



#2017-18 McDonald's SUP Amendment Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	June 21, 2017
<u>Requests:</u>	A Special Use Permit Amendment to allow changes to the approved elevations, site plan and landscape plan.
<u>Location:</u>	551 Crystal Point Drive
<u>Acreage:</u>	Approximately 1.17 acres
<u>Zoning:</u>	B-2 (General Commercial)
<u>Surrounding Properties:</u>	North: B-2 PUD (General Commercial Planned Unit Development) South: B-2 (General Commercial) East: B-2 PUD (General Commercial Planned Unit Development) West: B-2 (General Commercial)
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3615)

Background:

- **Existing Use:** The subject property is an existing McDonald's restaurant.
- **Previous Approvals:**
 - A special use permit was granted in 1979.
 - A special use permit amendment and variations were approved in 1996 to allow an indoor play area, a front yard setback variation and an 8-space parking variation. The special use permit amendment included an approved site plan, landscape plan and elevations.

Development Analysis:

- **Request:** The petitioner is requesting an SUP Amendment for changes to the approved elevations, site plan and landscape plan to allow for the addition of a second drive-through lane and update the façade.
- **Land Use:** The land use map shows the area as Commerce. This land use designation is appropriate for the area.
- **Zoning:** The site is zoned B-2. This is an appropriate zoning designation for the area.

Existing Façade:



Proposed Façade:

- The proposed changes to the exterior elevations meet the Unified Development (UDO) design standards for a renovation.
- The proposed elevations are a modern architectural design.
- The existing building is constructed of brick and the proposed changes include painting and adding brick under the new windows.
- The proposed façade is accented with tile that looks like wood and the color scheme is gray and white. A colored rendering of a different location is attached to illustrate how the McDonald's will look like with the Iron Mountain and Chelsea Gray color scheme.



- The mansard roof would be removed and replaced with a flat roof. Metal awnings and corrugated metal will be utilized to accent the façade in gray tones.

Site Plan:

- A second drive-through lane is proposed to reduce existing stacking issues.
- The on-site circulation pattern will be altered.
 - On the north side, the existing landscape island and a sidewalk will be extended towards the building, creating a barrier between the drive-through drive aisle and the parking stalls.
 - Striping will be added across the drive-through drive aisle from the new sidewalk to the existing building entrance.

- Due to the changes in site circulation, the north access drive will be changed to an exit only.
- Parking spaces will be removed along the south side of the building and a more defined drive aisle will be striped for the drive-through stacking spaces.
- The new circulation pattern and additional drive-through lane reduces the existing number of parking spaces from 63 to 54 spaces. Fifty-five (55) parking spaces are required for this property per the UDO. Previously, the property was granted a parking variation of 8-spaces; therefore, the property would comply with the parking requirement.

Landscape Plan:

- Additional landscaping will be added to the rear of the building, which will screen the building mechanicals.
- Three trees will be added to the property and an additional parkway tree will be planted along the access road.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future commercial uses. The following goal is applicable to this request:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Findings of Fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit Amendment to allow changes to the approved exterior elevations, site plan and landscape plan. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.

Meets

Does not meet

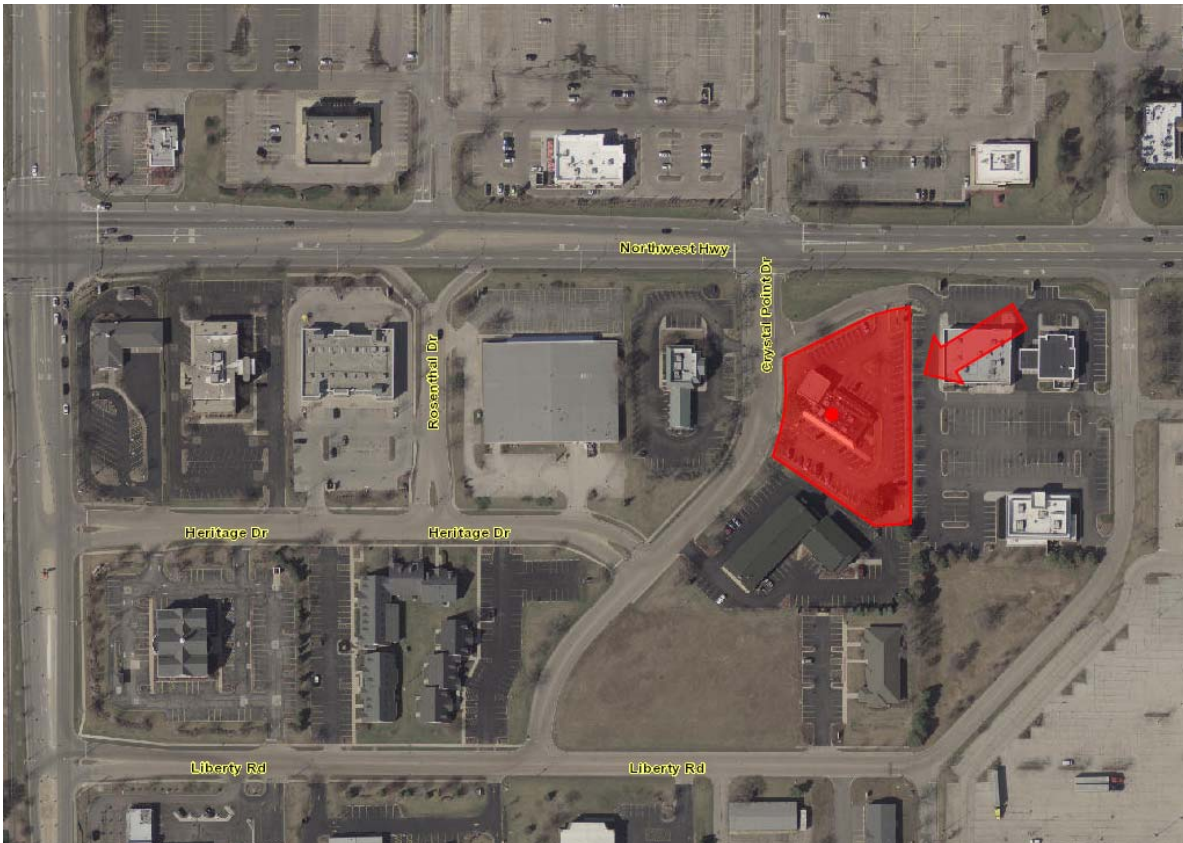
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*
3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*
6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*
7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*
8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*
9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.
 Meets *Does not meet*
10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.
 Meets *Does not meet*

Recommended Conditions:

If a motion is made to recommend approval of the petitioner's request, the following conditions are recommended:

1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (McDonald's USA LLC, dated 05/25/17, received 05/30/17)
 - B. Elevations (Lingle Design Group Inc, dated 04/19/17, received 05/30/17)
 - C. Site Plan (Watermark Engineering Resources, dated 05/25/17, received 05/30/17)
 - D. Floor Plan (Lingle Design Group Inc, dated 04/19/17, received 05/30/17)
 - E. Landscape Plan (Watermark Engineering Resources, dated 05/25/17, received 05/30/17)
 - F. Survey (Compass Surveying LTD, dated 05/02/17, received 05/30/17)
2. The total allowable square footage of wall signs is 150 square feet, as permitted by the UDO.
3. Any future changes to the façade may be approved administratively if the design standards in Article 4-1000 are met.
4. The petitioner must comply with all of the requirements of the Community Development and Fire Rescue Departments.

2017-18 McDonald's – 551 Crystal Point Dr – Special Use Permit



City of Crystal Lake Development Application

Office Use Only
File # _____

2017 18

Project Title: McDonald's - 551 Crystal Point Drive

RECEIVED
MAY 30 2017
BY: _____

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: McDonald's USA, LLC
Address: 711 Jorie Blvd., Oak Brook, IL 60523

Phone: 630-836-9090
Fax: 630-839-6861
E-mail: Christopher.Stepp@us.mcd.com

Owner Information (if different)

Name: _____
Address: _____

Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: The proposed improvements will consist of a full remodel of the existing McDonald'd restaurant, the reconfiguration of the existing single lane drive thru to a side by side drive thru layout, and minor modifications to the existing parking lot area.

Project Address/Location: 551 Crystal Point Dr., Crystal Lake, IL

PIN Number(s): 19-09-103-001

Development Team

Please include address, phone, fax and e-mail

Developer: McDonald's USA LLC - 711 Jorie Blvd., Oak Brook, IL 60523

Architect: Lingle Design Group - 158 W. Main St., Lena, IL 61048

Attorney: N/A

Engineer: Watermark Engineering Resources - 2631 Ginger Woods Parkway, Aurora, IL 60502

Landscape Architect: Watermark Engineering Resources - 2631 Ginger Woods Parkway, Aurora, IL 60502

Planner: N/A

Surveyor: Compass Surveying - 2631 Ginger Woods Parkway, Aurora, IL 60502

Other: N/A

Signatures

PETITIONER: Print and Sign name (if different from owner) **Date**

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Chris Stepp - Chris Stepp McDonald's USA LLC 5/25/17
OWNER: Print and Sign name **Date**

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

APPLICATION OF
McDonald's USA, LLC

2017, at the Crystal Lake City Hall,
100 West Woodstock Street, at
which time and place any person

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application of McDonald's USA, LLC seeking a Special Use Permit Amendment, located at 551 Crystal Point Drive, Crystal Lake, Illinois. PIN 19-09-103-001

determining to be heard may be present.
Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
on June 5, 2017) 1419449

This application is filed for the purpose of seeking a Special Use Permit Amendment pursuant to Article 9-200(D) to amend the approved elevations, site plan and landscape plan for a fast food and drive through facility, as well as any other variations as necessary to complete the project as proposed. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday June 21,

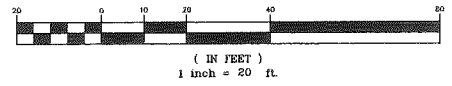
PUBLIC NOTICE
BEFORE THE PLANNING AND
ZONING COMMISSION OF THE
CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE

BOUNDARY AND TOPOGRAPHIC SURVEY

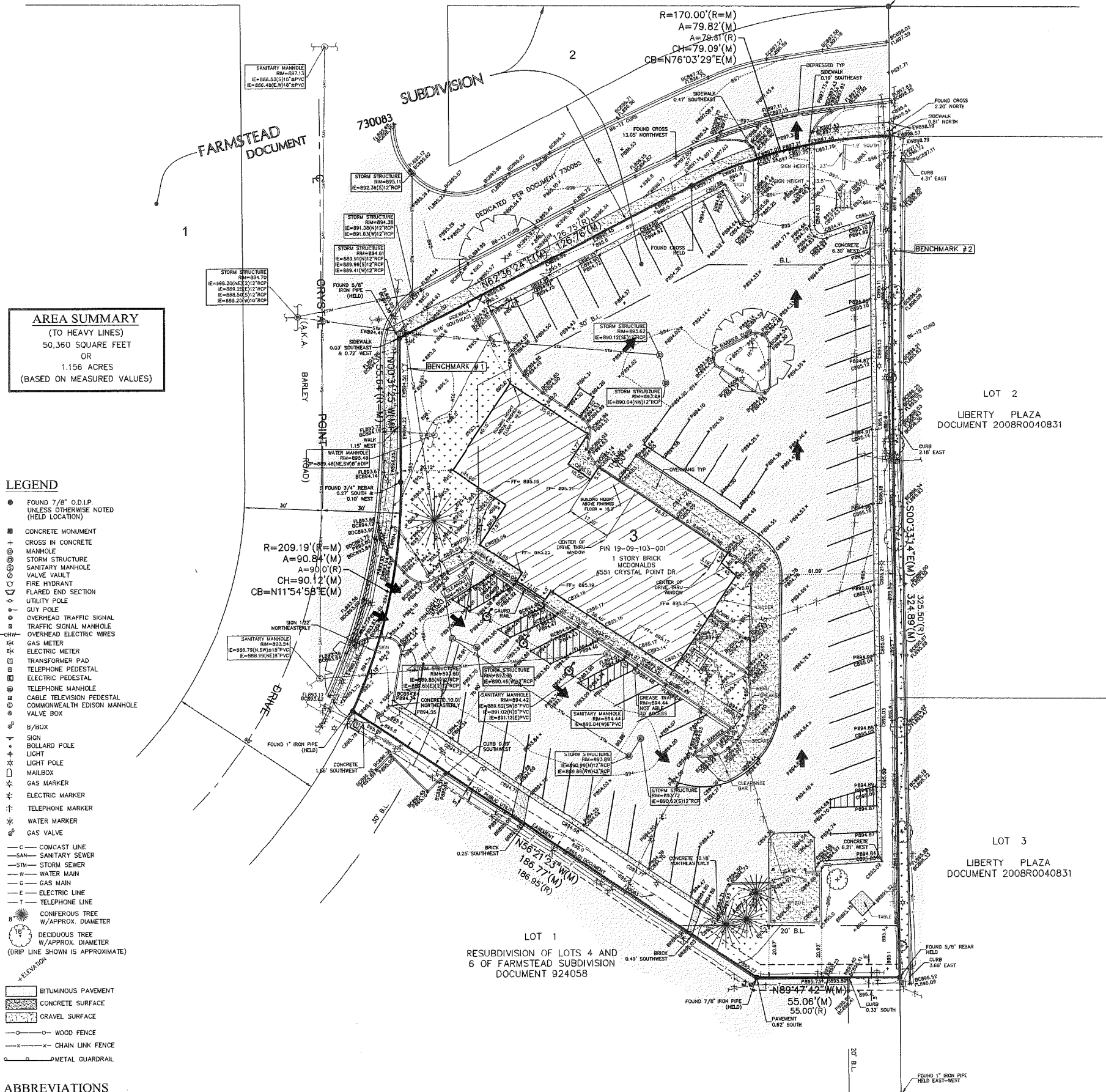
LEGAL DESCRIPTION

LOT 3 IN FARMSTEAD SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON APRIL 24, 1978 AS DOCUMENT NUMBER 730083, IN MCHEMRY COUNTY, ILLINOIS.

GRAPHIC SCALE



U.S. ROUTE 14



AREA SUMMARY
(TO HEAVY LINES)
50,360 SQUARE FEET
OR
1.156 ACRES
(BASED ON MEASURED VALUES)

LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- ⊕ CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- ⊙ VALVE VAULT
- ⊙ FIRE HYDRANT
- ⊙ FLARED END SECTION
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ OVERHEAD TRAFFIC SIGNAL
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ COMMONWEALTH EDISON WIRE
- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ TRANSFORMER PAD
- ⊙ TELEPHONE PEDESTAL
- ⊙ ELECTRIC PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ CABLE TELEVISION PEDESTAL
- ⊙ COMMONWEALTH EDISON MANHOLE
- ⊙ VALVE BOX
- ⊙ B/BUX
- ⊙ SIGN
- ⊙ POLLARD POLE
- ⊙ LIGHT
- ⊙ LIGHT POLE
- ⊙ MAILBOX
- ⊙ GAS MARKER
- ⊙ ELECTRIC MARKER
- ⊙ TELEPHONE MARKER
- ⊙ WATER MARKER
- ⊙ GAS VALVE
- C — COMCAST LINE
- SAN — SANITARY SEWER
- STM — STORM SEWER
- W — WATER MAIN
- G — GAS MAIN
- E — ELECTRIC LINE
- T — TELEPHONE LINE
- ⊙ CONIFEROUS TREE
N/APPROX. DIAMETER
- ⊙ DECIDUOUS TREE
N/APPROX. DIAMETER
(DRIP LINE SHOWN IS APPROXIMATE)
- ELEVATION
- ▨ BITUMINOUS PAVEMENT
- ▨ CONCRETE SURFACE
- ▨ GRAVEL SURFACE
- O — WOOD FENCE
- X — CHAIN LINK FENCE
- D — METAL GUARDRAIL

ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- FES = FLARED END SECTION
- VCP = VITRIFIED CLAY PIPE
- DIP = DUCTILE IRON PIPE
- PVC = POLYVINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING
- B.L. = BUILDING LINE
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

UTILITY CONTACTS

Municipality	Cable Television	Electric	Natural Gas	Telecommunications	Water/Sanitary/Storm
Crystal Lake, City of	Comcast Cable	ComEd	Nor	AT&T	City of Crystal Lake
100 W. Municipal Complex	Martha Glavin	630.576.7094	630.388.2362	630.573.5450	City Engineer
Crystal Lake, IL 60039-0597	630.606.6332 phone		semm@comcast.com		Ally Wilgren
815.439.2023 Pn	martha_glavin@cable.comcast.com				615.956.3608
615.459.2359 Fax					615.475.1847 fax

LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

BENCHMARKS:

REFERENCE BENCHMARK:
MCHEMRY COUNTY BENCHMARK STATION #6633 (NAVD88 DATUM)
ELEVATION = 880.67

SITE BENCHMARKS:

SITE BENCHMARK #1
NUN1HWL51 BULL ON FIRE HYUKANI A1 NUN1HWL51
CORNER OF SITE
ELEVATION = 895.93

SITE BENCHMARK #2
CUT CROSS IN THE FIRST LAMP POST SOUTH OF
NORTHEAST CORNER OF SITE
ELEVATION = 898.62

CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF KANE) SS

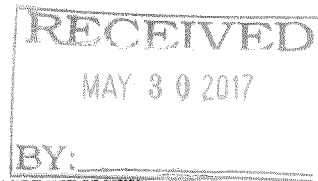
THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON MAY 1, 2017. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184.002778
LICENSE EXPIRES 4/30/19

BY: *Daniel W. Walsh* DATE: MAY 2, 2017
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585
LICENSE EXPIRES 11/30/16



NO.	REVISIONS	DATE	BY

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAINAGE MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION, THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.



COMPASS SURVEYING LTD
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 820-9100 FAX: (630) 820-7030

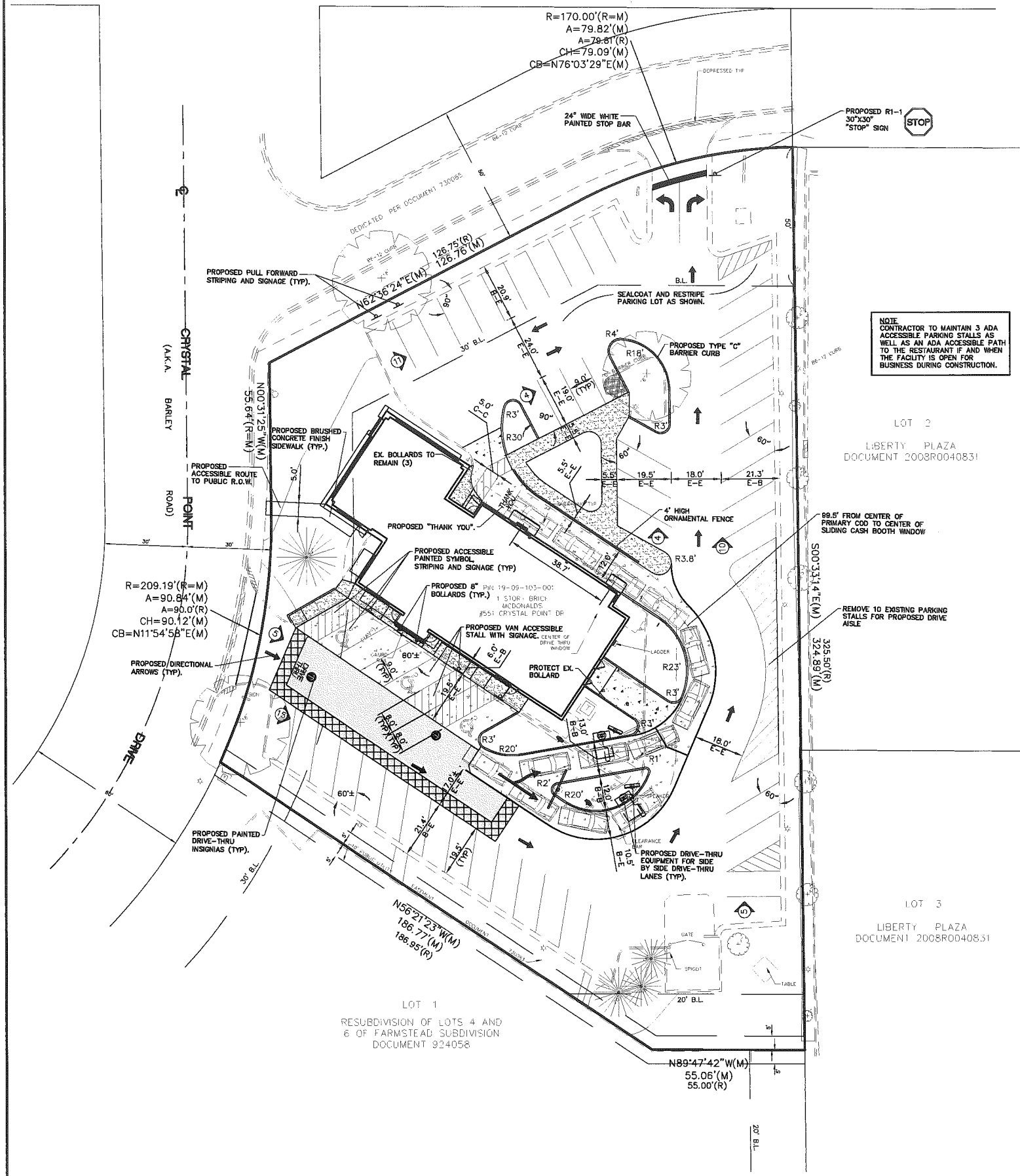
PROJECT
McDonald's
551 Crystal Point Drive
Crystal Lake, Illinois

CLIENT
WATERMARK ENGINEERING RESOURCES, LTD.
2631 Ginger Woods Parkway
Aurora, IL 60502

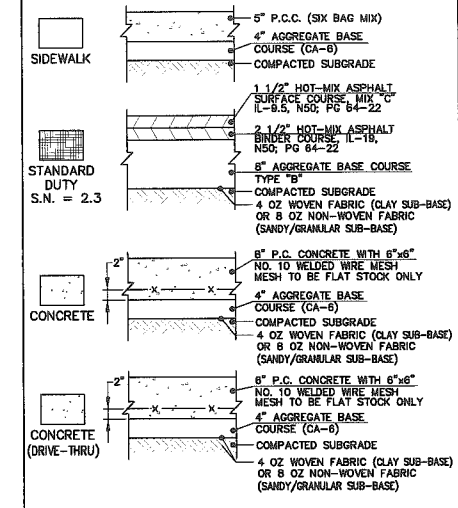
DATE: 5-2-17 PC TK DRAWN BY: MRA CHECKED BY: SK
BOOK: MDDIS PG 68-72 BOOK: MDDIS PG 33

1 OF 1
SCALE: 1" = 20'
DRAWN: 17.01.17

U.S. ROUTE 14



PAVEMENT LEGEND



= 1/2" MIN. RESURFACE TO MEET PROPOSED AND EXISTING GRADES
 = 1/2" MIN. GRIND

- NOTES:
- REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.
 - THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
 - SEE PROJECT SPECIFICATIONS FOR SUBGRADE COMPACTION.
 - ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.
 - FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
 - PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #17.0137 DATED 05/02/17)
 PREPARED BY: COMPASS SURVEYING LTD
 2631 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60502
 (630) 820-9100
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

ON SITE PARKING DATA

EXISTING REGULAR SPACES	60
EXISTING ADA ACCESSIBLE SPACES PROVIDED	3
TOTAL EXISTING SPACES	63
PROPOSED REGULAR SPACES	51
PROPOSED ADA ACCESSIBLE SPACES PROVIDED	3
TOTAL PROPOSED SPACES	54
TOTAL SPACES REQUIRED (U.D.O. TABLE 4-200 D)	55
1 SPACE PER 100 SF OF GROSS FLOOR AREA	
54 SPACES PROPOSED < 55 SPACES REQUIRED	

DRIVE THRU DATA

TOTAL STACKING REQUIRED (U.D.O. TABLE 4-200 G)
 (9 TOTAL AND 4 BETWEEN ORDER BOX AND THE FIRST SERVICE WINDOW)

ORDER BOX TO FIRST SERVICE WINDOW
 6 STACKING SPACES PROPOSED > 4 STACKING SPACES REQ.

SITE DATA

ZONING =	B-2
LOT AREA =	1.16 ACRES (50,360 SF)
EXISTING BUILDING AREA =	5,477 SF±
F.A.R. =	0.11

GEOMETRIC PLAN NOTES:

- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
- WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

DIMENSION LEGEND

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE

NOTE
 CONTRACTOR TO MAINTAIN 3 ADA ACCESSIBLE PARKING STALLS AS WELL AS AN ADA ACCESSIBLE PATH TO THE RESTAURANT IF AND WHEN THE FACILITY IS OPEN FOR BUSINESS DURING CONSTRUCTION.

LOT 2
 LIBERTY PLAZA
 DOCUMENT 2008R0040831

LOT 3
 LIBERTY PLAZA
 DOCUMENT 2008R0040831

LOT 1
 RESUBDIVISION OF LOTS 4 AND 6 OF FARMSTEAD SUBDIVISION
 DOCUMENT 924058

2017 18



SITE PLAN

DATE: _____

REVISIONS:

NO.	DATE	DESCRIPTION

Prepared For:

McDonald's
 711 Jorie Blvd., 3rd Floor
 Oak Brook, IL 60523

McDonald's - CRYSTAL LAKE
 511 Crystal Point Drive
 Crystal Lake, Illinois

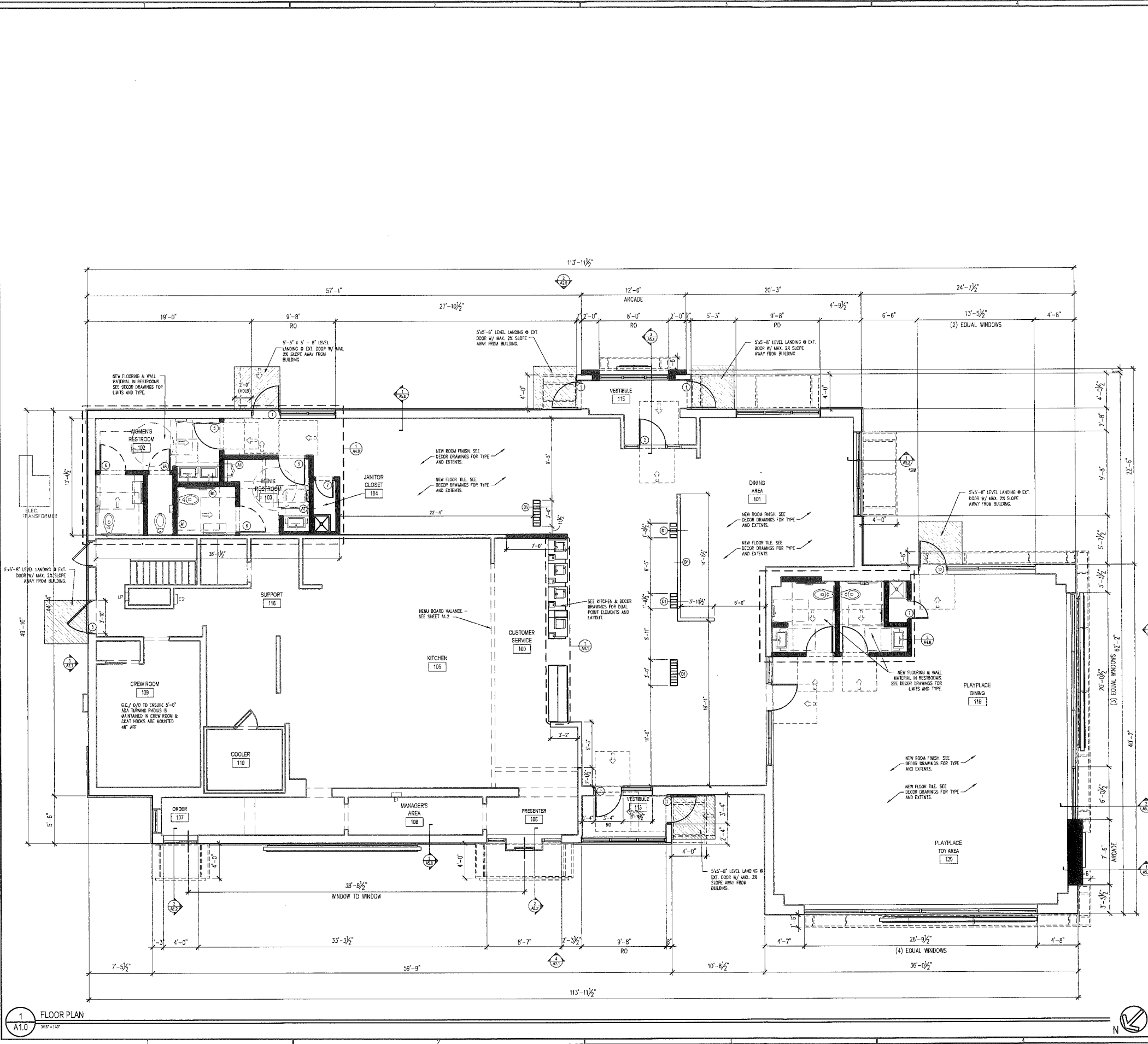
Prepared By:

Watermark Engineering Resources, Ltd
 2831 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
 phone 630-375-1800 fax 630-256-9800 www.watermark-engineering.com

CHECKED BY: J. MILLER
 DESIGN BY: K. SACK
 DRAWN BY: K. SACK
 DATE: MAY 25, 2017
 SCALE: 1" = 20'
 PROJECT NO.: 11-125-01

1 of 1
 LC #12-0356

SITE PLAN



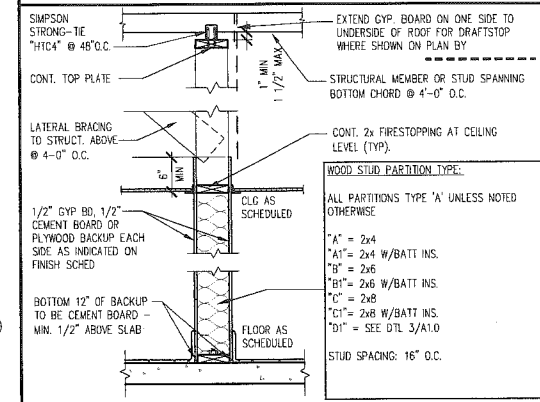
1 FLOOR PLAN
A1.0 3/10/12

GENERAL NOTES

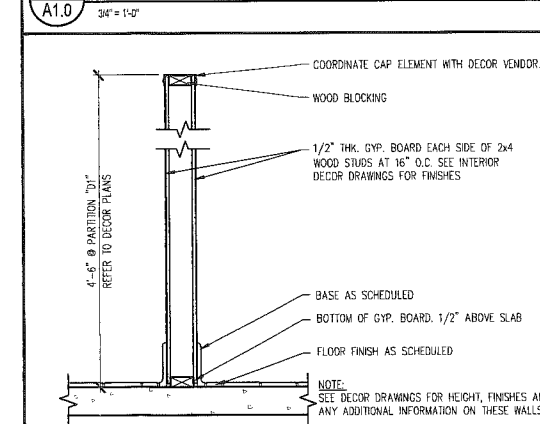
- INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- SEE SHEET A6.0 FOR DOOR SCHEDULE & DOOR TYPES
- SEE DECOR PLANS FOR ROOM FINISHES
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FOREST PERMA-SIGN 4-800-214-8765, 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forestpermasign.com
- MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE FIRE INSPECTOR ON ANY UPGRADES OR FURTHER REQUIREMENTS FOR FIRE EXTINGUISHERS.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
- SEE SHEET A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOORS AT 60" A.F.F. TO CENTER OF SIGN.

TILE NOTES - SEE DECOR DRAWINGS FOR LOCATIONS

- REFERENCE: 2013 McDONALD'S PROJECT MANUAL - SECTION 09300
- FLOOR TILE:
MAIN & ACCENT: 6" x 36" x 12" x 24" OR 13" x 20" (SIZE & SERIES MAY VARY). USE ONLY APPROVED TILE SERIES AND COLORS BY DALTILE, CROSSVILLE & EUROWEST. VERIFY COLOR AND PATTERN PER INTERIOR DECOR DRAWINGS.
A) MUST BE PER McDONALD'S USA - STANDARDS FOR INTERIOR FLOOR TILE & APPROVED TILE LIST.
B) MUST BE NO LARGER THAN 6" x 36", 12" x 24" OR 13" x 20".
C) MUST MEET THE FOLLOWING:
STATIC COEFFICIENT OF FRICTION (PER ASTM F1667-98)
LEVEL SURFACES: MINIMUM 0.50 DRY AND WET (McDONALD'S STANDARD)
DYNAMIC COEFFICIENT OF FRICTION (PER ANSI A137.1 2012)
LEVEL SURFACES: MINIMUM 0.5 DRY AND WET (McDONALD'S STANDARD)
 - TILE TRANSITION AND EDGE PROTECTION:
A) TILE BASE (RESTROOM ONLY): SCHLUTER DILEX-AHK SERIES, BRUSHED STAINLESS STEEL.
B) TILE EDGE PROTECTION (WALL TRANSITION): SCHLUTER-RONDEC-DB, SATIN ANODIZED ALUM.
C) TILE CORNER PROTECTION (OUTSIDE CORNER): SCHLUTER-RONDEC-AE, SATIN ANODIZED ALUM.
D) SEE INTERIOR DECOR DRAWINGS FOR ALL LOCATIONS.
 - BEFORE FINAL INSPECTION:
REMOVE PROTECTIVE COVERINGS AND PERFORM FINAL CLEANING.
TILE CLEANER: DETEREJK, BY FLA SURFACE CARE PRODUCTS - NO SUBSTITUTIONS ALLOWED CAN BE ORDERED BY EUROWEST, DALTILE, OR DIRECT FROM MANUFACTURER. FLA/ETEREK
POST INSTALLATION CLEANING REQUIRED ON ALL FLOOR TILE INSTALLATIONS PRIOR TO RESTAURANT TURN OVER. APPLY CLEANER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - REFERENCE: 2013 McDONALD'S PROJECT MANUAL - SECTION 09300 TILING INTERIOR.
 - GROUT COLOR AND MANUFACTURER AS INDICATED ON SHEET A1.0 AND INTERIOR DECOR DRAWINGS.



2 INTERIOR PARTITION
A1.0 3/4" = 1'-0"

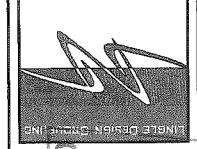


3 PARTIAL HT. PARTITION DETAIL
A1.0 3/4" = 1'-0"

LEGEND

[Line Style]	EXISTING WALL CONSTRUCTION
[Line Style]	NEW WALL

LING DESIGN GROUP, INC.
158 WEST MAIN STREET
LENA, IL 61248 158
1860 W. EVANG AVENUE
ENGLWOOD, CO 80110
PHONE: 815-866-9155
FAX: 815-866-4495
WWW.LINGDESIGN.COM



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McDonald's
USA, LLC
551 CRYSTAL POINT RD.
CRYSTAL LAKE, IL

REVISIONS	DATE	DESCRIPTION

PROJECT NUMBER: 17-0131
DRAWN BY: CMW
CHECKED BY: CLL
ISSUED DATE: 04/19/2017

SHEET TITLE
CONSTRUCTION PLAN, NOTES & DETAILS

SHEET NUMBER:
A1.0

2017-18

NOTE:
 1. EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 2. PAINT TRASH CORRAL INCLUDING DOORS, BOLLARDS ETC. TO MATCH MAIN BUILDING COLOR.

ELEVATION KEY NOTES:

COLOR SCHEME: MODERN SCHEME

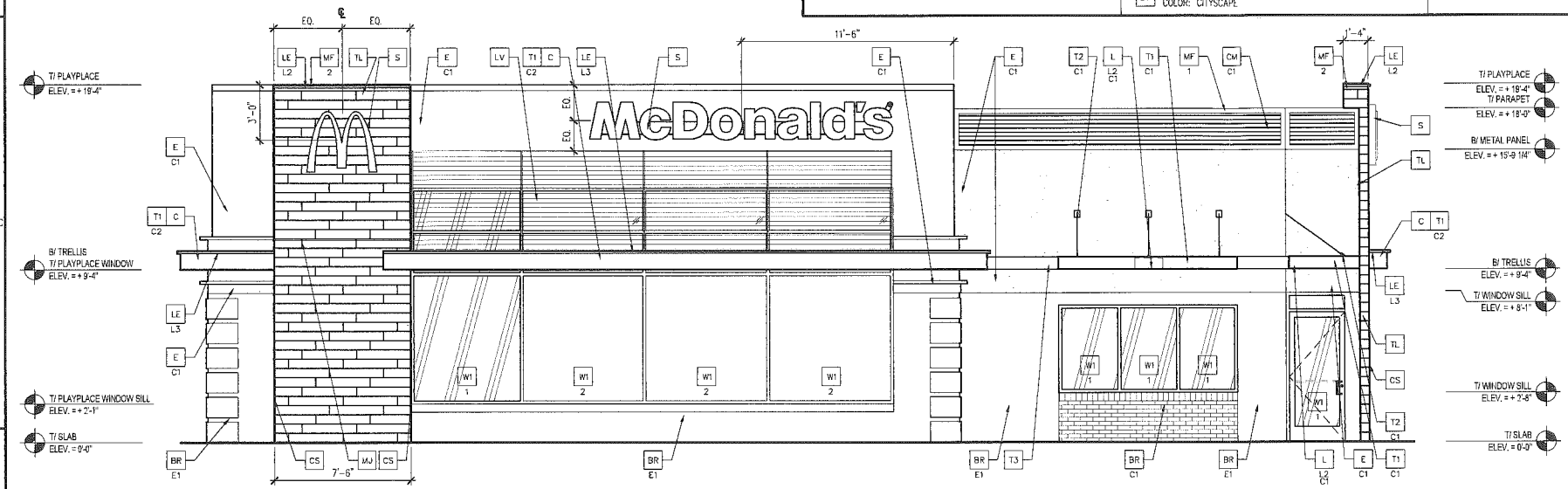
- BR** FACE BRICK - MODERN
- XX** TYPE:
 - E1 = EXISTING MASONRY PAINTED-COLOR: CHELSEA GRAY HC-168
 - C1 = NEW MASONRY PAINTED-COLOR: CHELSEA GRAY HC-168
 - C2 = ENCOIT EXECUTIVE IRON SPOT (UNPAINTED) AT PLAYPLACE
- C** ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- CJ** CONTROL JOINT
X - TYPE:
1 = MATCHING SPACING OF EXISTING EIFS BELOW OR SPACE PER MFR'S RECOMMENDATIONS
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A5.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
- CS** OUTSIDE CORNER STRIPS (BRAND WALL) ROUNDED ROUOOTSDA BY SCHLUTER SYSTEMS ALUMINUM HEIGHT: 10MM COLOR: DARK ANTHRACITE COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- E** EXTERIOR INSULATION FINISH SYSTEM (EIFS) MODERN W/ TILE "OUTSULATION PLUS MD" BY DRYVIT OR EQUAL
HIGH IMPACT ZONES: "PANZER 20" ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE
FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
COLOR: STATONE HIGH PERFORMANCE COLORANT - MATCH TO BENJAMIN MOORE OR EQUAL
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- GR** GUARDRAIL
- L** LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY SCENCE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE** ACCENT LIGHTING - SEE ELECTRICAL
XX-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTERNAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- LV** METAL LOUVER PANEL BY TRELLIS VENDOR
COLOR: CITYSCAPE

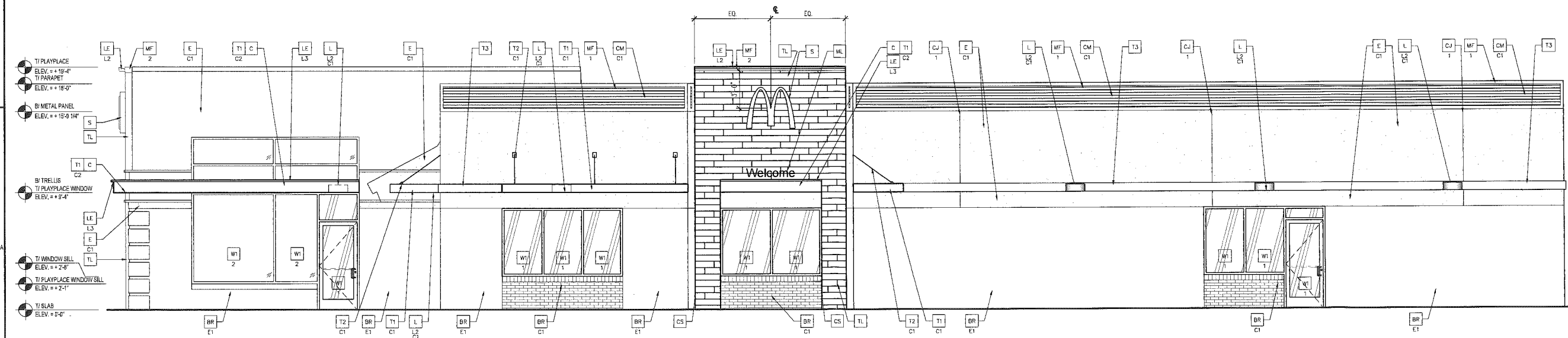
- MF** METAL FASCIA (COLOR: CITYSCAPE) SEE 4/A3.2
X - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- MJ** MOVEMENT JOINT - DILEX BRIBBBS BY SCHUTER SYSTEMS - COLOR: BLACK = BRAND WALL
- ML** METAL LETTERING - BY OTHERS
X - TYPE:
1 = "WELCOME" - COLOR: SILVER
2 = 24"H x 3/4" THICK METAL ARCH
COLOR: PANTONE 123C
- PB** PIPE BOLLARD - PAINTED YELLOW
X - TYPE:
1 = EXISTING - REPLACE IF NECESSARY
2 = NEW
- PN** PAINT BUILDING
XX-COLOR:
C1 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- RL** ROOF LADDER (EXISTING) PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- T1** ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2** ALUMINUM TRELLIS TE-BACK SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE
- TL** TILE - BRAND WALL EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK 6"X36" 1/4" RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPS
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- W1** NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
X-1 = NEW STOREFRONT AND GLAZING
2 = EXISTING WINDOW TO REMAIN

- W2** DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPER. ELECTRONIC RELEASE
L
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT



1 SOUTH ELEVATION
 A2.0 1/4" = 1'-0"



2 EAST ELEVATION
 A2.0 1/4" = 1'-0"

LINCOLN DESIGN GROUP, INC.
 1158 WEST MAIN STREET
 LENA, IL 61248-1588
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 ENGLEWOOD, CO 80110
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 FAX: 815-266-9155
 WWW.LINCOLNDESIGN.COM



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McDonald's
 USA, LLC
 551 CRYSTAL POINT RD.
 CRYSTAL LAKE, IL

REVISIONS	DATE	DESCRIPTION

PROJECT NUMBER: 17-0131
 DRAWN BY: CMW
 CHECKED BY: CLL

ISSUED DATE: 04/18/2017

SHEET TITLE:
 EXTERIOR ELEVATIONS

SHEET NUMBER:
 A2.0

2017 18

NOTE:
 1. EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 2. PAINT TRASH CORRAL INCLUDING DOORS, BOLLARDS ETC. TO MATCH MAIN BUILDING COLOR.

ELEVATION KEY NOTES:

COLOR SCHEME: MODERN SCHEME

BR - FACE BRICK - MODERN
 xx - TYPE:
 E1 = EXISTING MASONRY PAINTED-COLOR: CHELSEA GRAY HC-16B
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 C2 = ENOICOTT EXECUTIVE IRON SPOT (UNPAINTED) AT PLAYPLACE
 COLOR: WHITE

CJ - ALUMINUM CANOPY FASCIA SYSTEM
 X - TYPE:
 1 = MATCHING SPACING OF EXISTING EIFS BELOW OR SPACE PER MFR'S RECOMMENDATIONS

CM - CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A5.0 FOR ADDITIONAL SPECIFICATIONS
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 C1 = "CITYSCAPE"

CS - OUTSIDE CORNER STRIPS (BRAND WALL)
 RONDEC R100200A BY SCHLUTER SYSTEMS
 ALUMINUM HEIGHT: 10MM COLOR: DARK ANTHRACITE
 COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817

D - HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

E - EXTERIOR INSULATION FINISH SYSTEM (EIFS) MODERN W/ TILE 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL
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 C1 = CHELSEA GRAY HC-16B BY BENJAMIN MOORE
 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE

GR - GUARDRAIL
 L - LIGHT FIXTURE - SEE ELECTRICAL
 xx - TYPE:
 L2 = DOWN ONLY SCORCE
 L3 = RECESSED DOWN FIXTURE
 COLOR:
 C1 = SILVER
 C2 = WHITE

LE - ACCENT LIGHTING - SEE ELECTRICAL
 xx - LED LIGHT:
 L1 = UP AND DOWN FIXTURE
 L2 = DOWN ONLY FIXTURE
 L3 = INTEGRAL CANOPY FIXTURE
 L4 = FLOOD LIGHT

LV - METAL LOUVER PANEL BY TRELLIS VENDOR
 COLOR: CITYSCAPE

MF - METAL FASCIA (COLOR: CITYSCAPE) SEE 4/A3.2
 X - TYPE:
 1 = PRE-FAB ANCHOR-TITE FASCIA
 2 = PRE-FAB CUSTOM ARCADE FASCIA

MJ - MOVEMENT JOINT - BULK BRIGGINS BY SCHLUTER SYSTEMS - COLOR: BLACK - BRAND WALL

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PB - PIPE BOLLARD - PAINTED YELLOW
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PN - PAINT BUILDING
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RL - ROOF LADDER (EXISTING) PAINT TO MATCH SURROUNDING MATERIAL

S - McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

T1 - ALUMINUM TRELLIS SYSTEM
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 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CHARCOAL
 C4 = GOLD

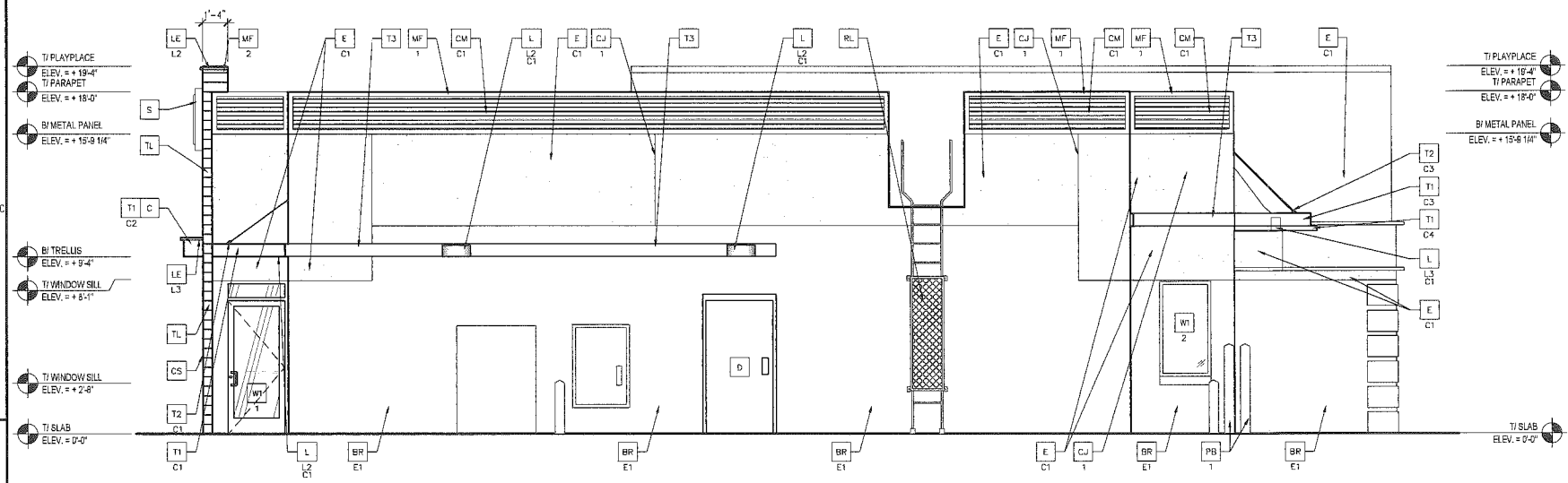
T2 - ALUMINUM TRELLIS TIE-BACK SYSTEM
 xx - COLOR:
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CHARCOAL

T3 - ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE

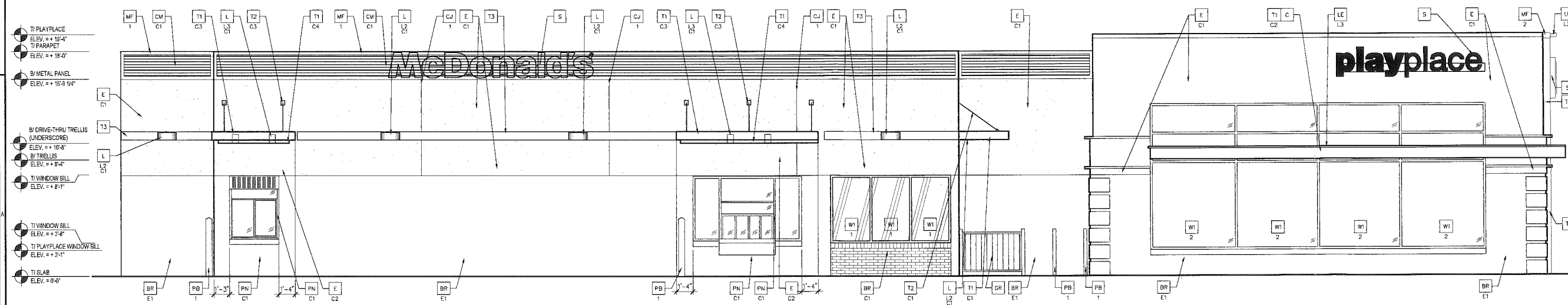
TL - TILE - BRAND WALL COLLECTION
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 CONTACT: JAN DEYER, (714) 937-7500

W1 - NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
 X - 1 = NEW STOREFRONT AND GLAZING -
 2 = EXISTING WINDOW TO REMAIN

W2 - DRIVE-THRU WINDOW BY REARY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC RELEASE
 SLIDE DIRECTION: RL = RIGHT TO LEFT
 LR = LEFT TO RIGHT

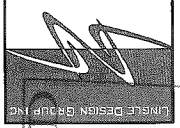


1 NORTH ELEVATION
 A2.1 1/4" = 1'-0"



2 WEST ELEVATION
 A2.1 1/4" = 1'-0"

UNLEDESIGNGROUP, INC.
 118 WEST MAIN STREET
 LEAN, IL 61048 158
 1860 W. EVANS AVE.
 ENGLEWOOD, CO 80111
 PHONE: 815-369-9155
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 WWW.UNLEDESIGN.COM



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McDonald's
 USA, LLC
 551 CRYSTAL POINT RD.
 CRYSTAL LAKE, IL

REVISIONS	DATE	DESCRIPTION

PROJECT NUMBER: 17-0131
 DRAWN BY: CAW
 CHECKED BY: CLL

ISSUED DATE: 04/19/2017

SHEET TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A2.1

2017 18

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE, CRUSHED ASPHALT, BRICK, ETC.) SHALL BE REMOVED PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- A MIXTURE OF 30% MUSHROOM COMPOST, 10% SAND AND 60% TOPSOIL SHALL BE ROTOTILLED INTO ALL PERENNIAL, ANNUAL AND SHRUB PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE TOPSOIL AND MUSHROOM COMPOST MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE WATERED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY, ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 80 DEGREES (F) NOR LESS THAN 50 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SO THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
- ALL TRANSPLANTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPLANT ANY OF THE PLANT MATERIAL, AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE TIME OF FINAL APPROVAL.
- IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
- PROVIDE TOPSOIL RE-SPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - 4" MINIMUM IN GRASS OR SOD AREAS
 - 6" MINIMUM IN PLANTING AREAS
 - 12" MINIMUM IN LANDSCAPE ISLANDS

GENERAL NOTES:

- THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #17.0137 DATED 05/02/17) PREPARED BY: COMPASS SURVEYING LTD 2631 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60502 (630) 820-9100
- PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

PLANT LIST

SHADE, ORNAMENTAL AND CONIFEROUS TREES

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
1	SSM	Acer miyabei 'Morton'	State Street Maple	2 1/2" Cal.
3	PIE	Ulmus 'Pioneer'	Pioneer Smoothleaf Elm	2 1/2" Cal.
2	RPS	Cotinus coccogria 'Royal Purple'	Royal Purple Smokebush	6'

FLOWERING AND EVERGREEN SHRUBS

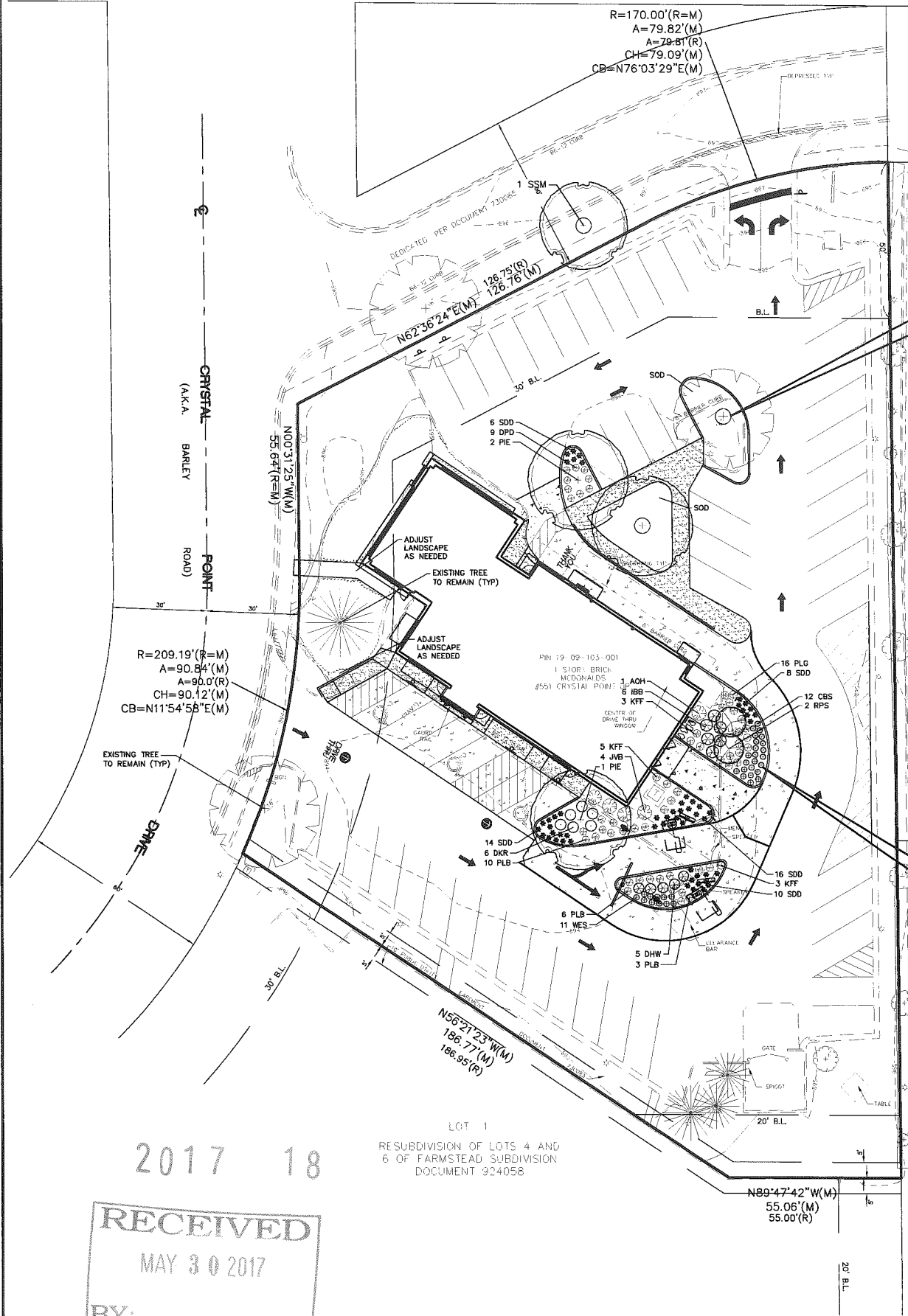
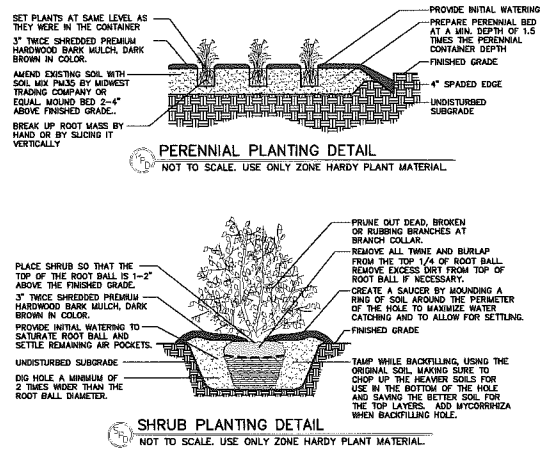
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
6	IBB	Aronia melanocarpa 'Morton'	Irigoins Beauty Black Chokeberry	5 Gal.
1	AOH	Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	5 Gal.
6	DKR	Rosa 'Radiko'	Double Knock Out Rose	3 Gal.
4	JVB	Viburnum x juddii	Judd Viburnum	36"
5	DHW	Weigela x 'Dark Horse'	Dark Horse Weigela	3 Gal.

PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

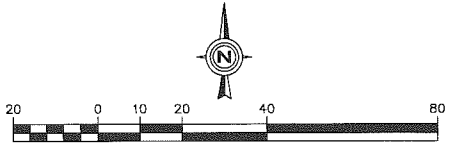
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
16	PLG	Eragrostis spectabilis	Purple Lovegrass	1 Gal.
12	CSB	Euphorbia polychroma 'Bonfire'	Bonfire Cushion Spurge	1 Gal.
54	SDD	Hemerocallis 'Stella de' Oro	Stella de Oro Daylily	1 Gal.
22	WES	Salvia nemorosa 'Wesuve'	Wesuve Salvia	1 Gal.
11	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal.
19	PLB	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 Gal.
9	DPD	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed	1 Gal.

NOTE:
CONTRACTOR TO USE CAUTION WHEN EXCAVATING, FILLING, OR OTHERWISE WORKING WITHIN THE DRIPLINE OF EXISTING TREES TO BE PROTECTED. ALL ROOTS ENCOUNTERED DURING CONSTRUCTION SHALL BE CLEANLY HAND PRUNED. ALL ROOTS SHALL BE PRUNED IN ACCORDANCE WITH ISA PRUNING STANDARDS.

NOTE:
CONTRACTOR TO MULCH ALL PLANT BEDS (PROPOSED AND EXISTING) WITH TWICE SHREDDED HARDWOOD BARK, DARK BROWN IN COLOR, AND SPADE EDGE WHERE APPLICABLE (TYP)



RECEIVED
MAY 30 2017
BY:



LANDSCAPE PLAN
DESIGNED BY
KENNETH M. PRICE, RLA

Prepared For:
McDonald's - 3rd Floor
711 Jorie Blvd., Oak Brook, IL 60523
McDONALD'S - CRYSTAL LAKE
511 Crystal Point Drive
Crystal Lake, Illinois

Prepared By:
Watermark Engineering LLC
2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
phone 630-375-1800 www.watermark-engineering.com

CHECKED BY: J. MILLER
DESIGN BY: K. SACK
DRAWN BY: K. SACK
DATE: MAY 25, 2017
SCALE: 1" = 20'
PROJECT NO.: 11-125 01

LANDSCAPE PLAN
L-1
LC #12-0356



