONS, OVER ENTIRE BUILDING.
 - NEW PARAPET CONSTRUCTION/EXTENSION. SEE WALL SECTIONS.
 - VERIFY THAT THE ROOF DRAINS AND SCUPPERS ARE CLEAN AND IN WORKING CONDITION.
 - INSTALL NEW STANDING SEAM METAL ROOF AT EXISTING MANSARD FRAMING PER MANUFACTURER'S INSTRUCTIONS.
 - NOT USED
 - CONTRACTOR TO REPLACE EXISTING SCUPPERS.

- DEMO KEYED NOTES:**
- D1. REMOVE EXISTING COPULA AS NOTED. REFER TO WALL SECTIONS AND EXTERIOR ELEVATIONS.
 - D2. REMOVE PORTION OF EXISTING MANSARD ROOF AS SHOWN.



INTERPLANS

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339

SEAL:

DENNIS R. CABALA
LICENSED ARCHITECT
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BURGER KING CORPORATION

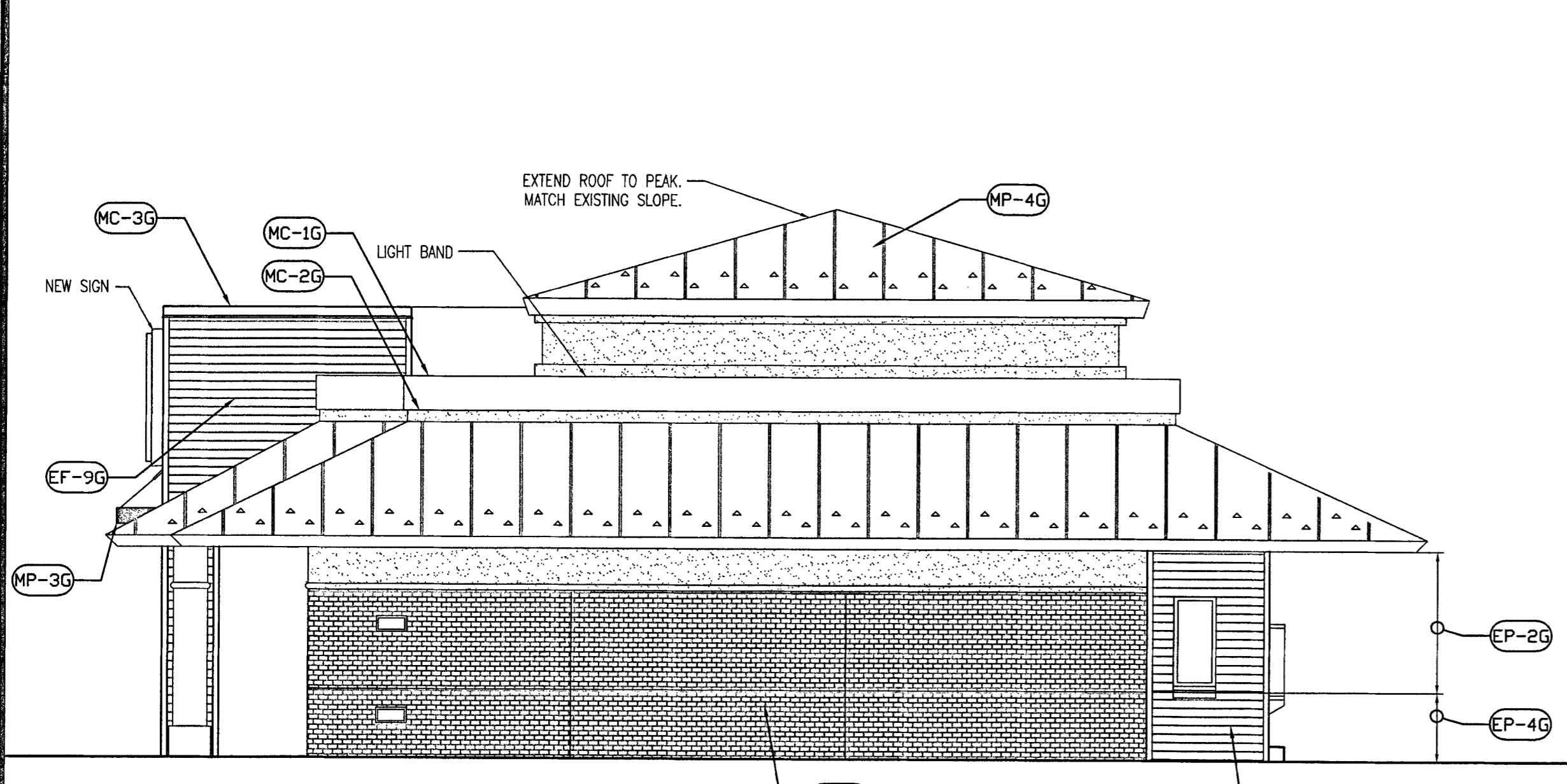
BURGER KING REMODEL
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PROJECT NO: 2015.0347
DATE: 12.23.15

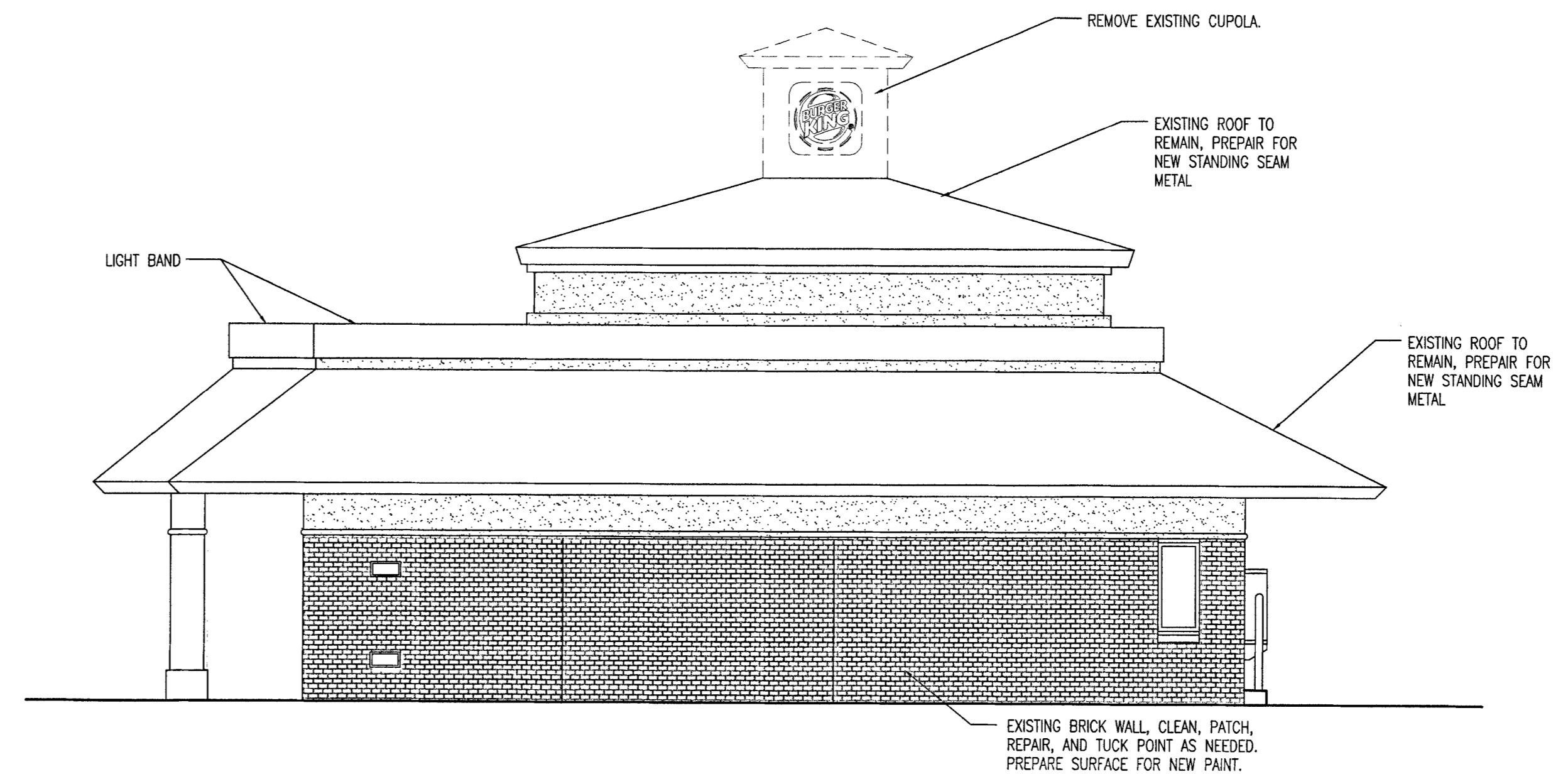
A1.2
ROOF PLAN

CHECKED: JN DRAWN: HP

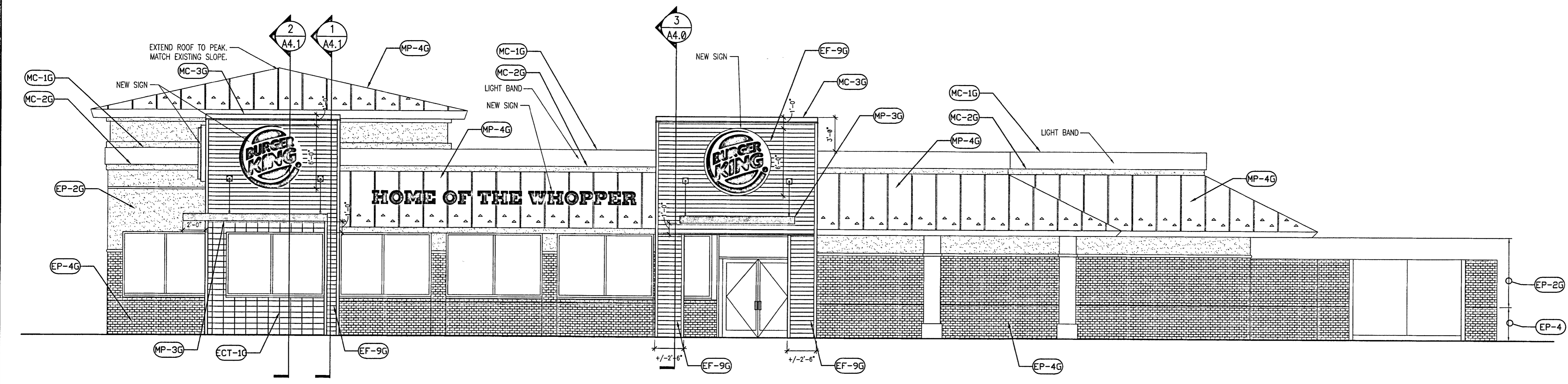
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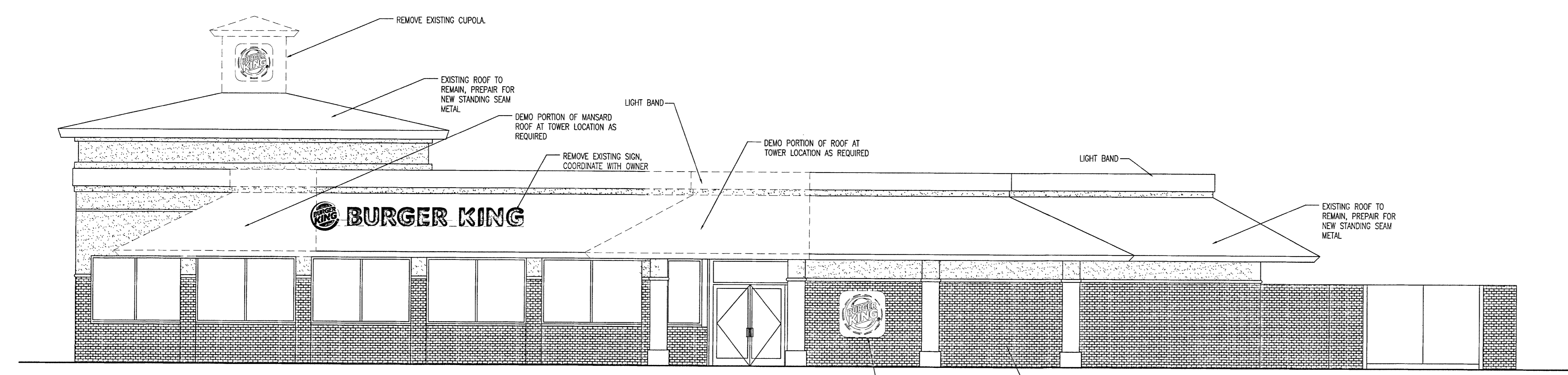
1 PROPOSED SOUTH ELEVATION 3/16"=1'-0"



1 EXISTING SOUTH ELEVATION 3/16"=1'-0"



2 PROPOSED WEST ELEVATION 3/16"=1'-0"



2 EXISTING WEST ELEVATION 3/16"=1'-0"

GENERAL NOTES

- BUILDING SIGNAGE BY OTHERS UNDER SEPARATE PERMIT.
- PREFABRICATED METAL CANOPY UNDER SEPARATE PERMIT.
- G.C. TO PROVIDE POWER TO ALL BUILDING SIGNAGE.
- REFER TO WALL SECTIONS FOR FRAMING OF NEW WALLS.
- REFER TO FINISH SCHEDULE SHEET A8.0
- REMOVE ROOF LIGHT FIXTURES

LEGEND: (SEE SHEET A8.0 FOR FINISHES)

- EB-# BRICK SURFACE
- ECT-# EXTERIOR HARDI BOARD FINISH
- EP-# STUCCO OR SIDING WALL SURFACE
- EP-# PAINT FINISH
- MC-# METAL COPING
- MP-# METAL TRIM/PANEL
- S-# SIGNAGE BY SEPARATE VENDOR

REVISIONS

NO.	DATE	ISSUED FOR PERMIT	REMARKS
12.23.15		ISSUED FOR BID	
12.23.15		ISSUED FOR PERMIT	

RESTAURANT FOR:
TOM'S King
3355 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008
BURGER KING CORPORATION

BURGER KING REMODEL
BK 10235
855 E TERRA COTTA
CRYSTAL LAKE IL 60014

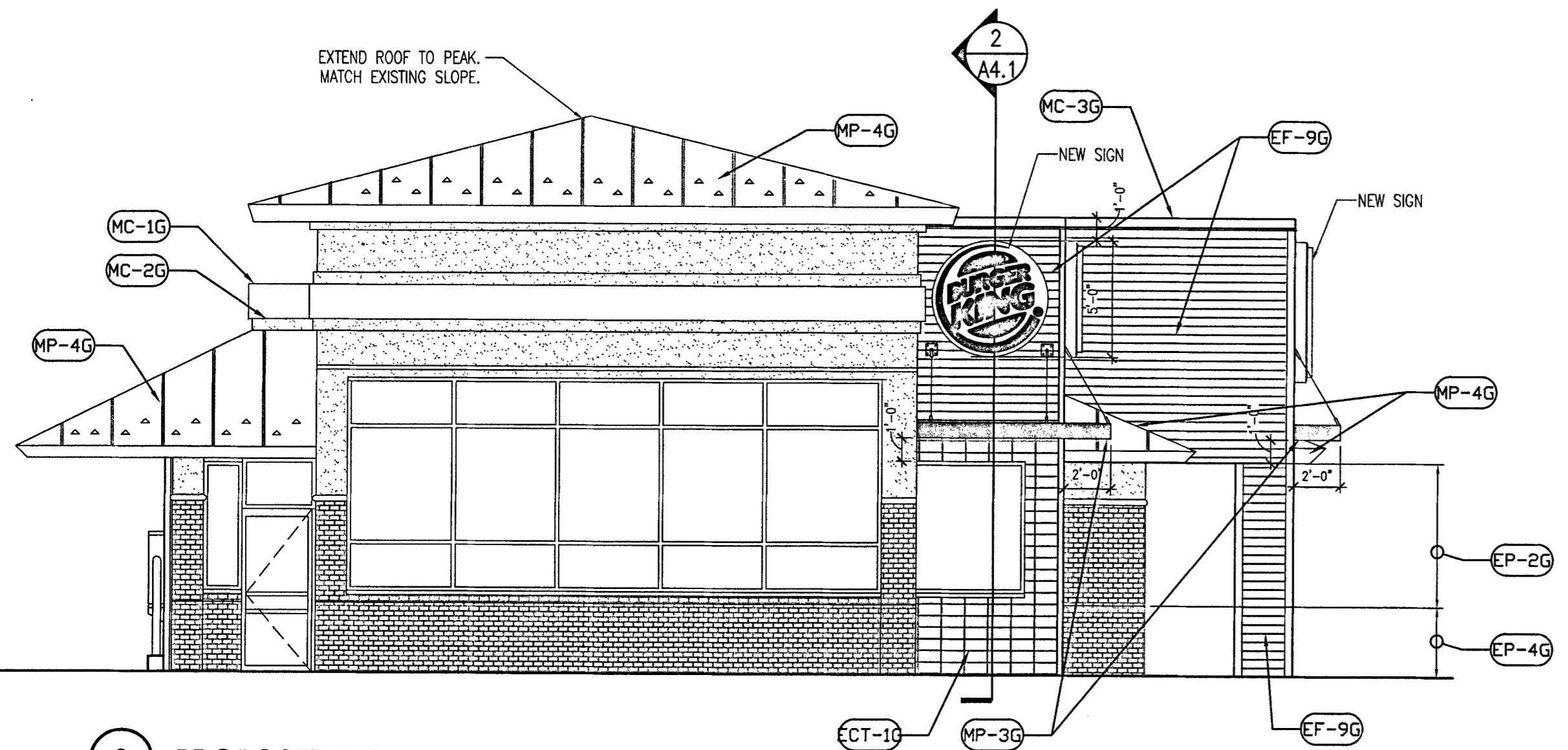
PROJECT NO: 2015.0347
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A2.0
EXTERIOR ELEVATIONS

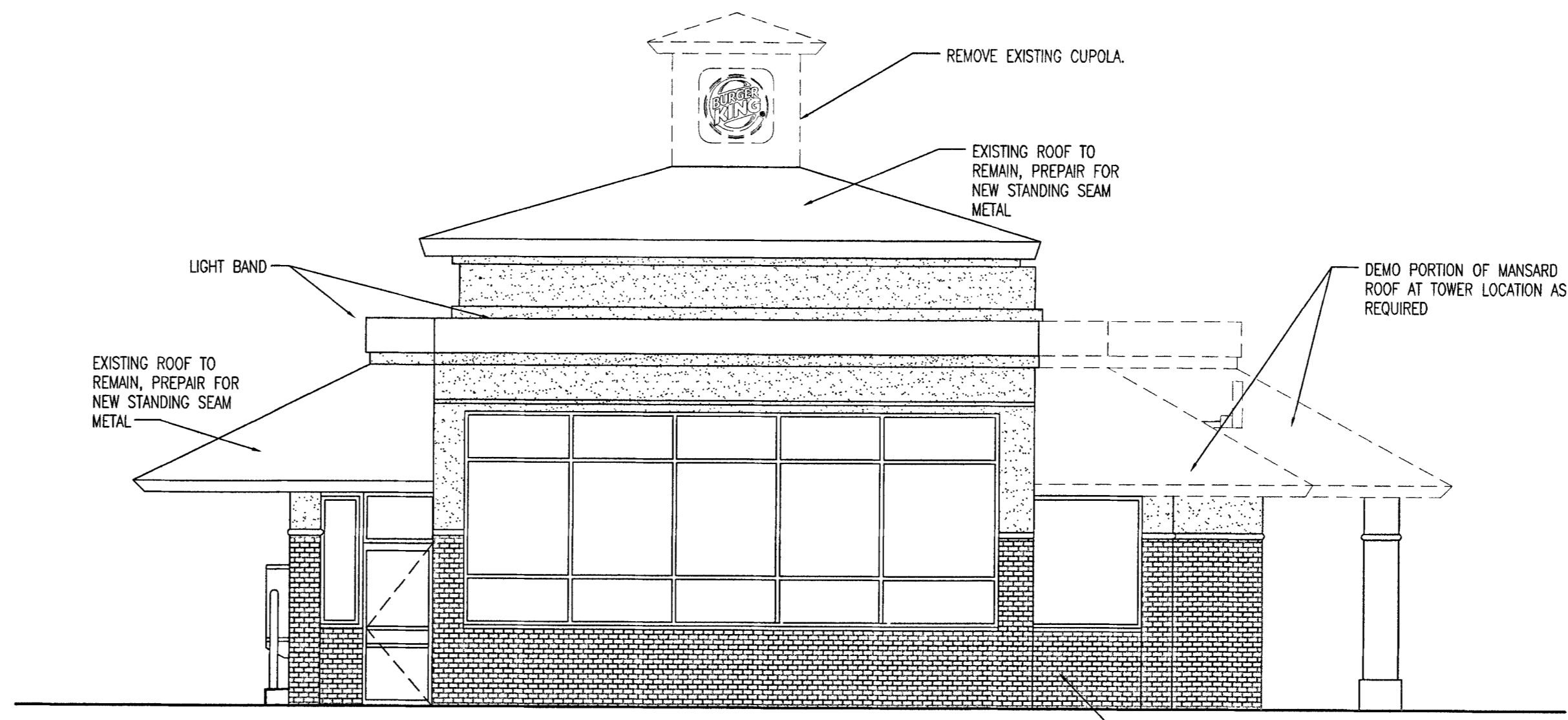
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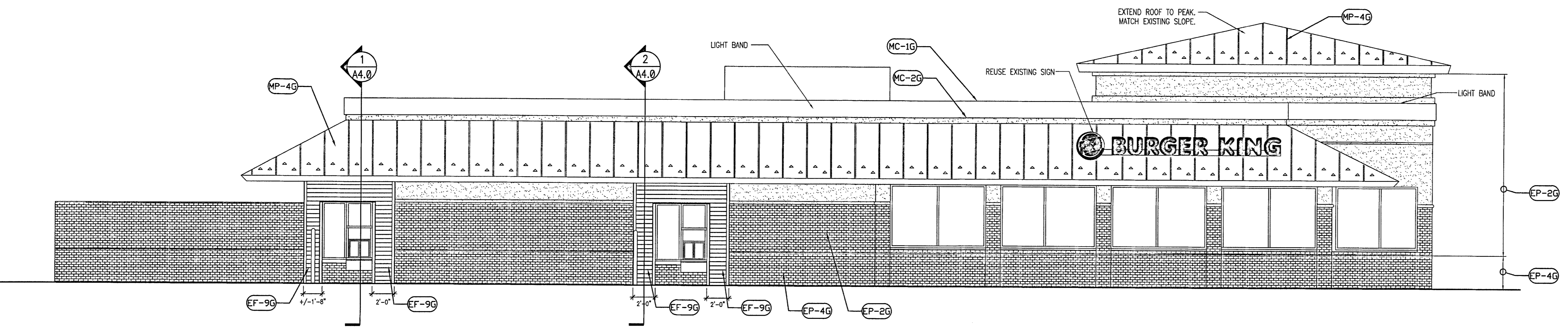
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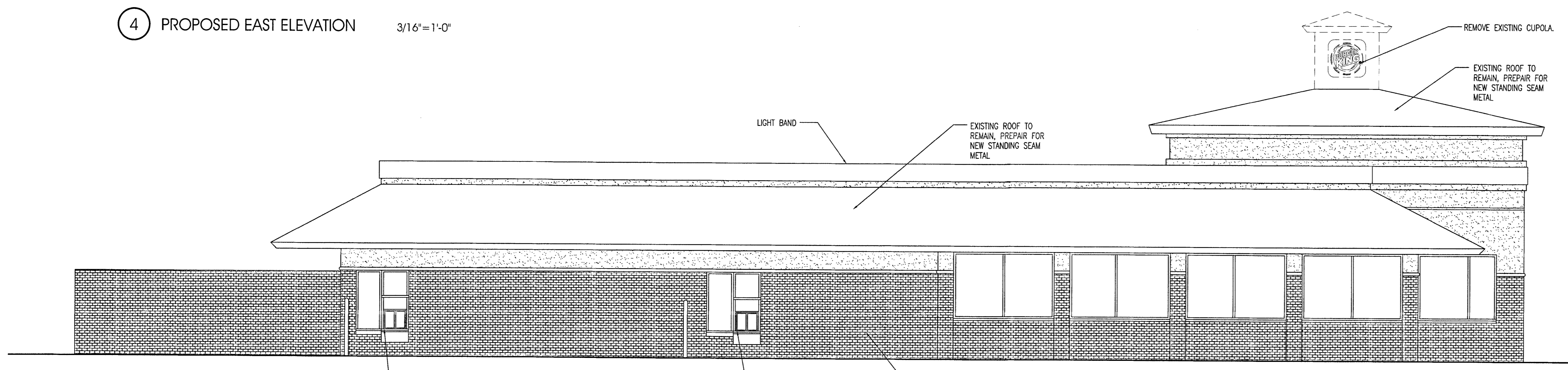
3 PROPOSED NORTH ELEVATION 3/16"=1'-0"



3 EXISTING NORTH ELEVATION 3/16"=1'-0"



4 PROPOSED EAST ELEVATION 3/16"=1'-0"



4 EXISTING EAST ELEVATION 3/16"=1'-0"

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- ECT-H EXTERIOR HARDI BOARD FINISH
- EF-H STUCCO OR SIDING WALL SURFACE
- EP-H PAINT FINISH
- MC-H METAL COPING
- MP-H METAL TRIM/PANEL
- S-H SIGNAGE BY SEPARATE VENDOR

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NO DATE	REMARKS

RESTAURANT FOR:
TOMS King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008
BURGER KING CORPORATION

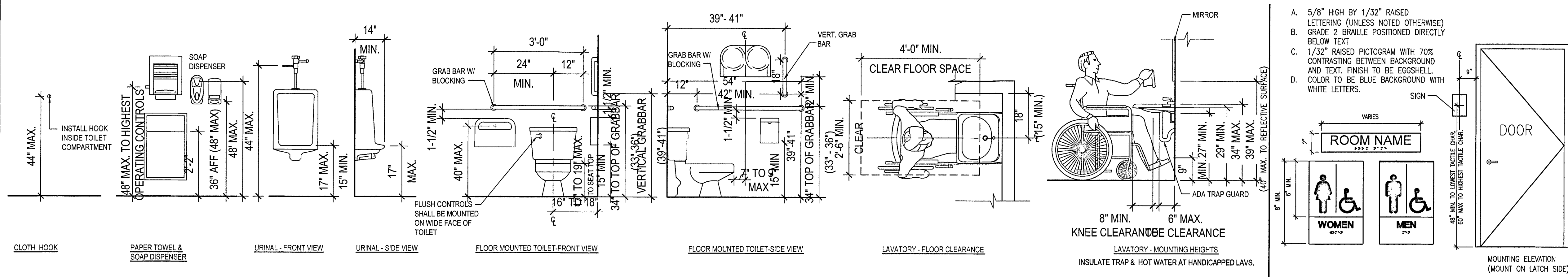
BURGER KING REMODEL
BK 10235
855 E TERRA COTTA
CRYSTAL LAKE IL 60014

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A2.1
EXTERIOR ELEVATIONS

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2 TOILET ROOM FIXTURES TYPICAL ELEVATIONS & A.D.A. CLEARANCES

3/8" = 1'-0"

3 ACCESSIBILITY SIGNAGE MOUNTING DETAIL

NTS

ADADetail_How.dwg

PLUMBING FIXTURE SCHEDULE					
MARK	FIXTURE	MANUFACTURER	MODEL NUMBER	MODEL NAME	VALVE
P-1	WATER CLOSET	AMERICAN STANDARD	2234.015	MADERA	SLOAN ROYAL #110
		KOHLER	4350	WELLSCOMME	ZURN #26000AV-HET 1.25GPF
		ZURN	Z5655.001.01.00.00	-	-
P-2	WATER CLOSET - ADA	AMERICAN STANDARD	3043.001	MADERA	SLOAN ROYAL #110
		ELJER	091-2175	PATRIOT	ZURN #26000AV-HET 1.25GPF
		ZURN	Z5655.001.01.00.00	-	-
P-3	URINAL - ADA	AMERICAN STANDARD	6506.011	WASHBROOK	SLOAN ROYAL #186
		KOHLER	K-4960-ET	BARDON	ZURN #26003AV-EWS .50 GPF
		ZURN	Z5751.196.00	-	-
P-4	LAVATORIES	ZURN	Z5314.550.1.12.27.5	KOHLER K-15598 FAUCET -OR-	KOHLER K-15598 FAUCET -OR-
		KOHLER	K-2054	SOHO	ZURN #7440-XL FAUCET
		-	-	-	-

NOTES:
1. COMPARABLE FIXTURES BY AMERICAN STANDARD, ELJER AND KOHLER ARE ACCEPTABLE.
2. TOILET SEATS TO BE CHURCH 9500SSC, KOHLER K-4671-C, OLSONITE #10C OR EQUAL.
3. IN SINGLE USE RESTROOMS ALL FIXTURE MUST BE ADA COMPLIANT.

GENERAL ACCESSIBILITY NOTES

ENTRANCES / DOORS:

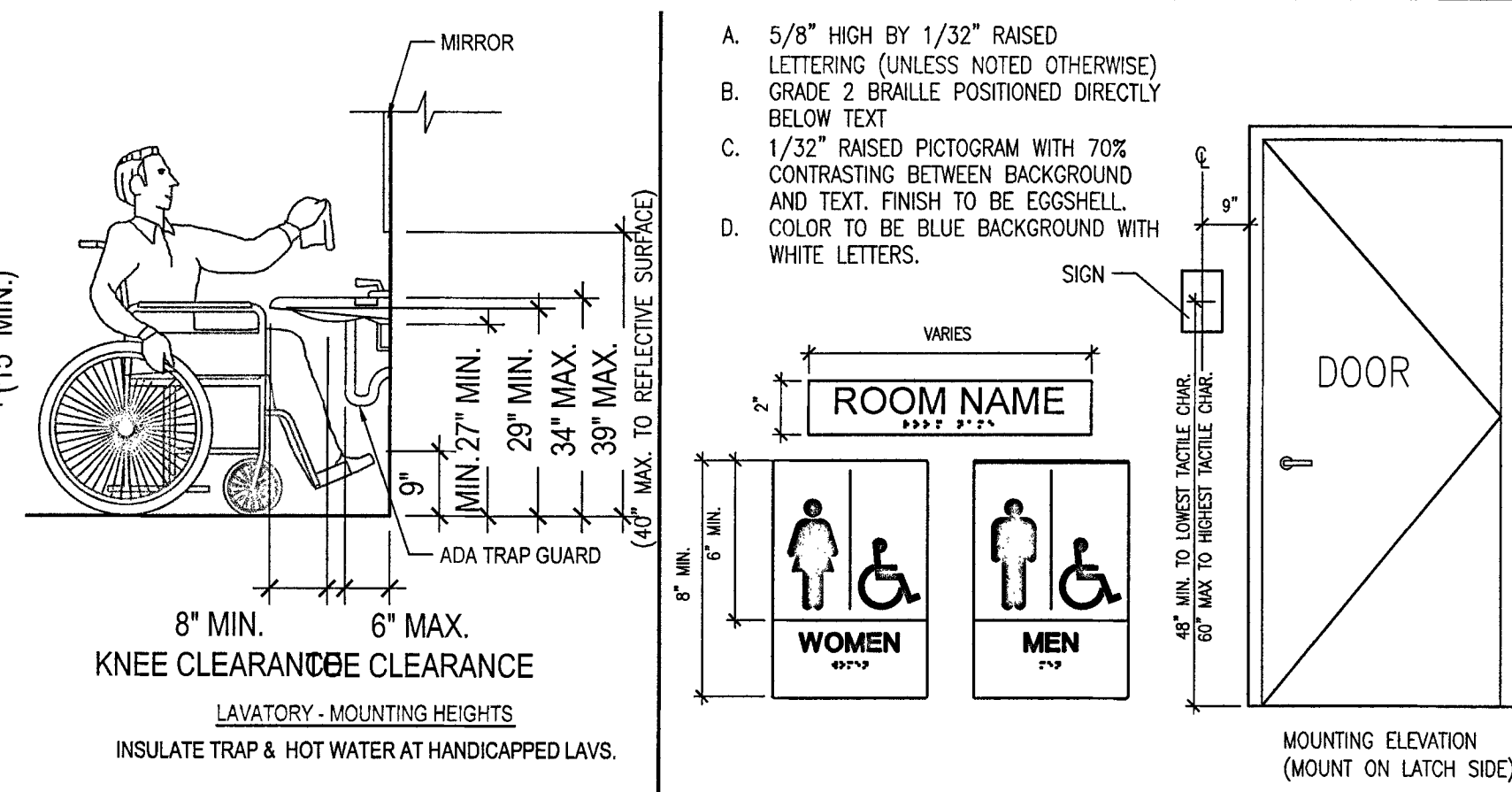
- PROVIDE METALLIC SIGN OVER EACH STOREFRONT DOOR STATING: "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS". LETTERS SHALL NOT BE LESS THAN 1" HIGH ON A CONTRASTING BACKGROUND. THE SIGN SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ON THE STOREFRONT ALUMINUM HEADER FRAME.
- ALL ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THAN 6 FEET-8 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF DOORWAY IS NOT LESS THAN 32-INCHES.
- WHERE PAIR OF DOORS IS UTILIZED AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32-INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN PATH OF TRAVEL SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST TO OPERATE. PANG BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE ARE ALLOWABLE.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34-INCHES MIN AND 48" ABOVE THE FLOOR.
- THE FLOOR AND LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH OF 60 INCHES IN THE DIRECTION OF TRAVEL AND THE LENGTH OF 48 INCHES IN OPPOSITE DIRECTION OF TRAVEL. SEE DIAGRAM "MANEUVERING CLEARANCE".
- THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24-INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18-INCHES PAST THE STRIKE EDGE FOR THE INTERIOR DOORS.
- THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2-INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" INCH AND 1/2-INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- THE BOTTOM 10-INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10-INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSHED SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- A NARROW FRAME WITH A BEVELED TOP (30 DEGREES MAX. BEVEL TO VERTICAL PLANE) INSTALLED AT THE BOTTOM OF THE GLASS DOOR (WITH NO SIDE FRAMES) MAY BE USED IN LIEU OF PROVIDING THE REQUIRED 10-INCH UNINTERRUPTED SURFACE AT THE BOTTOM OF THE DOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED 15 LBS. REFER TO SECTION 404.2.8 OF ICC/ANSI.

CORRIDORS AND AISLE:

- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- EVERY PORTION OF EVERY BUILDING IN WHICH ARE INSTALLED SEATS, TABLES, MERCHANDISE, EQUIPMENT OR SIMILAR MATERIALS SHALL BE PROVIDED WITH AISLES LEADING TO AN EXIT.
- EVERY AISLE SHALL BE NOT LESS THAN 3 FEET WIDE IF SERVING ONE SIDE, AND NOT LESS THAN 3 FEET 8 INCHES WIDE IF SERVING BOTH SIDES. SUCH MINIMUM WIDTH SHALL BE MEASURED AT THE POINT FARTHEST FROM AN EXIT, CROSS AISLE OR FOYER AND SHALL BE INCREASED BY 1 1/2 INCHES FOR EACH 5 FEET IN LENGTH TOWARD THE EXIT. CROSS AISLE OR FOYER WITH CONTINENTAL SEATING SIDE AISLES SHALL BE NOT LESS THAN 44 INCHES IN WIDTH.

SANITARY FACILITIES:

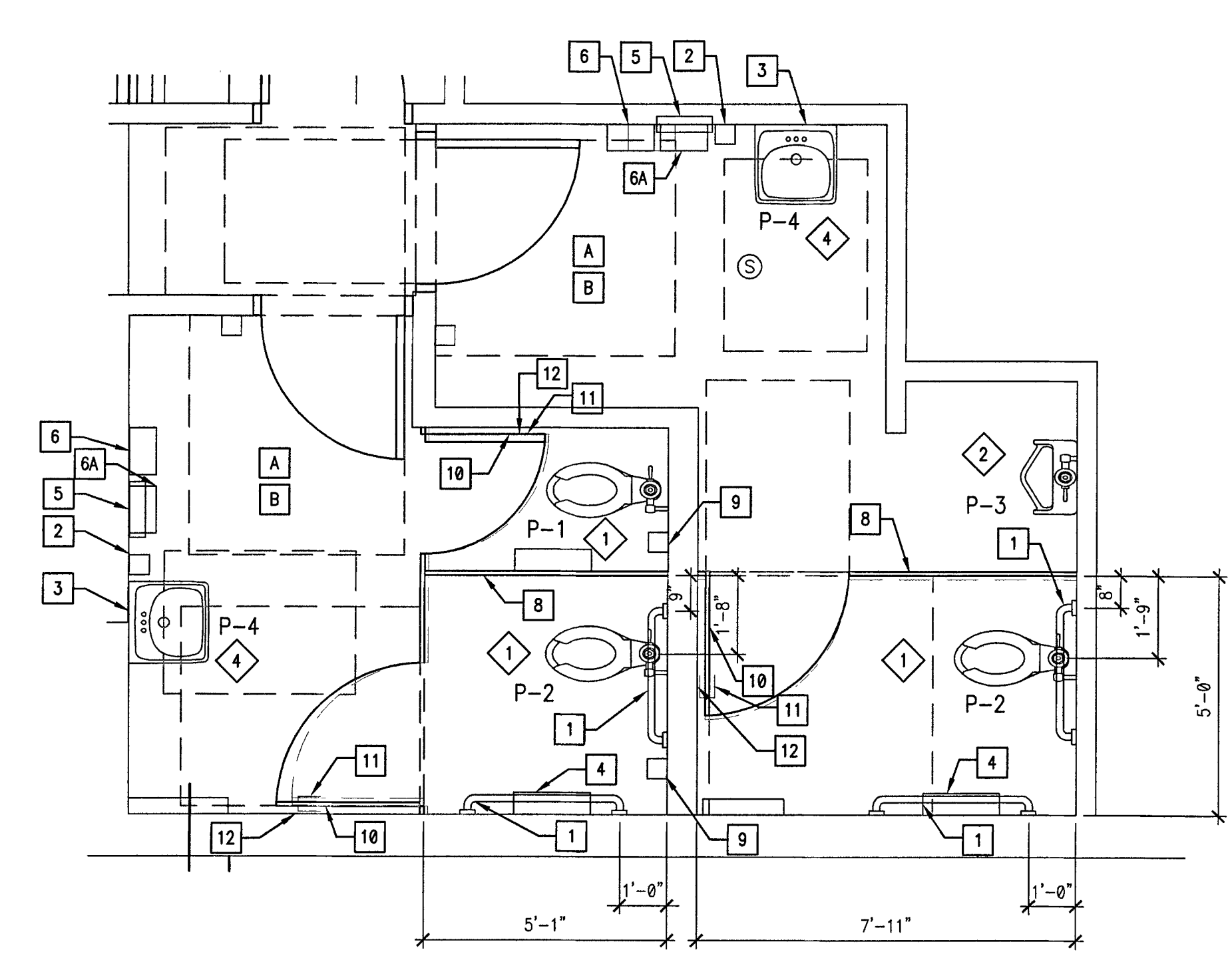
- ACCESSIBLE SIGN CONTAINING TACTILE CHARACTER SHALL BE PROVIDED AT DOOR. THE SIGN SHALL BE ALONGSIDE THE DOOR ON LATCH SIDE AND AT DOUBLE DOORS, THE SIGN SHALL BE RIGHT OF THE RIGHT HANDED DOOR. THE SIGN CONTAINING TACTILE CHARACTERS SHALL HAVE 18" MIN BY 18" MIN. SPACE ON THE FLOOR CENTERED ON SIGN. THE SIGN TACTILE CHARACTER SHALL BE 48" MIN AND 60" MAX ABOVE FLOOR.
- CLEARANCE AROUND THE WATER CLOSET SHALL BE 60" MIN MEASURED PERPENDICULAR FROM THE SIDEWALL AND 56" MIN. MEASURED PERPENDICULAR FROM REAR WALL. NO OTHER FIXTURES OR OBSTRUCTION SHALL BE WITHIN WATER CLOSET CLEARANCE.
- WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32-INCHES WHEN LOCATED AT THE END AND 34-INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- EXCEPT FOR DOOR OPENING WIDTH AND DOOR SWINGS, A CLEAR UNOBSTRUCTED ACCESS NOT LESS THAN 44-INCHES SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY THE DISABLED. THE SPACE IMMEDIATELY IN FRONT OF A WATER CLOSET COMPARTMENT SHALL BE NOT LESS THAN 48-INCHES AS MEASURED AT RIGHT ANGLES TO THE COMPARTMENT DOOR IN IT'S CLOSED POSITION.
- THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MEASURED TO THE TOP OF TOILET SEAT.



4 FRONT & SIDE REACH MIN CLEARANCES

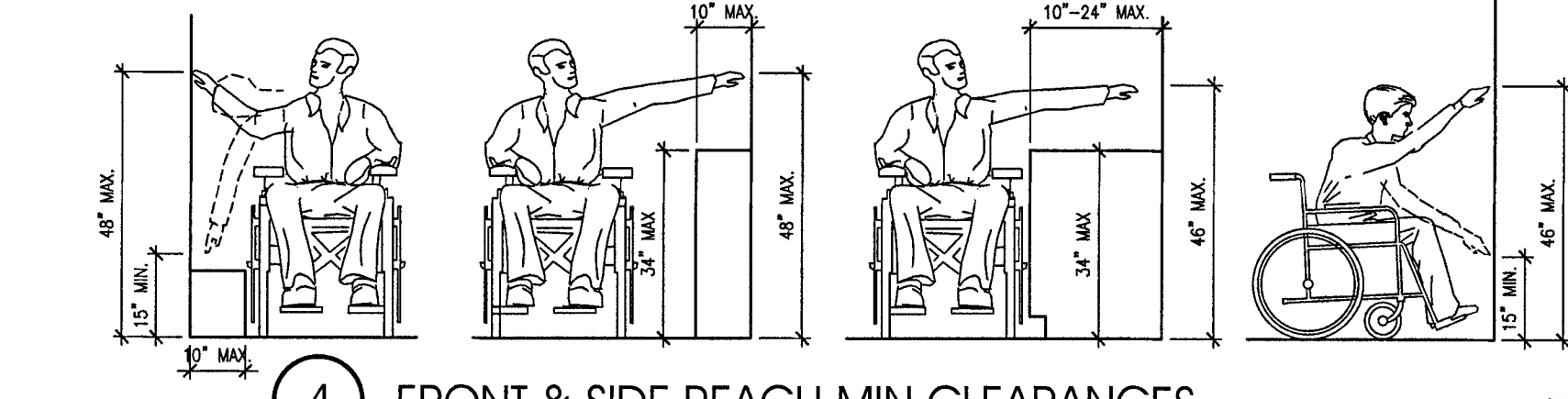
NTS

NOTE:
SEE THE INTERIOR DECOR DRAWINGS FOR INTERIOR FLOOR AND WALL FINISHES, FINISH SCHEDULE AND DETAILS.



1 NEW TOILET ROOMS

3/8" = 1'-0"



4 FRONT & SIDE REACH MIN CLEARANCES

NTS

TOILET ACCESSORIES

- GRAB BAR - 250 LBS. MINIMUM. (33" MIN - 36" MAX. HEIGHT TO TOP OF GRAB BAR) BOBRICK WASHROOM EQUIPMENT, INC. PROVIDE THE REQUIRED QUANTITY AND LENGTH AS INDICATED ON THE DRAWINGS OR AS REQUIRED BY THE GOVERNING CODE. THE BAR SHALL BE 1 1/2" IN DIAMETER AND MOUNTED WITH 1 1/2" CLEARANCE FROM THE WALL.
- WALL MOUNTED SOAP DISPENSER & HAND SANITIZER DISPENSER (36" MAXIMUM HEIGHT) SUPPLIED BY ECOLOG AND INSTALLED BY G.C.
- MIRROR (BOTTOM OF REFLECTIVE SURFACE AT 40" MAXIMUM HEIGHT) MODEL B-165-1836 (18"X36") STAINLESS STEEL CHANNEL FRAME MIRROR WITH THEFT RESISTANT SCREWS BY BOBRICK WASHROOM EQUIPMENT, INC. OR APPROVED EQUIVALENT.
- TOILET PAPER HOLDER 9" TWIN JUMBO MODEL #58250 BY NORTH AMERICAN CORPORATION.
- PAPER WASTE RECEPTACLE (REQUIRED) MODEL B-3644 AS MANUFACTURED BY BOBRICK WASHROOM EQUIPMENT, INC. OR APPROVED EQUIVALENT (ROUGH OPENING 16"W, 29 1/4"H, 4"D MIN.).
- PAPER TOWEL DISPENSER SUPPLIED BY PAPER TOWEL SUPPLIER AND INSTALLED BY G.C. PAPER TOWEL DISPENSER - SAN JAMAR MODEL #1-1299WS (800)248-9826 X113.
- ELECTRIC HAND DRYER-OPTIONAL (IN ADDITION TO PAPER TOWEL DISPENSER): COLUMBIA VORTEX-SEMI RECESSED DELUXE SERIES AUTOMATIC TOUCH-FREE SENSOR HAND DRYER. MODEL HD-835-210. NOTE: HAND DRYER TO BE INSTALLED AT MAX. HEIGHT OF 48" FROM FINISHED FLOOR TO TOP OF SENSOR OR PER ADA REQUIREMENTS.
- TOILET SEAT COVER DISPENSER, WHITE PLASTIC ROCHESTER MIDLAND CORPORATION - PRODUCT CODE: 251322000
- BOBRICK 1080/1180 DURALINE SERIES TOILET PARTITION. COLOR: E0-09 BLACK. OPTIONAL: MARLITE LAMINATE OR PHENOLIC TOILET PARTITIONS AS AN ALTERNATE TO BOBRICK SPECIFICATION. COLOR: BLACK. NOTE: BOTTOM OF PARTITION SHALL BE AT MIN. 12" FROM FINISH FLOOR AND 60" HEIGHT (TOP OF PARTITION SHALL BE AT 72" A.F.F.)
- BOBRICK CONTURA SERIES B-270 SANITARY NAPKIN DISPOSAL SURFACE MOUNTED.
- COAT HOOK - BOBRICK MODEL B-6717 TO BE MOUNTED ON INSIDE OF EACH RESTROOM/STALL DOOR @ 38"-40" A.F.F. FOR ADA ACCESSIBLE LOCATIONS AND @ 48" A.F.F. MAXIMUM FOR NON-ADA ACCESSIBLE LOCATIONS.
- PROVIDE ADA COMPLIANCE DOOR HANDLES ON BOTH SIDES OF THE ACCESSIBLE TOILET PARTITION DOOR, NEAR THE LATCH.
- PROVIDE WALL MOUNTED TYPE DOOR STOP AT DOOR HANDLE HEIGHT.

KEYED NOTES

- NEW FLOOR TILE THROUGH-OUT RESTROOMS. SEE DECOR DRAWINGS.
- FLOAT NEW TILE SO THAT NO THRESHOLDS ARE REQUIRED AT RESTROOM DOOR. TILE FINISH SHOULD TRANSITION AT MIDPOINT OF DOOR.
- NOT USED

GENERAL NOTES

- PIPING SPECIFICATION: DRAINAGE, WASTE AND VENT; PVC SCHEDULE 40 DWV. DOMESTIC WATER PIPING; HARD COPPER TUBE, TYPE L.
- CONTRACTOR SHALL INSULATE ALL HOT AND COLD WATER PIPING WITH 3/4" FIBERGLASS WITH ALL SERVICE JACKET.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND SIZES OF EXISTING PLUMBING (EXPOSED OR CONCEALED) AND VERIFY ACTIVITY OF EXISTING LINES AT CONNECTIONS TO NEW PLUMBING. CONTRACTOR SHALL ALSO VERIFY INVERT ELEVATIONS OF WASTE LINES AT LOCATIONS OF NEW CONNECTIONS TO EXISTING PRIOR TO THE BEGINNING OF DEMOLITION AND NEW WORK INCLUDING CUTTING OF EXISTING FLOOR SLAB AND/OR ORDERING OF MATERIALS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING CAUSED DURING INSTALLATION OF NEW PLUMBING SYSTEMS AND RETURN BUILDING AS REASONABLY CLOSE AS POSSIBLE TO PRE-CONSTRUCTION CONDITION.
- ALL WORK SHALL BE IN ACCORDANCE OF ALL APPLICABLE CODES.
- EXISTING FLOOR DRAIN IN RESTROOMS TO REMAIN. GO TO FIELD VERIFY LOCATION. RE-SEAT ALL FLOOR DRAINS TO ACCOMMODATE NEW TILE INSTALL. G.C. TO RE-SLOPE FLOOR AS REQUIRED FOR DRAINAGE AND TO ENSURE NO SLOPE IS GREATER THAN 2% IN ANY DIRECTION. CUT CONCRETE SLAB AS REQUIRED FOR THE RELOCATION OF PLUMBING FIXTURES IN THE RESTROOMS. SEE A3.0.
- REMOVE EXISTING STRAINERS FROM EXISTING FLOOR DRAINS. TEMPORARILY COVER DRAIN OPENINGS FOR PROTECTION FROM DEBRIS. PROVIDE AND INSTALL NEW POLISHED BRONZE STRAINERS ON EXISTING FLOOR DRAINS. FIELD VERIFY DRAIN LOCATIONS AND QUANTITIES.

NEW PLUMBING KEYED NOTES

- FURNISH AND INSTALL NEW (P-1 or P-2) AND INSTALL FLOOR MOUNTED FLUSH VALVE WATER CLOSET. ROUTE AND CONNECT NEW 4" SANITARY PIPE TO EXISTING 4" SANITARY OR LARGER SANITARY PIPING BELOW FLOOR. ROUTE AND CONNECT NEW 3" VENT IN WALL TO EXISTING 3" VENT ABOVE CEILING. ROUTE AND CONNECT NEW 1" COLD WATER PIPE IN WALL TO EXISTING 1" OR LARGER COLD WATER PIPE ABOVE CEILING. PROVIDE WATER HAMMER ARRESTOR (POI RATING "A") ON WATER PIPING. FIELD VERIFY LOCATIONS OF EXISTING PIPING.
- FURNISH AND INSTALL NEW WALL MOUNTED FLUSH VALVE URINAL. CONNECT TO EXISTING 2" SANITARY PIPE AND 2" VENT. CONNECT NEW 3/4" FLUSH VALVE TO EXISTING 3/4" OR LARGER COLD WATER PIPE. PROVIDE WATER HAMMER ARRESTOR (POI RATING "A") ON WATER PIPING. FIELD VERIFY LOCATIONS OF EXISTING PIPING.
- NOT USED
- FURNISH AND INSTALL NEW WALL MOUNTED LAVATORY (P-4). CONNECT TO EXISTING 2" SANITARY PIPE AND 2" VENT. CONNECT NEW 3/4" FLUSH VALVE TO EXISTING 3/4" OR LARGER COLD WATER PIPE. PROVIDE WATER HAMMER ARRESTOR (POI RATING "A") ON WATER PIPING. PROVIDE WATER HAMMER ARRESTOR (POI RATING "A") ON WATER PIPING. FIELD VERIFY LOCATIONS OF EXISTING PIPING.

INTERPLAN

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339

SEAL:

DENNIS R. CASLA
LICENSED ARCHITECT
#001-015217
STATE OF ILLINOIS

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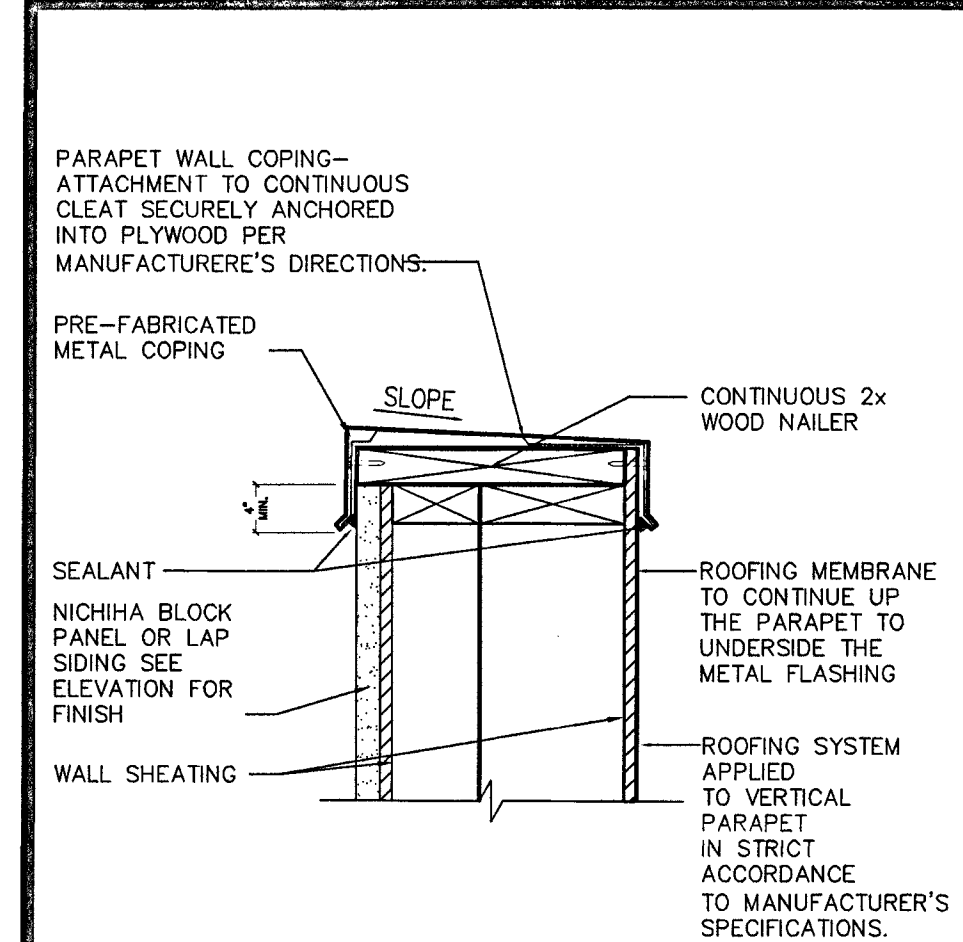
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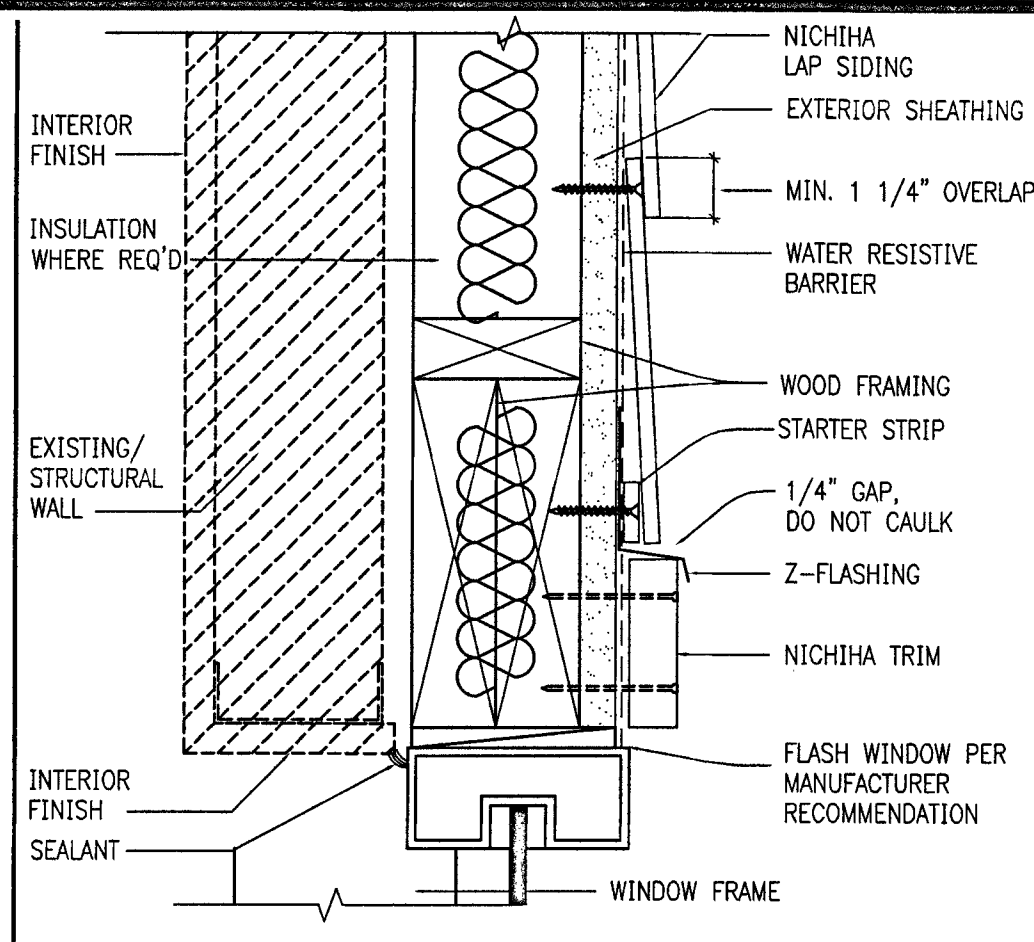
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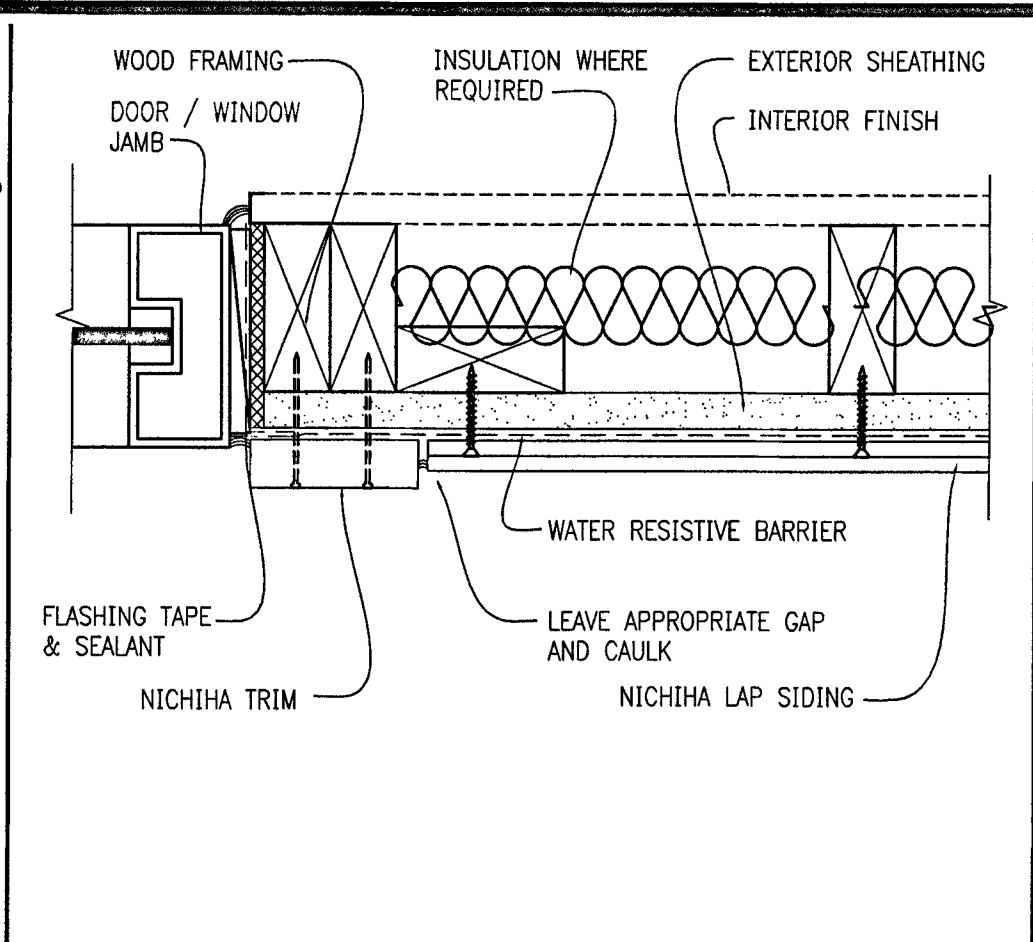
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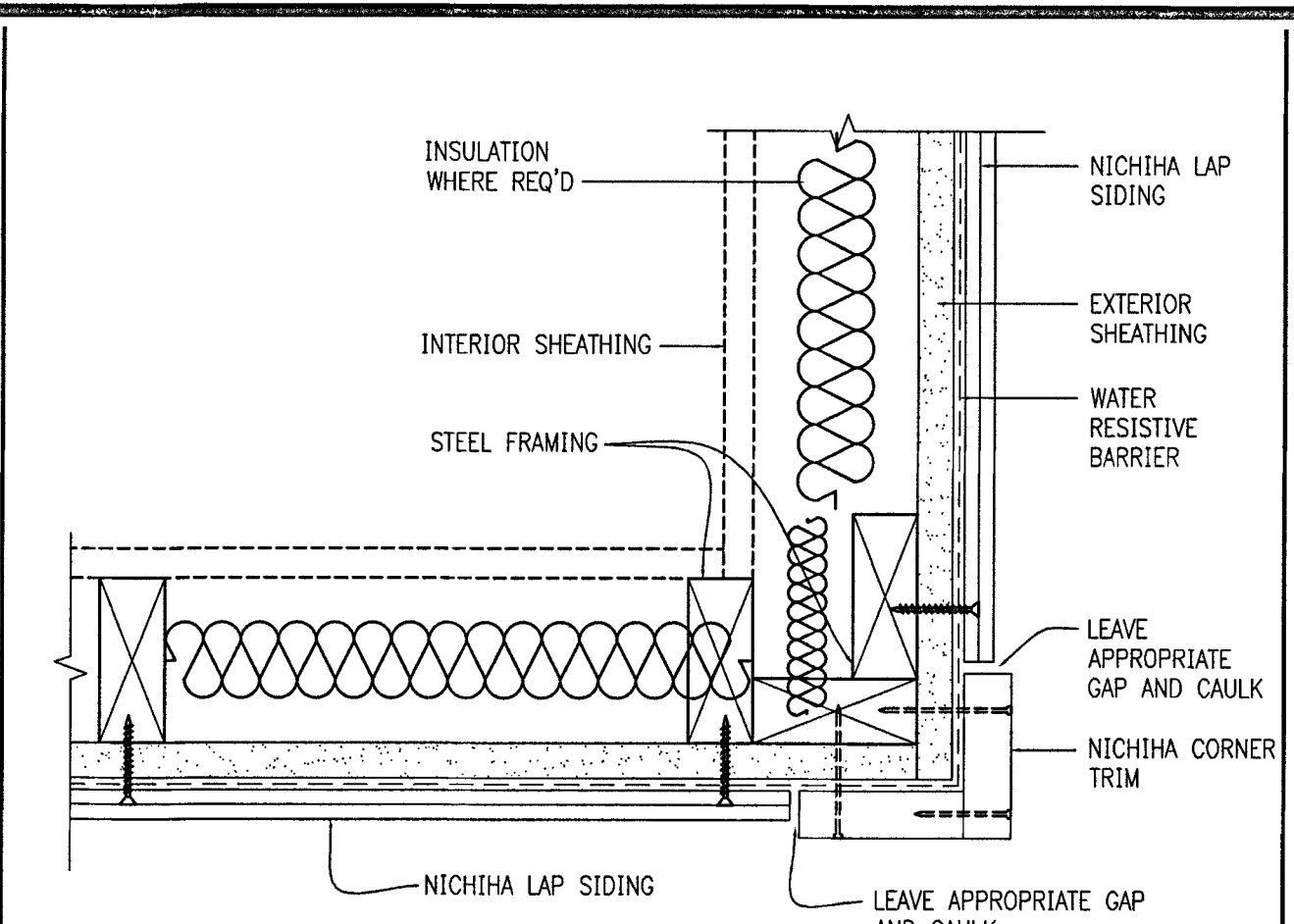
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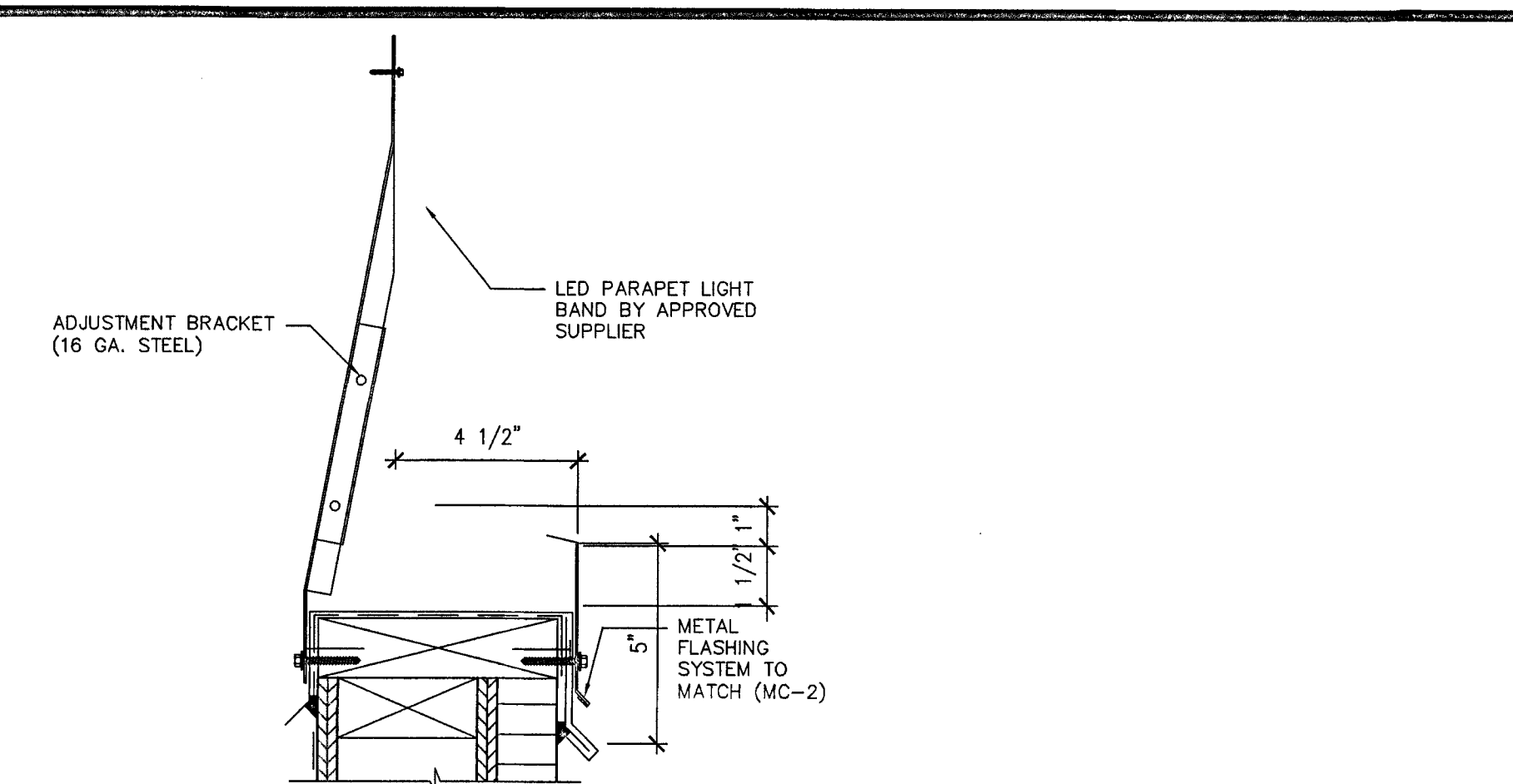
5 TYP. NICHIBA WINDOW HEADER DETAIL 3"=1'-0"



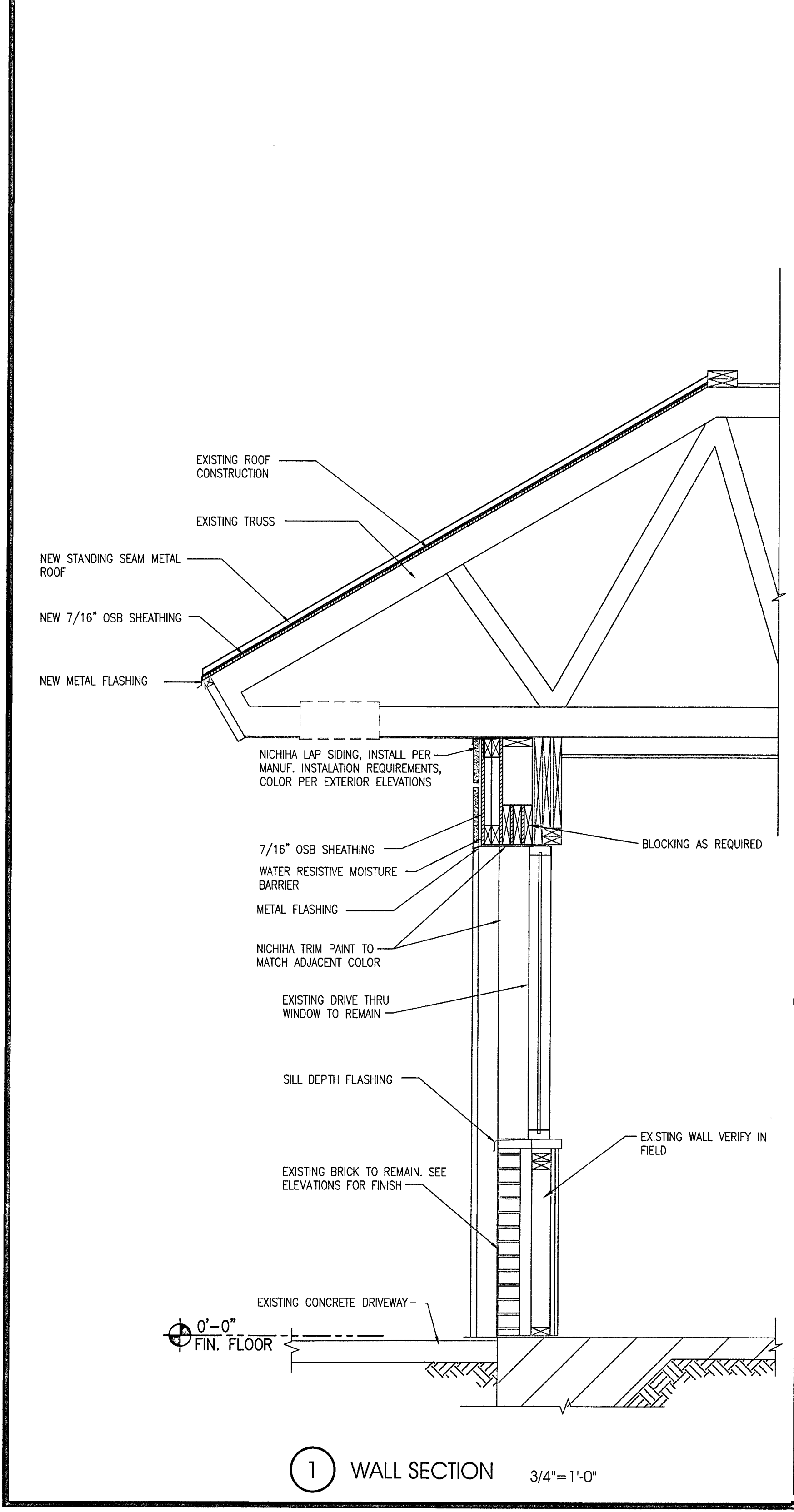
7 TYP. NICHIBA WINDOW JAMB DETAIL 3"=1'-0"



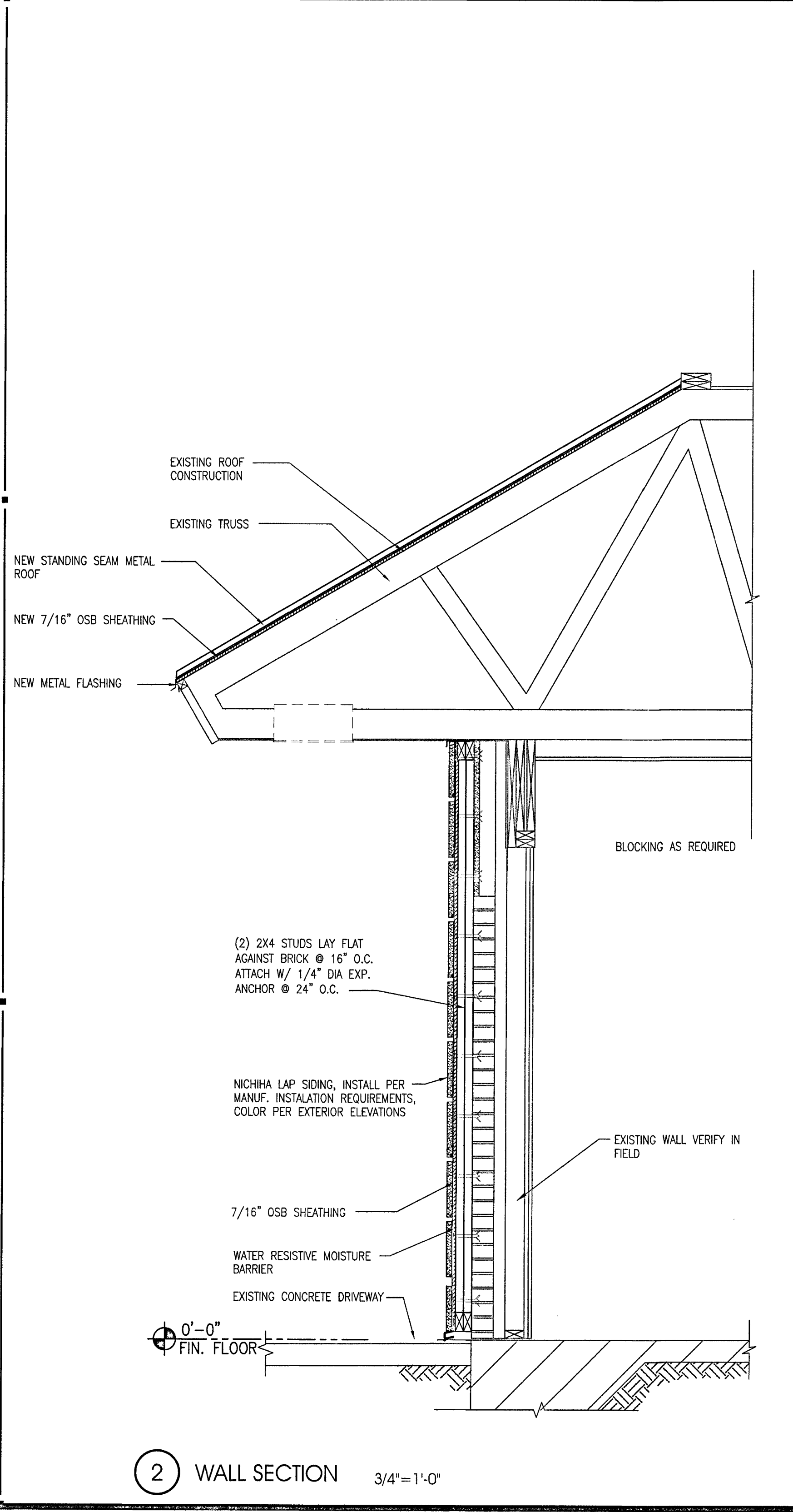
8 TYP. NICHIBA OUTSIDE CORNER DETAIL 3"=1'-0"



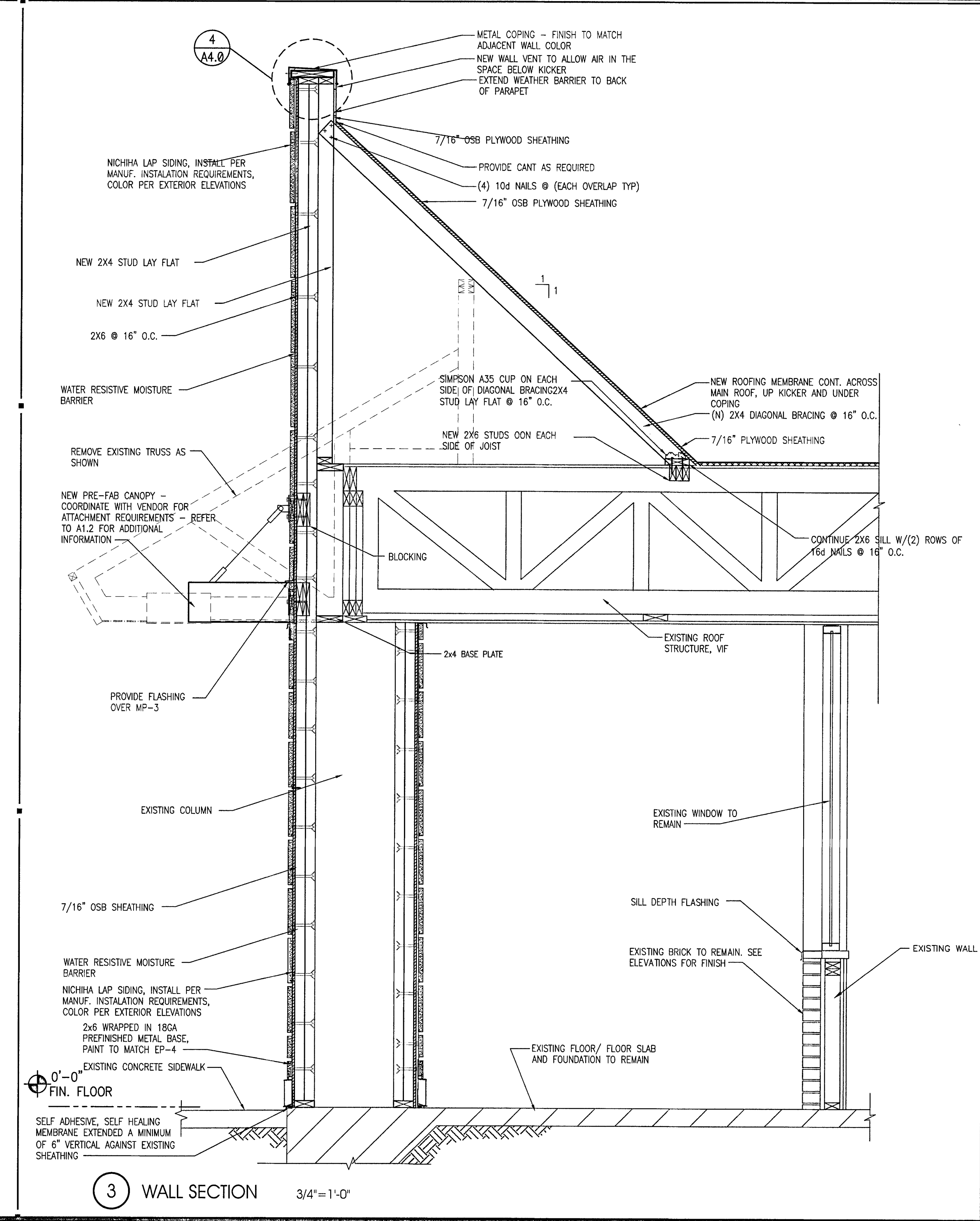
9 PARAPET LIGHT BAND DETAIL 3"=1'-0"



1 WALL SECTION 3/4"=1'-0"



2 WALL SECTION 3/4"=1'-0"



3 WALL SECTION 3/4"=1'-0"

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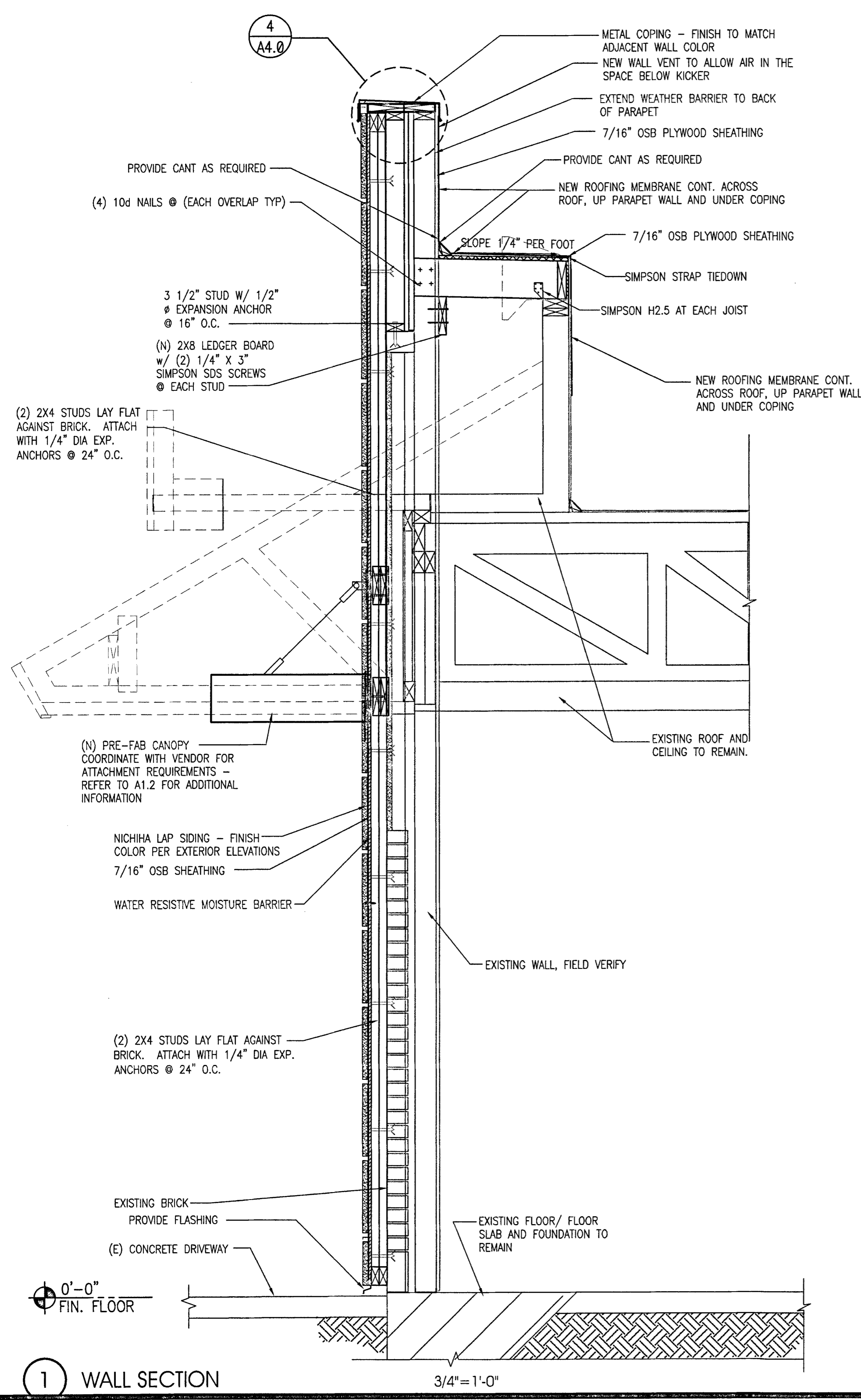
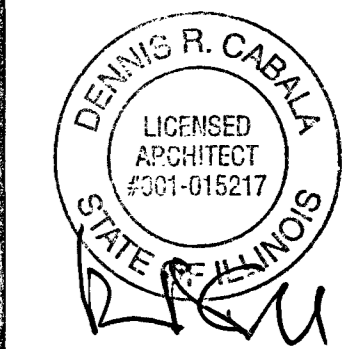
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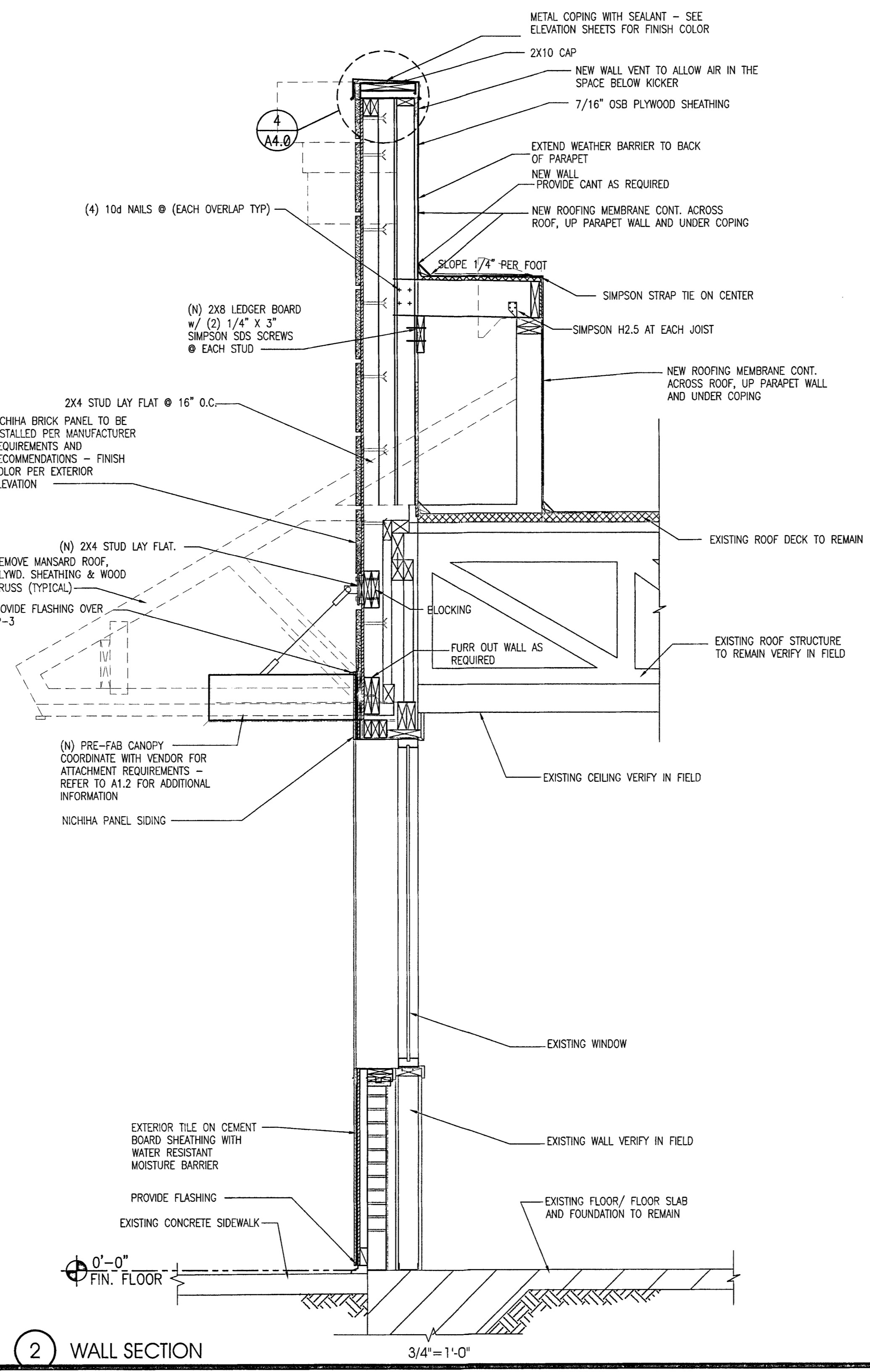
A4.0
WALL SECTIONS
CHECKED: JN DRAWN: HP

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SEAL:



1 WALL SECTION



2 WALL SECTION

12.23.15 ISSUED FOR BID
12.23.15 ISSUED FOR PERMIT
NO. DATE REMARKS

REVISIONS

RESTAURANT FOR:
TOMS King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008
BURGER KING CORPORATION

BURGER KING REMODEL
BK 10235
855 E TERRA COTTA
CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
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A4.1
WALL SECTIONS

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DOOR
 OPENING: 4'-0"x7'-0"x1 3/4" MD x MF
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A-2

FRAME
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A-2

HARDWARE
 DOOR TO RECEIVE:
 REINF. PIVOT: 1 EACH HAGER 253 x 2C x HAND REQUIRED
 HINGES: 4 EACH HAGER: BB1168 4 1/2" x 4 1/2" x USP x NRP
 EXIT DEVICE: 1 EACH VON DUPRIN 22EO x 689 (DOOR #3)
 CLOSER: 1 EACH LCN 4115 H-CUSH x TB x 689
 VIEWER: 1 EACH ROCKWOOD 622 x 626
 KICKPLATES: 1 EACH HAGER 193S 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 THRESHOLD: 1 EACH NATIONAL GUARD 325A x 48" x AL
 DOOR SWEEP: 1 EACH NATIONAL GUARD 200NA x 48"
 WEATHERSTRIP: 1 SET NATIONAL GUARD 160SA 10x48", 206A"
 DOOR #4: MATCH LOCKSET/TRIM OF DOOR #4
 PROVIDE 8"x6"x1/2" LOUVER AT BOTTOM OF DOOR

HEAD (A)
 JAMB (B)
 THRESHOLD (C)

DOOR (N5)
 SCALE: 1/4" = 1'-0"

1 DOOR SPECIFICATIONS AS NOTED

DOOR
 OPENING: 3'-0"x6'-8"x1 3/4" MD x MF
 MATERIAL: SOLID CORE HPL
 FINISH: REFERENCE ID SHEETS

FRAME
 MATERIAL: ALUMINUM
 FINISH: REFERENCE ID SHEETS

REMARKS
 SIGN PACKAGE: 1 "GENTLEMEN" AND CORRESPONDING SIGNAGE IN GRADE TWO BRAILLE PER ADA REQUIREMENTS. SIGNS FURNISHED BY DECOR SUPPLIER. SIGNS INSTALLED BY GENERAL CONTRACTOR PER ADA REQUIREMENTS.
 AS AN OPTION IN LIEU OF SOLID CORE DOORS AND HOLLOW METAL FRAMES, PROVIDE MARLITE HPL DOORS WITH ALUMINUM FRAMES (REF. ID SHEETS FOR COLOR)
 **DELETE IF MULTIPLE OCCUPANCY RESTROOM
 **OPTIONAL SANITGRASP #50-101

HARDWARE
 EACH DOOR TO RECEIVE:
 HINGES: 3 EACH HAGER: BB1279 4 1/2" x 4 1/2" x 652
 LOCKSET: ** 1 EACH FALCON: D271 X 626
 CLOSER: 1 EACH LCN 1461 X 689
 PUSH PLATE: 1 EACH HAGER 30S 4x6 628
 PULL PLATE: 1 EACH HAGER H33E 4x6 628
 FLOOR STOP: 2 EACH HAGER 241F x US260
 KICKPLATES: 1 EACH HAGER 193S 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 3 EACH HAGER 307D RSR

NOTE:
 UNDERCUT DOOR 1" FOR AIR FLOW WHEN HVAC SUPPLY NOT PROVIDED. (REF. SHEET M-1)

HEAD (D)
 JAMB (E)
 SILL (F)

DOOR (N6, N7, N8)
 DOOR FRAME (N6, N7, N8)
 SCALE: 1/4" = 1'-0"

DOOR
 OPENING: PR3'-0"x7'-0"x1 3/4" AD x AF
 MATERIAL: ALUMINUM / GLASS
 FINISH: REFERENCE DECOR PACKAGE

FRAME
 MATERIAL: ALUMINUM
 FINISH: REFERENCE DECOR PACKAGE

HARDWARE
 ENTRANCE DOOR HARDWARE SHALL CONSIST OF OFFSET PIVOTS, ADAMS RITE M.S. 1852A DEAD BOLT LOCK, NORTON 160S SURFACE CLOSERS WITH BACK CHECK, WEATHER STRIPPING 9" CLASSIC STRAIGHT DOOR PULLS IN POLISHED STAINLESS OR CHROME, AND STANDARD THRESHOLDS.
 INSTALL PUSH/PULL PANIC BAR

HEAD (A)
 JAMB (B)
 THRESHOLD (C)

DOOR (N1, N2)
 SCALE: 1/4" = 1'-0"

DOOR
 OPENING: 3'-0"x7'-0"x1 3/4" AD x AF
 MATERIAL: ALUMINUM / GLASS
 FINISH: REFERENCE DECOR PACKAGE

FRAME
 MATERIAL: ALUMINUM
 FINISH: REFERENCE DECOR PACKAGE

HARDWARE
 DOOR HARDWARE SHALL CONSIST OF OFFSET PIVOTS, ADAMS RITE M.S. 1852A DEAD BOLT LOCK, NORTON 160S SURFACE CLOSERS WITH BACK CHECK, WEATHER STRIPPING 9" CLASSIC STRAIGHT DOOR PULLS IN POLISHED STAINLESS OR CHROME, AND STANDARD THRESHOLDS.
 INSTALL PUSH/PULL PANIC BAR

HEAD (A)
 JAMB (B)
 THRESHOLD (C)

DOOR (N3, N4)
 DOOR FRAME (N3, N4)
 SCALE: 1/4" = 1'-0"

3 ACCESSIBLE THRESHOLD REQUIREMENTS 1'-0" = 1'-0"

MAXIMUM SLOPE 1:2

***PROVIDE ADA SILLS @ DOORS.

Specified Products and Approved Equals

Hinges – Provide features, functions, size, and finish as shown in hardware sets.

Hager	BB1279	BB1168	253
McKinney	TA2714	T4A3786	
Bommer	BB5000	BB5004	

Locks - Provide features, functions, and finish as shown in hardware sets.

Falcon - Deadlock	D271		NO SUBSTITUTION
Schlage	AL53PD	AL40S	
Yale	AU5307LN	AU5302LN	
Falcon	B511D	B301D	

Exit Device - Provide features, functions, and finish as shown in hardware sets.

VonDuprin	22 EO		
Yale	2100 EO		
Sargent	3828 EO		

Closers - Provide features, functions, and finish as shown in hardware sets.

LCN	1461	4115 H-CUSH	
Yale	3301	4425T / 4421T	
Dorma	8616	8916 DST / 8956 DST	

Push/Pull, KP, Stops, Etc - Provide features, functions, size, and finish as shown in hardware sets.

Hager	Kickplt 193S	Pull Plt H33E	Push Plt. 30S	Fl Stop 241F	Wall Stop 236W	Viewer 1756
Rockwood	K1050 B3E	BF106 x 70C	70C	441CU	409	622
Trimco	KOO50	1017-3 x 2 1/2 Proj.	1001-3	1211	1270WV	976U

Weatherstripping, Thresholds, Etc. – Provide features, size, and finish as shown in hardware sets.

National Guard	Threshold 325A	Sweep 200NA	Weatherstrip 160SA
Pemko	229A	315CN	303AS
Zero	1675A	39A	99A

EXTERIOR **INTERIOR**

A HEAD DETAIL SCALE: 3" = 1'-0"
 EXTERIOR FINISHES. SEE WALL SECTIONS.
 DOOR HEADER, SEE WALL SECTIONS
 BACKER ROD AND SEALANT
 METAL DOOR FRAME
 WOOD BLOCKING WITH LAG SCREWS

D HEAD DETAIL SCALE: 3" = 1'-0"
 5/8" GYP. BOARD
 METAL STUD HEADER
 2X WOOD BLOCKING
 METAL DOOR FRAME

B JAMB DETAIL SCALE: 3" = 1'-0"
 (2) 2x4 WOOD STUDS
 EIFS PRODUCT TO BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 BACKER ROD AND SEALANT
 METAL DOOR FRAME

E JAMB DETAIL SCALE: 3" = 1'-0"
 METAL STUDS
 METAL DOOR FRAME

C THRESHOLD SCALE: 3" = 1'-0"
 ALUM. THRESHOLD BY MANUFACTURER
 FINISHED FLOOR

F THRESHOLD SCALE: 3" = 1'-0"
 FINISHED FLOOR

3 HEAD, JAMB, AND THRESHOLD DETAILS AS NOTED

PR HEAD-JAMB_01

***VERIFY ALL DIMENSIONS IN FIELD. ***PROVIDE ADA SILLS

INTERPLAN

ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

ONE SOUTH 280 SUMMIT AVE
 SUITE D
 OAKBROOK TERRACE, IL 60181
 PH 630.932.2336
 FX 630.932.2339

SEAL:

DEWIS R. CABALA
 LICENSED ARCHITECT
 #001-015217
 STATE OF ILLINOIS

12.23.15 ISSUED FOR BID
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RESTAURANT FOR:
TOMS King
 335 COMMERCE DRIVE
 CRYSTAL LAKE, IL 60014
 815-444-2008

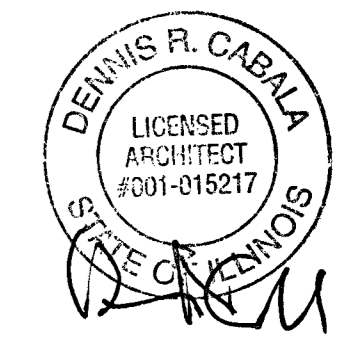
BURGER KING CORPORATION

BURGER KING REMODEL
 BK 10235
 855 E TERRA COTTA
 CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
 DATE: 12.23.15

A7.0
 DOOR AND WINDOW
 SCHEDULE AND DETAILS
 CHECKED: JN DRAWN: HP

SEAL:



GARDEN GRILL EXTERIOR EXTERIOR MATERIALS & FINISH SCHEDULE								
11/19/15	CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION	ADDITIONAL INFORMATION		
					COLOR	DIMENSION		
	EB-1G	EXTERIOR BRICK	GENERAL	PINE HALL BRICK	FACE BRICK	OLD IRVINGTON O/S	CONTACT: THERESA BEANE (800) 334-8689 TBEANE@PINEHALLBRICK.COM NOTE: USE WITH EGR-3G	
	EB-1AG	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHIHA FIBER CEMENT	NICHIHA CANYON BRICK PANELS	UNFINISHED- MUST BE PAINTED TO MATCH EP-4G	CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS	
	ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITE FIANDRE/ EUROWEST	SENSIBLE STONE ED5052 (USE EGR-4G)	RED NATURAL STACKED BOND PATTERN	12" X 24"	CONTACT: JAN DETER AT EUROWEST (714) 309-9551 JOY KLEIN (813) 334-3302 jklein@transceramica.com CONTACT: TIM SALERNO AT STO CORP 407-466-5371
	EF-1G	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EIFS SYSTEMS	COLOR TO MATCH EP-2G "TAUPE TONE"		CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS
	EF-4G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G "MONTERREY CLIFFS"		CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS
	EF-5G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-7G "CUSTOM GRENADINE"		CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS
	EF-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	CEDAR	18" X 10"	CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS
	TR-1G	ALUMINUM TRIMS						
	EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL ABOVE WAINSCOT	PPG	PRIMER:	TAUPE TONE		CONTACT: RICK GARLIN, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (317) 318-5800 email: garlin@ppg.com
	EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PAINT:	MONTERREY CLIFFS 10YY 14/080		
	EP-6G	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)		PRIMER:	BURGER KING SILVER		NOTE: NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6AG & EP-6BG
	EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE		PAINT:	GRIMMY'S GREY		NOTE: FOR REMODELS ONLY
	EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF		PRIMER:	00NN 20/000		NOTE: FOR REMODELS ONLY
	EP-7G	EXTERIOR PAINT	EXTERIOR ACCENT		PAINT:	MARCH WIND		
	EP-8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER:	FLAMING RED		
	EXT-G	EXTERIOR PAINT	POLES & SIGNS		PAINT:	Custom Formula		
	EGR-3G	GROUT	WAINSCOT BRICK		MAPEI	#5 CHAMOIS (USE WITH EB-1G)	#5 CHAMOIS	
	EGR-4G	GROUT	CERAMIC TILE		CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#335 WINTER GRAY	NOTE: USE WITH ECT-1 ON EXTERIOR FINISH SCHEDULE CONTACT: W.P. HICKMAN COMPANY (828)676-1700 WWW.WPH.COM
	MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.		A-30		
	MC-2G	METAL COPING	BELOW LIGHT BAND		PERMA SNAP PLUS	FACTORY FINISH TO MATCH EP-2G (TAUPE TONE)		
	MC-3G	METAL COPING	ABOVE EXTERIOR SIGN ARCHONS			COPING TO BE PAINTED EP-8G (CEDAR)		
	MP-3G	METAL CANOPY	ABOVE DOORS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	
	MP-4G	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE	STANDING SEAM METAL ROOF UC-4 PROFILE	SILVER METALLIC SR	*SEE PLANS	CONTACT: FERNANDO ELY 317-816-3816
				METAL PRODUCTS BERRIDGE ROOFING	STANDING SEAM METAL ROOF CEE-LOCK	PREMIUM METALLIC - ZINC COTE	*SEE PLANS	CONTACT: TYLER HALL (210) 650-7047
				METAL PRODUCTS				

NOTE: NOT ALL FINISHES WILL NECESSARILY BE USED.

12.23.15 ISSUED FOR BID
12.23.15 ISSUED FOR PERMIT
NO DATE REMARKS

REVISIONS

RESTAURANT FOR:
TOMS King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008

BURGER KING CORPORATION

BURGER KING REMODEL
BK 10235
855 E TERRA COTIA
CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0347
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A8.0
EXTERIOR FINISH SCHEDULE

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DIRECTORY OF MANUFACTURERS AND SUPPLIERS

THIS LIST IS INTENDED TO ASSIST THE CONTRACTOR IN SOURCING BUILDING MATERIALS AND PRODUCTS. IN MANY CASES APPROVED BURGER KING MATERIALS AND PRODUCTS MAY BE PURCHASED DIRECTLY FROM THESE SOURCES AT A NATIONAL ACCOUNTS PRICE FOR A COMPLETE LISTING OF APPROVED MANUFACTURERS, SEE PLANS AND SPECIFICATIONS + VISIT RS1'S eREDBOOK

DIVISION 4 - MASONRY		DIVISION 9 - FINISHES		DIVISION 15 - MECHANICAL		SIGN, EQUIPMENT, PLAYGROUND AND DECOR	
-AQUE BRICK CO. (FACE BRICK) P.O. BOX 425 FT. WORTH, TX 76101-8425 713-881-4851 800-792-1234 (IN TEXAS)	-TRI-STATE BRICK & BLOCK, LLC. (TEXTURED BLOCK) 412 EAST ST. CATHERINE ST. LOUISVILLE, KY 40203 502-587-7971	-INTERCERAMIC TILE COMPANY (FLOOR AND WALL TILE) 2333 SOUTH JUPITER ROAD GARLAND, TX 75041 JEFF WELLS - NATIONAL ACCOUNTS 817-851-2176 jwells@interceramic.com www.interceramic.com	-D.J. PAINTING (PAINTS, COATINGS) 788 LINDS AVE. BRIDGEVIEW, NJ 08832 DAN HMER: 609-685-8562 dan@djpainting.com	-RHEEM/RUUD (WATER HEATERS) 141 BELL ROAD MONTICELLO, AL 36117 334-268-1512	-PENNBERRY VENTILATOR, INC. (ROOFTOP EXHAUST FANS) 1401 NORTH FLAND ROAD RICHTONDALE, TX 75081 972-487-8456	-L.S.I. (MENU BOARDS) 3871 TURNERFOOT ROAD ERLANGER, KY 41018 RICK JORDAN: 606-546-1513 EXT. 3687 513-783-3288	-INTEGRATED CONTROL CORP. (KITCHEN MINDER) 748 PARK AVENUE HUNTINGTON, NY 11743 ROBERTA SALLERNO: 631-673-5100 OR 877-422-8788
-BELDEN BRICK CO. (FACE BRICK) 700 WEST TUSCARAWAS CANTON, OH 44702 330-456-8831	-GLEN GERY BRICK (FACE BRICK) P.O. BOX 7001 WOMINGSSON, PA 19610-6001 610-374-4811	-DAL-TILE (FLOOR TILE) 1787 OLD OKEECHOBEE ROAD WEST PALM BEACH, FL 33409 VIVIAN TRUITT 561-848-3675	-A.O. SMITH (WATER HEATERS) 680 E. JOHN CARPENTER FREEMAN SUITE 200 IRVING, TX 75062 800-447-1533 972-719-5900	-PALOMA (WATER HEATERS - CONDON CO.) 2916 S. FOX ENGLEWOOD, CO. 80110 800-873-3587	-SELECTO SCIENTIFIC, INC. (WATER FILTERS) 5933 PEACHTREE IND. BLVD. SUITE B NORCROSS, GA 30092 800-635-4817 800-284-3284 EXT. 19	-FEDERAL HEALTH SIGN CO. (SIGNS) 3955 TAMPA ROAD OLDSMAR, FL 34677 FIONA PAUL: 813-855-4415 800-284-3284 EXT. 19	-DUKE MANUFACTURING (PRODUCT HOLDING UNITS) 2305 NORTH BROADWAY ST. LOUIS MO. 63102 BILL ROSE 314-231-1130 EXR. 355 800-735-3853
DIVISION 5 - METALS		DIVISION 6 - WOOD/PLASTICS		DIVISION 16 - ELECTRICAL		MISCELLANEOUS	
-ADDITION STEEL (STRUCTURAL STEEL) 7351 OVERLAND ROAD LOOKHART, FL 32810-3483 407-295-6434	-WRISCO (METAL FASCIA, SOFFITS) 12182 CORPORATION DRIVE DALLAS, TX 75228 800-827-6948	-JAMES HAROLD BUILDING PRODUCTS, INC. (SIDING, SOFFIT) 1225 LA OLIVITA DRIVE SUITE 218 ORLANDO, FL 32809 800-942-7343	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-LSI INDUSTRIES INC. (INTERIOR AND EXTERIOR LIGHTING SURVEYS AND PHOTOMETRICS) 1085 ALLIANCE ROAD CINCINNATI, OH 45242 RON LARIMORE: 800-436-7800 EXT. 3375 513-783-3288	-SECURITY LIGHTING (EXTERIOR SITE AND BUILDING LIGHTING, SURVEYS AND PHOTOMETRICS) 1085 ALLIANCE ROAD BUFFALO GROVE, IL 60089 STEVE FREEMAN: 800-436-7800 EXT. 3375 800-544-4648	-H & K INTERNATIONAL (KITCHEN EQUIPMENT, SMALLWARES) 1343 SOUTH HENDERSON AVE. DALLAS, TX 75223 HEATHER VALVERDE: 214-618-3521 800-788-2445	
-BELDEN BRICK CO. (FACE BRICK) 700 WEST TUSCARAWAS CANTON, OH 44702 330-456-8831	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-RUUD LIGHTING, INC. (LIGHTING EQUIPMENT, SURVEYS AND PHOTOMETRICS) 9201 WASHINGTON AVENUE RACINE, WI 53406-3772 800-236-7000 EXT. 3129 262-884-3104	-HERMITAGE LIGHTING NAT. ACCOUNTS (INTERIOR AND EXTERIOR LIGHTING, SURVEYS AND PHOTOMETRICS) 3640 TROUSDALE DRIVE NASHVILLE, TN 37204 WYATT CULVER, JOE LUTTMAN 615-843-3379 800-284-3384	-INTERNATIONAL COLD STORAGE (ICS) (WALK-IN COOLERS / FREEZERS, DRY STORAGE COMPARTMENTS) 215 EAST 13th STREET NASHVILLE, TN 37204 DAVE KOKENY: 606-835-0801 316-218-4135	
-ADDITION STEEL (STRUCTURAL STEEL) 7351 OVERLAND ROAD LOOKHART, FL 32810-3483 407-295-6434	-WRISCO (METAL FASCIA, SOFFITS) 12182 CORPORATION DRIVE DALLAS, TX 75228 800-827-6948	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-SAN JAMAR (RESTROOM ACCESSORIES & SUPPLIES) 555 KOOPMAN LANE ELKHORN, WI 800-248-8828 EXT. 113 262-723-6133 EXT. 113 www.sanjamarc.com	-SENSOMATIC/ADT SECURITY SERVICES (BURGLAR ALARMS, CCTV ACCESS CONTROL, AND FIRE ALARMS) ONE TOTIN CENTER ROAD BOCA RATON, FL 33486 KERMAN WORLEY 954-590-3883	-SOFT PLAY EUROPE (PLAYGROUND MANUFACTURER) (NON-CONTAINED PLAY EQUIPMENT) 1320 EAST REESE BLVD. SUITE 300 HUNTERSVILLE, NC 28078 KEN SCHOEER: 800-782-7529 704-848-3448 kens@softplay.com	
-ADDITION STEEL (STRUCTURAL STEEL) 7351 OVERLAND ROAD LOOKHART, FL 32810-3483 407-295-6434	-WRISCO (METAL FASCIA, SOFFITS) 12182 CORPORATION DRIVE DALLAS, TX 75228 800-827-6948	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-NICHHA FIBER CEMENT (SIDING) 6555 PEACHTREE INDUSTRIAL BLVD SUITE 2A NORCROSS, GA 30092 770-895-9466 OR 404-538-1261 clate@nichha.com	-SAN JAMAR (RESTROOM ACCESSORIES & SUPPLIES) 555 KOOPMAN LANE ELKHORN, WI 800-248-8828 EXT. 113 262-723-6133 EXT. 113 www.sanjamarc.com	-SENSOMATIC/ADT SECURITY SERVICES (BURGLAR ALARMS, CCTV ACCESS CONTROL, AND FIRE ALARMS) ONE TOTIN CENTER ROAD BOCA RATON, FL 33486 KERMAN WORLEY 954-590-3883	-SOFT PLAY EUROPE (PLAYGROUND MANUFACTURER) (NON-CONTAINED PLAY EQUIPMENT) 1320 EAST REESE BLVD. SUITE 300 HUNTERSVILLE, NC 28078 KEN SCHOEER: 800-782-7529 704-848-3448 kens@softplay.com	
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INTERPLANS

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339

SEAL:



CHARTER HOUSE INC.
(SEATING & DECOR)
500 EAST 8th STREET, SUITE 1000
HOLLAND, MI 49423
8489 ZILBE: 800-314-7659
317-774-8880

SEATING CONCEPTS
(SEATING & DECOR)
125 CONNELL STREET
ROCKDALE, IL 60436
BILLY OVERTON: 815-730-7980

FCC COMMERCIAL FURNITURE
(DECOR)
8452 OLD HWY. 99 NORTH
ROSEBURG, OR 97470
VIRGIL OSBORNE: 541-673-3351
800-322-7328

CASABLANCA DESIGN GROUP
(DECOR)
811 PICKENS INDUSTRIAL DRIVE
MARIETTA, GA 30026
COLLEEN SMITH: 770-672-0810
COLLEEN.SMITH@CDCG.COM

FACILITY CONCEPTS, INC
(DECOR)
7676 ZIONSVILLE ROAD
INDIANAPOLIS, IN 46268
CALVIN DURR: 800-915-8898 EXT. 303
CDURR@FACILITY-CONCEPTS.COM

INTERIOR SYSTEMS, INC
(DECOR)
241 NORTH BROADWAY, SUITE 600
MILWAUKEE, WI 53202
JIM ZIELINSKI: 414-232-3592
JZIELINSKI@ISIAMERICA.COM

RESTAURANT INTERIORS, INC.
(DECOR ITEMS EXCEPT FURNITURE
AND DIVIDER WALLS)
MOUNTAIN CITY BUSINESS PARK
270 CONFEDERATE AVENUE
JASPER, GA 30143
STEVE BOURDEAU
706-253-4755
STEVE@RESTAURANTINTERIORSINC.US

ARMSTRONG STRATEGIC ACCOUNTS
(AQUAM DECOR CEILING ELEMENTS)
2500 COLUMBIA AVENUE
LANCASTER, PA 17684
LOUIS JOHN: 487-697-6788
800-442-4212

LANCER
(DRINK DISPENSERS)
6555 LANCER BLVD
SAN ANTONIO, TX 78219
TOM BRIGHTWELL: 770-331-7808
800-729-1500 EXT. 7255

NECO CORPORATION
(BROILERS)
7950 CAMERON DRIVE
WINDSOR, CA 95492
EDWARD BAKER SR.
707-284-7100
800-821-2141

PITCO
(FRYERS)
10 FERRY STREET
CONCORD, NH 03301
MARK MCKEE: 603-238-5583
800-258-3788

TAYLOR COMPANY
(SHAKE MACHINE, FROZEN
BEVERAGE MACHINE)
1789 NORTH COMMERCE HWY
WESTON, FL 33326
RAUL PEDRA: 854-217-9100 EXT. 122
800-948-4848 EXT. 122

KOZ PLAY INC. (KIDSFACE)
(PLAYGROUND MANUFACTURER)
55 SANFORD FLEMING DR.
COLLINGSWOOD, ONTARIO
CANADA L9Y 4B2
ROB BUTLER: 800-668-0206 EXT. 223

PLAY SYSTEMS (DIV. OF SUPERIOR INT.
INDUSTRIES, INC.)
(PLAYGROUND MANUFACTURER)
1050 COLUMBIA DR.
CARROLLTON, GA 30717
DAVID HYAMS: 800-327-8774

SPI INDUSTRIES
(PLAYGROUND MANUFACTURER)
BOX 180, R.R. #2, JOINT ST.
SHALLOW LAKE ON, M0H 2K0 CANADA
ROB WALKER
519-935-3543 EXT. 243
doad@spiplastics.com

SOFT PLAY, LLC.
(PLAYGROUND MANUFACTURER)
(SAFETY SURFACING)
(NON-CONTAINED PLAY EQUIPMENT)
1320 EAST REESE BLVD. SUITE 300
HUNTERSVILLE, NC 28078
KEN SCHOEER: 800-782-7529
704-848-3448
kens@softplay.com

REVISIONS

NO. DATE REMARKS

RESTAURANT FOR:
TOM'S King
335 COMMERCIAL DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008
Burger King CORPORATION

MISCELLANEOUS

-HAINES, JONES, AND CADBURY
(PACKAGE PRICING ON MULTIPLE ITEMS -
PLUMBING, TILE, RESTROOM ACCESSORIES,
ETC)
310 SW 24TH STREET
BENTONVILLE, AR 72712
KATHERINE HARRIS
800-458-7099

PROJECT NO: 2015.0347

DATE: 12.23.15

A9.0
MANUFACTURERS AND SUPPLIERS

CHECKED: JN DRAWN: HP

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SEAL:



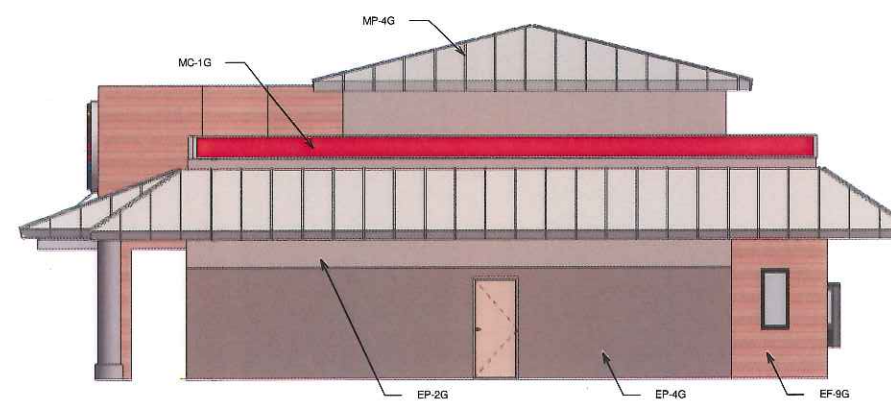
④ Proposed East Elevation
3/16" = 1'-0"



③ Proposed West Elevation
3/16" = 1'-0"



① Proposed South Elevation
3/16" = 1'-0"



② Proposed North Elevation
3/16" = 1'-0"

2016 02

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JAN 07 2016
BY:

MATERIAL LEGEND

	ECT-1G SENSIBLE STONE ED5052 NATURAL RED STACKED BOND PATTERN
	EF-9G FIBER CEMENT SIDING CEDAR
	EP-2G EXISTING FINISH MATERIAL PAINTED GLIDDEN PROFESSIONAL TAUPE TONE
	EP-4 EXISTING BRICK PAINTED GLIDDEN PROFESSIONAL MONTEREY CLIFFS
	MP-1 LIGHT BAND
	MP-3 METAL AWNING
	MP-4 METAL STANDING SEAM ROOF

NO DATE REVISIONS

RESTAURANT FOR:
TOMS King
335 CONVERGE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008
BURGER KING CORPORATION

BURGER KING REMODEL
BK 10235
855 TERRA COTTA
CRYSTAL LAKE, IL, 60014

PROJECT NO: 2015.0347
DATE: 12.23.15

A-2.2

CHECKED: JN DRAWN: KP

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① 3D View 1



② 3D View 2



③ 3D View 3

2016 02

RECEIVED
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ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

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SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339

SEAL:

NO DATE REMARKS
REVISIONS

RESTAURANT FOR:
TOM'S King
335 CONVINCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2008
BURGER KING CORPORATION

BURGER KING
REMODEL

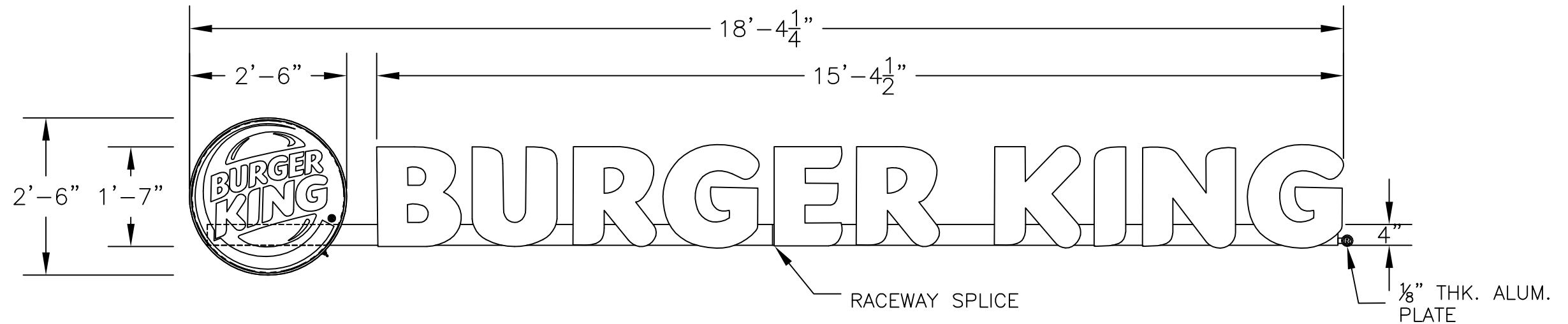
BK 10235
855 TERRA COTTA
CRYSTAL LAKE, IL 60014

PROJECT NO: 2015.0347
DATE: 12.23.15

A-2.3

CHECKED: JN DRAWN: KP

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LOGO COLOR NOTES:

BACKS: .090 ALUM. w/ WHITE FINISH
 RETURNS/ RETAINER: 5"x.063 ALUM. (STAPLED & CAULKED)
 PRE-FINISHED BK SILVER/ WHITE
 FACE: FORMED (VOID) .093 CLEAR PCB
 BUN LOGO: 3630-125 YELLOW
 ACCENT RING: 3630-8703 BLUE
 COPY/ RTM: 3630-33 RED
 BKG'D/ BUN ACCENT: 3635-30 WHITE DIFFUSER
 ILLUMINATION: GE TETRA MAX (7100K)
 VINYL TO BE APPLIED 2nd SURFACE

CHLL LTRS COLOR NOTES:

BACKS: .063 ALUM. PAINT BACKS BRUSHED ALUM. SILVER
 PAINT INSIDE LEP WHITE
 RETURNS: 3"x.040 PAINTED BRUSHED ALUM. SILVER/
 WHITE (STAPLE & CAULK)
 TRIM CAP: 1" SILVER JEWELITE TO MATCH RETURNS
 FACE: .125 2793 LD RED PCB
 (TO BE SUPPLIED BY SHEFFIELD/ SPARTEC)
 RTM: 1/4" ALUM. PAINTED BRUSHED ALUM. w/ 2793
 RED VINYL COPY
 RACEWAY: .090 ALUM. PAINTED BRUSHED ALUM. SILVER
 ILLUMINATION: RED GE TETRA MAX LED'S

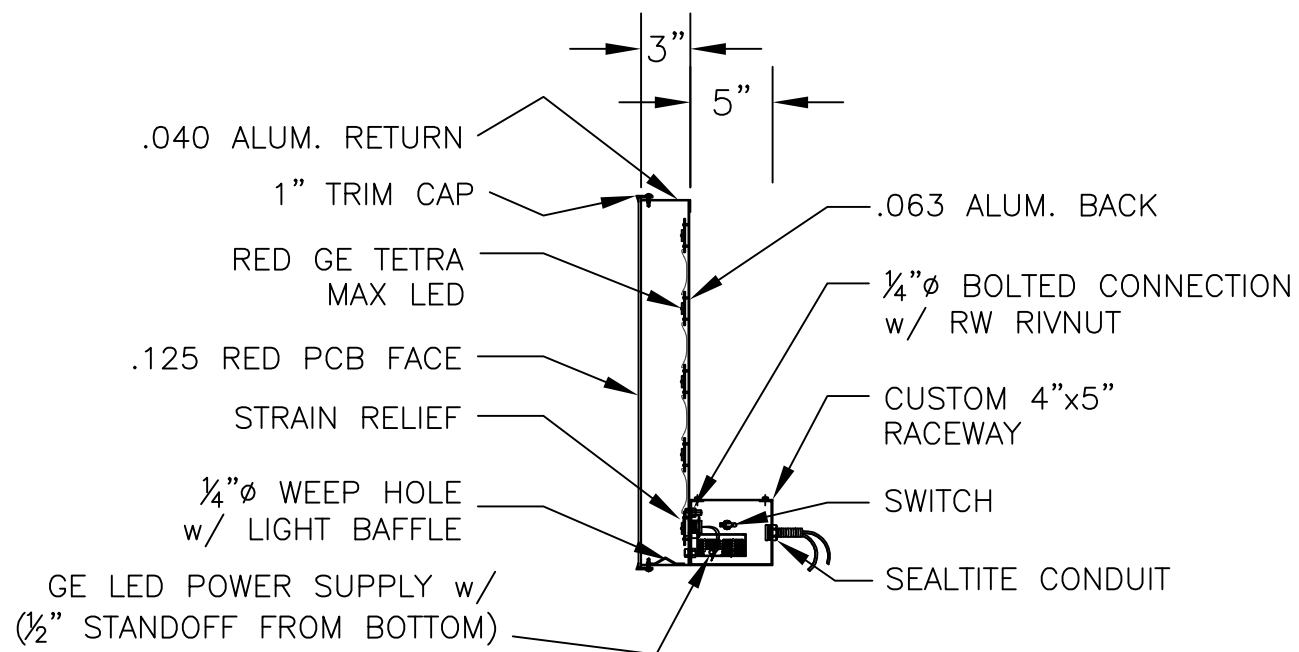
ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.

TOTAL AMPS: 0.9

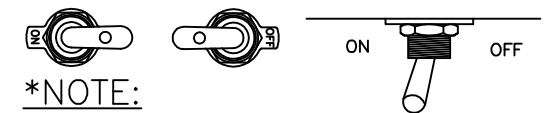
OF CKTS: 1 20 AMP(RECOMMENDED)

VOLTS: 120

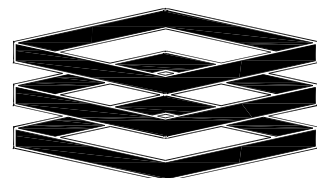
ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L) LABELS.



SECTION VIEW
 NOT TO SCALE
 EQUIPMENT GROUNDED



***NOTE:**
 INSTALL TOGGLE SWITCH TO OPERATE (ON/OFF) IN THE HORIZONTAL POSITION.



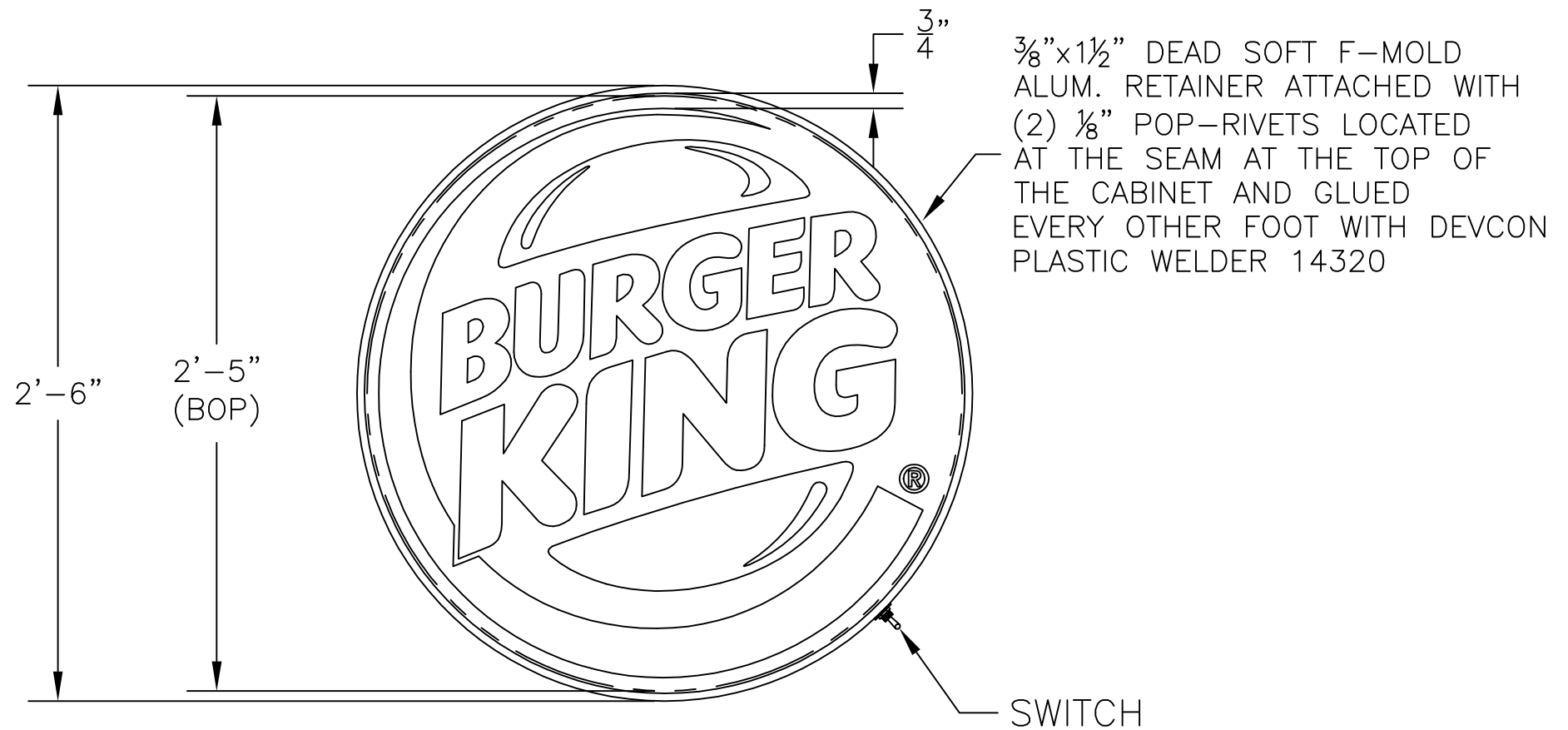
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 PANAMA CITY, FL 32401
 PH: 850-763-7982
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FILE LOCATION: G:\ENGINEERING\CUSTOMER\BURGER KING	PAGE TYPE: PRESENTATION	
DRAWN BY: MATT CZAJKOWSKI	DRAWING NUMBER: BK023	PAGE NUMBER: PAGE 1 OF 2



COLOR NOTES:

BACKS: .090 ALUM. w/ WHITE FINISH
 RETURNS/ RETAINER: 5"x.063 ALUM. (STAPLED & CAULKED)
 PRE-FINISHED BK SILVER/ WHITE
 FACE: FORMED (VOID) .093 CLEAR PCB
 BUN LOGO: 3630-125 YELLOW
 ACCENT RING: 3630-8703 BLUE
 COPY/ RTM: 3630-33 RED
 BKG'D/ BUN ACCENT: 3635-30 WHITE DIFFUSER

ILLUMINATION: GE TETRA MAX (7100K)
 VINYL TO BE APPLIED 2nd SURFACE

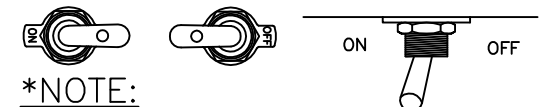
ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.

TOTAL AMPS: 0.30

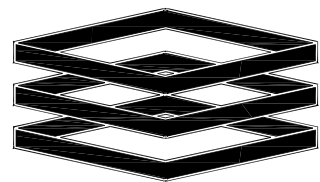
OF CKTS: 1 20 AMP(RECOMMENDED)

VOLTS: 120

ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L) LABELS.



*NOTE:
 INSTALL TOGGLE SWITCH TO OPERATE (ON/OFF) IN THE HORIZONTAL POSITION.



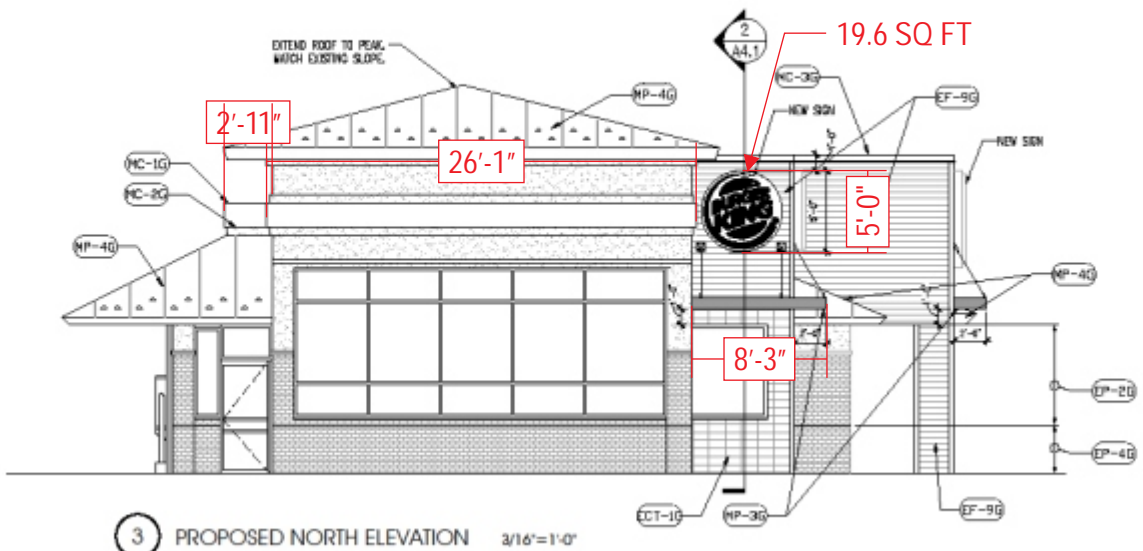
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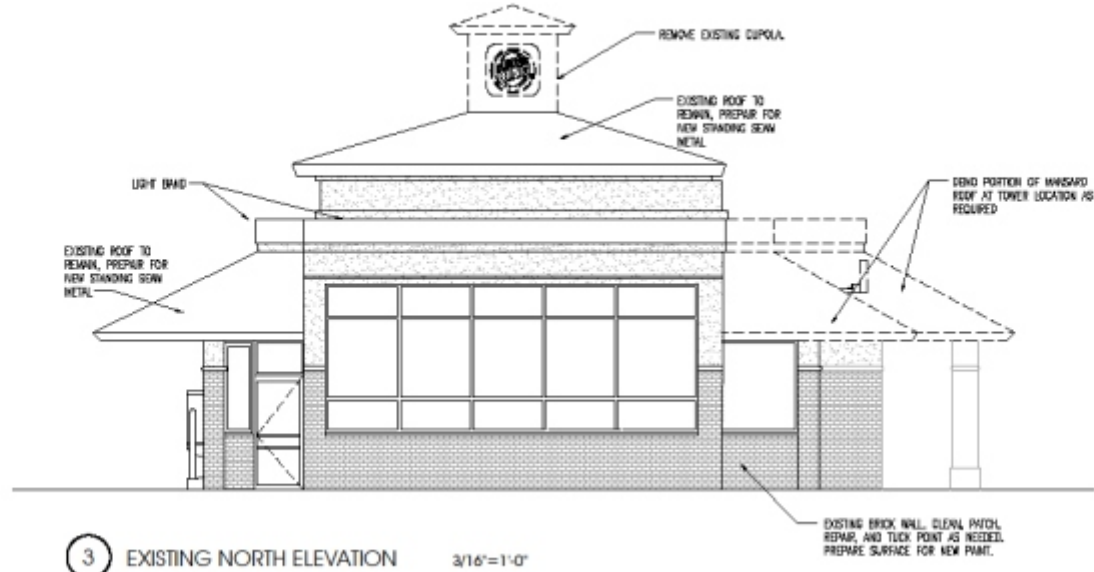


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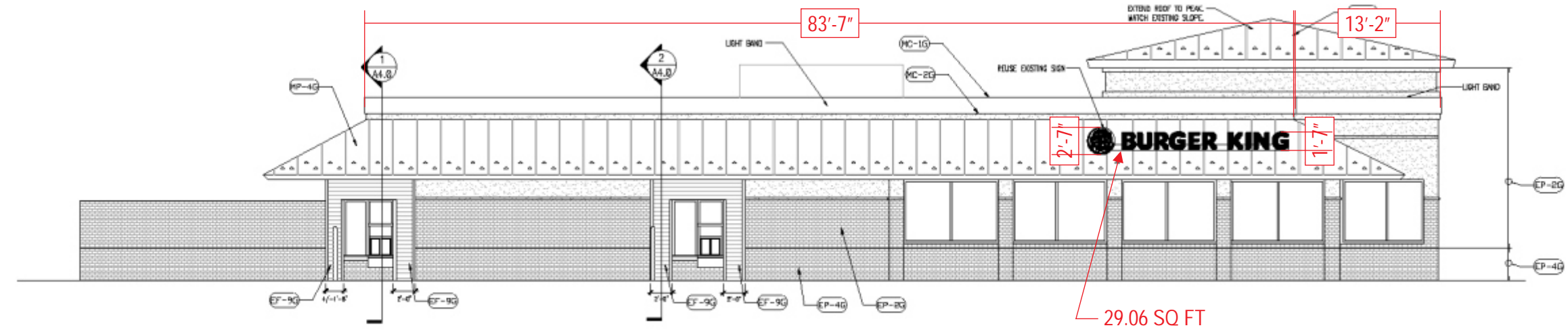
CLIENT: BURGER KING	SCALE: NTS	DATE: 08/06/2012
FILE LOCATION: G:\ENGINEERING\CUSTOMER\BURGER KING		PAGE TYPE: LOGO LAYOUT
DRAWN BY: MATT CZAJKOWSKI	DRAWING NUMBER: BK023	PAGE NUMBER: PAGE 2 OF 2



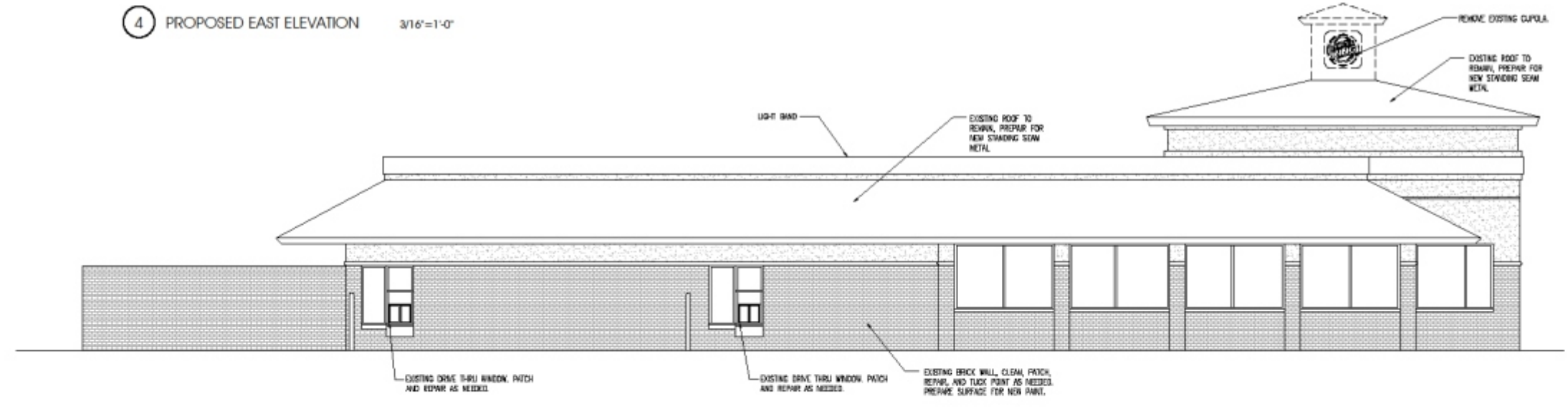
3 PROPOSED NORTH ELEVATION 3/16"=1'-0"



3 EXISTING NORTH ELEVATION 3/16"=1'-0"



4 PROPOSED EAST ELEVATION 3/16"=1'-0"



4 EXISTING EAST ELEVATION 3/16"=1'-0"

GENERAL NOTES

1. BUILDING SIGNAGE BY OTHERS UNDER SEPARATE PERMIT.
2. PREFABRICATED METAL CANOPY UNDER SEPARATE PERMIT.
3. O.C. TO PROVIDE POWER TO ALL BUILDING SIGNAGE.
4. REFER TO WALL SECTIONS FOR FRAMING OF NEW WALLS.
5. REFER TO FINISH SCHEDULE SHEET AS.B
6. REMOVE ROOF LIGHT FIXTURES

LEGEND: (SEE SHEET A&B FOR FINISHES)

- EB-B BRICK SURFACE
- ECT-B EXTERIOR HARD BOARD FINISH
- EF-B STUCCO OR SIDING WALL SURFACE
- EP-B PAINT FINISH
- MC-B METAL COPING
- MP-B METAL TRIM/PANEL
- S-B SIGNAGE BY SEPARATE VENDOR

12.23.15 ISSUED FOR BID
12.23.15 ISSUED FOR PERMIT
NO DATE REMARKS

REVISIONS

RESTAURANT FOR:
TOM'S King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
815-444-2100

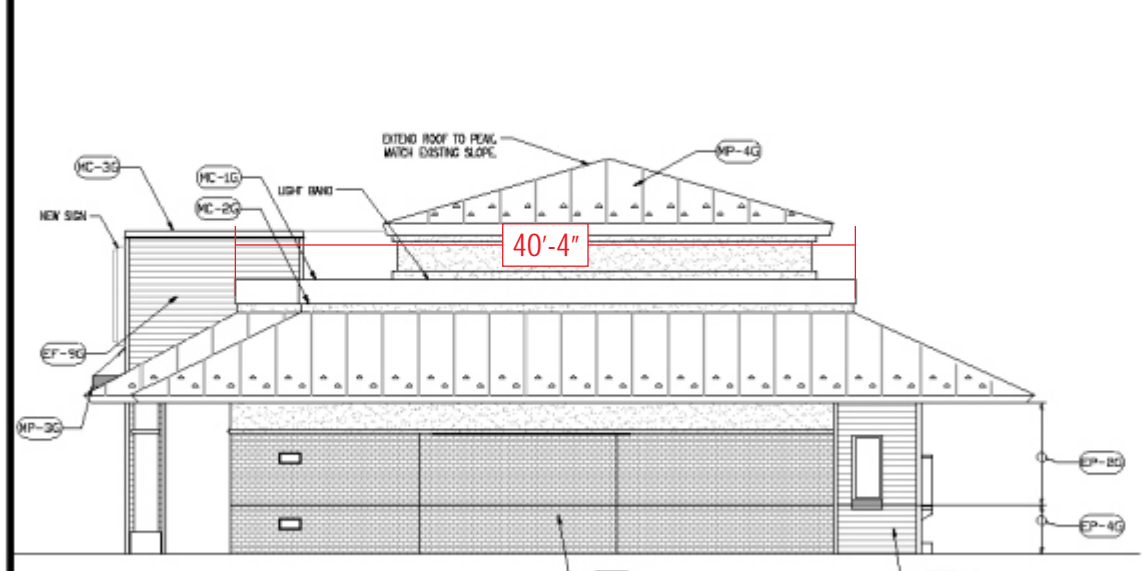
BURGER KING CORPORATION

BURGER KING REMODEL
BK 10238
855 F TERRA COTTA
CRYSTAL LAKE IL 60014

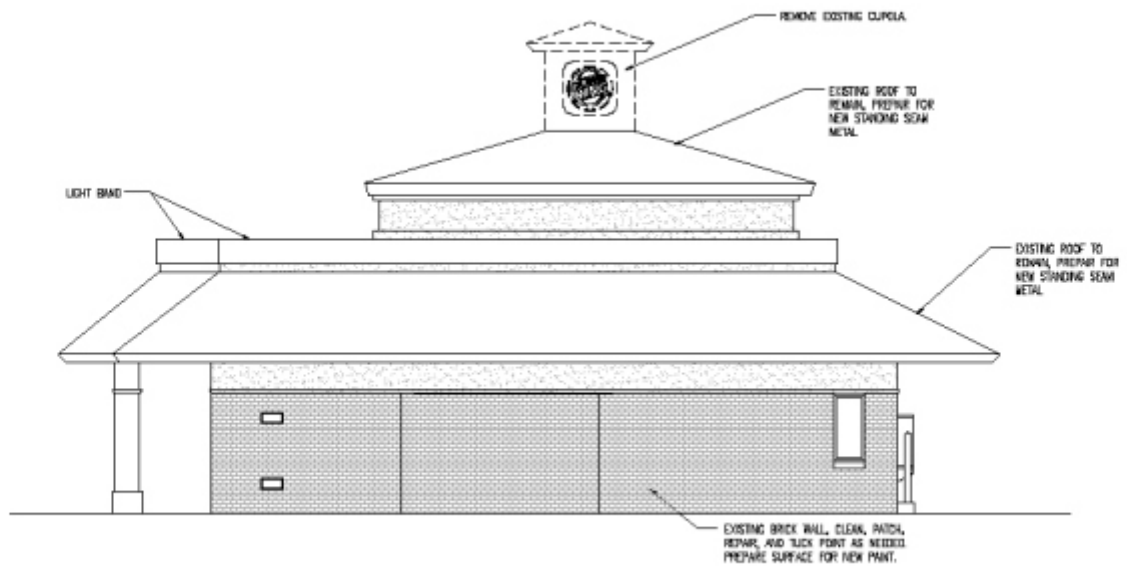
PROJECT NO: 2015.0347
DATE: 12.23.15

A2.1
EXTERIOR ELEVATIONS

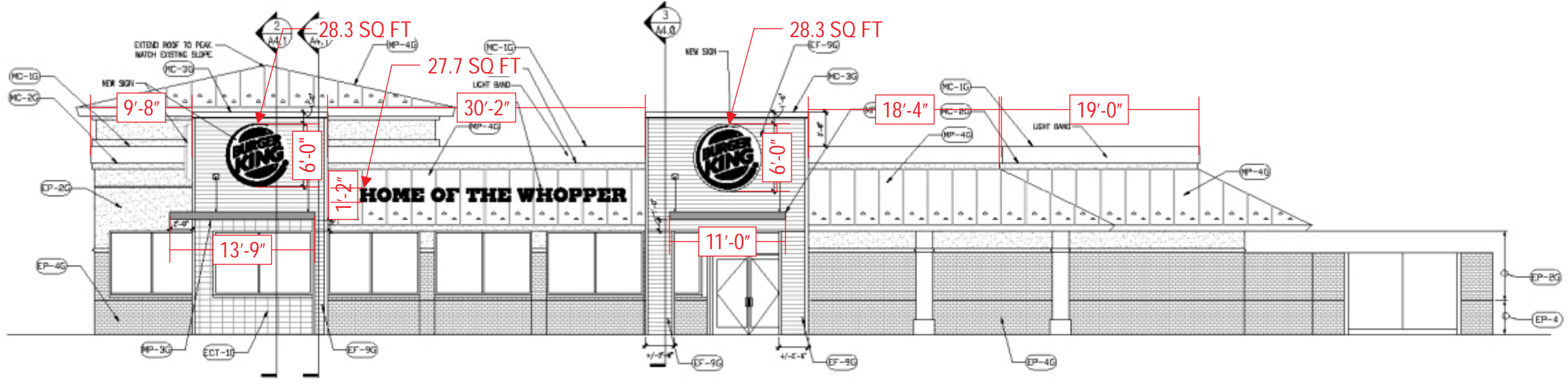
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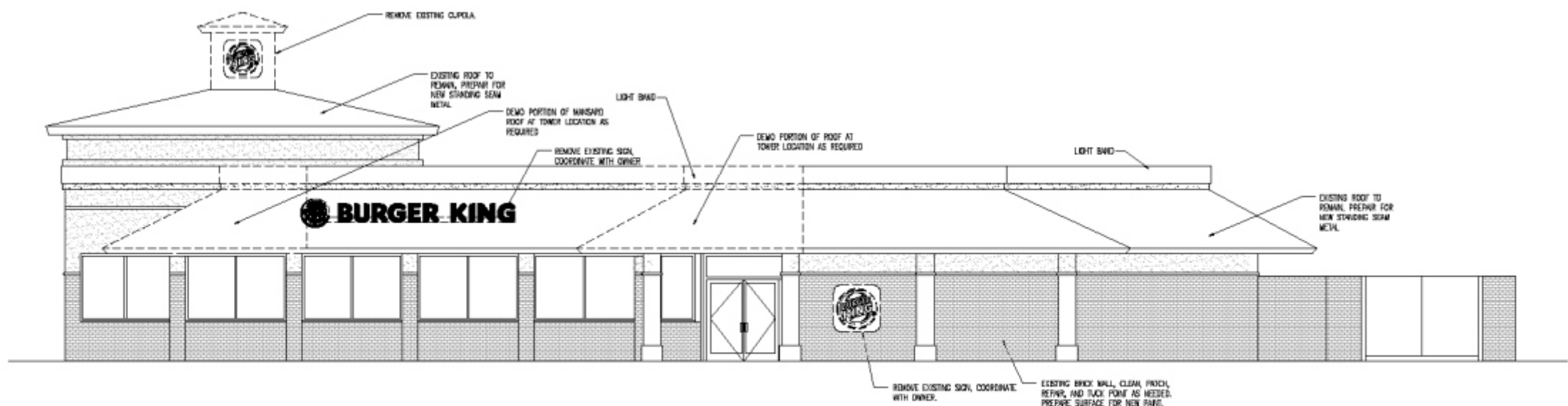
1 PROPOSED SOUTH ELEVATION 3/16"=1'-0"



1 EXISTING SOUTH ELEVATION 3/16"=1'-0"



2 PROPOSED WEST ELEVATION 3/16"=1'-0"



2 EXISTING WEST ELEVATION 3/16"=1'-0"

GENERAL NOTES

- BUILDING SIGNAGE BY OTHERS UNDER SEPARATE PERMIT.
- PREFABRICATED METAL CANOPY UNDER SEPARATE PERMIT
- E.G. TO PROVIDE POWER TO ALL BUILDING SIGNAGE.
- REFER TO WALL SECTIONS FOR FRAMING OF NEW WALLS.
- REFER TO FINISH SCHEDULE SHEET A&B
- REMOVE ROOF LIGHT FIXTURES

LEGEND: (SEE SHEET A&B FOR FINISHES)

- EB-1 BRICK SURFACE
- ECT-10 EXTERIOR HAWK BOARD FINISH
- EP-2G STUCCO OR SIDING WALL SURFACE
- EP-4 PAINT FINISH
- MC-1G METAL COPING
- MP-4C METAL TRIM/PANEL
- S-1 SIGNAGE BY SEPARATE VENDOR

12.23.15 ISSUED FOR BID
12.23.15 ISSUED FOR PERMIT
NO DATE REMARKS

REVISIONS

RESTAURANT FOR:
TOM'S King
335 COMMERCE DRIVE
CRYSTAL LAKE, IL 60014
BURGER KING CORPORATION

BURGER KING REMODEL

BK 10238
655 E TERRA COTIA
CRYSTAL LAKE IL 60014

PROJECT NO: 2015.0047
DATE: 12.23.15

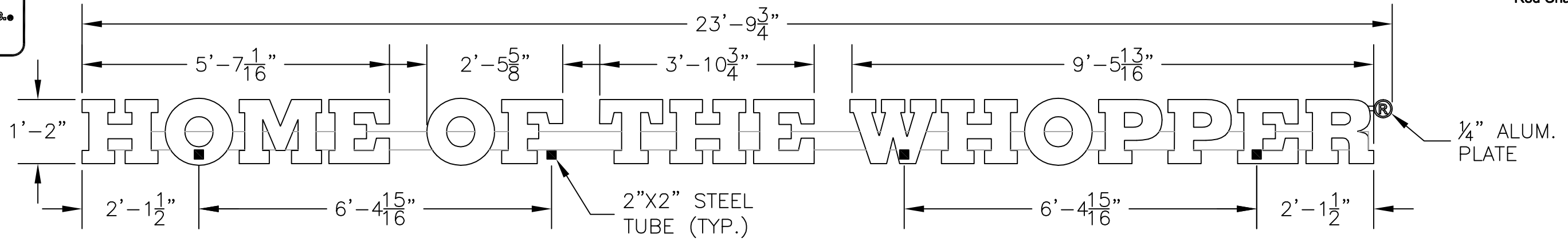
A2.0
EXTERIOR ELEVATIONS

CHECKED: JH DRAWN: HP

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S-3 "Home of the Whopper"
Red Channel Letter
Red LED

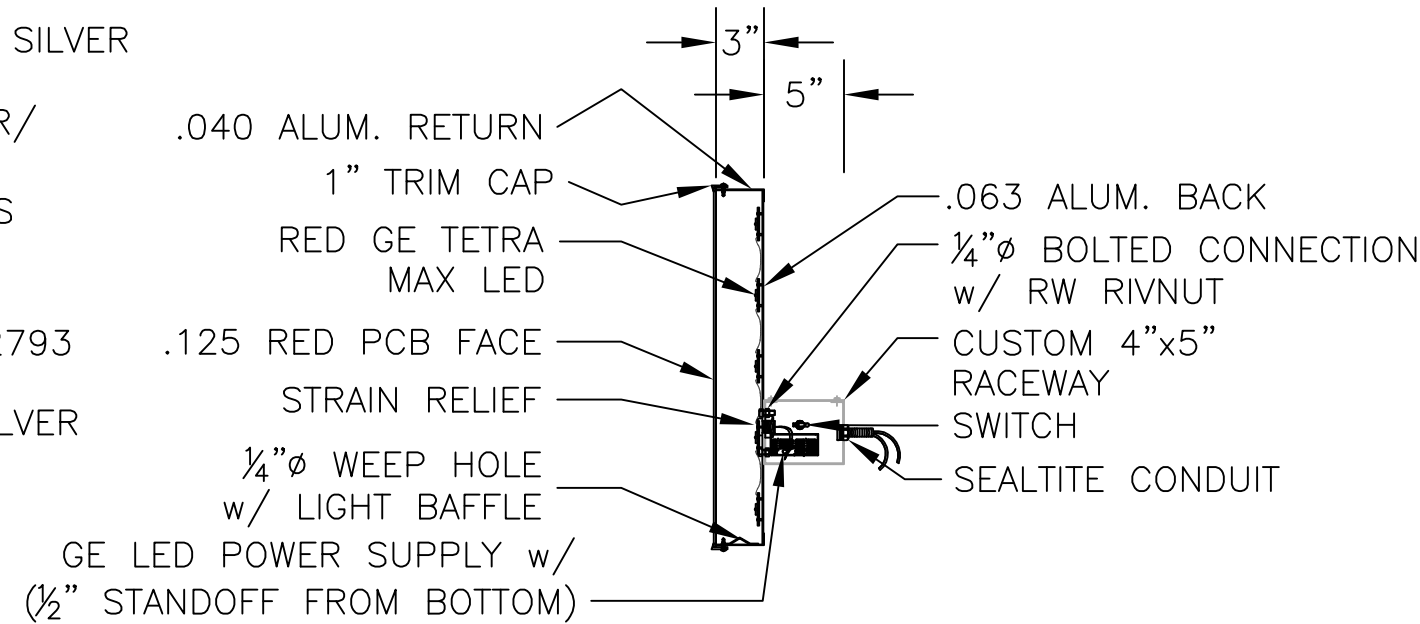


**CAN ONLY BE USED ON STANDING SEAM
 AWNINGS OR MANSARD, AND MUST HAVE BKC
 APPROVAL FOR ANY OTHER LOCATION**

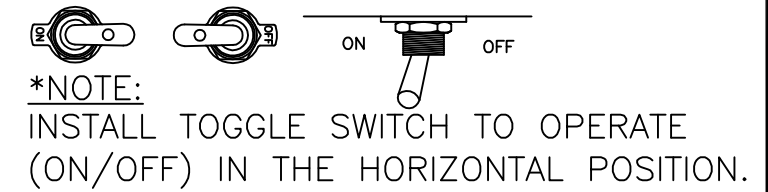
COLOR NOTES:

- BACKS: .063 ALUM. PAINT BACKS BRUSHED ALUM. SILVER
 PAINT INSIDE LEP WHITE
- RETURNS: 3"x.040 PAINTED BRUSHED ALUM. SILVER/
 WHITE (STAPLE & CAULK)
- TRIM CAP: 1" SILVER JEWELITE TO MATCH RETURNS
- FACE: .125 2793 LD RED PCB
 (TO BE SUPPLIED BY SHEFFIELD/ SPARTEC)
- RTM: 1/4" ALUM. PAINTED BRUSHED ALUM. w/ 3M 2793
 RED VINYL COPY
- RACEWAY: .090 ALUM. PAINTED BRUSHED ALUM. SILVER
- ILLUMINATION: RED GE TETRA MAX LED'S

ELECTRICAL NOTE—Actual # of circuits to be determined by a Licensed Electrical Contractor.
 TOTAL AMPS: 0.9
 # OF CKTS: 1 @ 20 AMP(RECOMMENDED)
 VOLTS: 120
 ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161
 COMPLIANT AND CARRY (U.L) LABELS.



SECTION VIEW
 NOT TO SCALE
 EQUIPMENT GROUNDED

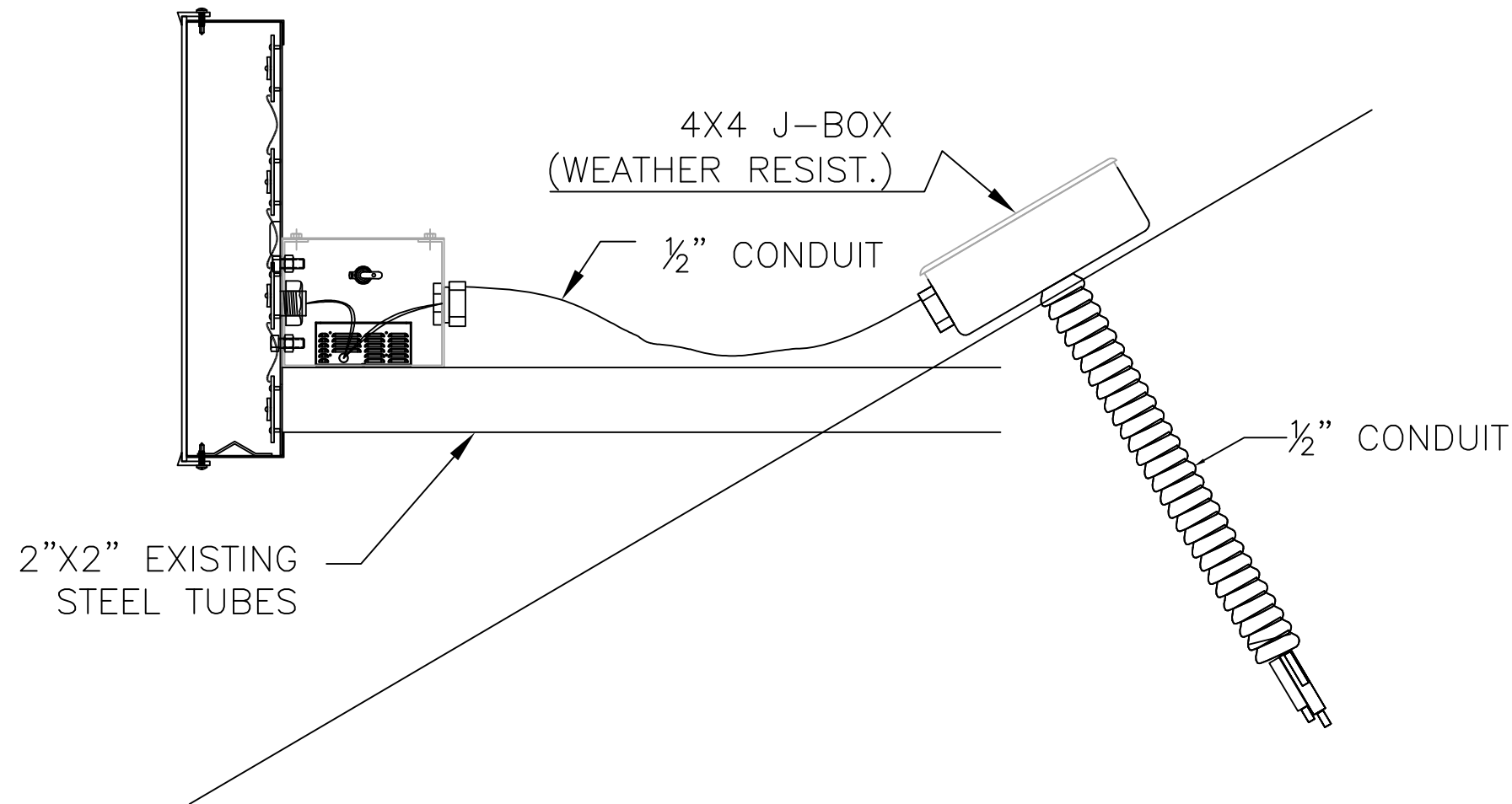


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	File: Burger King Design Doc RFP #1 Design -- Date: 12/8/2011	<input type="checkbox"/> Approved <input type="checkbox"/> Revise & Resubmit	



MANSARD ROOF MOUNT DETAIL
 NTS

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Project Information

BURGER KING
 Custom Exterior Signage Systems
 File: Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

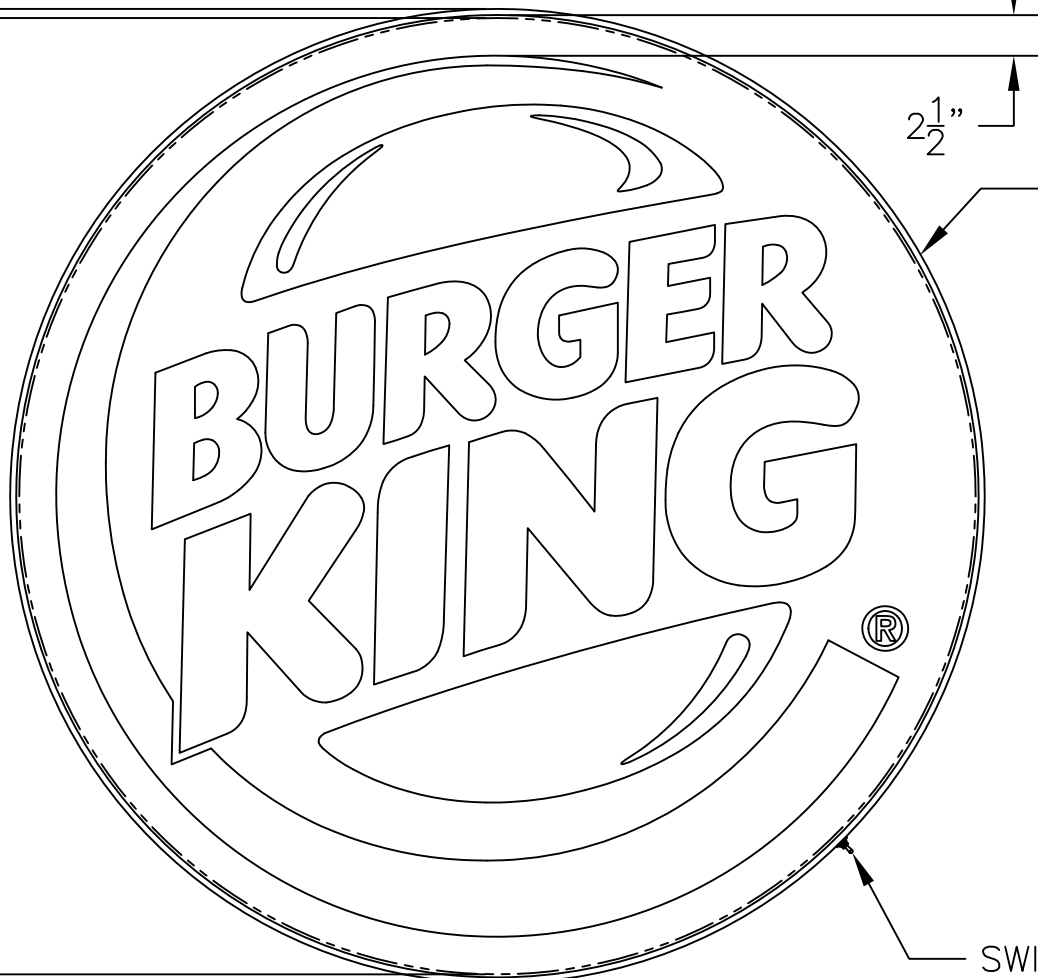
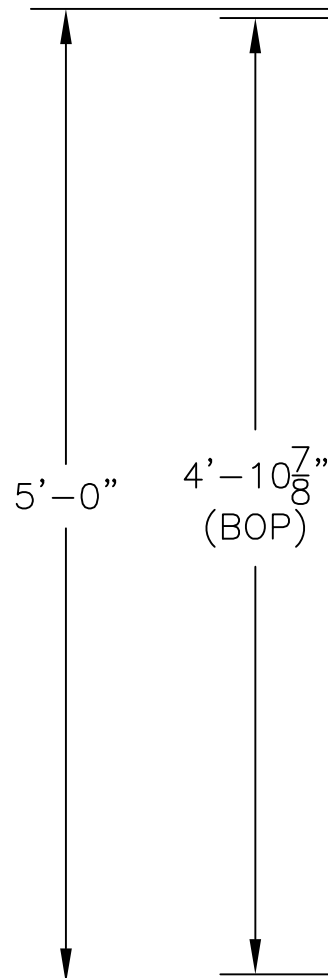
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- Approved
 Revise & Resubmit

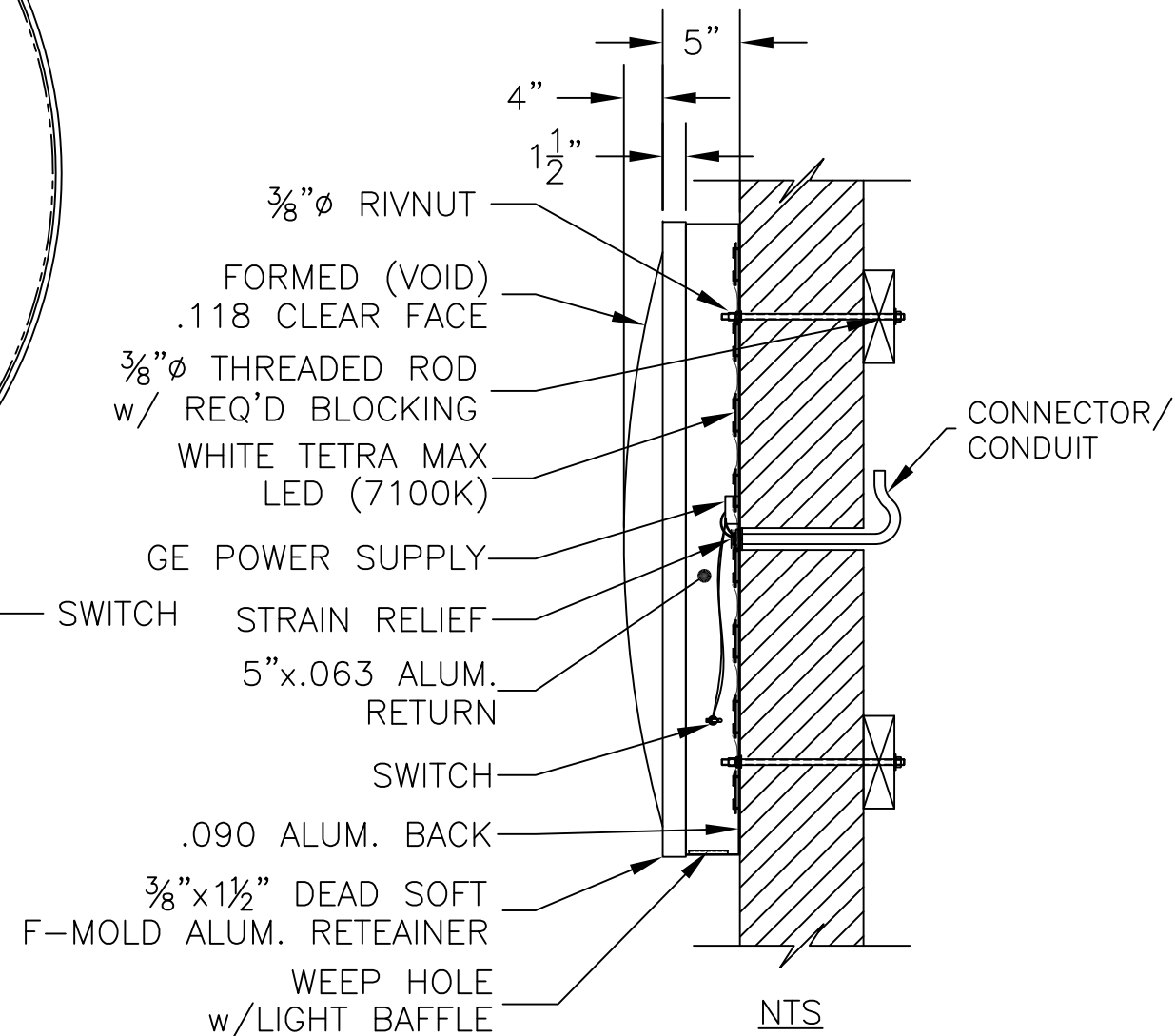
Name	
Title	Date



LOGO
19.6 SQUARE FEET



3/8"x1 1/2" DEAD SOFT F-MOLD ALUM. RETAINER ATTACHED WITH (2) 1/8" POP- RIVETS LOCATED AT THE SEAM AT THE TOP OF THE CABINET AND GLUED EVERY OTHER FOOT WITH DEVCON PLASTIC WELDER 14320



COLOR NOTES:

BACKS: .090 ALUM. w/ WHITE FINISH
RETURNS/ RETAINER: 5"x.063 ALUM. (STAPLED & CAULKED)
PRE-FINISHED BK SILVER/ WHITE
FACE: FORMED (VOID) .118 CLEAR PCB
BUN LOGO: 3630-125 YELLOW
ACCENT RING: 3630-8703 BLUE
COPY/ RTM: 3630-33 RED
BKG'D/ BUN ACCENT: 3635-30 WHITE DIFFUSER

ILLUMINATION: GE TETRA MAX (7100K)
VINYL TO BE APPLIED 2nd SURFACE

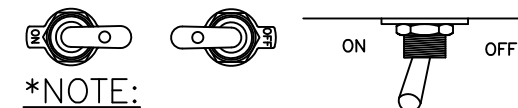
ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.

TOTAL AMPS: 0.85
OF CKTS: 1 20 AMP(RECOMMENDED)
VOLTS: 120

ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L) LABELS.

Note: BURGER KING® or BURGER KING® Buns and Crescent Logo to use "®" for all locations globally. All other marks will use "TM".

BURGER KING® In the U.S. use the ® trademark symbol. The Burger King® trademark may not be registered in all countries. See "Legal Standards" for more information. For registration updates, please contact the legal department in Miami (305) 378-3080.



*NOTE:
INSTALL TOGGLE SWITCH TO OPERATE (ON/OFF) IN THE HORIZONTAL POSITION.



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Project Information

BURGER KING
Custom Exterior Signage Systems
File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

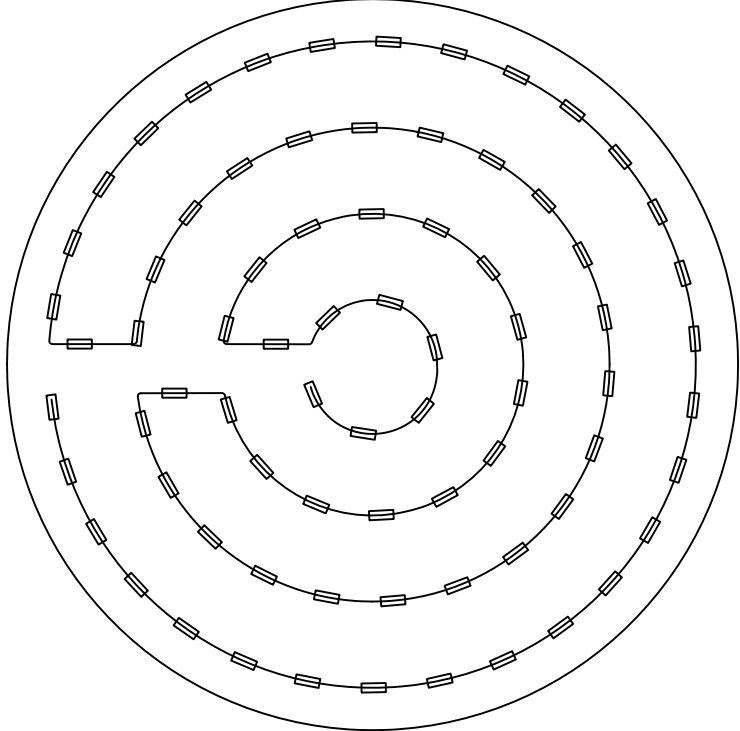
Client Review Status

Burger King requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision.

Approved
 Revise & Resubmit

Name _____
Title _____
Date _____



Tetra® LED Systems		MATERIAL ESTIMATE				Drwg #: 019455-05	
CUSTOMER INFORMATION		*** SPECIAL INSTRUCTIONS				TETRA® Product***	
REF.	Burger King Sign Document 2011	ESTIMATE FOR ONE SIDE OF SIGN ONLY				White MAX (71K)	
<p>1) THE GRAPHICS BELOW ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimate as well as affect product selection, quantities, application, and illumination.</p> <p>2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer <u>must</u> verify module placement and quantity to ensure even illumination.</p> <p>3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.</p> <p>4) All signs should be tested as complete units (including correct Tetra® power supply) <u>before</u> installation for acceptable color, illumination, intensity, & functionality.</p> <p>5) For detailed information and instructions refer to the applicable Tetra® product found under Signage at: WWW.LED.COM</p>		LED Module		GE2/GEWHMXTS6-71K	75 Mod.	38 ft.	
		Power Supply		GEPS12-60		1 Ea.	
		Connector		GEPS12-20		0 Ea.	
		Supply Wire		191600041		8 Ea.	
		End Cap		9409		6 ft.	
Can Depth	Power Supply Location	Illumination	Total Amps (Primary)	Total Watts (System)	Total Area	Energy Usage	
5"	SELF-CONTAINED	FACE / BACKLIT	0.9 Amps	64.50 Watts	19.63 Sq.Ft.	3.29 Watts/Sq.Ft.	
MATERIAL BREAKDOWN							
		WHITE71K	Modules	P/S			
		5'-0" LOGO	75.0	1			
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: left;"> <p>60" ⌀ 'DIA'</p> </div>  </div>							
Tetra® LED Systems		Lighting Solutions		TECH SUPPORT: 888-694-3533 / 216-266-2419		Drawn By: MM	
		EAST CLEVELAND, OH 44112		EMAIL: TETRADRAWINGS@GE.COM		Checked By: MM	
				E-FAX: 216-359-0075		Date: 11/16/11	
						Drwg #: 019455 - 05	
						FORM REV 01-01-11	
						PAGE 1 OF 1	
						Rev C	

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Project Information

BURGER KING
Custom Exterior Signage Systems
File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

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Approved

Revise & Resubmit

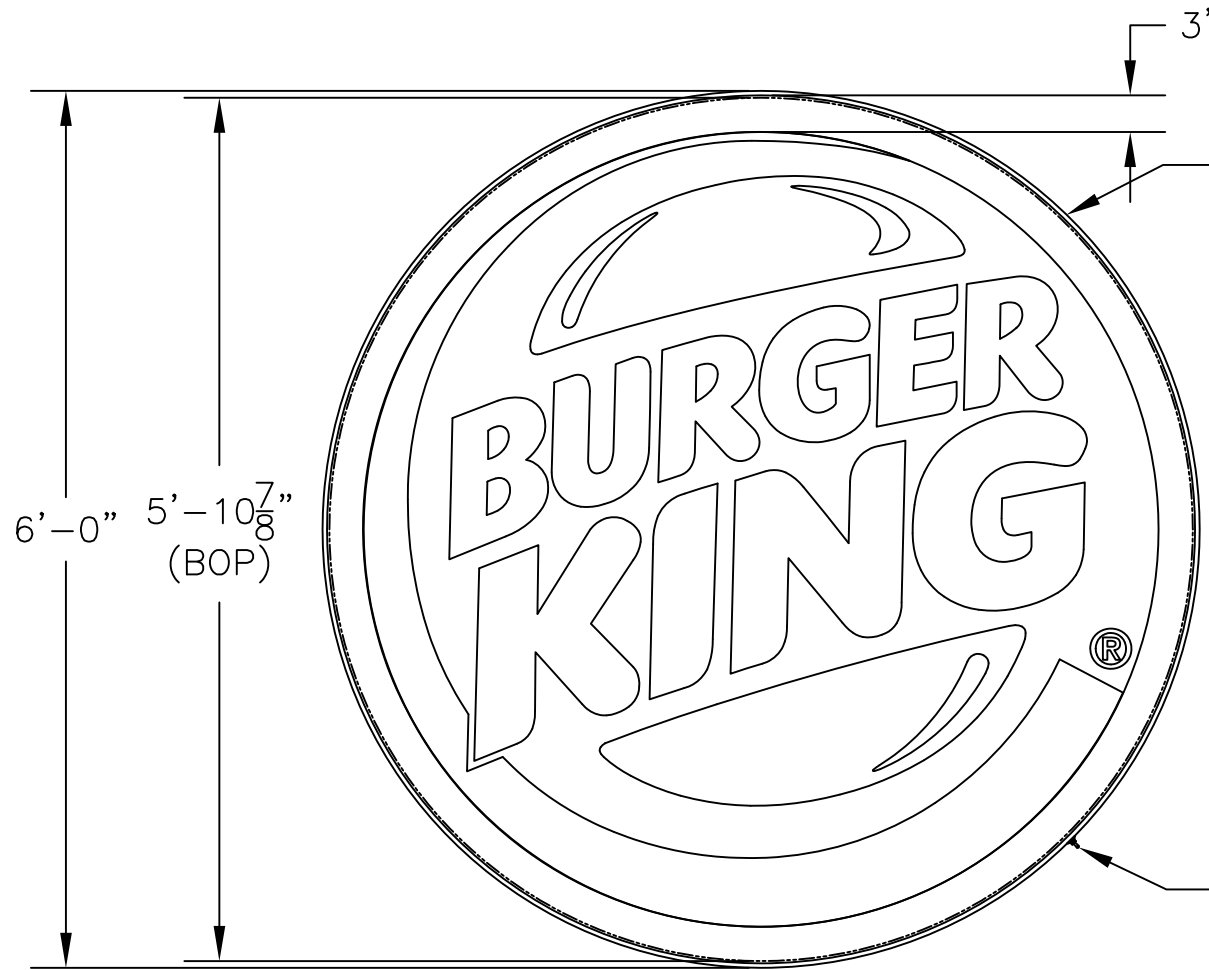
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Title

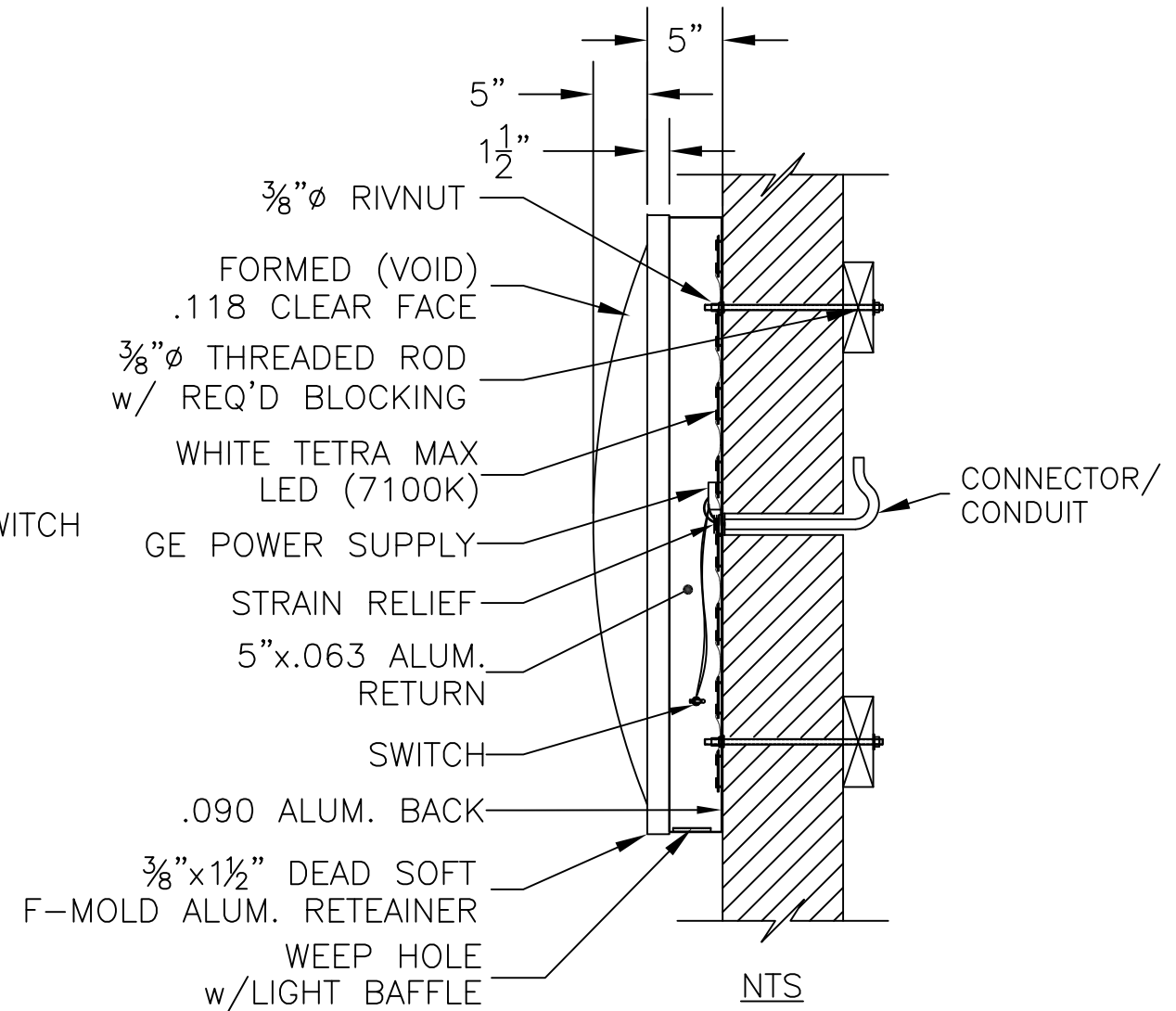
Date



LOGO
28.3 SQUARE FEET



3/8"x1 1/2" DEAD SOFT F-MOLD ALUM. RETAINER ATTACHED WITH (2) 1/8" POP-RIVETS LOCATED AT THE SEAM AT THE TOP OF THE CABINET AND GLUED EVERY OTHER FOOT WITH DEVCON PLASTIC WELDER 14320



COLOR NOTES:

BACKS: .090 ALUM. w/ WHITE FINISH
RETURNS/ RETAINER: 5"x.063 ALUM. (STAPLED & CAULKED)
PRE-FINISHED BK SILVER/ WHITE
FACE: FORMED (VOID) .118 CLEAR PCB
BUN LOGO: 3630-125 YELLOW
ACCENT RING: 3630-8703 BLUE
COPY/ RTM: 3630-33 RED
BKG'D/ BUN ACCENT: 3635-30 WHITE DIFFUSER
ILLUMINATION: GE TETRA MAX (7100K)
VINYL TO BE APPLIED 2nd SURFACE

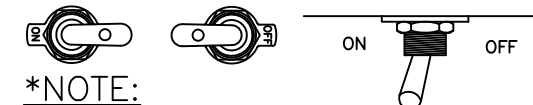
ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.

TOTAL AMPS: 1.70
OF CKTS: 1 20 AMP(RECOMMENDED)
VOLTS: 120

ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L.) LABELS.

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INSTALL TOGGLE SWITCH TO OPERATE (ON/OFF) IN THE HORIZONTAL POSITION.



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Project Information

BURGER KING
Custom Exterior Signage Systems
File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

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Revise & Resubmit

Name _____

Title _____

Date _____



Tetra LED Systems		MATERIAL ESTIMATE					Drwg #: 019455-06						
CUSTOMER INFORMATION		*** SPECIAL INSTRUCTIONS					TETRA Product***						
REF.	Burger King Sign Document 2011	ESTIMATE FOR ONE SIDE OF SIGN ONLY					White MAX (71K)						
<p>1) THE GRAPHICS BELOW ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimate as well as affect product selection, quantities, application, and illumination.</p> <p>2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer must verify module placement and quantity to ensure even illumination.</p> <p>3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.</p> <p>4) All signs should be tested as complete units (including correct Tetra power supply) before installation for acceptable color, illumination, intensity, & functionality.</p> <p>5) For detailed information and instructions refer to the applicable Tetra product found under Signage at: WWW.LED.COM</p>							MATERIAL LIST						
							LED Module	GE2/GEWHMXTS6-71K	108 Mod.	54 ft.			
							Power Supply	GEPS12-60		2 Ea.			
								GEPS12-20		0 Ea.			
							Connector	191600041		12 Ea.			
Supply Wire	9409		7 ft.										
End Cap	GETMEC1		6 Ea.										
							MATERIAL BREAKDOWN						
							WHITE(71K)	Modules	P/S				
<p style="text-align: center;">72" Ⓞ 'DIA'</p>							6'-0" LOGO	108.0	2				
<p>Tetra LED Systems Lighting Solutions TECH SUPPORT: 888-694-3533 / 216-266-2419 Drawn By: MM Drwg #: 019455 - 06 Rev C</p> <p style="text-align: center;">EAST CLEVELAND, OH 44112 EMAIL: TETRADRAWINGS@GE.COM Checked By: MM Date: 11/16/11 FORM REV 01-31-11 PAGE 1 OF 1</p>													

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BURGER KING
Custom Exterior Signage Systems
File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

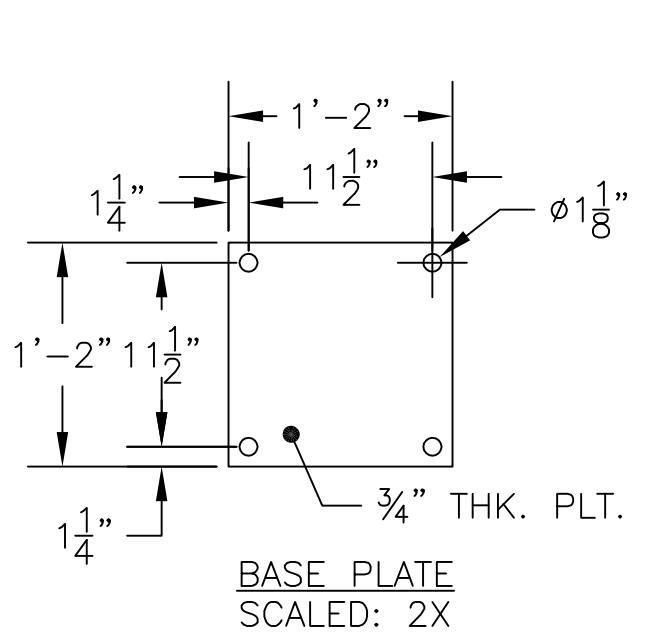
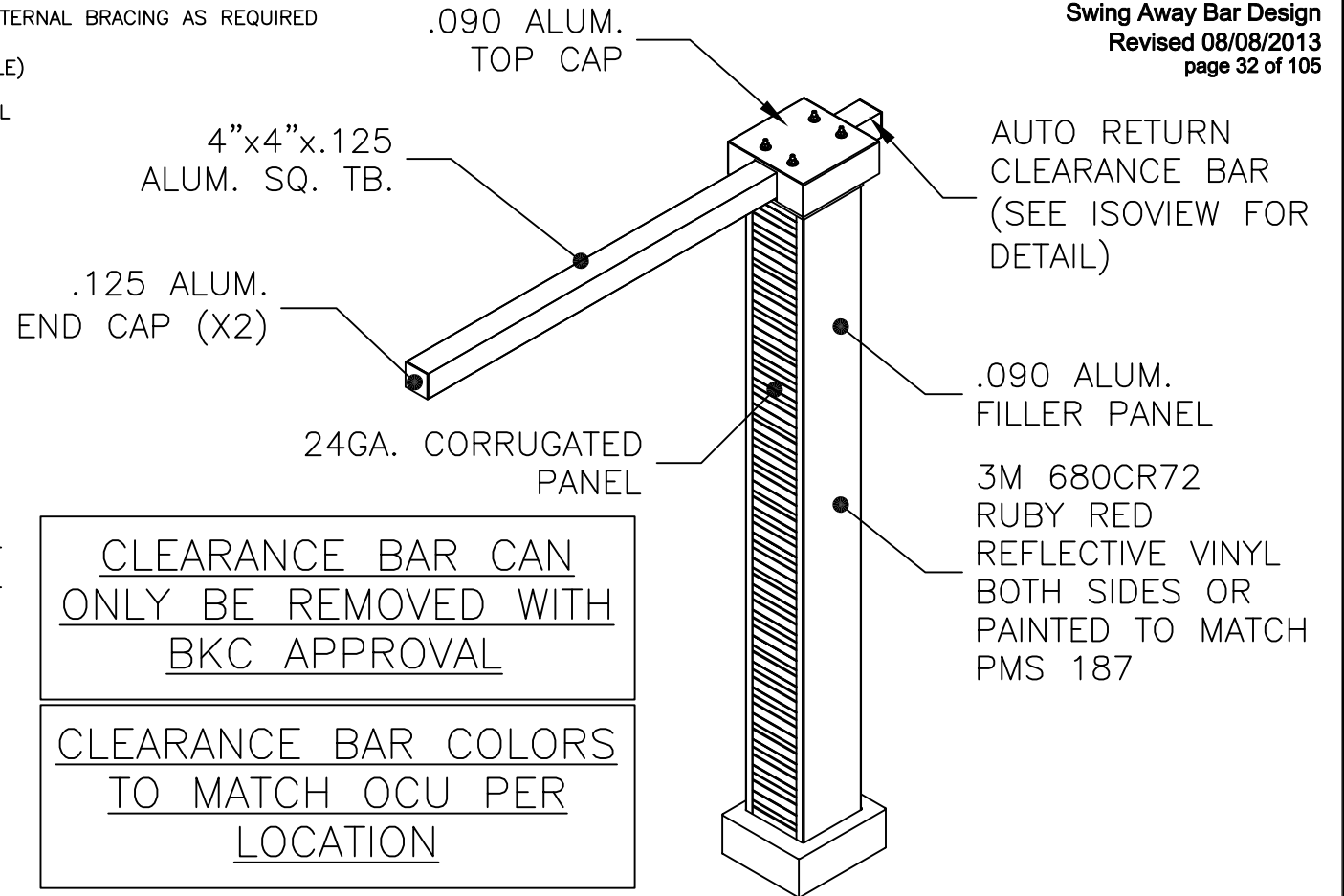
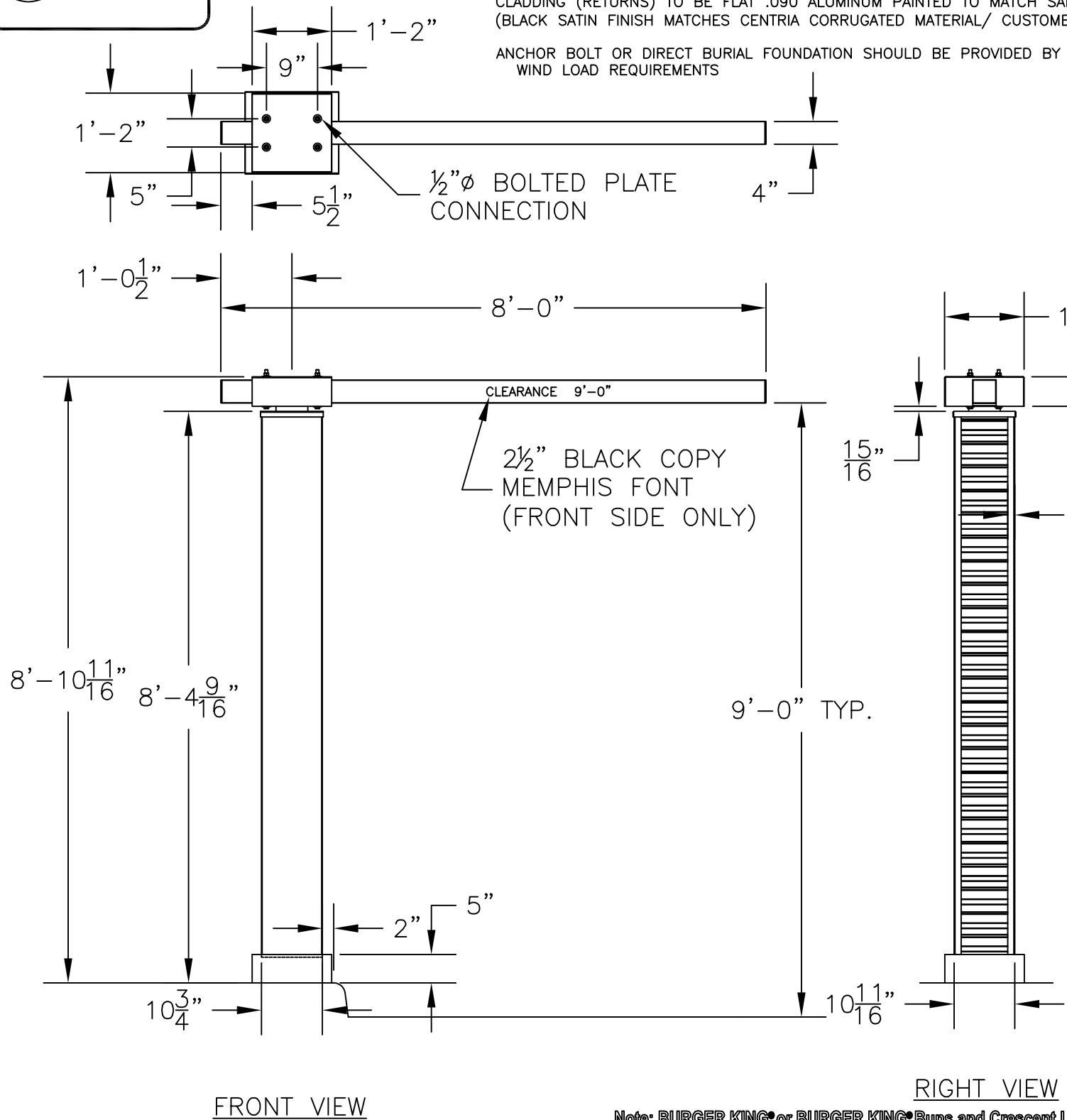
Burger King requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision.

Approved
 Revise & Resubmit

Name _____
Title _____
Date _____



NOTE:
 CLADDING/ STEEL SUPPORT: STEEL CONTINGENT ON ENGINEERS SPEC. AND WIND LOAD REQUIREMENTS
 STEEL BASE PLATE w/ STEEL ANCHOR BOLTS AND CONCRETE FOUNDATION
 CLADDING (FRONT) TO BE CORRUGATED PAINTED TO MATCH SAMPLE.
 ZINCALUME CORRUGATED COMPONENTS HELD IN PLACE VIA C-CHANNEL TO MATCH SAMPLE. INTERNAL BRACING AS REQUIRED
 CLADDING (RETURNS) TO BE FLAT .090 ALUMINUM PAINTED TO MATCH SAMPLE
 (BLACK SATIN FINISH MATCHES CENTRIA CORRUGATED MATERIAL/ CUSTOMER TO SUPPLY SAMPLE)
 ANCHOR BOLT OR DIRECT BURIAL FOUNDATION SHOULD BE PROVIDED BY ENGINEER FOR LOCAL WIND LOAD REQUIREMENTS



NOTE: SUPPLY (4) 1" ϕ x 3'-0" J-BOLT ANCHOR FOUNDATION: 2'-0" ϕ x 3'-6" AUGER
COLOR NOTES:
 ZINCALUME CORRUGATED PANEL WITH KYNAR PRE-FINISHED BLACK - 30 YR. WARRANTY
 SIDE PANEL: PAINTED BLACK TRIM (SATIN FINISH) w/ 3M 680CR72 RUBY RED REFLECTIVE VINYL OR PAINTED TO MATCH PMS 187
 CLEARANCE BAR: BRUSHED ALUM FINISH w/ REFLECTIVE SILVER VINYL (SIDES)
 COPY: BLACK VINYL (FRONT ONLY)

AUGERED FOUNDATION:
 2'-0" ϕ x 3'-0" DP
 TOTAL = 0.92 CU. YDS.

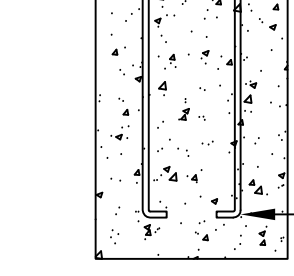
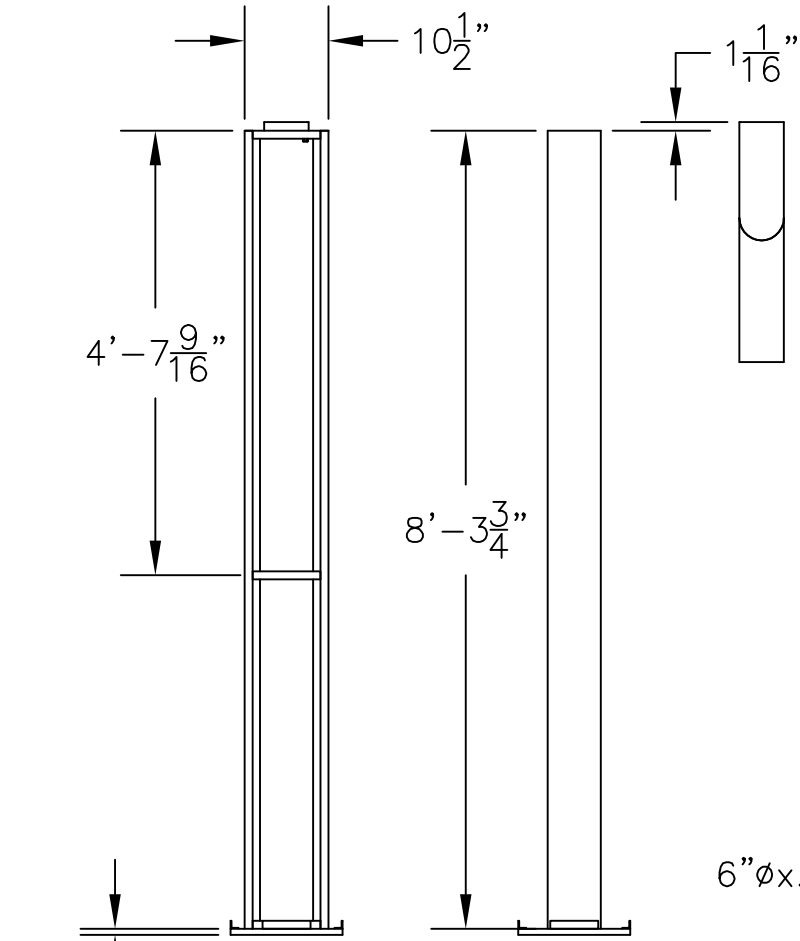
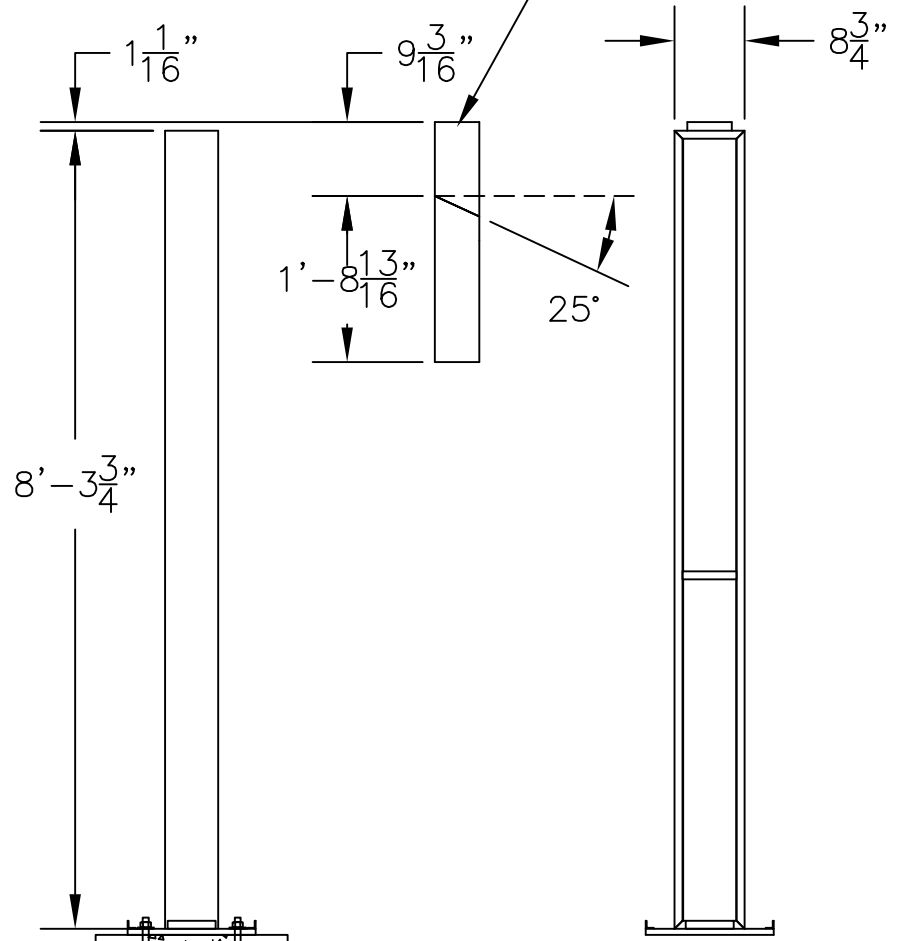
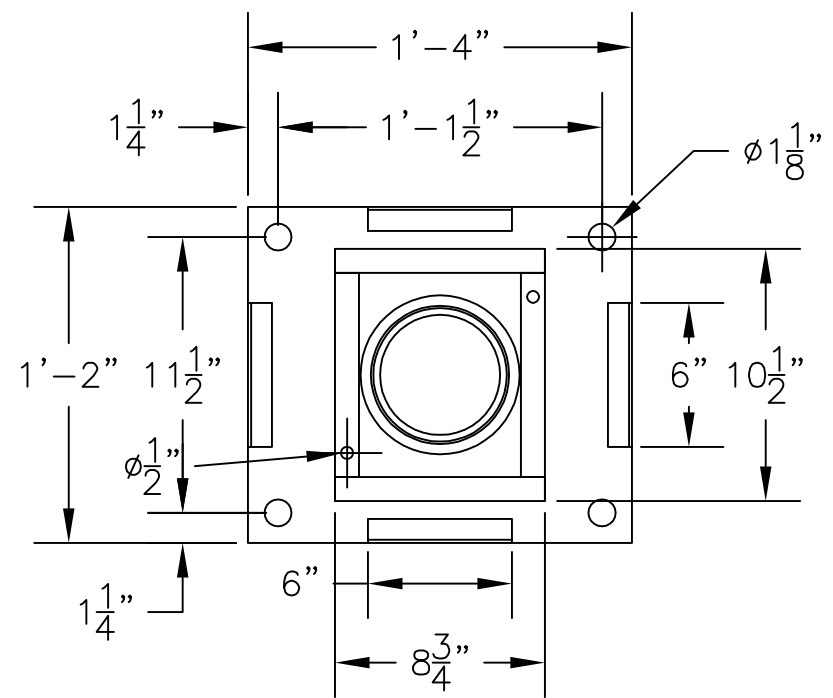
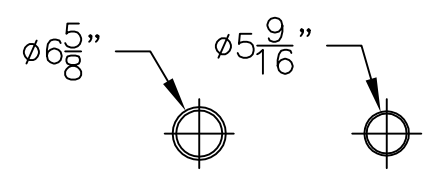
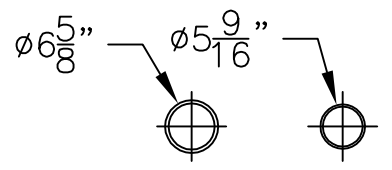
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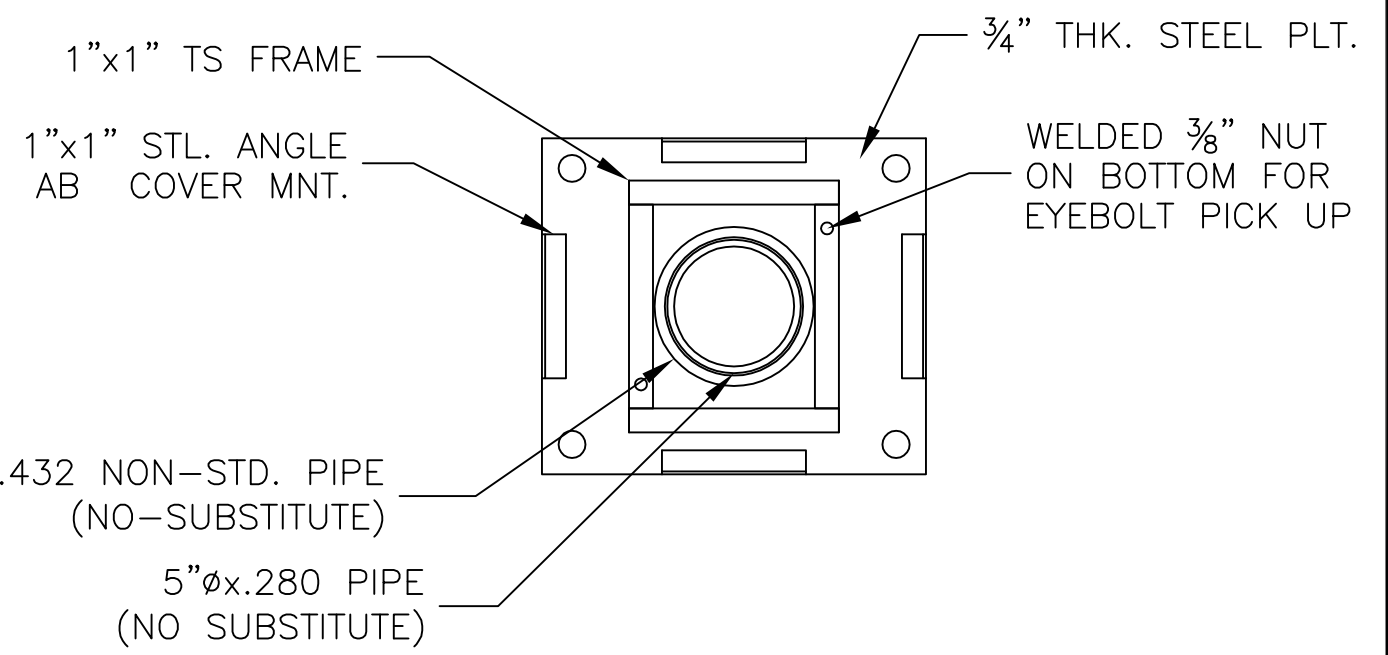
MACHINE CUT DIAGONAL ONLY
FINISH CUT SURFACE SMOOTH



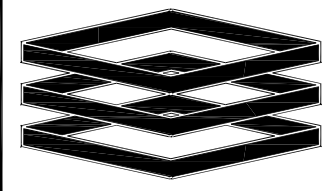
(4) 1" ϕ ANCHOR BOLTS
30" LONG

FRONT VIEW

RIGHT VIEW



DRAWING APPROVAL		DATED:



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1200 BELL AVE.,
PANAMA CITY, FL 32401
PH: 850.763.7982
FAX: 850.392.0723
www.enterabrading.com

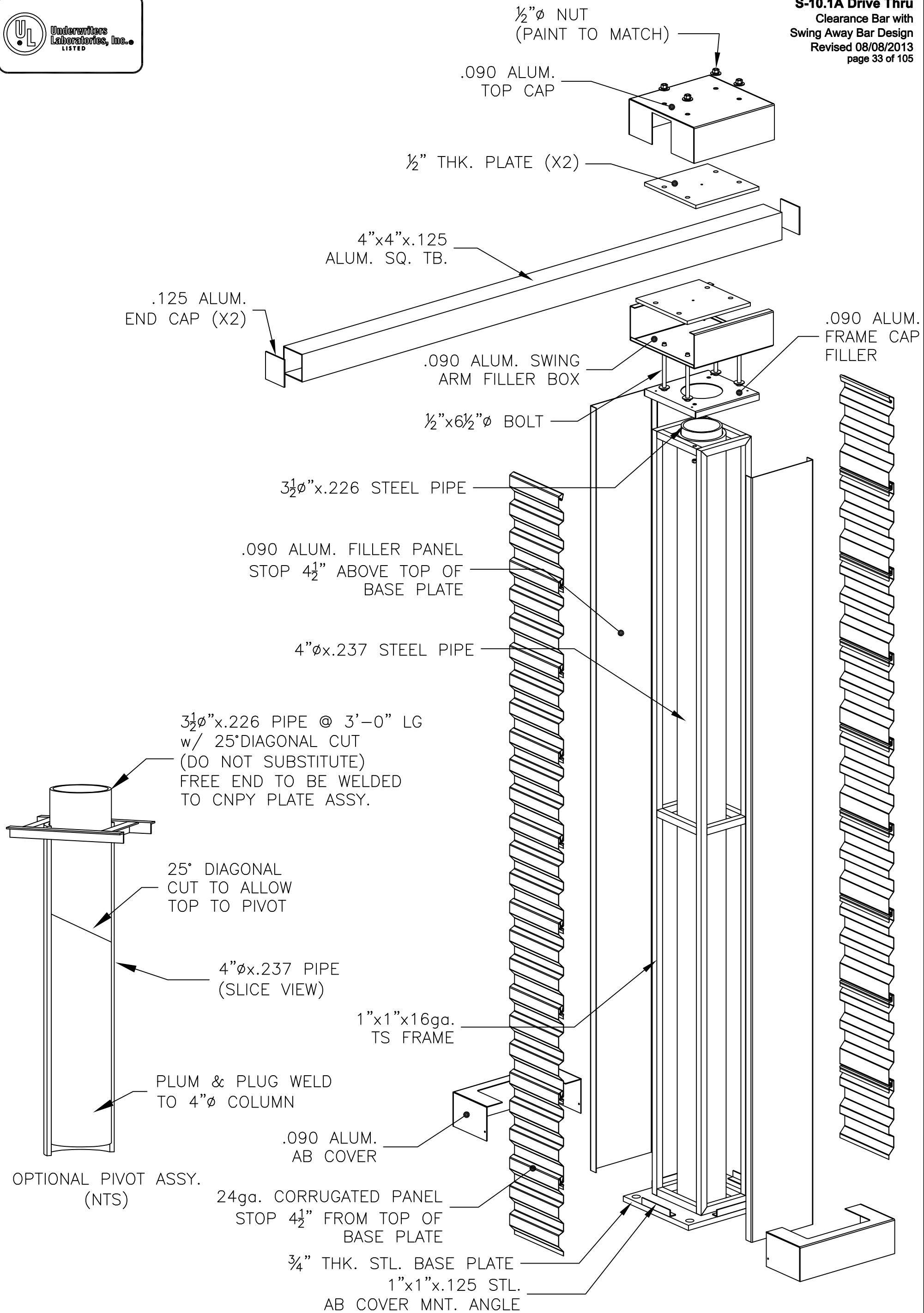


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CLIENT: BURGER KING	SCALE: 1:24	DATE: 10/28/11
LOCATION: VARIOUS	FILE LOCATION: G/ENG/CC/BURGER KING	Rev.No: A
DRAWN BY: HANK CULVER	DWG. NUMBER: BK000302	PAGE LAYOUT: PRESENTATION



S-10.1A Drive Thru
 Clearance Bar with
 Swing Away Bar Design
 Revised 08/08/2013
 page 33 of 105



CLEARANCE BAR w/ ZINCALUME CORRUGATED CLADDING

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				<input type="checkbox"/> Approved <input type="checkbox"/> Revise & Resubmit	Name Title Date
				<input type="checkbox"/> Approved <input type="checkbox"/> Revise & Resubmit	Name Title Date



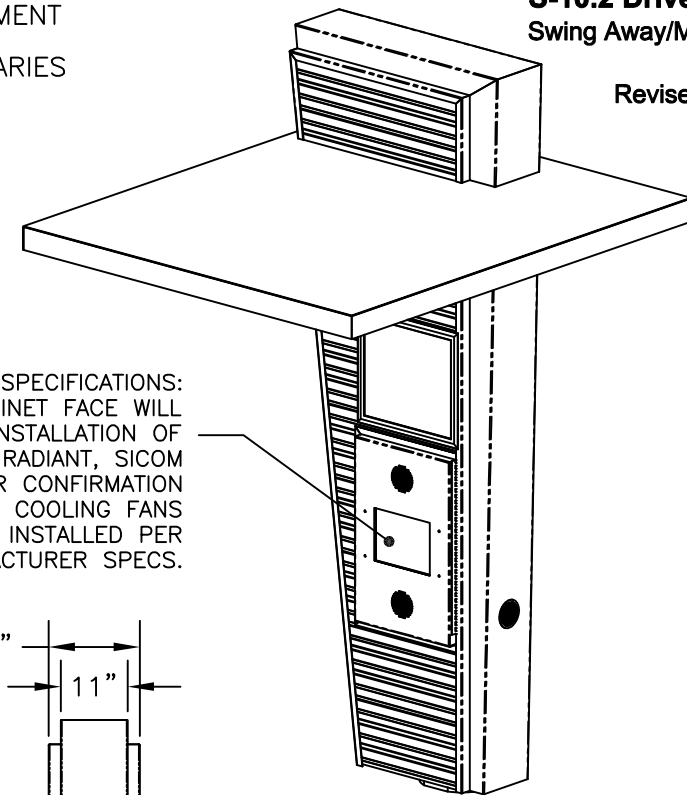
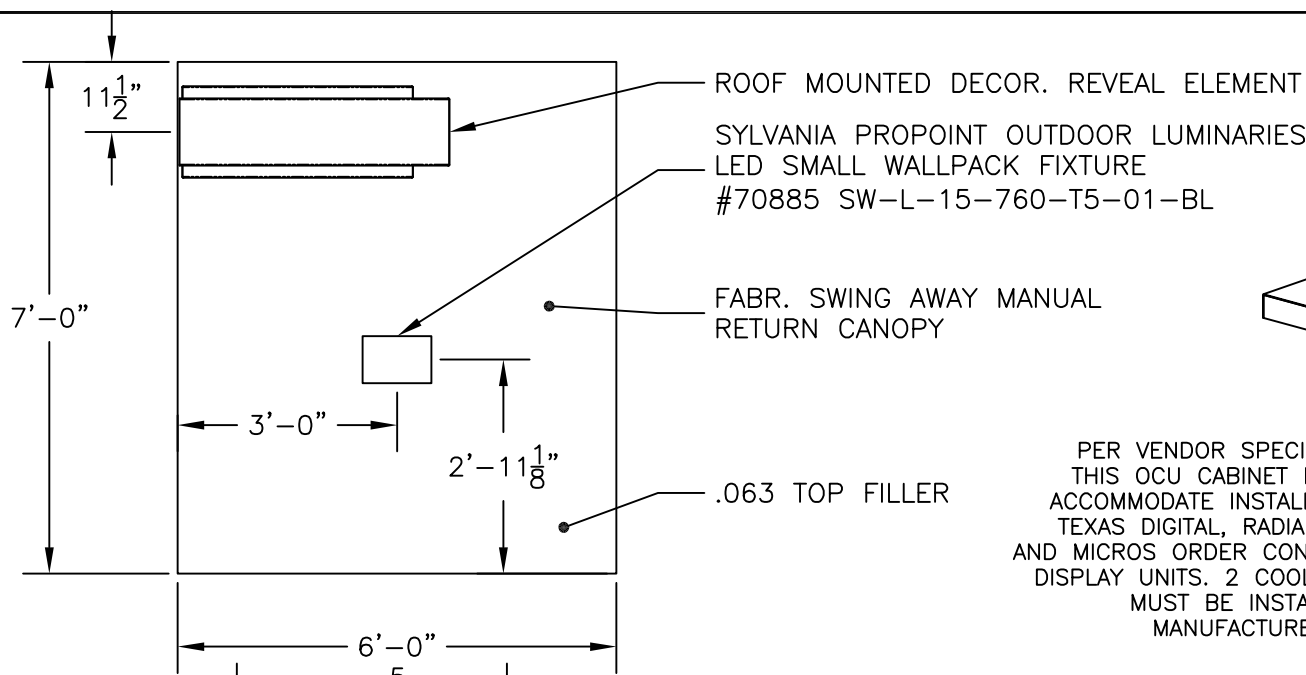
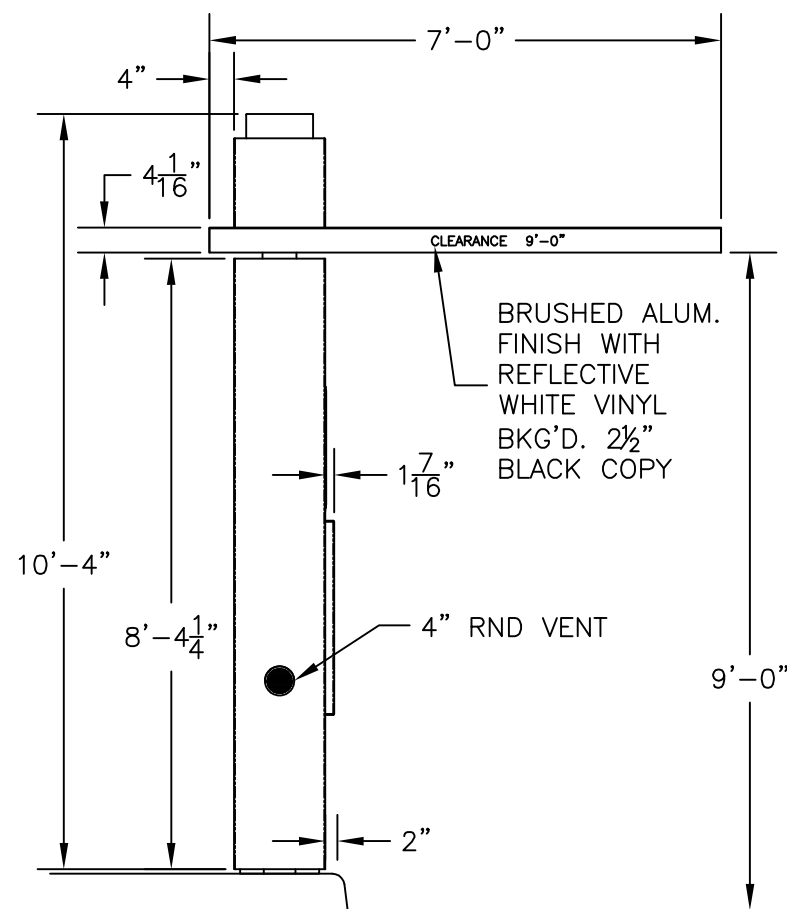
FOUNDATIONS AND STRUCTURAL ELEMENTS SHALL BE CALCULATED IN COMPLIANCE WITH APPLICABLE CODES.

NOTE:
 CLADDING/ STEEL SUPPORT: STEEL CONTINGENT ON ENGINEERS SPEC. AND WIND LOAD REQUIREMENTS
 STEEL BASE PLATE w/ STEEL ANCHOR BOLTS AND CONCRETE FOUNDATION
 CLADDING (FRONT) TO BE CORRUGATED PRE-FINISHED OR PAINTED TO MATCH SAMPLE. CORRUGATED COMPONENTS HELD IN PLACE VIA C-CHANNEL TO MATCH SAMPLE. INTERNAL BRACING AS REQUIRED
 CLADDING (RETURNS) TO BE FLAT .090 ALUMINUM PRE-FINISHED OR PAINTED TO MATCH SAMPLE
 (BLACK SATIN FINISH MATCHES CENTRIA CORRUGATED MATERIAL. CUSTOMER TO SUPPLY SAMPLE)
 SEAL ALL ZINCALUME CUTS TO PROTECT FROM CORROSION

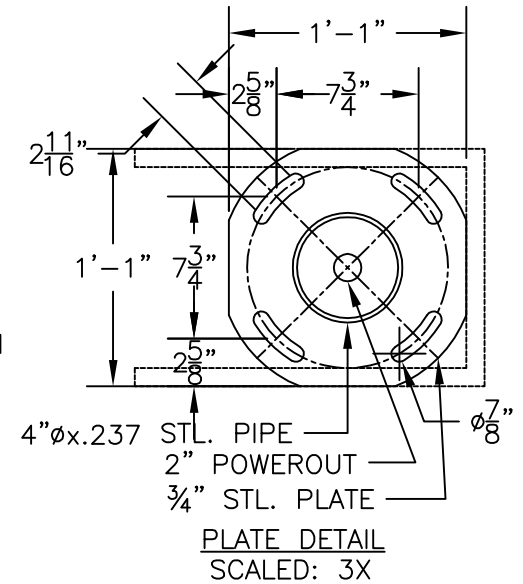
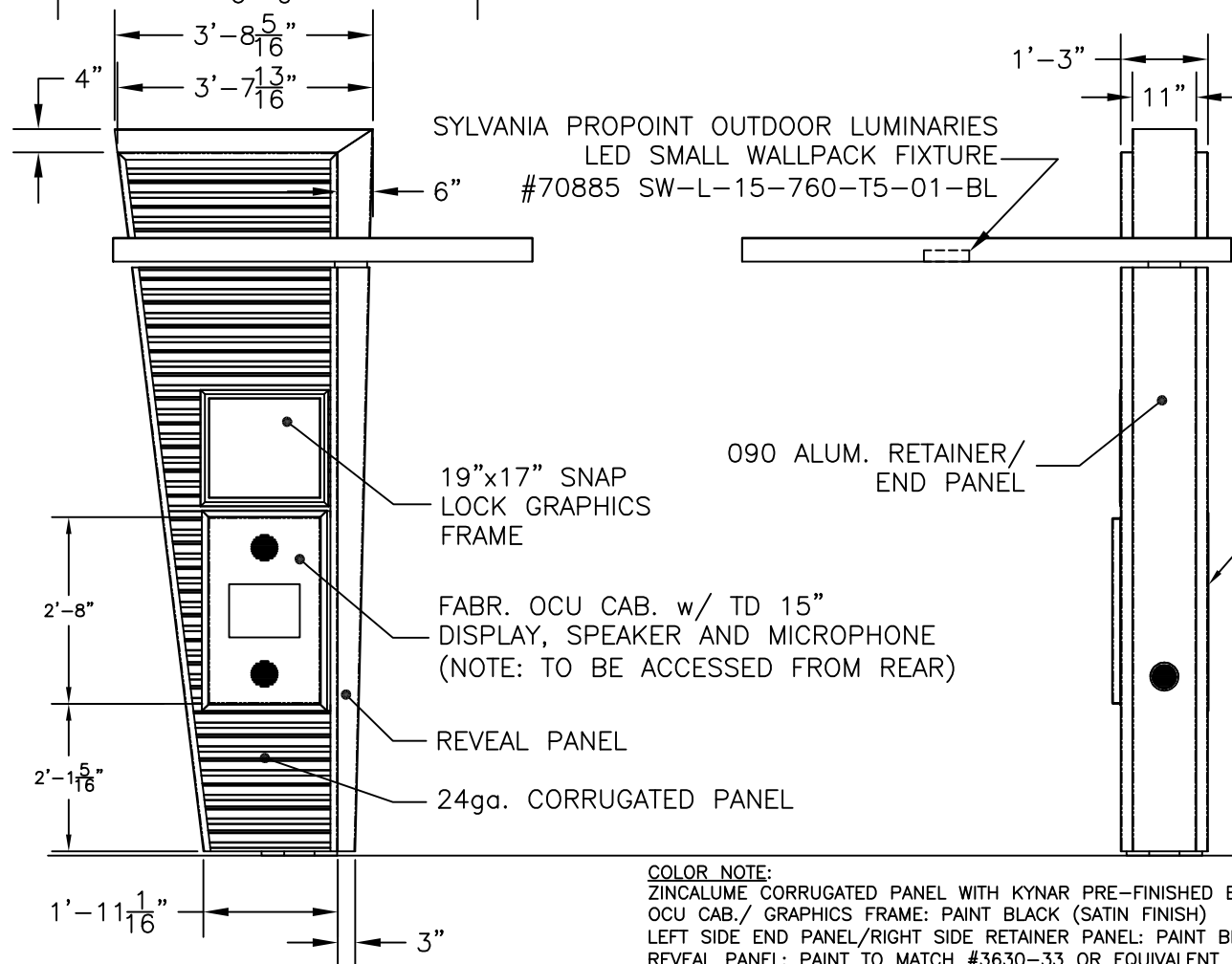
ANCHOR BOLT OR DIRECT BURIAL FOUNDATION SHOULD BE PROVIDED BY ENGINEER FOR LOCAL WIND LOAD REQUIREMENTS

REV	DATE	DESCRIPTION	BY
-----	------	-------------	----

S-10.2 Drive Thru OCU
 Swing Away/Manual Return
 Canopy Arm
 Revised 10/04/2012



PER VENDOR SPECIFICATIONS:
 THIS OCU CABINET FACE WILL ACCOMMODATE INSTALLATION OF TEXAS DIGITAL, RADIANT, SICOM AND MICROS ORDER CONFIRMATION DISPLAY UNITS. 2 COOLING FANS MUST BE INSTALLED PER MANUFACTURER SPECS.



ELECTRICAL NOTE—Actual # of circuits to be determined by a Licensed Electrical Contractor.
 TOTAL AMPS: TBD
 # OF CKTS: 1 20 AMP(RECOMMENDED)
 VOLTS: 120
 ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L.) LABELS.

COLOR NOTE:
 ZINCALUME CORRUGATED PANEL WITH KYNAR PRE-FINISHED BLACK - 20 YR. WARRANTY
 OCU CAB./ GRAPHICS FRAME: PAINT BLACK (SATIN FINISH)
 LEFT SIDE END PANEL/RIGHT SIDE RETAINER PANEL: PAINT BLACK (SATIN FINISH)
 REVEAL PANEL: PAINT TO MATCH #3630-33 OR EQUIVALENT
 CANOPY PERIMETER/ UNDER SIDE CORRUGATED CEILING: VISIBLE SURFACE PAINTED TO MATCH BRUSHED ALUM.
 STEEL: PAINTED BLACK
 CLEARANCE COPY: 2 1/2" 3630-22 BLACK VINYL w/ REFLECTIVE WHITE (#680CR-10) BKG'D LEFT SIDE ONLY

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Project Information

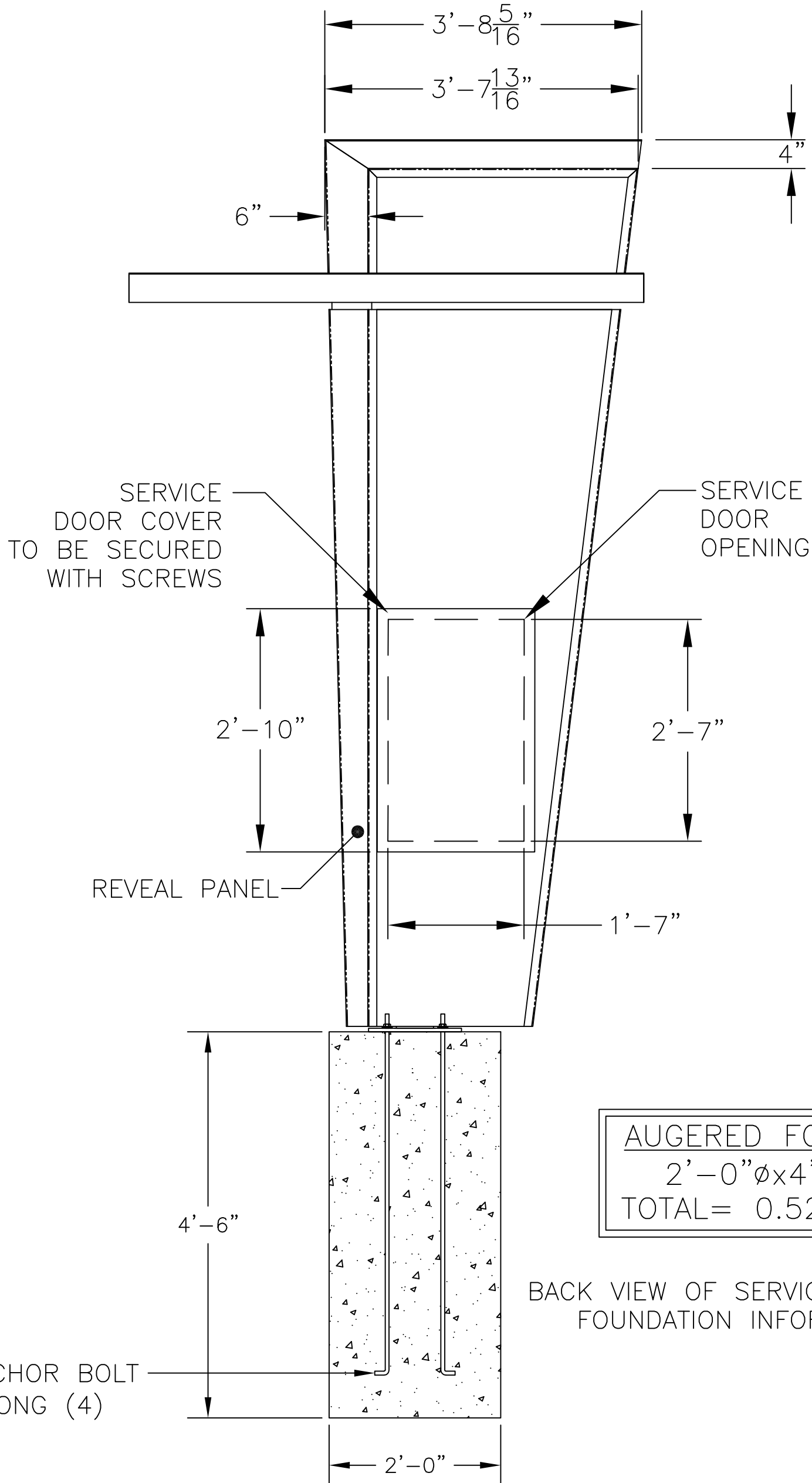
BURGER KING
 Custom Exterior Signage Systems
 File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

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Approved
 Revise & Resubmit

Name _____
 Title _____
 Date _____



AUGERED FOUNDATION:
 2'-0" ϕ x 4'-6" DP
 TOTAL = 0.52 CU. YDS.

BACK VIEW OF SERVICE DOOR & FOUNDATION INFORMATION

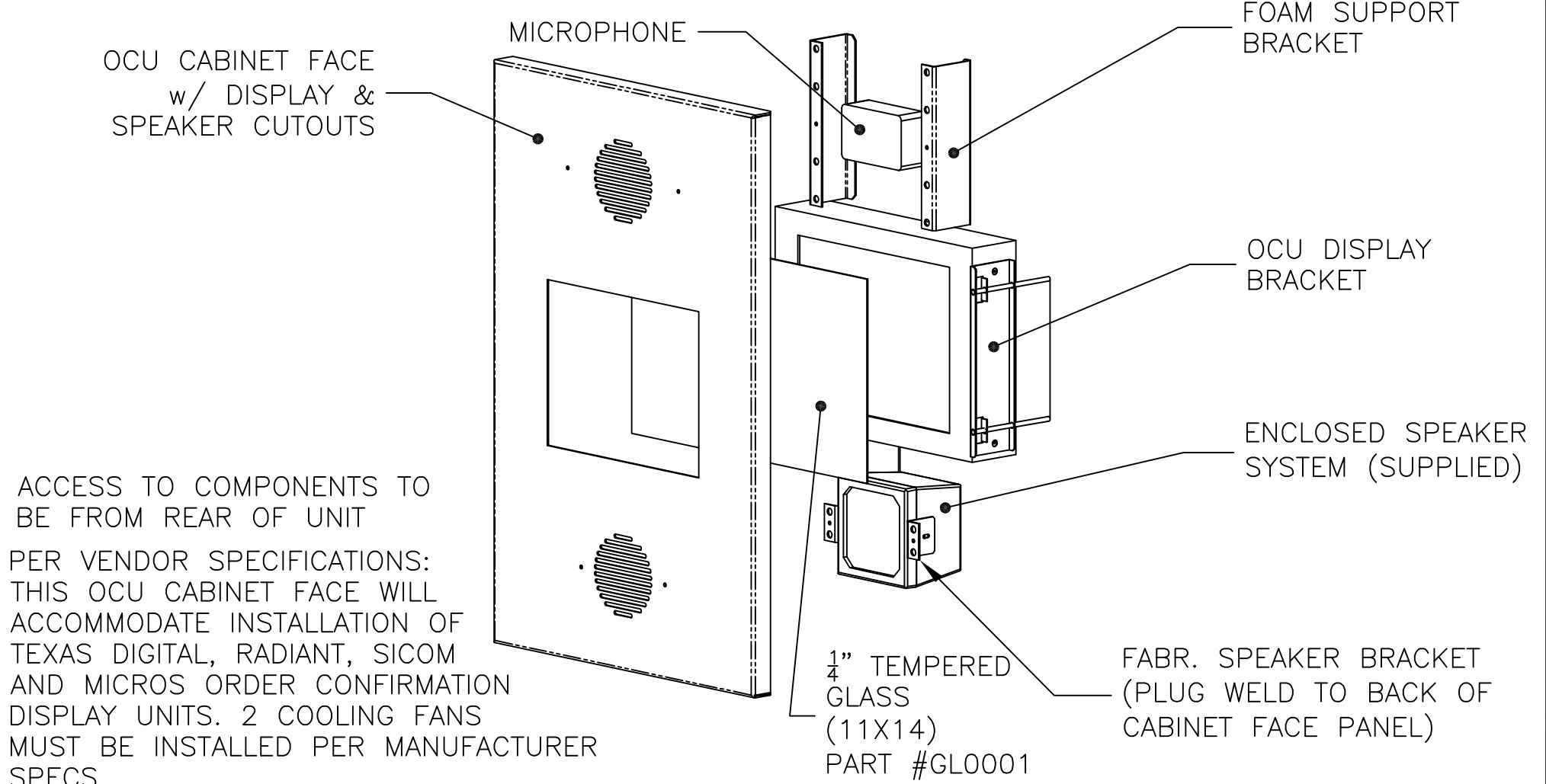
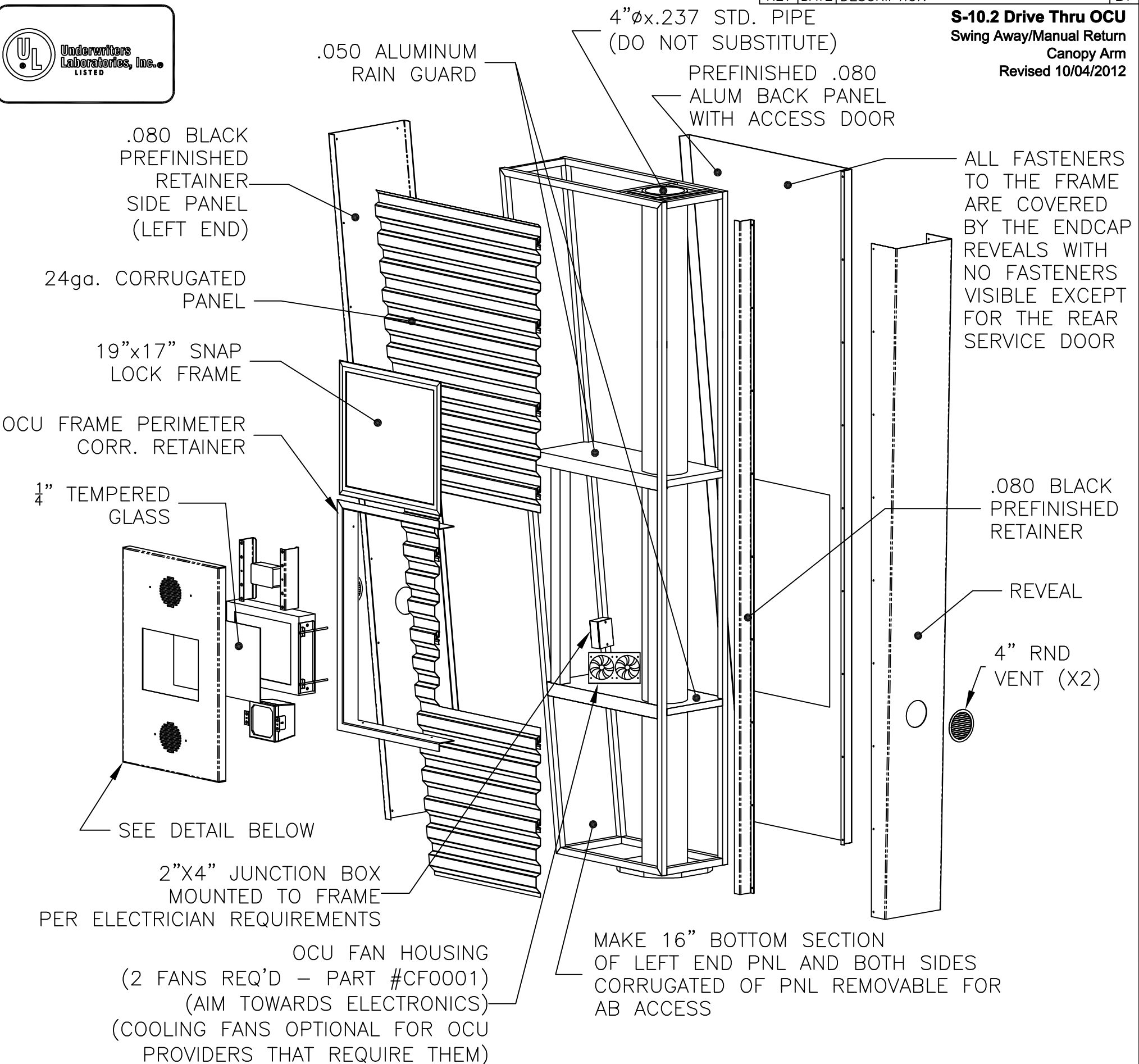
3/4" ϕ ANCHOR BOLT
 48" LONG (4)

(PG.2)

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S-10.2 Drive Thru OCU
 Swing Away/Manual Return
 Canopy Arm
 Revised 10/04/2012



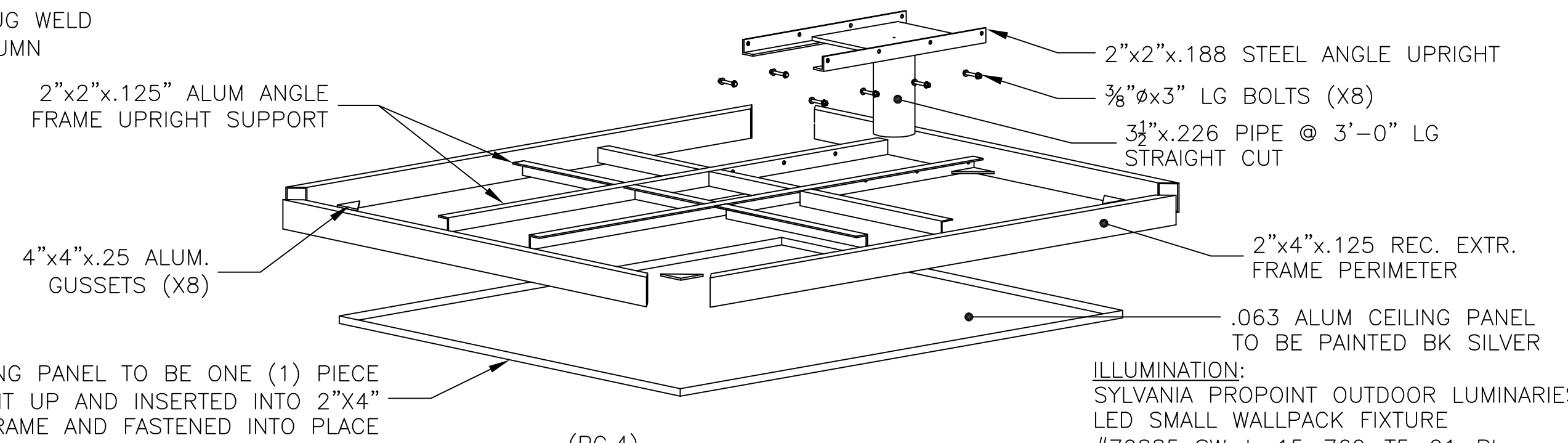
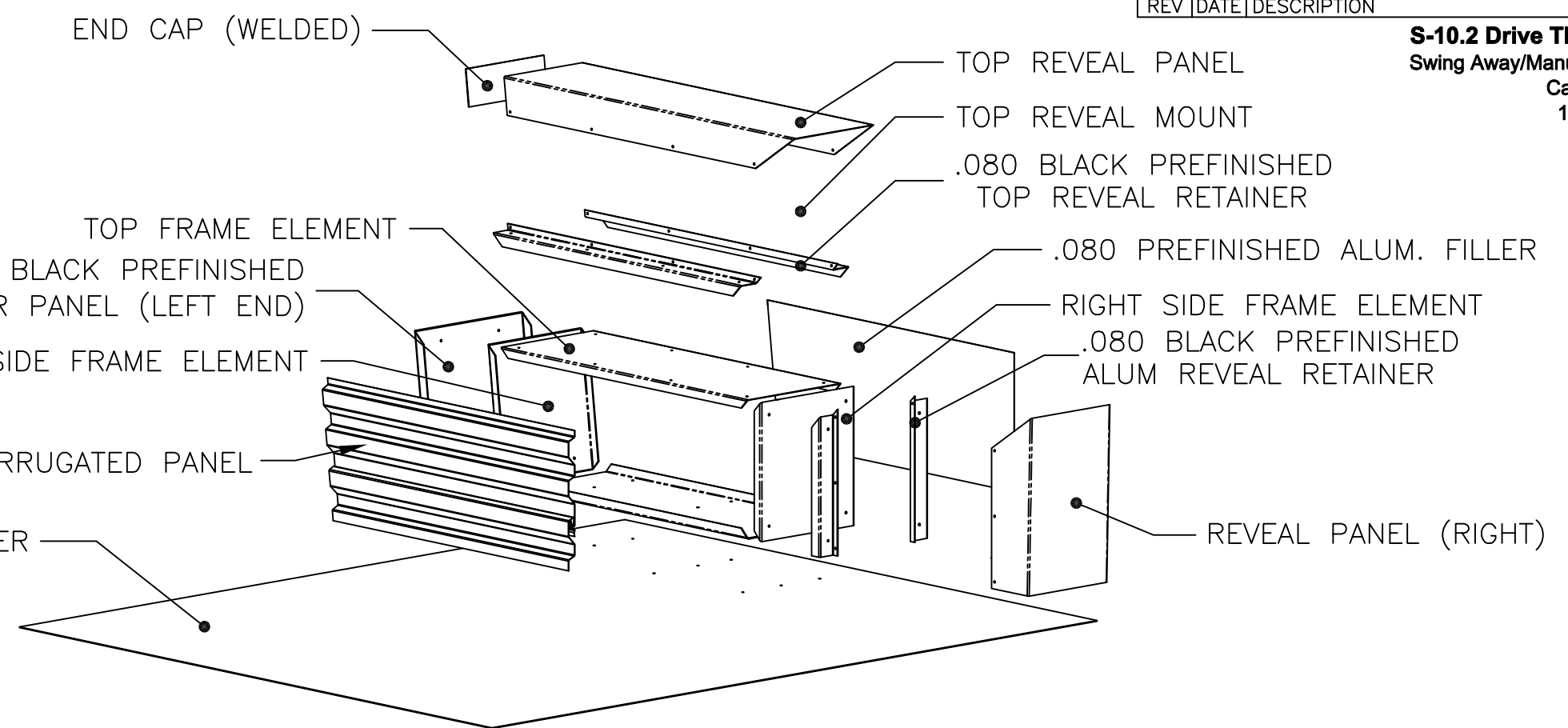
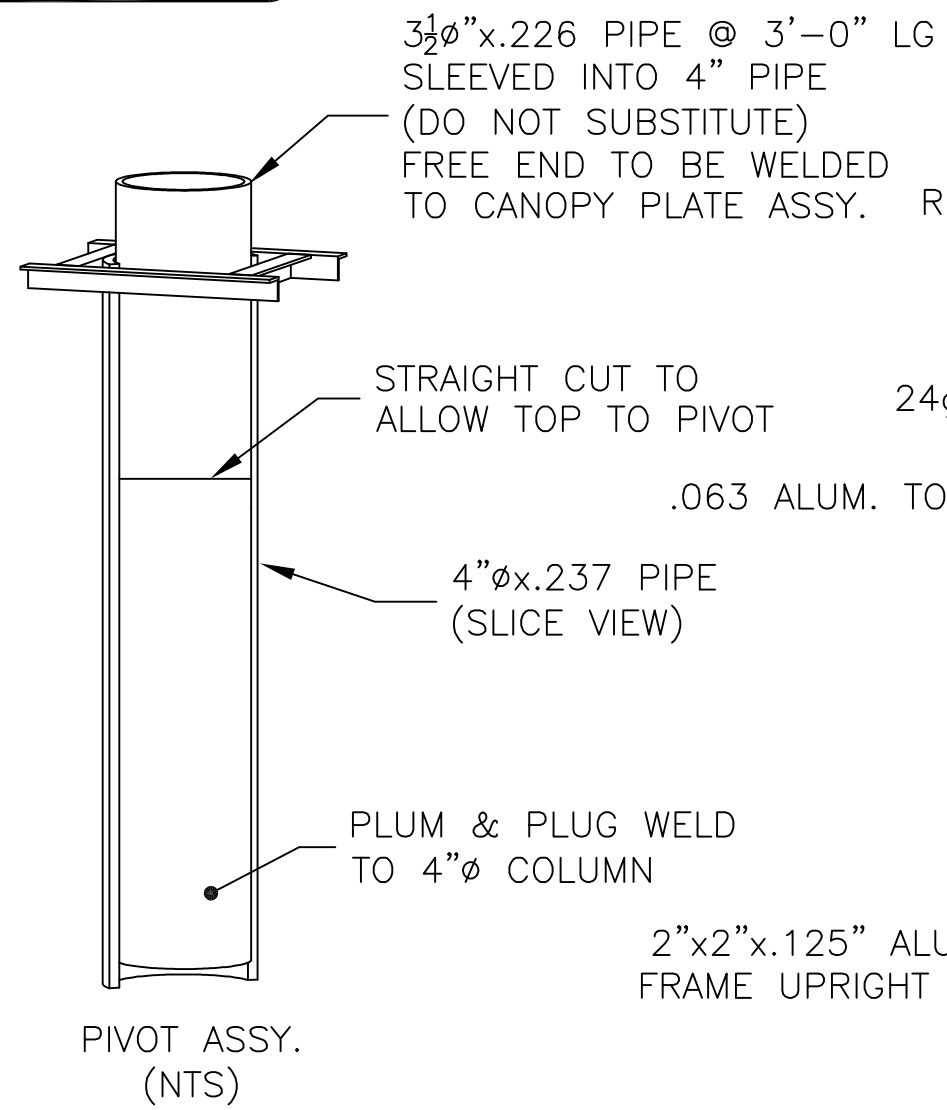
ACCESS TO COMPONENTS TO BE FROM REAR OF UNIT
 PER VENDOR SPECIFICATIONS:
 THIS OCU CABINET FACE WILL ACCOMMODATE INSTALLATION OF TEXAS DIGITAL, RADIANT, SICOM AND MICROS ORDER CONFIRMATION DISPLAY UNITS. 2 COOLING FANS MUST BE INSTALLED PER MANUFACTURER SPECS.

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	<p>File: Burger King Design Dec RFP #1 Desig - Date: 12/8/2011</p>			



ILLUMINATION:
 SYLVANIA PROPOINT OUTDOOR LUMINARIES
 LED SMALL WALLPACK FIXTURE
 #70885 SW-L-15-760-T5-01-BL

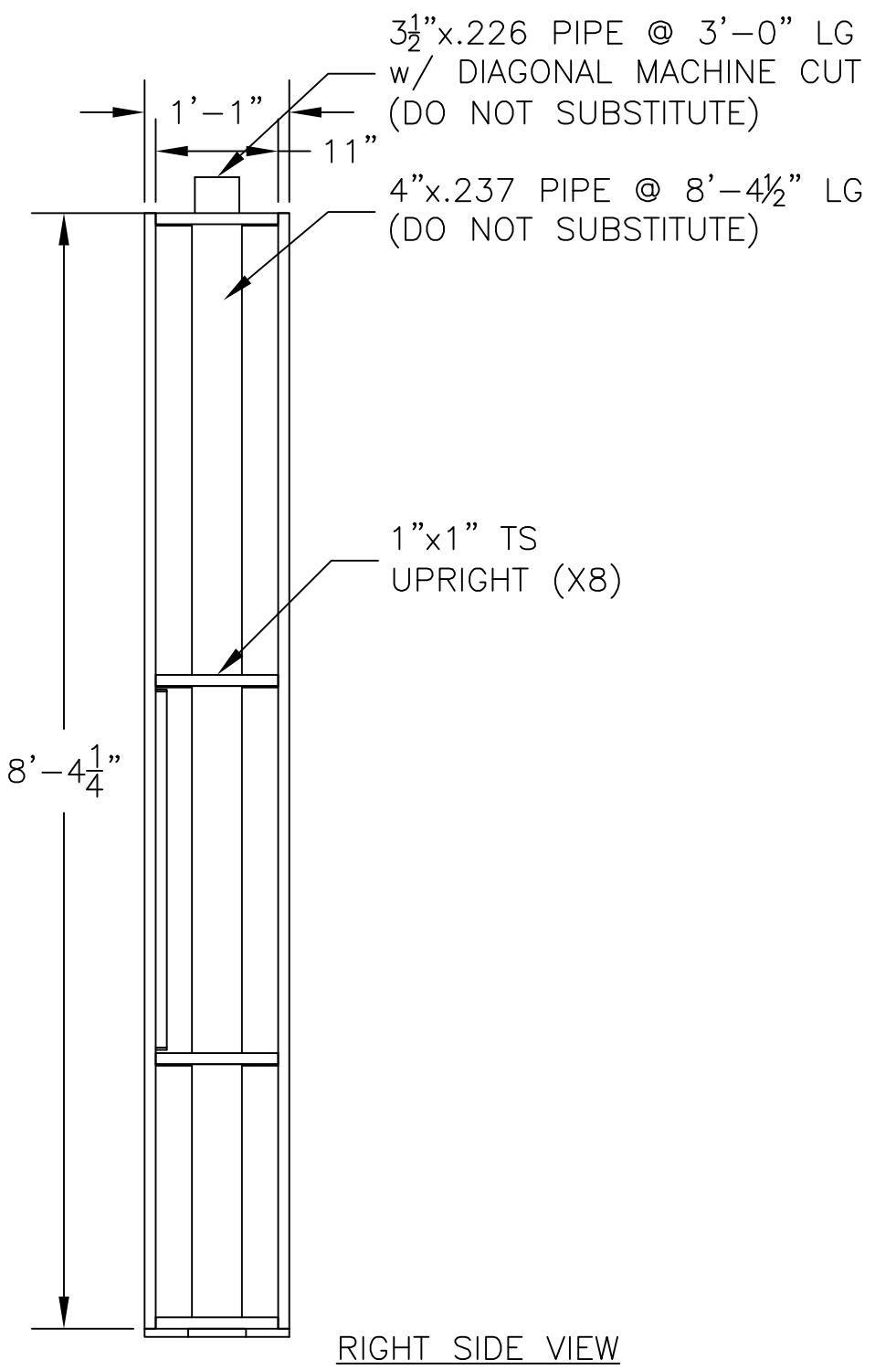
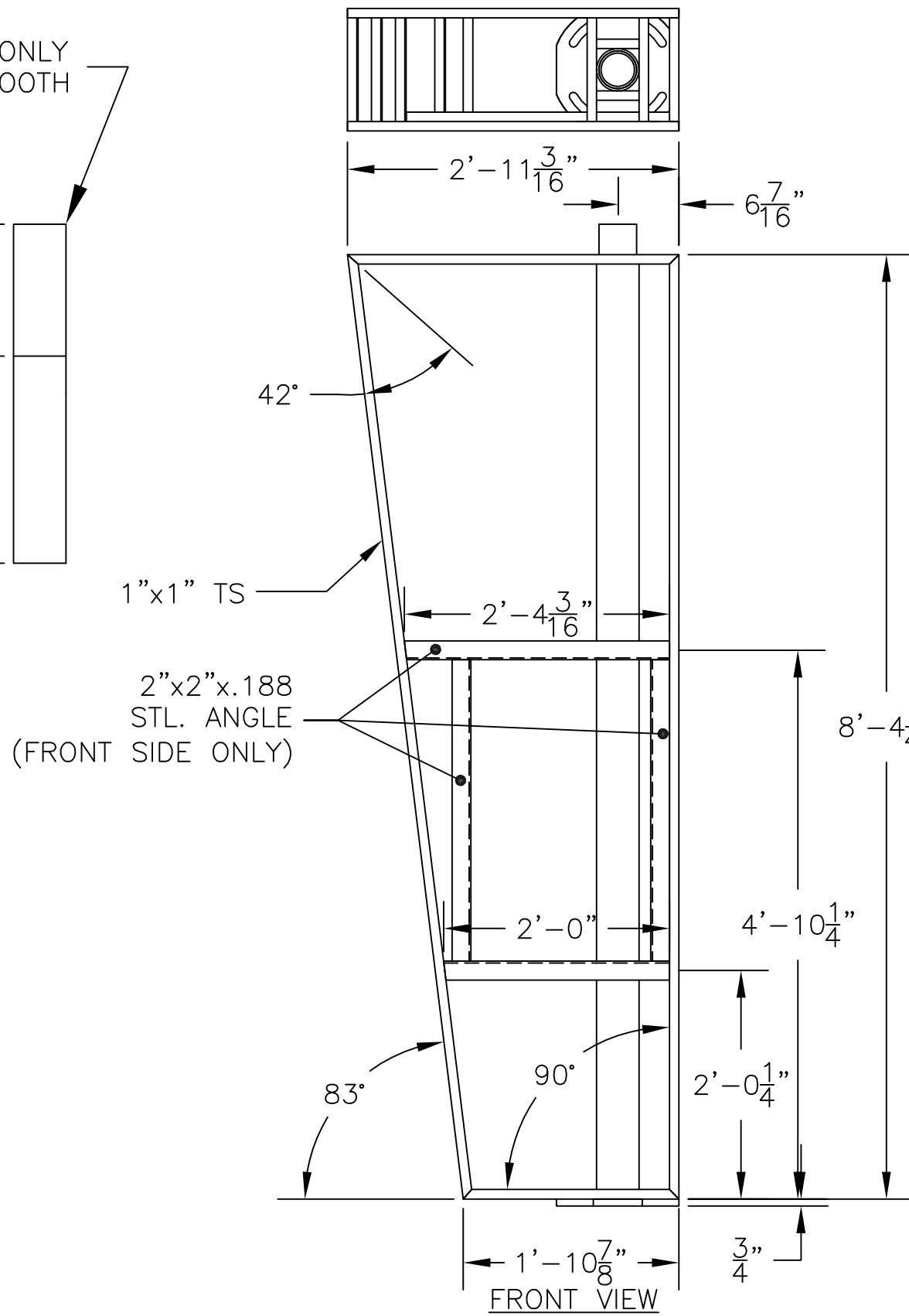
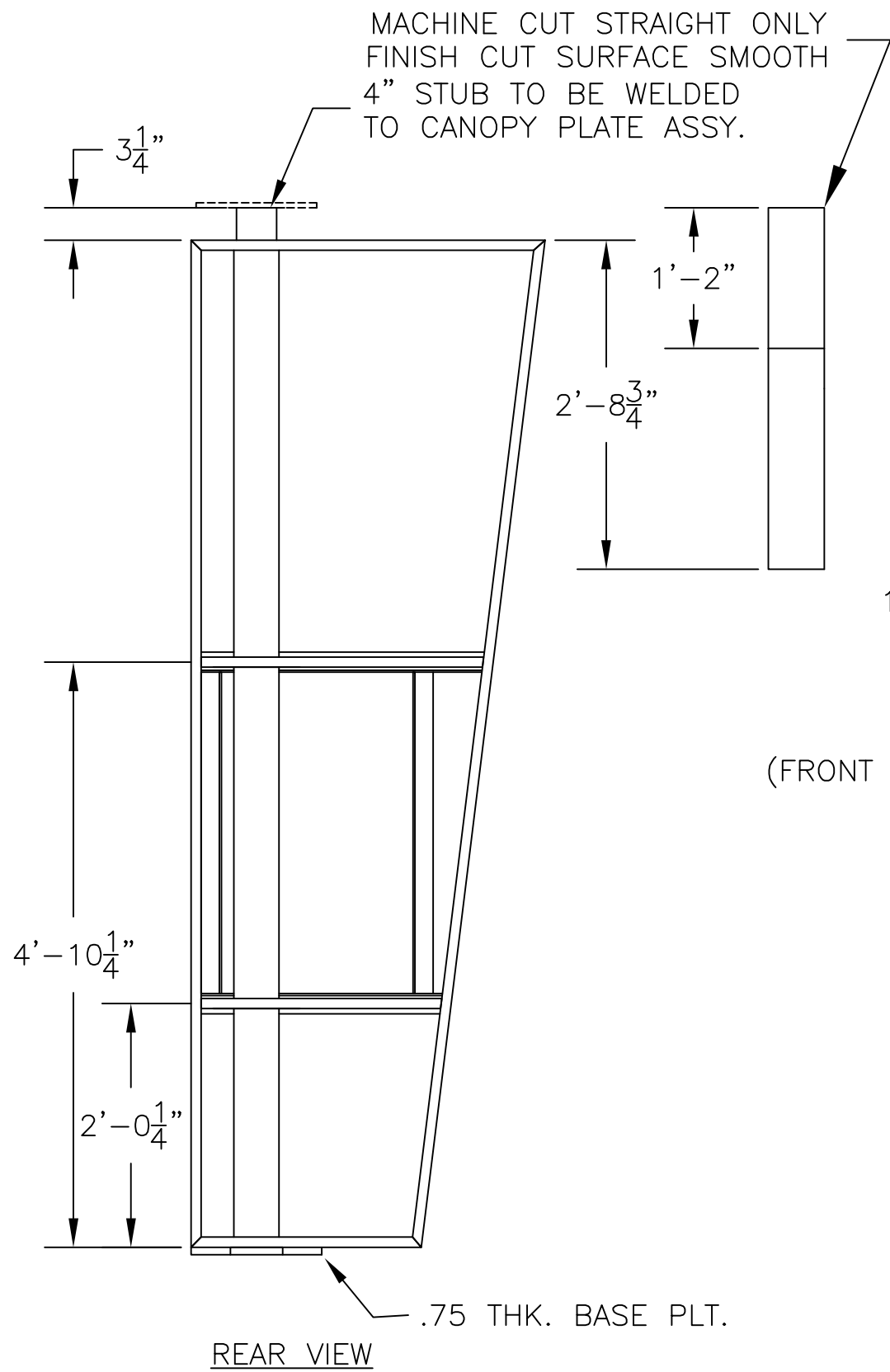
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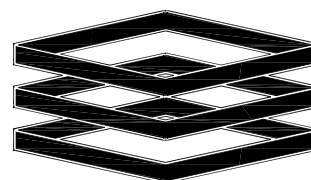
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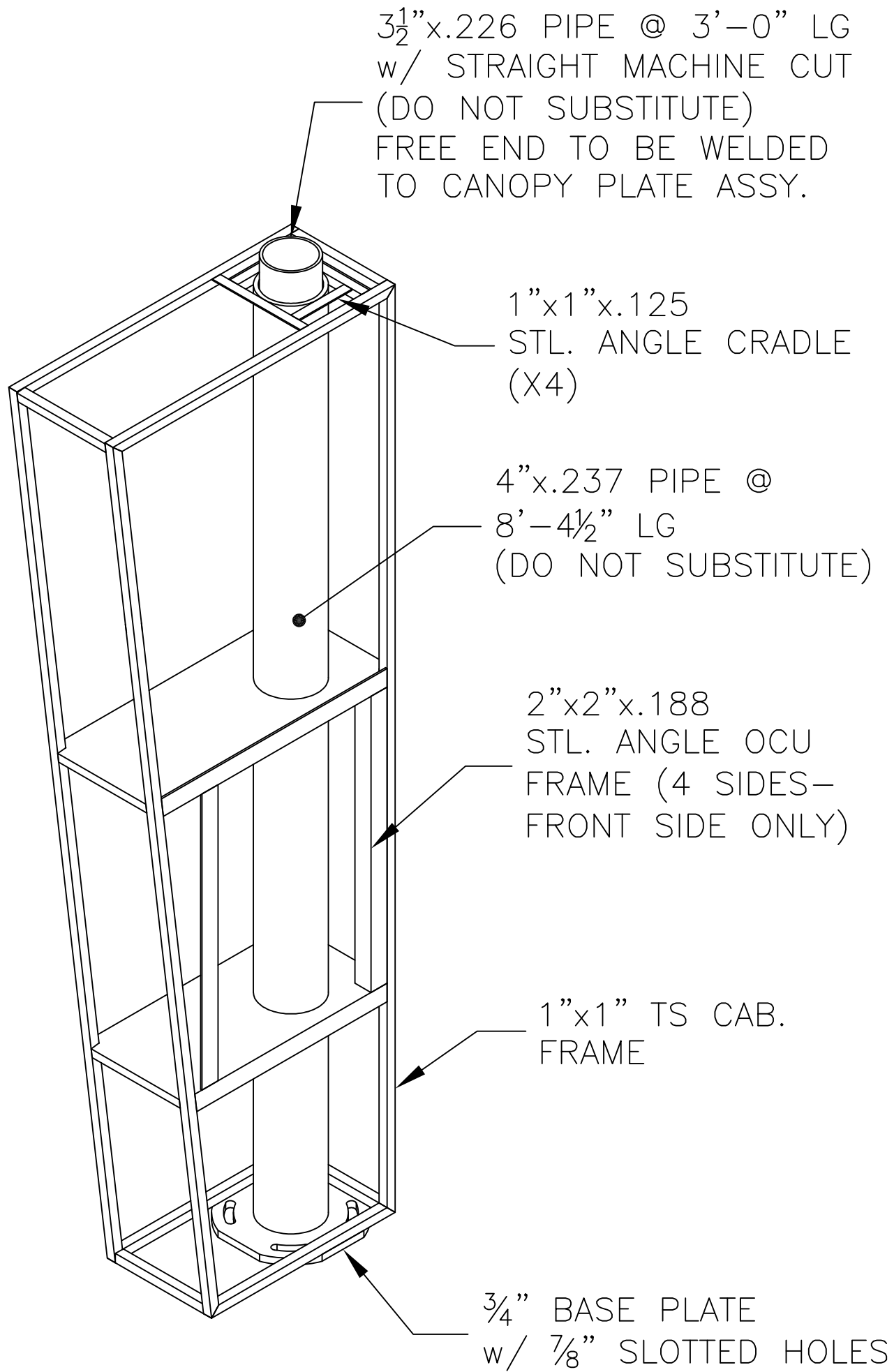
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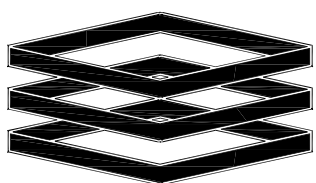


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LOCATION: BRONX, NY	FILE LOCATION: G/ENG/CC/BURGER KING	Rev.No:
DRAWN BY: HANK CULVER	DWG. NUMBER: BK000503	PAGE LAYOUT: FRAME LAYOUT01



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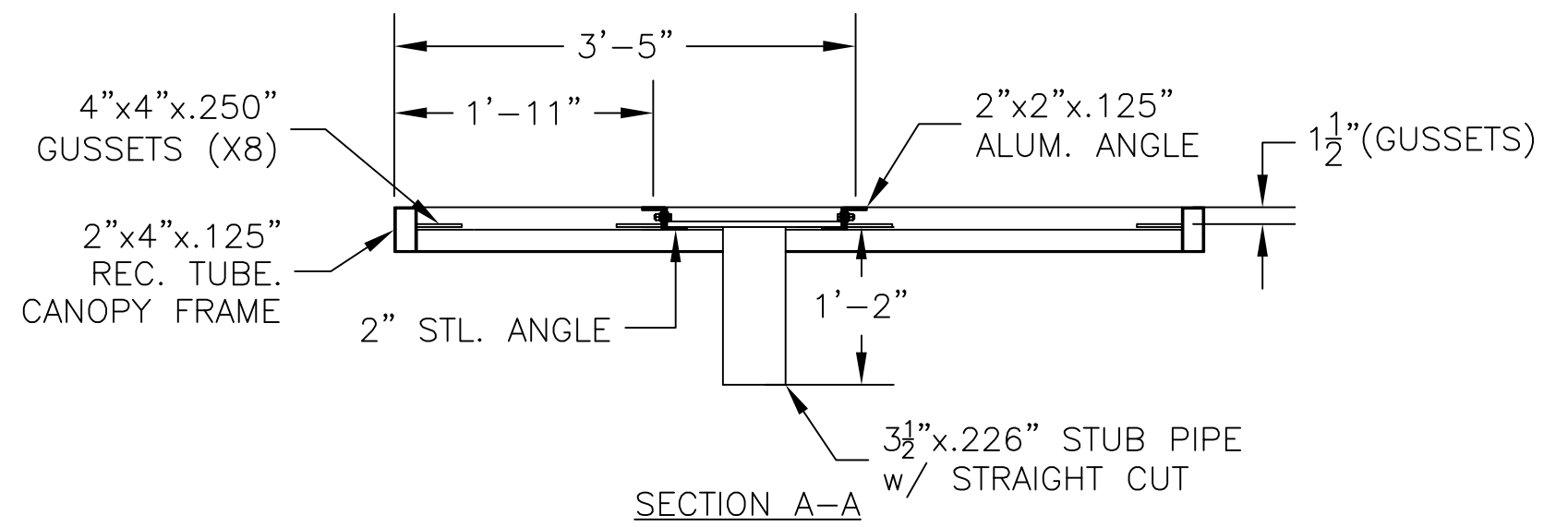
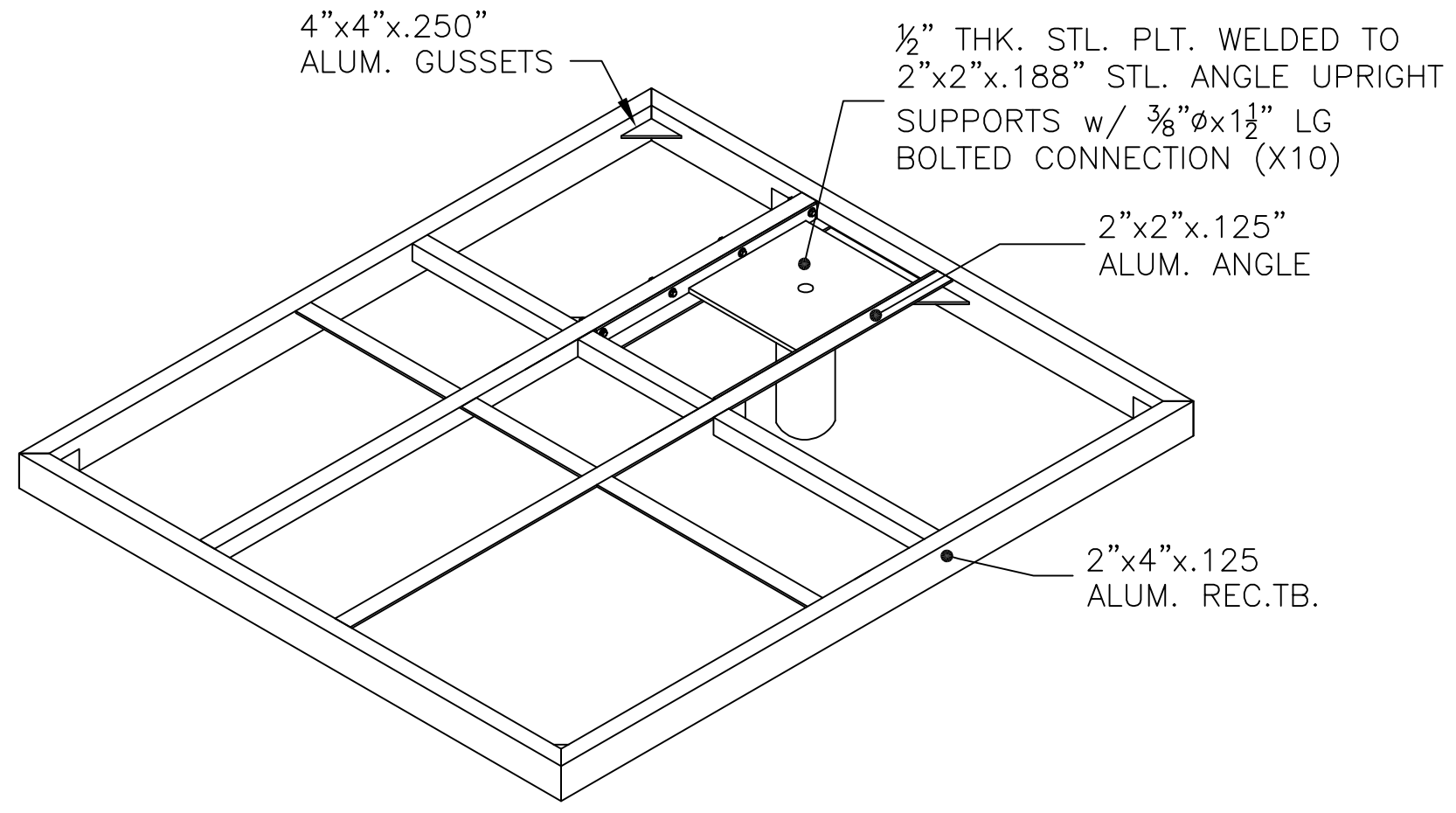
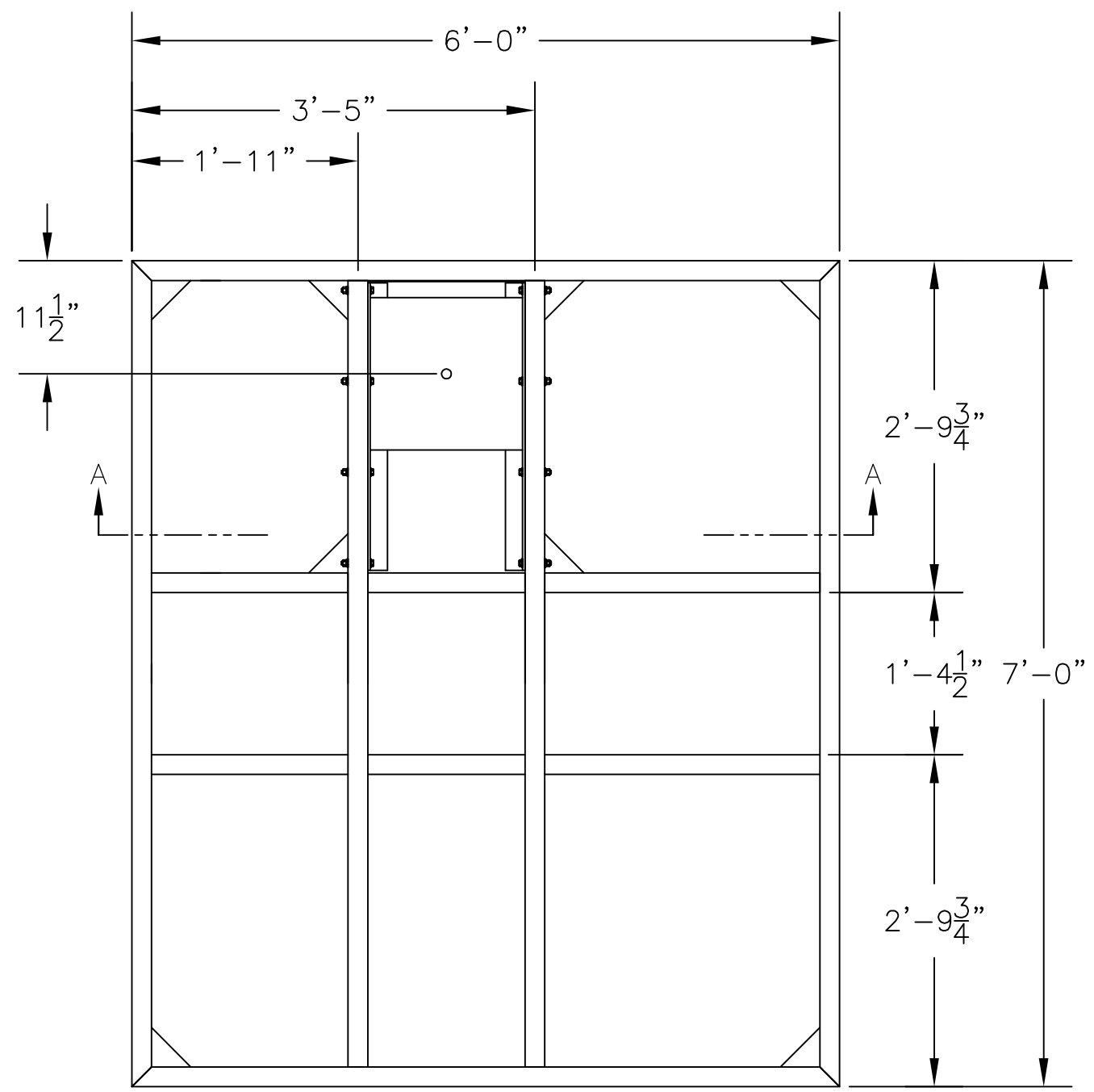


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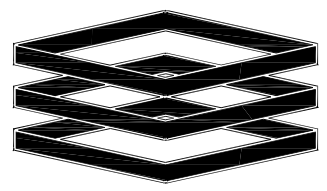
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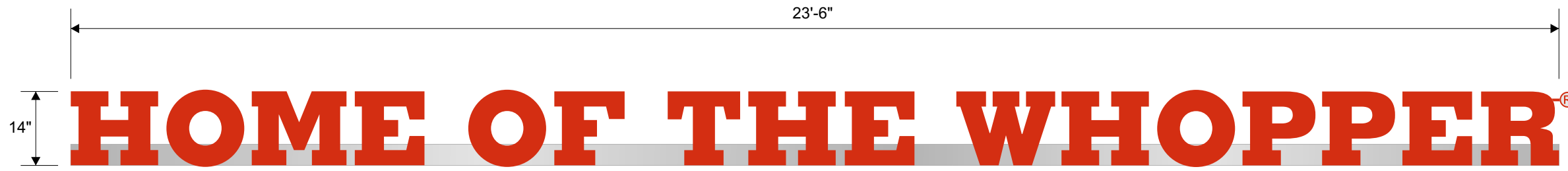
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DRAWN BY: HANK CULVER	DWG. NUMBER: BK000504	PAGE LAYOUT: FRAME LAYOUT02



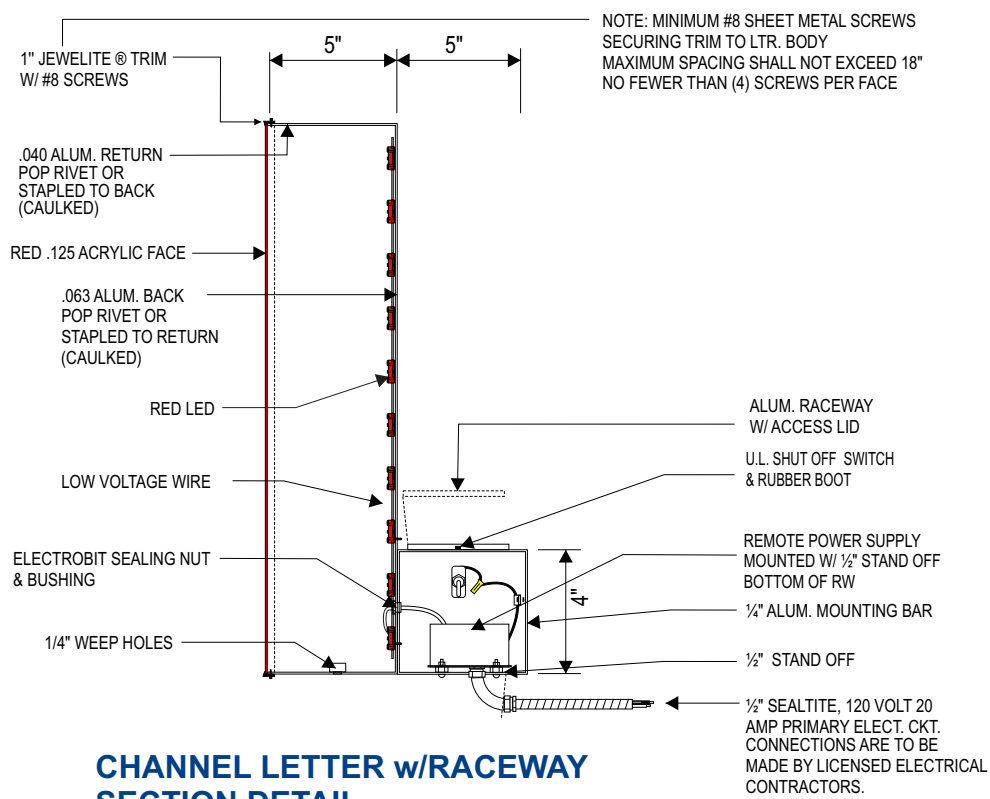
"HOTW" Channel Letters on Raceway
 Scale 1/2"=1'-0"

FACES TO BE .125 ACRYLIC TO MATCH BURGER KING RED.
 RETURNS TO BE PAINTED BRUSHED ALUMINUM WITH CLEAR COAT.
 SYLVANIA OR EQUAL TO LED TO BE RED.
 RACEWAY TO BE PAINTED BRUSHED ALUMINUM WITH CLEAR COAT.

Construction Detail:

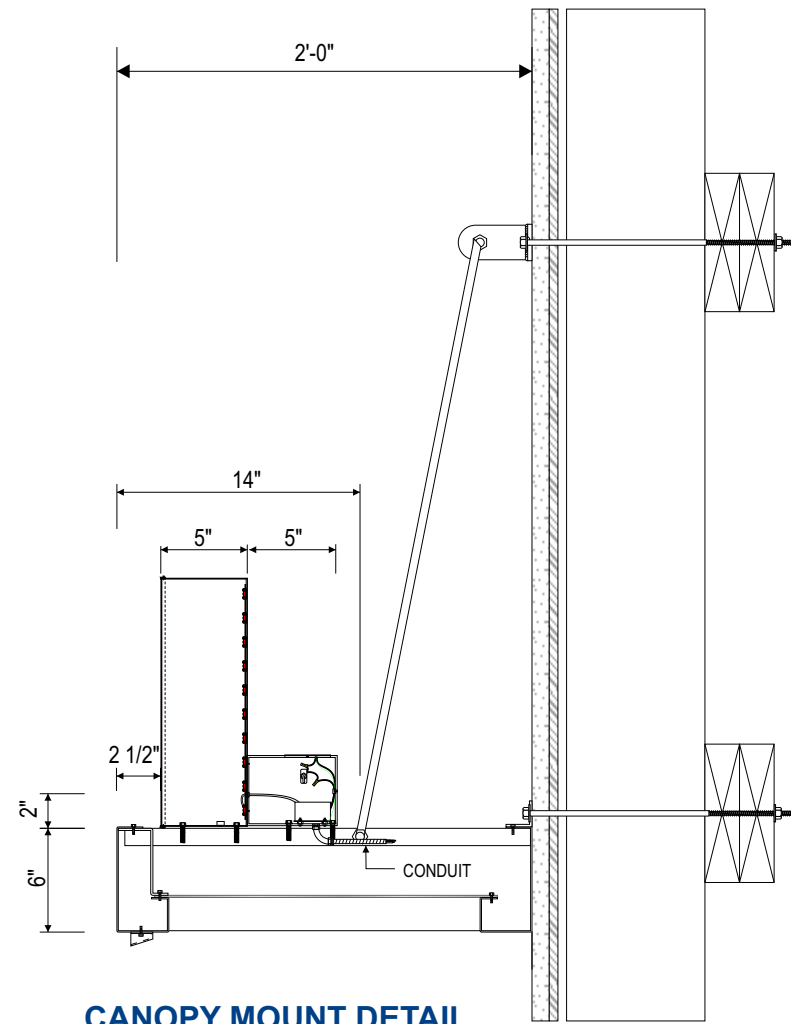


1/2" thick Aluminum Plate with .063" Precision Cut Aluminum laminated details 1st surface, Brushed Aluminum background & Red painted border & "R" to match BK Red, Clear Coat Finish. Attach to Letter "R" with aluminum bar painted Brushed Aluminum, Clear Coat Finish.



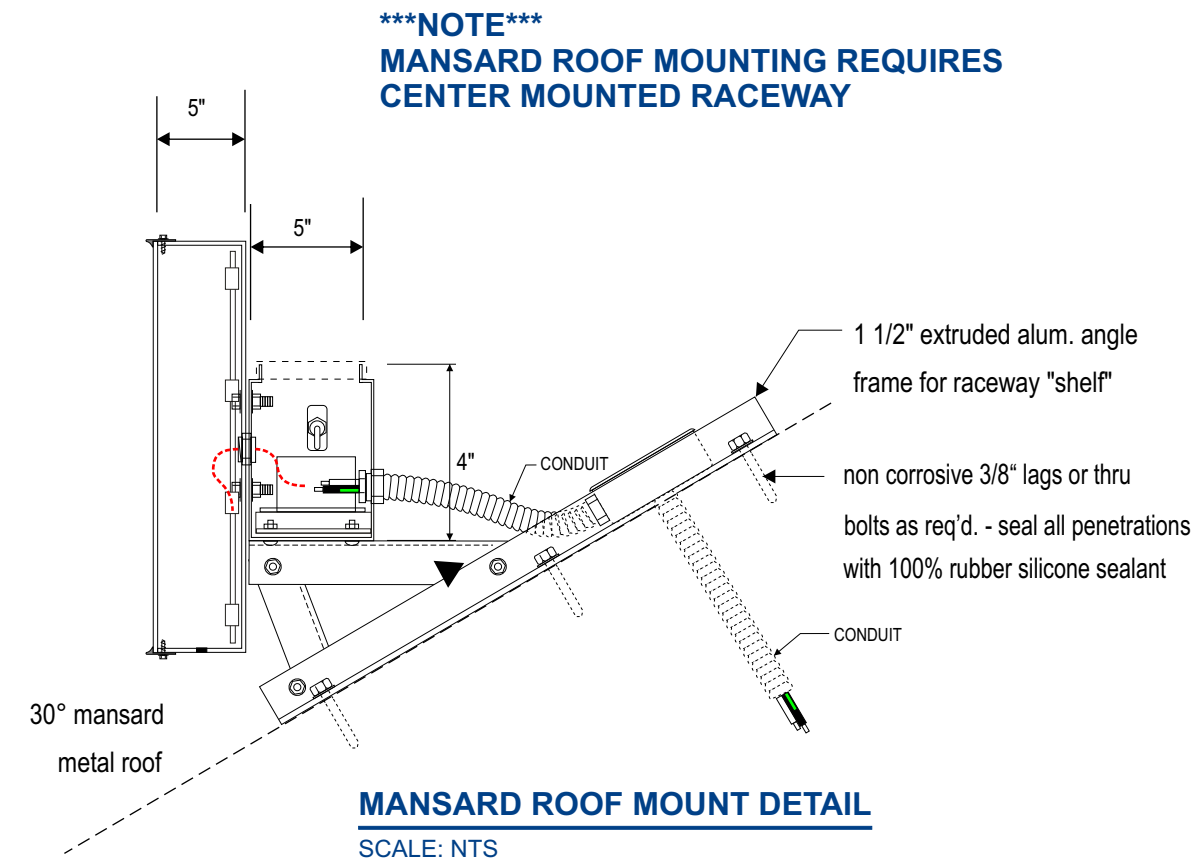
CHANNEL LETTER w/RACEWAY SECTION DETAIL

SCALE: NTS



CANOPY MOUNT DETAIL

SCALE: NTS



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

UL UNDERWRITERS LABORATORIES LISTED ELECTRIC SIGN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.

SIGN TO MEET N.E.C. AND U. L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7 PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

Note: BURGER KING[®] or BURGER KING[®] Buns and Crescent Logo to use "®" for all locations globally. All other marks will use "TM".

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Project Information

BURGER KING
 Custom Exterior Signage Systems

File **Burger King Design Doc RFP #1** Design -- Date **12/19/11**

Client Review Status

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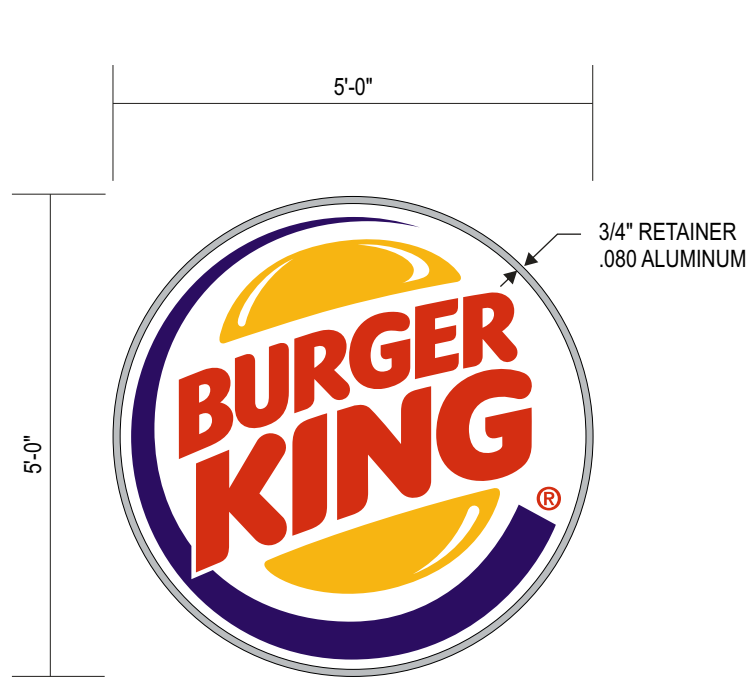
Approved

Revise & Resubmit

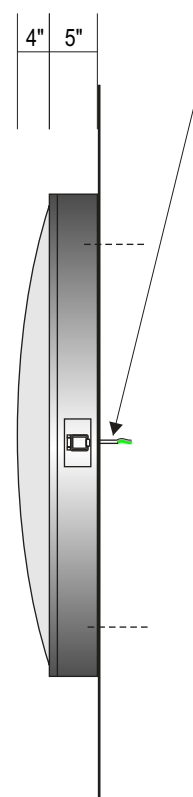
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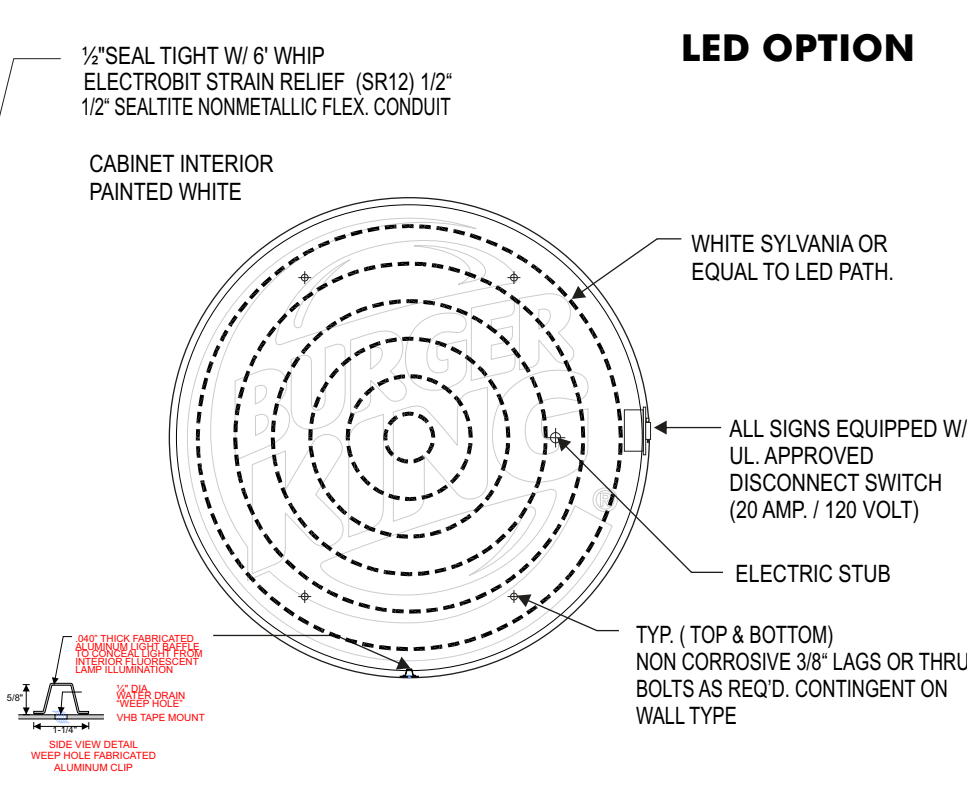
Date _____



FRONT ELEVATION
 SCALE: 1/2"=1'-0"



SIDE ELEVATION
 SCALE: 1/2"=1'-0"



OPEN CABINET DETAIL
 SCALE: 1/2"=1'-0"

LED OPTION

CABINET: TO BE FABRICATED OF ROLLED ALUMINUM FRAME W/ .080 BACKS & .063 RETURNS. WELDED CONSTRUCTION ALUMINUM INTERNAL BRACING. ACCESS INSIDE CABINET BY FACE REMOVAL. RETURNS TO BE .063 ALUMINUM ROLLED. RETAINERS TO BE ALUMINUM PAINTED BRUSHED ALUMINUM TO MATCH RETURNS. CABINET INTERIOR TO BE LINED W/ LIGHT ENHANCING FILM OR PAINT. ALL HARDWARE TO BE CORROSION RESISTANT.

ILLUMINATION (INTERNAL): BY WHITE LED MOUNTED TO BACK PANEL. ALL HARDWARE & CONNECTIONS TO BE TO BE UL APPROVED

ELECTRIC: 120 VOLT 20 AMP PRIMARY ELECTRIC CIRCUITS BROUGHT TO BASE OF SIGN AND FINAL CONNECTION BY BUYER

FACE: TO BE .177" CLEAR SOLAR GRADE POLYCARBONATE W/ UV INHIBITOR VACUUM FORMED TO CREATE CONVEX DOME SHAPE. DECORATION GRAPHICS TO BE 3M VINYL ON 2ND SURFACE.



LEFT SIDE ELEVATION Not To Scale



RIGHT SIDE ELEVATION Not To Scale



FRONT ELEVATION Not To Scale

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 File Burger King Design Doc RFP #1 Design -- Date 12/19/11

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Revise & Resubmit

Name _____

Title _____

Date _____