



#2017-19

**Mariano's Gas Station – Special Use Permit
Project Review for Planning and Zoning Commission**

Meeting Date: June 21, 2017

Requests:

1. Special Use Permit to allow a Gasoline Service Station with Gasoline Electronic Pricing signs.
2. Variations from:
 - a. Article 2-400 13 d. Special Use Criteria for Gasoline Stations from the requirement to construct a peaked canopy.
 - b. Article 2-400 62 c. ii Special Use Criteria for Gasoline Stations to allow red illumination.
 - c. Article 4-1000 Signs to allow a second freestanding sign for the gas station.

Location: 105 Northwest Highway (Route 14)

Acreage: Approximately 19,000 square feet for gas station area

Existing Zoning: B-2 General Commercial

Surrounding Properties:

North:	B-2 PUD General Commercial
South:	R-3B Multi-Family
East:	B-2 General Commercial
West:	B-2 General Commercial

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The property is currently being demolished and will be reconstructed for a Mariano's grocery store.
- In addition to the grocery store, the owners have proposed a gas station along the front portion of the site.

Development Analysis:

Land Use/Zoning

- The site is currently zoned B-2 General Commercial. This is the appropriate zoning district for a gasoline service station, which requires a Special Use Permit in this district.

- The land use map shows the area as Commerce. This is an appropriate land use designation for Gasoline Service Station.

Site Layout

- The gas station is considered an ancillary use.
- Two main drive entrances are illustrated from Route 14. There is also access from Virginia Road. The existing cross-access points between this property and the adjacent businesses would be maintained by Mariano's.
- A new gas canopy with 10 fueling stations is illustrated in front of Mariano's grocery store along Route 14.

Elevations

- The gas canopy posts and the attendant building will match the color and materials of Mariano's with the stone base, banding and brick the remaining way up.
- The canopy is a light silver with a tan banding to match the main building.

Parking

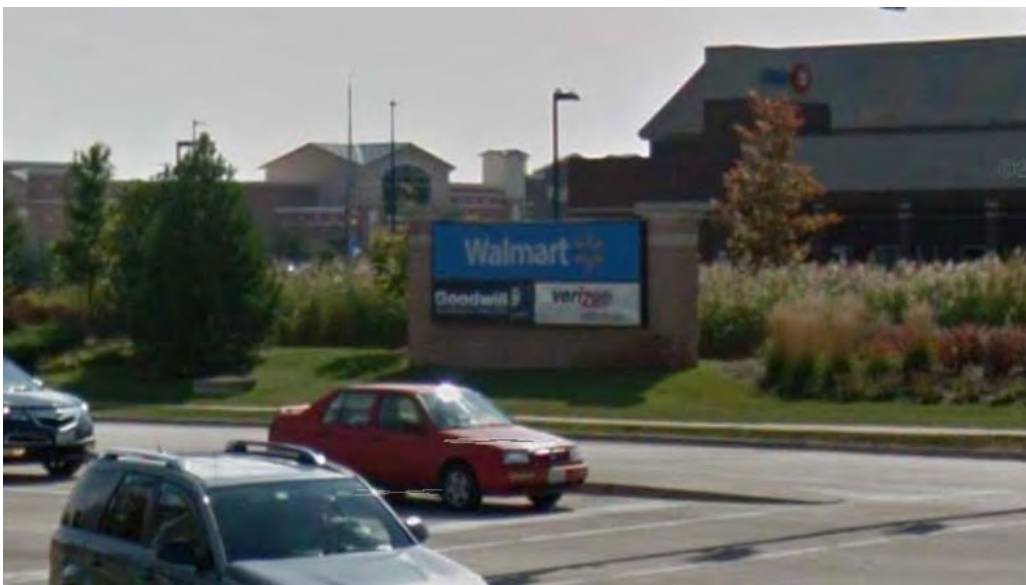
- The site will share parking with the overall site.

Landscape

- The landscape is proposed as part of the overall Mariano's development.

Signage

- A zoning lot is permitted one freestanding sign at 80 square feet and 9 feet tall. A second freestanding sign for the gas station use is proposed. Both signs would meet the height and area restrictions.
- The wall signage proposed for the gas station including the canopy and the pumps is 124 square feet, which meets the UDO
- Below are photos of the two other big box users that also have ancillary gas stations. The first is Sam's Club, which just has one freestanding sign and no separate signage for the gas station. The second is Wal-Mart, which has one freestanding sign and no separate freestanding sign for Murphy's gas station.



- Recently the City approved the gas station for Bucky's, which is a stand-alone tenant that has two freestanding signs.

Findings of fact:

SPECIAL USE PERMIT

The petitioner is requesting approval of a Special Use Permit to allow a Gasoline Service Station with Gasoline Electronic Pricing Sign. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

Gasoline Stations have specific Special Use Criteria they have to meet. Gasoline stations must comply with the following standards:

1. Location: Gasoline stations are not permitted within the City's wellhead protection areas. Stations in the Crystal Lake watershed require a site specific analysis by the City's watershed consultant
 Meets *Does not meet*

The proposed station is outside of the wellhead protection area.

2. Environmental impact: No gasoline station shall commence operations unless it has first provided an environmental impact statement (EIS) from a qualified expert in the related field that the use will not negatively affect ground water resources or contaminate the soil.

Meets Does not meet

An EIS would need to be provided, which says that during normal operations no contamination is expected.

3. Screening: Gasoline stations adjacent to residential properties shall provide a 6-foot tall solid screen consisting of a solid wooden fence, in accordance with the provisions of Article 4-700, Fences, Walls and Screening or opaque landscaping along the perimeters of the property abutting the residential district or use, in accordance with the provisions of Article 4-400, Landscaping and Screening Standards.

Meets Does not meet

The site is not adjacent to a residential use.

4. Canopy: Flat canopies are not permitted. Canopies must have a minimum 4:12 pitch (Amended per Ord. 6970, 11-5-2013). The edge of the pump canopy shall be setback at least 15 feet from all property lines.

Meets Does not meet

The petitioner is requesting a variation from this criterion. The building has been designed with a flat top parapet style roof. This flat style gas canopy has been designed to match the style of the main Mariano's building. Mariano's would also like to minimize the impact of the gas station on blocking the view to the grocery store.

5. Curb cuts: There shall be a maximum of 2 curb cuts per property. Corner lots shall be limited to 1 curb cut per street frontage. Curb cuts for corner lots shall be located at least 75 feet from the intersection, or as deemed appropriate by the City Engineer.

Meets Does not meet

Curb cuts are set as part of the Mariano's site plan.

6. Vending machines: One vacuums and one air compressors shall be permitted on-site. Vending machines are treated as outside sales and display. Refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.

Meets Does not meet

Since there is no convenience store associated with this use, only the required attendant booth, no outside sales and display is permitted.

7. Outside sales: Outside product display and sales of seasonal items are prohibited. Propane tanks stored in 1 locked metal cage are not treated as outside sales and permitted subject to the approval of the City's Fire Prevention Bureau. For any other outside display and sales, refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.

Meets Does not meet

Since there is no convenience store associated with this use, only the required attendant booth, no outside sales and display is permitted.

8. Monitoring: Monitoring wells finished at appropriate depths and locations best suited to detect a contaminate plume are required to be designed and located by a groundwater professional for stations within the Crystal Lake watershed or as determined by the City Engineer.

Meets Does not meet

No monitoring wells are required.

9. Electronic Pricing Signs: Electronic pricing signs must be requested as part of the Special Use Permit.

Meets Does not meet

Sign has been requested as part of the Special Use Permit.

Gasoline electronic pricing signs. All gasoline electronic pricing signs must comply with the following criteria:

- a. Gasoline electronic pricing (GEP) signs are permitted only on properties where a special use permit for a gasoline station has been previously granted by the City.

Meets Does not meet

- b. The GEP sign may be incorporated into (1) freestanding business sign on the property. A new freestanding sign incorporating a GEP portion must meet all the ordinance requirements for that sign.

Meets Does not meet

- c. The GEP portion of the sign shall meet all the following design conditions:

- (i) The GEP unit must be equipped with both a programmed dimming sequence as well as an additional overriding mechanical photocell that adjusts the brightness of the display to ambient light at all times of the day. Such programming and mechanical equipment shall be set so that the GEP, at night or in overcast conditions, will be no more than 40% of the daytime brightness level;

Meets Does not meet

- (ii) The GEP unit must be illuminated by white, amber, or green incandescent lamps, LED (light-emitting diode) or magnetic discs;

Meets *Does not meet*

- (iii) The pricing displayed on the GEP unit may only transition from one message (price) to another by either fading or dissolving to black with another message (price) appearing immediately thereafter, without movement or other transition effects in between;

Meets *Does not meet*

- (iv) Except as otherwise provided herein, all messages displayed on the GEP unit must be static and may not reflect movement, flashing scrolling or changes in shape or size of messages or portions of messages. Streaming and/or live-time video is not permitted and this function of the EMC must be disabled; and

Meets *Does not meet*

- (v) The GEP sign must be set in a manner that the display will turn dark in case of a malfunction.

Meets *Does not meet*

- d. The maximum gross surface area of the GEP portion of the sign shall not exceed 20 square feet.

Meets *Does not meet*

- d. Prices cannot switch between multiple grades on one GEP. The GEP must display only one grade or have separate GEP for each grade.

Meets *Does not meet*

Findings of Fact:

ZONING VARIATIONS

The petitioner is requesting three variations:

- a. Article 2-400 13 d. Special Use Criteria for Gasoline Stations from the requirement to construct a peaked roof over the fueling canopy.
- b. Article 2-400 62 c ii. Special Use Criteria for Gasoline Stations to allow red illumination.
- c. Article 4-1000 Signs to allow a second freestanding sign.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a

zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.
 Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.
 Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;
or
 Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
 Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future business uses. The following goal is applicable to this request:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the City as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

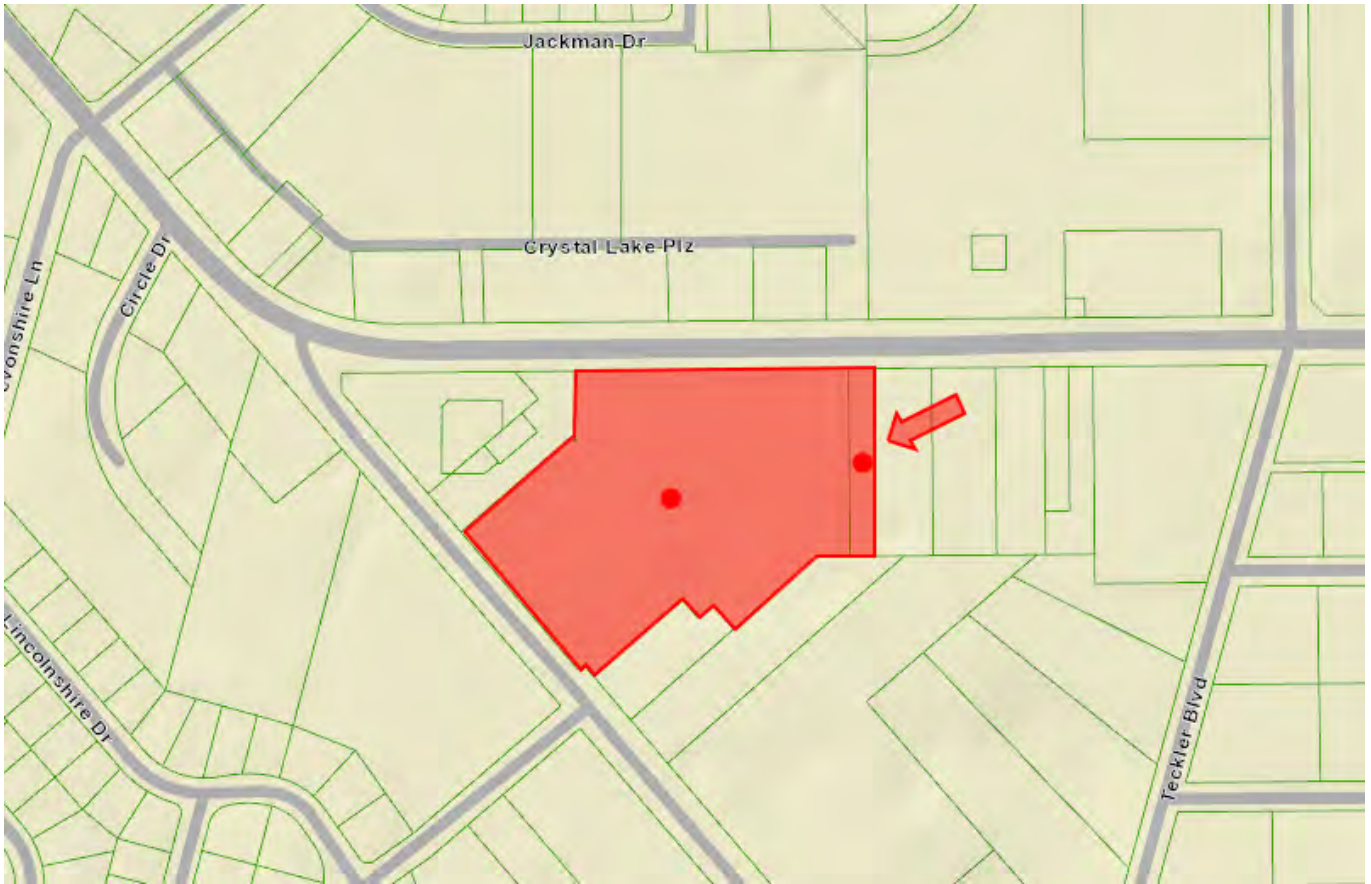
Success Indicator: The number of new chain stores.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Roundy's, received 05/31/17)
 - B. Plat of Survey (Manhard, dated 07/29/16, received 05/31/17)
 - C. Site Plans (Seven, dated 05/26/17, received 05/31/17)
 - D. Signage (Doyle, dated 05/25/17, received 05/31/17)
2. Petitioner is required to prepare and submit an Environmental Impact Statement for review and approval.
3. No outdoor storage, display or sales are permitted outside at the gas station area.
4. Work with staff to determinate the best site layout and if one-way circulation is necessary around the gas pumps to reduce any stacking with the major east-west drive aisle for the grocery store.
5. No signage is permitted on the canopy posts or on any light posts.
6. The petitioner must address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments and of the City's Stormwater Consultant.

2017-19 MARIANO'S – 105 NORTHWEST HWY – SPECIAL USE PERMIT, VARIATION



**City of Crystal Lake
Development Application**

Office Use Only

File # 2017 19

Project Title: _____

RECEIVED
MAY 31 2017
BY: _____

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Roundy's Supermarkets Inc.
Name: (Shaun Nelson)
Address: P.O. Box 473, MS-3300
Milwaukee, WI 53201
Phone: 414.231.5880
Fax: 414.231.7939
E-mail: Shaun.Nelson@roundys.com

Owner Information (if different)

Crystal LK JV LLC
Name: (C/O Continental Properties CO.)
Address: W134 N8675 Executive Parkway
Menomonee Falls, WI 53051
Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: Install a 3,741 sq. ft. fuel canopy, a 270 sq.ft. transaction kiosk, two double-wall fiberglass brine-filled under ground storage tanks, and five(5) multi-product fuel dispensers. The architecture of the canopy and kiosk will utilize building materials from the main grocery store.

Project Address/Location: 105 Northwest Highway (US Route 14), between Teckler Teckler Boulevard and Virginia Street.

PIN Number(s): 19-08-201-032

Development Team

Please include address, phone, fax and e-mail

Roundy's Supermarkets Inc., P.O. Box 473, MS-3300, Milwaukee, WI 53201
Office: 414.231.5880, Fax: 414.231.7939, Shaun.Nelson@roundys.com

Developer: Galloway Planning. Architecture. Engineering. 6162 S. Willow Drive
Suite 320 Greenwood Village, CO 80111 Office: 303.770.8884, Fax:

Architect: 303.770.3636, www.gallowayUS.com

Attorney: N/A

Engineer: Sevan Multi-Site Solutions, 4925 Forest Ave., Downers Grove, IL,
Office: 219.841.6535, tim.kratz@sevansolutions.com

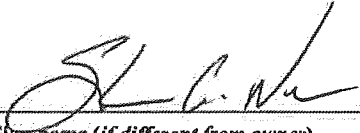
Landscape Architect: N/A

Planner: N/A

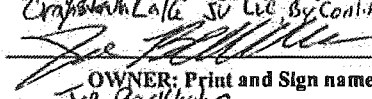
Surveyor: Manhard Consulting LTD, 900 Woodlands Parkway, Vernon Hills, IL 60061
Office: 847.634.5550, Fax: 847.634.0095, manhard.com

Other: N/A

Signatures

SHAUN A. NELSON  5/30/17
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Cristina LaLe, Sr. Lic. By Continental Properties Company Inc. Its Manager
 5/30/17
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

- Variations: 1. Two monument signs
2. Stripes on the canopy (communicative architecture-signs)
3. Flat roof on the fuel canopy

PUBLIC NOTICE
BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE
PETITION OF

Roundy's Supermarkets Inc
LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission on the application by Shaun Nelson, on behalf of Roundy's Supermarkets Inc.LLC, representing the owner Continental Properties CO., seeking a Special Use Permit and Variations for a Gas Station at 105 Northwest Highway, Crystal Lake, Illinois. PIN: 19-08-201-032.

This application is filed for the purpose of seeking a Special Use Permit for a Gasoline Service Station with a Gasoline Electronic Pricing Sign pursuant to Article 2-400 and Article 9-200 D and Variations from Article 2-400 13d Gasoline Stations from the requirement to provide a peaked canopy, Article 2-400 62c ii Gasoline Electronic Pricing Sign to allow red illumination, Article 4-1000 F to allow a second free-standing sign on the property, as well as any other variations as necessary to approve the plans as presented to approve this development. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on this request will be held at 7:30 p.m. on Wednesday, June 21, 2017, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson

Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
on June 5, 2017) 1419585

TITLE NOTES

CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 1401 008982383 WITH AN EFFECTIVE DATE OF JULY 13, 2016 HAS BEEN REVIEWED IN CONJUNCTION WITH THE PREPARATION OF THIS SURVEY...

(EXCEPTION M-19) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT OF 10 FEET IN WIDTH IS PROVIDED ON THE REAR LINE OF EACH LOT, WHERE NECESSARY AS SHOWN ON THE PLAT OF TECKLER'S GRANDVIEW SUBDIVISION...

(EXCEPTION N-19) THE SURVEYED PROPERTY IS SUBJECT TO EASEMENTS AS SHOWN ON THE PLAT OF TECKLER'S GRANDVIEW SUBDIVISION RECORDED AS DOCUMENT 83659, IN BOOK 6 OF PLATS, PAGE 64...

(EXCEPTION O-20) THE SURVEYED PROPERTY IS SUBJECT TO BUILDING LINES AS SHOWN ON TECKLER'S GRANDVIEW SUBDIVISION, RECORDED AS DOCUMENT 83659, IN BOOK 6 OF PLATS, PAGE 64...

(EXCEPTION P-21) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER PART OF LOT 25 IN TECKLER'S GRANDVIEW SUBDIVISION, AS CREATED AND GRANTED BY DEED DATED AUGUST 20, 1949...

(EXCEPTION Q-22) THE SURVEYED PROPERTY IS SUBJECT TO AN ENCROACHMENT BY A ONE STORY BRICK BUILDING ONTO THE EASEMENTS AS DEPICTED ON A PLAT OF SURVEY BY INTERNATIONAL LAND SERVICES, INC., JOB NUMBER 99-04-16-053, DATED MAY 24, 1999...

(EXCEPTION T-25) THE SURVEYED PROPERTY IS SUBJECT TO AN RECIPROCAL EASEMENT AGREEMENT AMONG SEARS, ROEBUCK AND CO., A NEW YORK CORPORATION AND SR&C CRYSTAL LAKE PARTNERS, L.L.C., AN ILLINOIS LIMITED LIABILITY COMPANY...

(EXCEPTION U-26) THE SURVEYED PROPERTY IS SUBJECT TO AN RECIPROCAL EASEMENT AGREEMENT AMONG SEARS, ROEBUCK AND CO., A NEW YORK CORPORATION AND HOME STATE BANK OF CRYSTAL LAKE, AS TRUSTEE UNDER TRUST AGREEMENT DATED MARCH 14, 1974...

(EXCEPTION V-27) THE SURVEYED PROPERTY IS SUBJECT TO BUILDING LINES AS SHOWN ON THE PLAT OF NEW CHANNELS REALTY SUBDIVISION RECORDED NOVEMBER 25, 2002 AS DOCUMENT 2002R011170...

(EXCEPTION W-28) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT FOR PUBLIC UTILITIES, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF NEW CHANNELS REALTY SUBDIVISION RECORDED AS DOCUMENT 2002R011170...

(EXCEPTION X-29) THE SURVEYED PROPERTY IS SUBJECT TO A NOTE ON THE PLAT OF SUBDIVISION RECORDED NOVEMBER 25, 2002 AS DOCUMENT NUMBER 2002R011170 INCLUDES A CERTIFICATION BY THE SURVEYOR THAT THE LAND IS LOCATED WITHIN FLOOD HAZARD ZONE C, AS SHOWN ON THE FLOOD INSURANCE RATE MAP...

INDEX TO SCHEDULE B

SCHEDULE B EXCEPTION TABLE with columns: EXCEPTION NUMBER, DOCUMENT NUMBER, DESCRIPTION, NOTATION. Lists various exceptions from 1 to AC-30.

ALTANSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

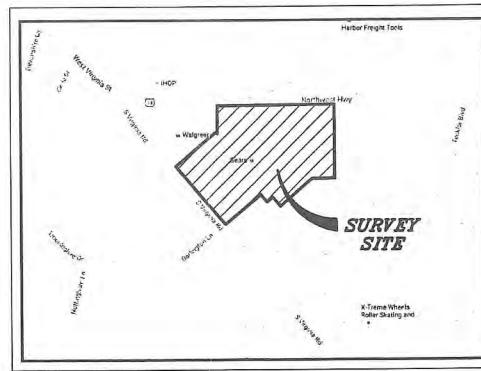
PARCEL 1: THAT PART OF LOTS 1 THRU 7 AND LOT 25 IN TECKLER'S GRANDVIEW SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN...

(EXCEPT THEREFROM THE EASTERLY 48.00 FEET OF LOT 5 IN TECKLER'S GRANDVIEW SUBDIVISION AFORESAID, AND ALSO EXCEPT THEREFROM THAT PORTION FALLING WITHIN LOTS 1 AND 2 IN LONG JOHN SILVER'S SUBDIVISION NO. 2...

PARCEL 2: LOT 2 IN NEW CHANNELS REALTY SUBDIVISION, BEING A RESUBDIVISION OF LOT 2 IN LONG JOHN SILVER'S SUBDIVISION NO. 2 AND OF LOT 5 IN TECKLER'S GRANDVIEW SUBDIVISION, ALL IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH...

PROPERTY ADDRESS

105 NORTHWEST HIGHWAY, CRYSTAL LAKE ILLINOIS



PROPERTY AREA

349,044 SQUARE FEET (8.013 ACRES)

BENCHMARKS:

SOURCE BENCHMARK: NGS NH0144 STAMP ON BENCHMARK DISK AT THE JUNCTION OF FRANKLIN AVENUE AND SOUTH CAROLINE STREET...

PARKING SUMMARY

REGULAR SPACES = 376 HANDICAPPED SPACES = 9 TOTAL SPACES = 385

SHEET INDEX

Table with columns: SHEET, LEGAL DESCRIPTION, SURVEYOR'S NOTES & CERTIFICATION, OVERALL PROPERTY BOUNDARY & EASEMENTS, SURFACE FEATURES AND BUILDING LINES, TOPOGRAPHIC & UTILITY INFORMATION.

SURVEY PREPARED FOR

CRYSTAL LAKE JV LLC W134 N8675 EXECUTIVE PARKWAY MENOMONIE FALL, WI 53051-3310

2017 19 RECEIVED MAY 31 2017 BY:

PINS

19-08-201-032 19-08-201-033

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM OF 1983 EAST ZONE 2011 ADJUSTMENT ADJUSTED TO GROUND VALUES...

SURVEYOR'S NOTES

- 1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON... 2. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING... 3. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT AND SHOWN HEREON...

BULK REGULATIONS

THE SURVEYED PROPERTY IS LOCATED IN GENERAL COMMERCIAL "B2" ZONING DISTRICT. "B2" ZONING DISTRICT IS DEFINED AS THE CITY'S PRIMARY COMMERCIAL DISTRICT...

- 1. SETBACKS: FRONT YARDS: MINIMUM 30 FEET INTERIOR SIDE YARD: MINIMUM 0 FEET CORNER SIDE SETBACK: MINIMUM 30 FEET REAR YARD: MINIMUM 20 FEET 2. MAXIMUM HEIGHT PRINCIPAL STRUCTURE: 28 FEET (2 STORIES) 3. MAXIMUM IMPERVIOUS LOT COVERAGE: 65%

FLOOD HAZARD NOTE:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM COMMUNITY PANEL NUMBER 1711C03274 WITH AN EFFECTIVE DATE OF NOVEMBER 16, 2006 INDICATES THAT THE ABOVE DESCRIBED PROPERTY LIES WITHIN AREAS DESIGNATED AS ZONE X, ZONE X (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN...

SURVEYOR CERTIFICATE:

STATE OF ILLINOIS) SS COUNTY OF LAKE)

CERTIFIED TO: CRYSTAL LAKE JV LLC AND: CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS...

THE FIELD WORK WAS COMPLETED ON JULY 29, 2016.

DATED THIS 7TH DAY OF OCTOBER, A.D., 2016.

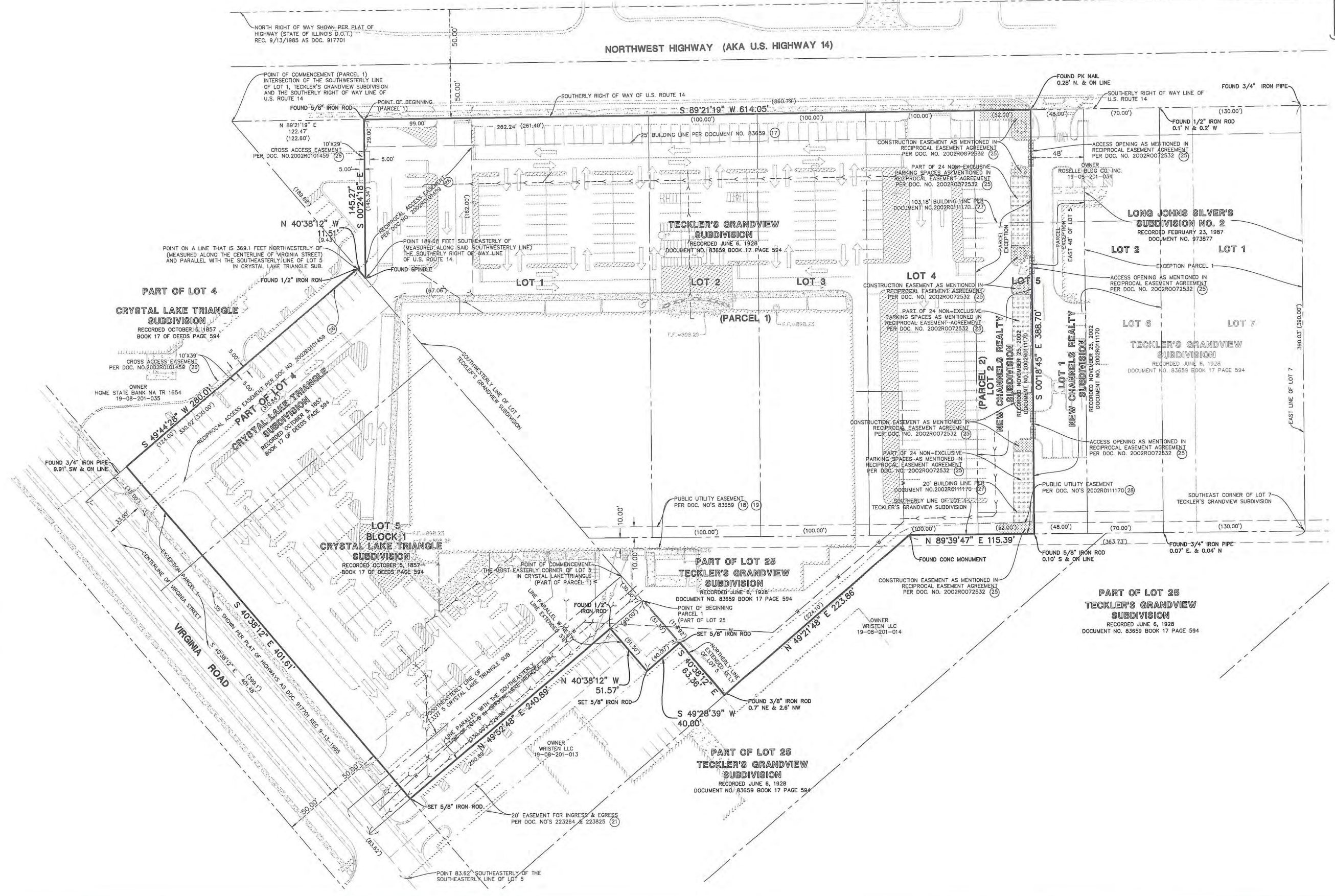
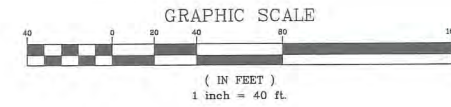
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3648 LICENSE EXPIRES NOVEMBER 30, 2016

DESIGN FIRM PROFESSIONAL LICENSE NO. 184003350 LICENSE EXPIRES APRIL 30, 2017.



Vertical sidebar containing project details: PROPOSED DEVELOPMENT, 105 NORTHWEST HIGHWAY, CRYSTAL LAKE ILLINOIS, ALTANSPS LAND TITLE SURVEY, SHEET 1 OF 6, and other administrative information.

ALTA/NSPS LAND TITLE SURVEY



DATE	REVISIONS	P.D.
10/07/16	REVISED PER CLIENTS REVIEW	

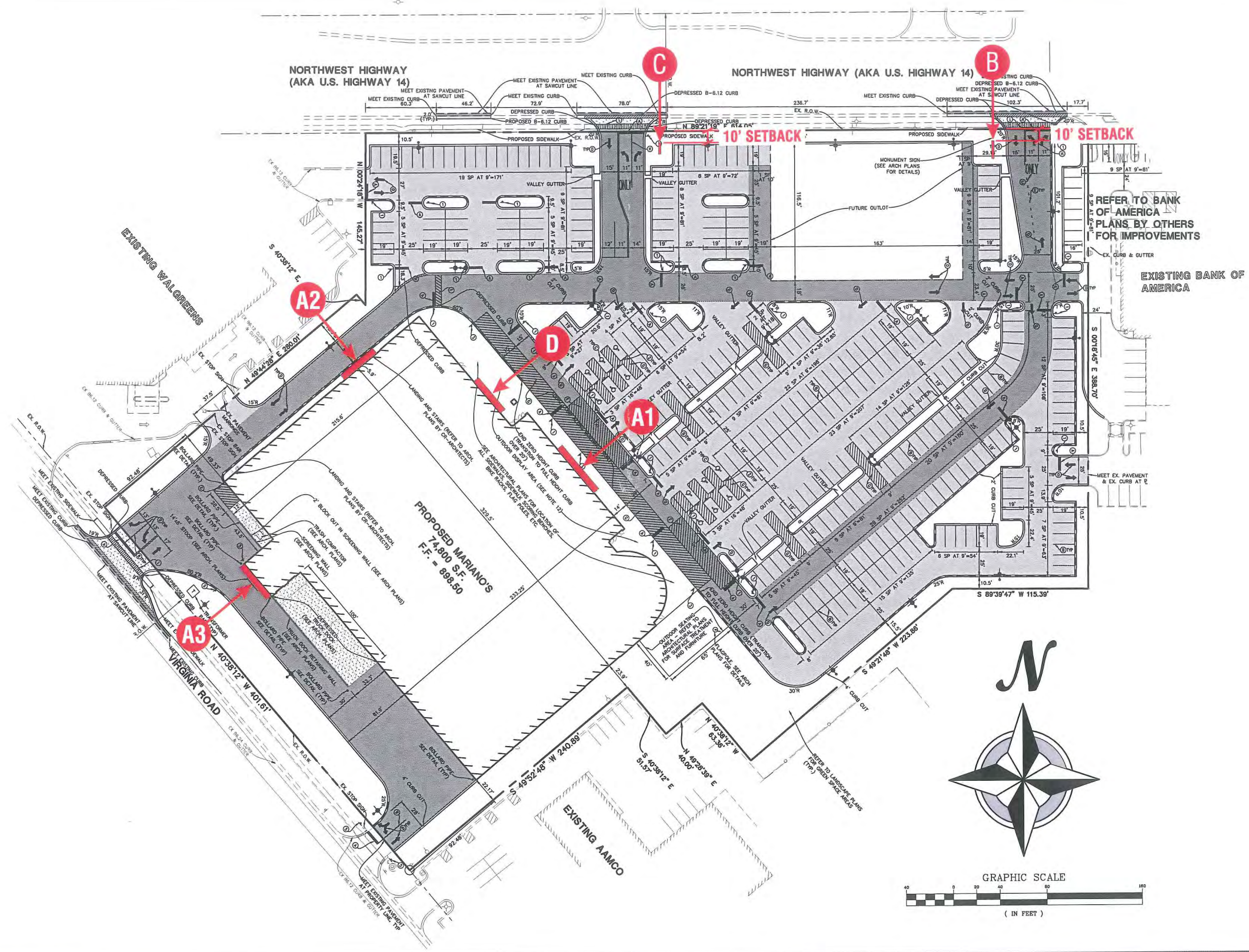
Manhard CONSULTING LTD.
 800 Westside Parkway, Vernon Hills, IL 60061 | 847.474.8500 | manhard.com
 Civil Engineering, Surveying, Environmental, Landscaping, Architecture, Planning
 Construction Management • Environmental Scientists • Landscape Architects • Planners

PROPOSED DEVELOPMENT
 105 NORTHWEST HIGHWAY, CRYSTAL LAKE ILLINOIS
 ALTA/NSPS LAND TITLE SURVEY

PROJ. NSR: JC
 PROJ. ASSOC: JDB
 DRAWN BY: PJD
 DATE: 07/29/16
 SCALE: 1"=40'

SHEET
2 OF 6
 CPCCL01

October 7, 2016 - 11:28 - D:\Home - p:\Client\01\Man\Survey\Final Drawings\ALTA_Survey\01-02-CPCCL-5A.dwg - Updated By: PJD/SJC



GENERAL SIGN CONTRACTORS

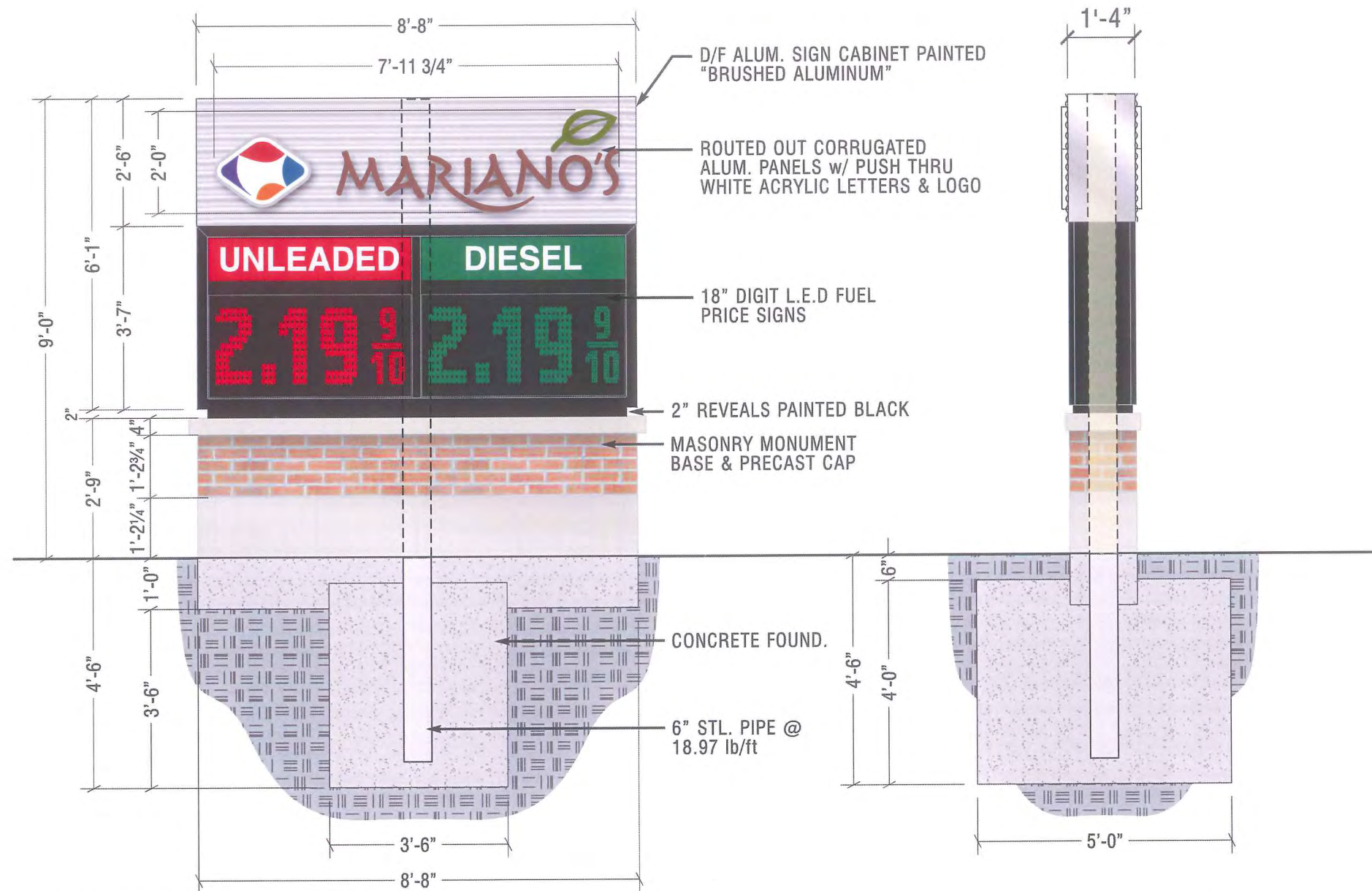
232 INTERSTATE RD. P.O. BOX 1066 ADDISON, IL 60101 630-543-9490 630-543-9493

DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER

CUSTOMER APPROVAL _____ DATE _____

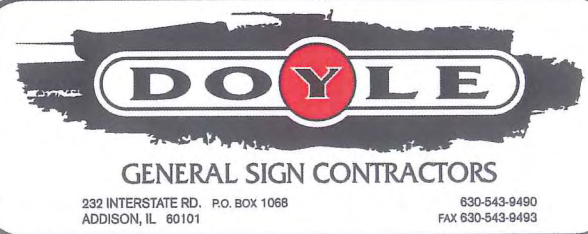
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CLIENT	MARIANO'S	DESIGNER	KM	SALESPERSON	TD
ADDRESS	105 NORTHWEST HIGHWAY	SCALE:	NOTED	DATE:	05.24.2017
CITY	CRYSTAL LAKE	STATE	IL	SHEET NO.	1
DRWG. NO.	15984	\\Doyle-232\Public\Design\MMARIANOS\CRYSTAL LAKE IL\MARIANOS - CRYSTAL LAKE IL.cdr			



C D/F MONUMENT DISPLAYS • FRONT VIEW
SCALE: 3/8" = 1'

C D/F MONUMENT DISPLAYS • SIDE VIEW
SCALE: 3/8" = 1'



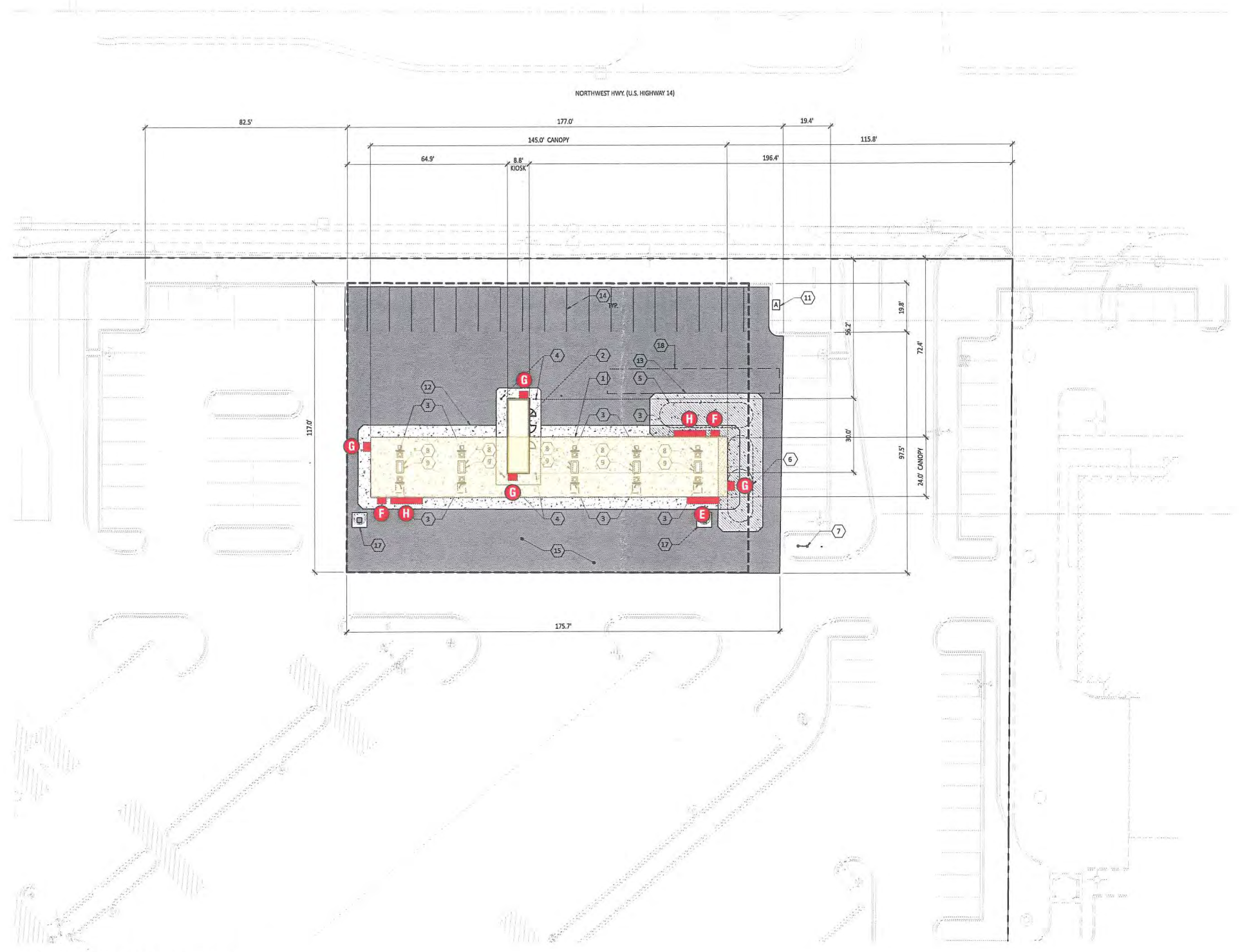
DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	MARIANO'S				
ADDRESS	105 NORTHWEST HIGHWAY				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER	KM
SALESPERSON	TD	SCALE:	NOTED	DATE:	05.24.2017
DRWG. NO.	15984	SHEET NO.	5		

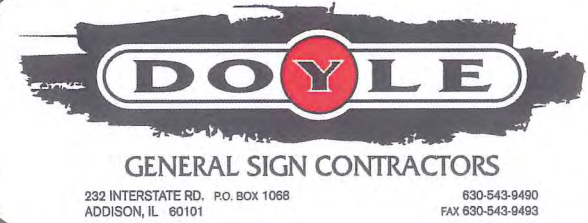
\\Doyle-232\Public\Design\MMARIANOS\CRYSTAL LAKE IL\MARIANOS - CRYSTAL LAKE IL.cdr



DIMENSION CONTROL SITE PLAN
SCALE: 1" = 30'-0"

2017 19

RECEIVED
MAY 31 2017
BY: _____

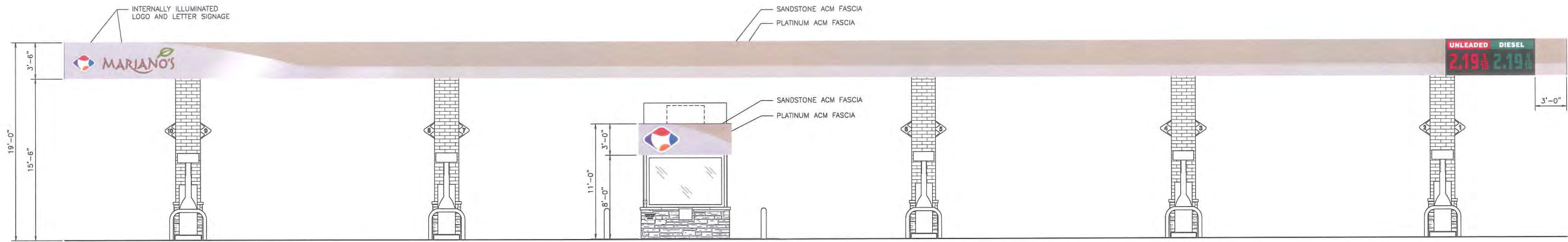


DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER
5.26.17	ADDED GAS STATION CANOPY SIGNS, ELEVATIONS & SITE PLAN
5.30.17	ADDED GAS PUMP ELEVATION & SQ. FOOTAGE TABLE

CUSTOMER APPROVAL _____ DATE _____

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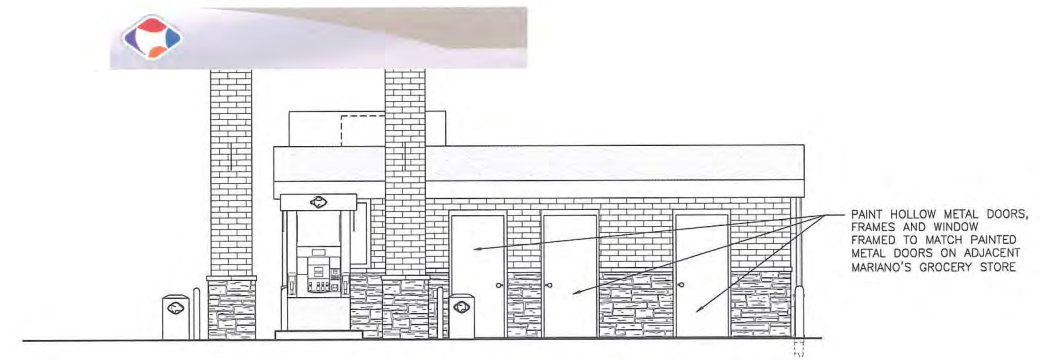
CLIENT	MARIANO'S	DESIGNER	KM	SALESPERSON	TD
ADDRESS	105 NORTHWEST HIGHWAY	SCALE:	NOTED	DATE:	05.24.2017
CITY	CRYSTAL LAKE	STATE	IL	SHEET NO.	7
DRWG. NO.	15984	\\Doyle-232\Public\Design\MMARIANOS\CRYSTAL LAKE IL\MARIANOS - CRYSTAL LAKE IL.cdr			



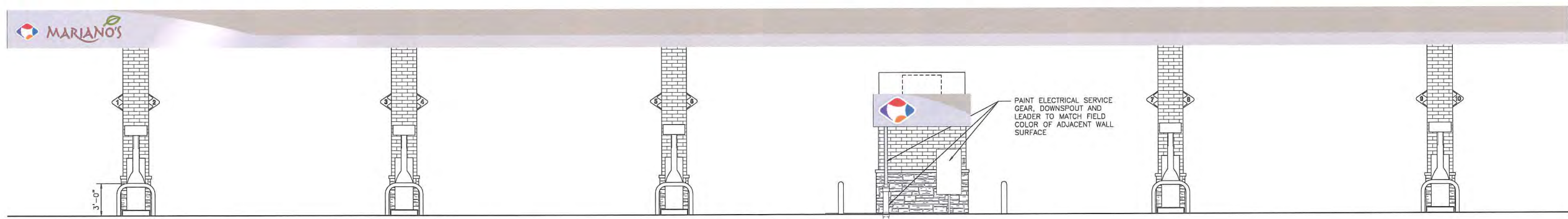
1 FRONT (SOUTH) ELEVATION
SCALE: 3/32" = 1'



2 LEFT (WEST) ELEVATION
SCALE: 3/32" = 1'



3 RIGHT (EAST) ELEVATION
SCALE: 3/32" = 1'



4 REAR (NORTH) ELEVATION
SCALE: 3/32" = 1'



GENERAL SIGN CONTRACTORS

232 INTERSTATE RD. P.O. BOX 1068
ADDISON, IL 60101

830-543-9490
FAX 830-543-9493

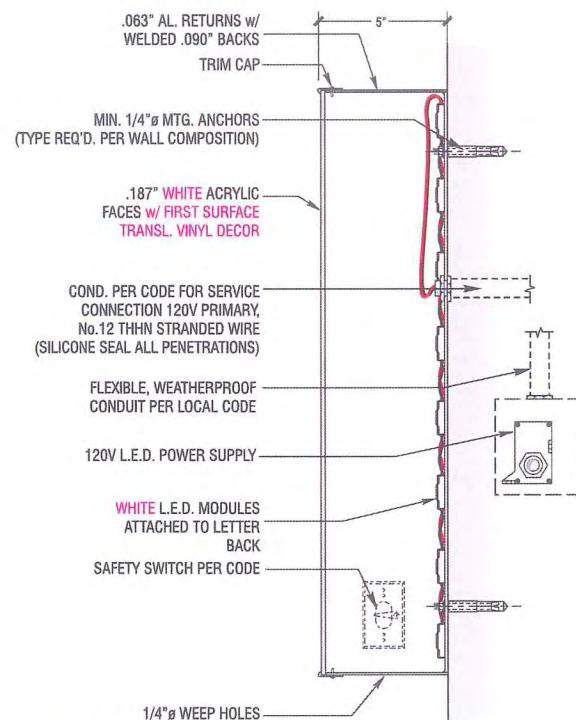
DATE	REVISION
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CUSTOMER APPROVAL _____ DATE _____

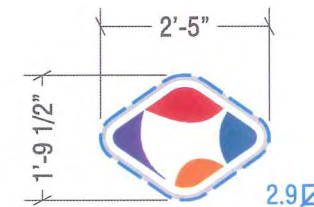
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CLIENT	MARIANO'S	DESIGNER	KM	SALESPERSON	TD
ADDRESS	105 NORTHWEST HIGHWAY	DATE	05.24.2017	SHEET NO.	8
CITY	CRYSTAL LAKE	STATE	IL	SCALE:	NOTED
DRWG. NO.	15984				

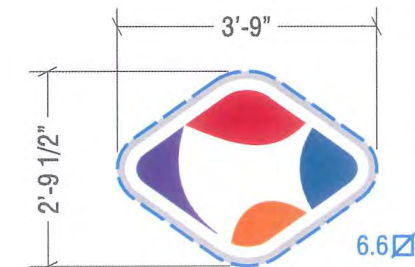
\\Doyle-232\Public\Design\W\MARIANOS\CRYSTAL LAKE IL\MARIANOS - CRYSTAL LAKE IL.cdr



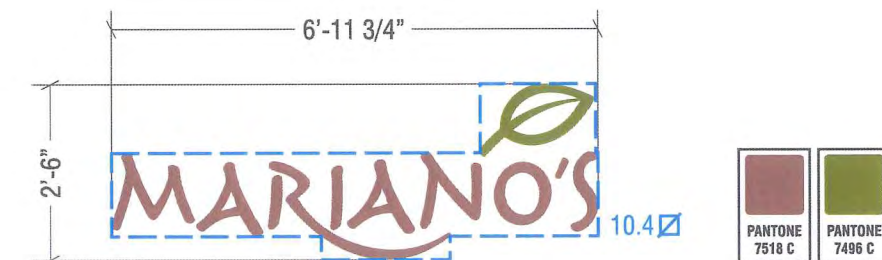
E ONE(1) SINGLE FACE, DOUBLE PRODUCT L.E.D. GAS PRICE DISPLAYS
SCALE: 3/8" = 1'



F TWO(2) SINGLE FACE INTERNALLY ILLUMINATED LOGOS
SCALE: 3/8" = 1'



G FOUR(4) SINGLE FACE INTERNALLY ILLUMINATED LOGOS
SCALE: 3/8" = 1'
- TWO(2) SIGNS FOR CANOPY & TWO(2) SIGNS FOR KIOSK



H TWO(2) SETS OF L.E.D. ILLUMINATED LETTERS & LOGO
SCALE: 3/8" = 1'



DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER
5.26.17	ADDED GAS STATION CANOPY SIGNS, ELEVATIONS & SITE PLAN
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CUSTOMER APPROVAL _____ DATE _____

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CLIENT	MARIANO'S	DESIGNER	KM	SALESPERSON	TD
ADDRESS	105 NORTHWEST HIGHWAY	DATE:	05.24.2017	SHEET NO.	9
CITY	CRYSTAL LAKE	SCALE:	NOTED	DRWG. NO.	15984
STATE	IL	\\Doyle-232\Public\Design\W\MARIANOS\CRYSTAL LAKE IL\MARIANOS - CRYSTAL LAKE IL.cdr			



FIVE(5) DOUBLE SIDED GAS PUMPS • FRONT ELEVATION
SCALE: NTS

CANOPY:	FRONT ELEV.:	LOGO:	2.9 SQ. FT.
		LETTERS SIGN:	10.4 SQ. FT.
	REAR ELEV.:	LOGO:	2.9 SQ. FT.
		LETTERS SIGN:	10.4 SQ. FT.
		GAS PRICE SIGN:	30.3 SQ. FT.
	LEFT ELEV.:	LOGO:	6.6 SQ. FT.
	RIGHT ELEV.:	LOGO:	6.6 SQ. FT.
KIOSK:	FRONT ELEV.:	LOGO:	6.6 SQ. FT.
	REAR ELEV.:	LOGO:	6.6 SQ. FT.
(5) D/S PUMPS:	TOPPER:	(5)LOGOS:	8.3 SQ. FT.
		<small>1.66 SQ. FT. EA.</small>	
	VALANCE:	(10)LOGOS:	4.5 SQ. FT.
		<small>0.45 SQ. FT. EA.</small>	
	DOORS:	(10)LETTERING:	27.5 SQ. FT.
		<small>2.75 SQ. FT. EA.</small>	
	TOTAL AREA:		123.6 SQ. FT.



GENERAL SIGN CONTRACTORS

232 INTERSTATE RD. P.O. BOX 1068
ADDISON, IL 60101

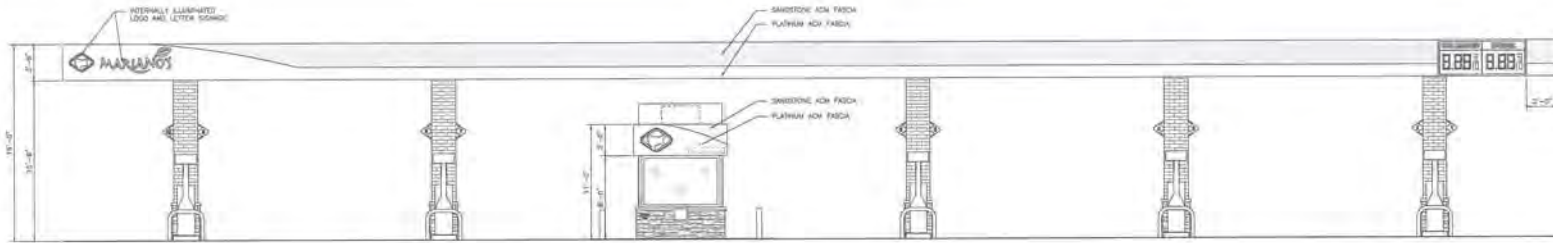
630-543-9490
FAX 630-543-9493

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CLIENT	MARIANO'S				
ADDRESS	105 NORTHWEST HIGHWAY				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER	KM
DRWG. NO.	15984	SCALE:	NOTED	DATE:	05.24.2017
		SALESPERSON	TD	SHEET NO.	10



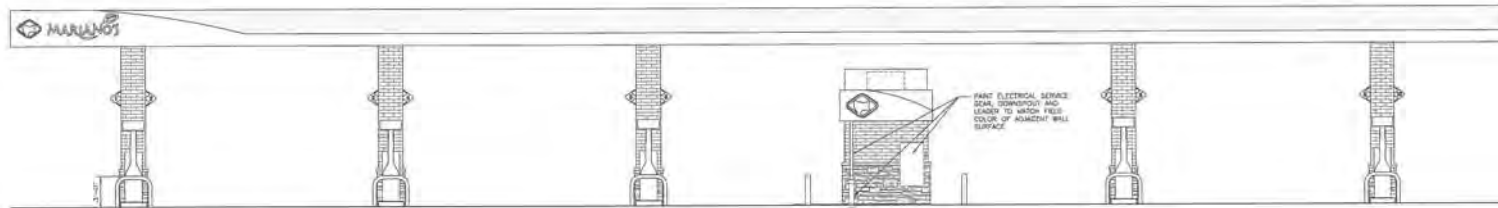
1 FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



2 LEFT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



3 RIGHT (EAST) ELEVATION
SCALE: 1/16"=1'-0"



4 REAR (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

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NOTE TO CONTRACTOR:
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THE SET ADVISES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR HAZARDOUS MATERIALS AT THIS LOCATION THAT WOULD REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNER/ARCHITECT OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE REQUIRED. CONTRACTORS SHALL ALSO NOT THE SITE BEFORE BEGINNING CONSTRUCTION ARE REQUIRED TO KNOW ALL APPLICABLE CONSTRUCTION AND ERECTION CODES.

Galloway
Architects, Engineers & Planners
1000 East Main Street, Suite 200
Mantoloking, NJ 07958
908.731.1111
www.galloway.com

The Kroger Co.
Supermarkets / Freshmarket Group
1000 East Main Street, Suite 200
Mantoloking, NJ 07958
908.731.1111
www.kroger.com



PRELIMINARY
NOT FOR
CONSTRUCTION

ELKHOR DESIGN FIRM
LICENSE # 144-001199

REVISIONS

NO.	DESCRIPTION

Project # R5643
Date: 04/17/17
Scale: FULL
Date Plotted: 04/17/17 10:42:11 AM
Sheet: 5x1 (GD) 2RR
Address: Northwest Highway, Crystal Lake, IL 60014

EXTERIOR ELEVATIONS & SIGNAGE

Drawing No. A2.0



Mariano's 531-00544 Retail Fuel Center

Northwest Highway Crystal Lake, Illinois 60014



LOCATION MAP SCALE: NTS

BUILDING CODE REVIEW:

ACCESSIBILITY CODE: ANSI/ICC A117.1 - 2009
BUILDING CODE: INTERNATIONAL BUILDING CODE - 2012
ELECTRICAL CODE: NFPA NATIONAL ELECTRICAL CODE - 2011
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE - 2012
PLUMBING CODE: INTERNATIONAL PLUMBING CODE - 2009
FUEL/GAS CODE: INTERNATIONAL FUEL GAS CODE - 2012
FIRE SPRINKLER: NFPA 13 - FIRE SPRINKLER CODE

ZONING ORDINANCE REVIEW:

ZONING ORDINANCE: CITY OF CRYSTAL LAKE UNIFIED DEVELOPMENT ORDINANCE ORDINANCE NUMBER 6461 EFFECTIVE JULY 21, 2017

ZONING MAP:

CITY OF CRYSTAL LAKE OFFICIAL ZONING MAP JANUARY 4, 2017

SITE ZONING:

PERMITTED USE: B-2 GENERAL COMMERCIAL SPECIAL USE

DESIGN CRITERIA

PROJECT DESCRIPTION:

CONSTRUCTION OF A RETAIL FUEL CENTER AND SHOPPING CENTER SITE CONSISTING OF:
ONE (1) 3,480 SF CANOPY
ONE (1) 270 SF KIOSK BUILDING
FIVE (5) DISPENSER ISLANDS

SITE NOTES:

- 1. SITE WILL BE ROUGH GRADED TO ELEVATIONS AS SHOWN ON C1.30. REFER TO REFERENCE STORE SITE GRADING PLAN 9 OF 20 BY MANHARD CONSULTING FOR MORE INFORMATION.
2. FUEL CENTER OPERATIONS WILL UTILIZE STORE TRASH DUMPSTER.
3. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY MANHARD CONSULTING, LTD. ON JULY 29, 2016. THE SURROUNDING IMPROVEMENTS INCLUDING PROPOSED ELEVATIONS, IMPROVEMENTS, UTILITIES, ETC. ARE BASED ON DESIGN DOCUMENTS BY MANHARD CONSULTING, LTD DATED APRIL 21, 2017. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY ENGINEER AND OWNER IN WRITING IF CONFLICTS EXIST.

DEVELOPMENT NOTES

BULK REGULATIONS

Table with columns for regulation type (Lot Dimensions, Lot Area, Building Height, etc.), minimum/actual values, and applicable code sections.

BULK REGULATIONS

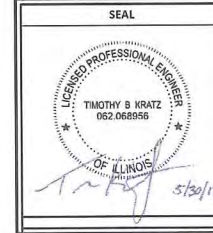
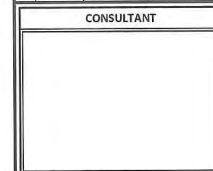
Project Directory table listing roles (Site, Registered Design Professional, Utility, Government) and associated personnel names and contact information.

PROJECT DIRECTORY

Large SHEET INDEX table with columns for sheet number, description, and revision status.

Sevan Multi-Site Solutions logo and contact information for Regional Office and Corporate Office.

Revisions table with columns for NO., DATE, and DESCRIPTION.



PROJECT DESCRIPTION: 531-00544 RETAIL FUEL CENTER

PROJECT LOCATION: NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014 (McHENRY COUNTY)

SHEET TITLE: COVER SHEET

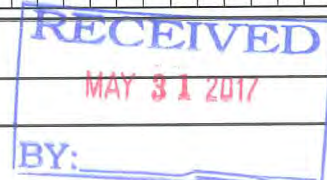
SHEET MANAGEMENT: PROJECT NO.: 531-00544, DATE: -, CAD FILE: G01.dwg, PROJECT MANAGER: T. KRATZ

SHEET NUMBER: G0.01

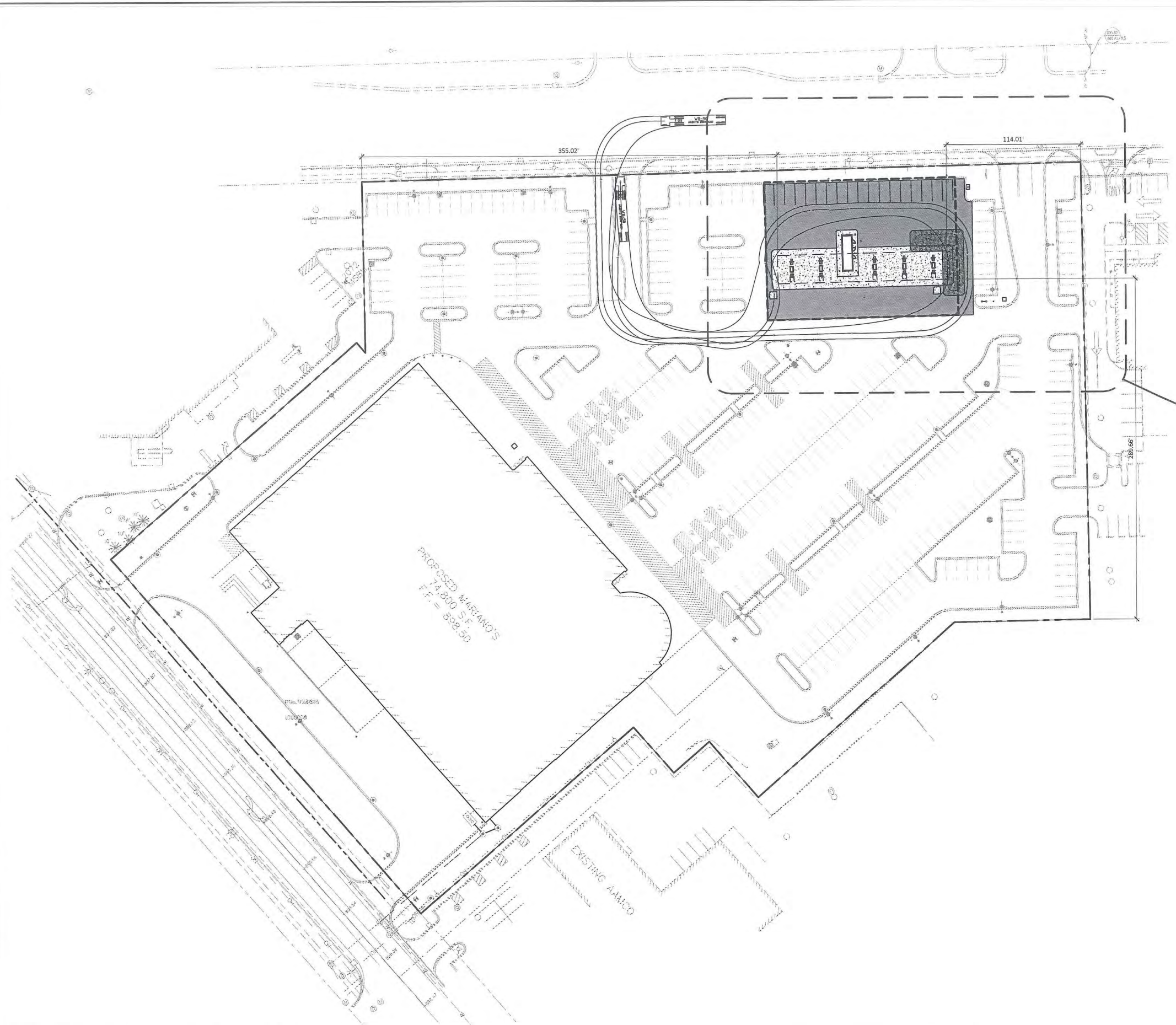


SHEET INDEX

2017 19



BY:



sevan
MULTI-SITE SOLUTIONS

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
info@sevan.com www.sevan.com

SAFETY • INTEGRITY • SUSTAINABILITY

REVISIONS		
NO.	DATE	DESCRIPTION
0	05.26.2017	SITE PLAN/SPECIAL USE

CONSULTANT

SEAL

PROFESSIONAL ENGINEER
TIMOTHY B KRATZ
052.088956
OF ILLINOIS

T. Kratz 5/31/17

CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

**531-00544
RETAIL FUEL CENTER**

PROJECT LOCATION

**NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014**

(McHENRY COUNTY)

SHEET TITLE

**COMPOSITE SITE PLAN
CONSTRUCTION**

SHEET MANAGEMENT

PROJECT NO.: 531-00544
DATE: -
CAD FILE: C1.02.dwg
PROJECT MANAGER: T. KRATZ

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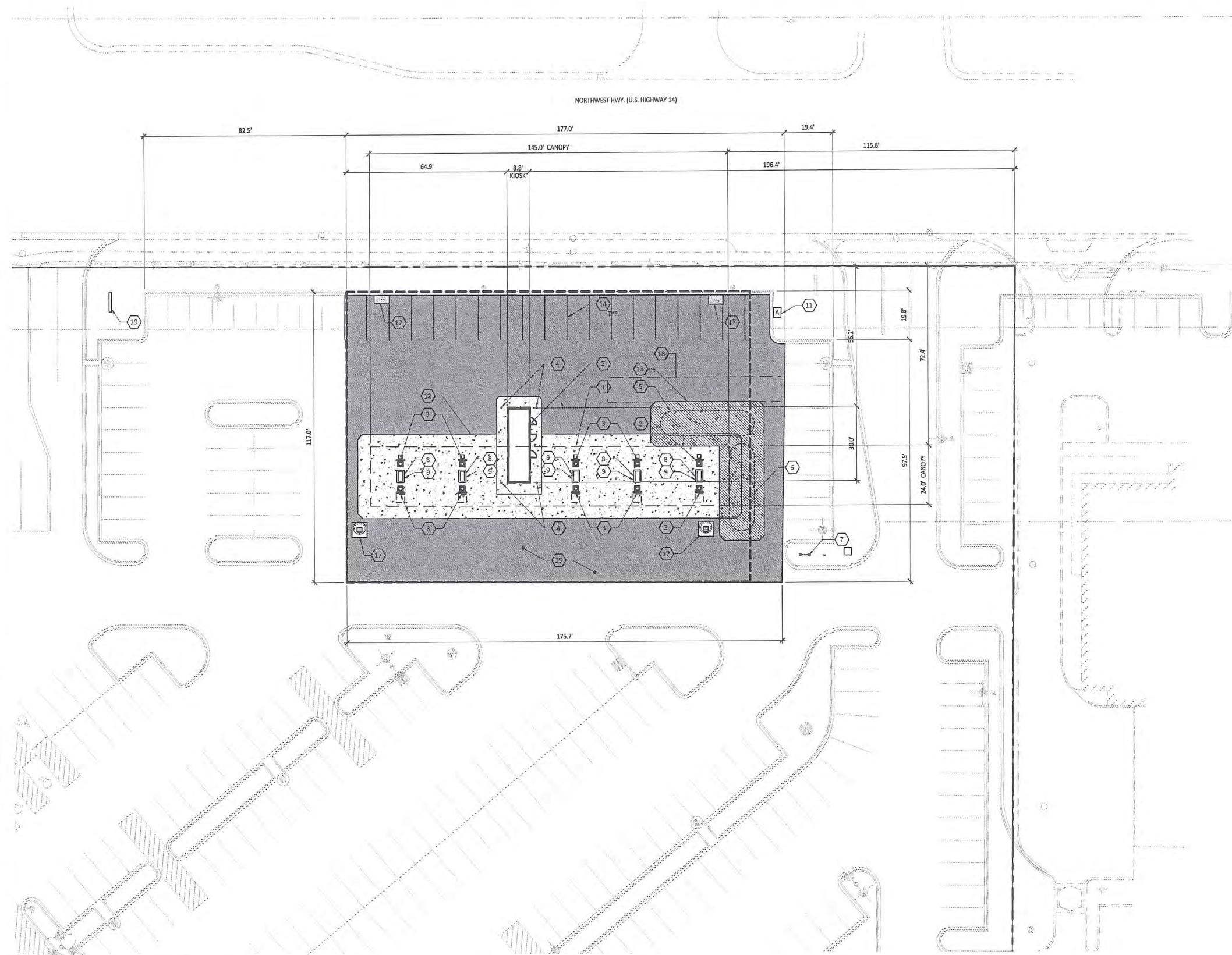
SHEET NUMBER

C1.02

FILE NAME: C:\DET SH\county\531-00544\Combes\C1.02.dwg LAST SAVED BY: Tim Kratz SAVED DATE: 5/29/2017 9:37 AM PLOTTED: 5/30/2017 10:00 AM

COMPOSITE SITE PLAN - CONSTRUCTION
SCALE: 1" = 40'-0"

FILE NAME: C:\DET\N\p0001\531-00544\A\c0000\CL1.dwg LAST SAVED BY: tim kratz SAVED DATE: 5/25/2017 9:22 AM PLOTTED: 5/30/2017 10:00 AM



- PROPOSED SITE IMPROVEMENTS:**
- DISPENSER CANOPY, CANOPY COLUMNS AND FOOTINGS.
 - TRANSACTION KIOSK.
 - U-SHAPED BOLLARD AT CANOPY COLUMNS.
 - KIOSK BOLLARD.
 - 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED).
 - 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL.
 - TANK VENT RISER AND TANK OVERFLOW ALARM.
 - 3.00' X 5.00' DISPENSER ISLAND.
 - AUTOMOBILE MULTI-PRODUCT DISPENSER WITH CARD READER.
 - NOT USED
 - AIR TOWER, ALL ASSOCIATED EQUIPMENT AND UTILITIES REQUIRED TO PROVIDE PROPER SERVICE.
 - CONCRETE DISPENSER MAT.
 - CONCRETE TANK MAT.
 - 4" PARKING STALL STRIPE, TWO COATS, COLOR: YELLOW.
 - HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL 2D/CS.00.
 - B6.12 CONCRETE CURB AND GUTTER. SEE DETAIL 3/CS.00.
 - CONCRETE COLLAR. SEE DETAIL 5/CS.01.
 - 10.00'x70.00' LOADING ZONE.
 - FUEL MONUMENT SIGN. REFER TO PLANS BY DOYLE GENERAL SIGN CONTRACTORS.

PAVING LEGEND:

- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT TANK MAT
- CONCRETE PAVEMENT DISPENSER MAT
- CONCRETE SIDEWALK

sevan
MULTI-SITE SOLUTIONS

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
info@sevan.com www.sevan.com

SAFETY - INTEGRITY - SUSTAINABILITY

REVISIONS	
NO.	DESCRIPTION
0	05.26.2017 SITE PLAN/SPECIAL USE

CONSULTANT

SEAL

LICENSED PROFESSIONAL ENGINEER
TIMOTHY B KRATZ
062.068956
OF ILLINOIS
5/30/17

CUSTOMER

MARIANOS

PROJECT DESCRIPTION

531-00544
RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014
(McHENRY COUNTY)

SHEET TITLE

DIMENSION CONTROL
SITE PLAN

SHEET MANAGEMENT

PROJECT NO.: 531-00544
DATE: -
CAD FILE: -
PROJECT MANAGER: T. KRATZ

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SHEET NUMBER

C1.20

DIMENSION CONTROL SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	DESCRIPTION
0	05.26.2017	SITE PLAN/SPECIAL USE

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

531-00544
RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

(McHENRY COUNTY)

SHEET TITLE

GRADING PLAN

SHEET MANAGEMENT

PROJECT NO.: 531-00544
DATE: --
CAD FILE: --
PROJECT MANAGER: T. KRATZ

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SHEET NUMBER

C1.30

BENCHMARKS:

SOURCE BENCHMARK: NGS NH0144

STAMP ON BENCHMARK DISK AT THE JUNCTION OF FRANKLIN AVENUE AND SOUTH CAROLINE STREET, AT COMMUNITY HIGH SCHOOL, IN THE TOP OF THE EAST EDGE OF THE CIRCULAR CONCRETE BASE FOR THE FLAGPOLE, 84 FEET NORTH OF THE NORTH FACE OF THE NORTH WALL OF THE SCHOOL, 5 1/2 FEET WEST OF THE WEST EDGE OF THE SIDEWALK LEADING TO THE NORTH ENTRANCE OF SCHOOL, 87 FEET SOUTH OF THE SOUTH CURB LINE OF FRANKLIN AVENUE, AND ABOUT LEVEL WITH THE SIDEWALK.
ELEVATION: 922.37 DATUM: NAVD88

SITE BENCHMARK 1: SET RAIL ROAD SPIKE IN WEST FACE OF POWER POLE LOCATED IN THE REAR PARKING LOT OF AAMCO TRANSMISSION CENTER 7218 S. VIRGINIA ROAD APPROXIMATELY 7' FROM THE WEST FACE OF BACK OF CURB & 19' OFF THE NORTH FACE OF BACK OF CURB.
ELEVATION: 898.86 DATUM: NAVD88

SITE BENCHMARK 2: CUT SQUARE ON CONCRETE LIGHT POLE BASE LOCATED AT THE NORTH PARKING LOT OF SHERWIN WILLIAMS PAINT STORE (6605 NORTHWEST HIGHWAY), APPROXIMATELY 4' NORTHEAST OF NORTH FACE OF BACK OF CURB IN PARKING LOT AND 135' FROM THE CENTERLINE OF U.S. ROUTE 14 (NORTHWEST HIGHWAY)
ELEVATION: 896.50 DATUM: NAVD88

GRADING NOTES:

- REFER TO SHEET 3 OF 20 OF MARIANO'S DEVELOPMENT PLAN BY MANHARD CONSULTING FOR EROSION CONTROL NOTES AND DETAILS.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
- THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
- UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
- THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SESC PLAN ON SHEET CL.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
- ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.
- ALL RETAINING WALL ELEVATIONS ARE PROVIDED FOR REFERENCE ONLY. ACTUAL ELEVATIONS SHALL BE FIELD VERIFIED AND COORDINATED WITH PROPOSED IMPROVEMENTS.

FUEL GRADING DESIGN STANDARDS:

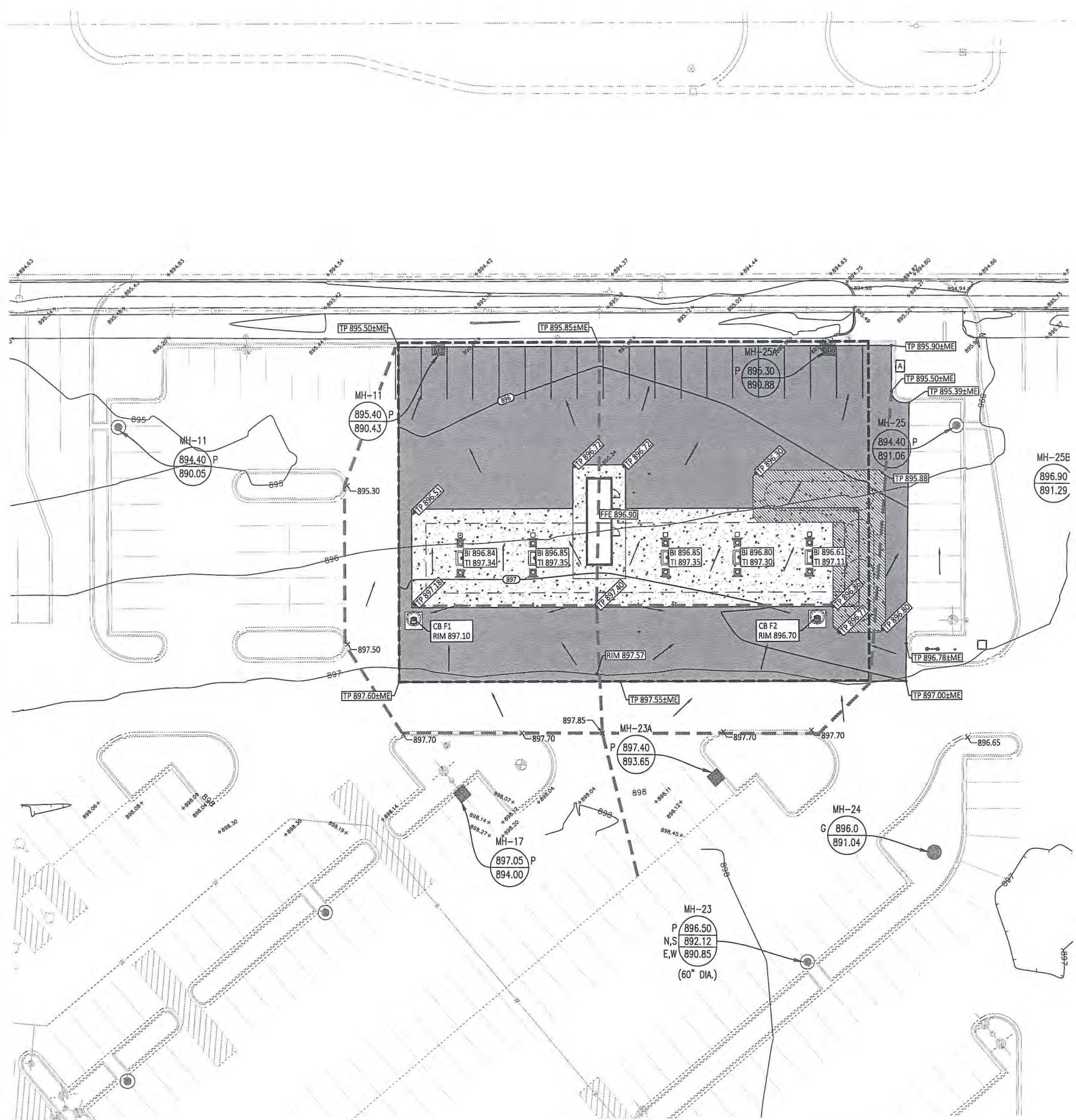
- PROVIDE POSITIVE DRAINAGE AWAY FROM FUEL CENTER CONCRETE PAD(S). PER GRADING/SECTION DRAWINGS, 1%-3% SLOPE IS TYPICAL WITH A MAXIMUM SLOPE OF 5%. UNLESS EXPRESSLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE, SURFACE WATER SHALL NOT DRAIN THROUGH THE FUEL/CANOPY AREAS.
- PROVIDE MAXIMUM OF 2% SLOPES/GRADES ACROSS FUEL CENTER CONCRETE PADS (UNDER CANOPY AREA) WHILE MAINTAINING POSITIVE DRAINAGE AWAY FROM THE FUEL CENTER KIOSK AND DISPENSER ISLANDS. GRADES AT TANK PAD SHALL NOT EXCEED 3% SLOPE.
- SPECIAL ATTENTION IS REQUIRED AT THE DOORWAY OF THE KIOSK. IN GENERAL, THE KIOSK FINISH FLOOR IS TO BE 1" HIGHER THAN THE SURROUNDING EXTERIOR GRADE. SLOPE DRIVEWAY PAVING TO MEET THE FINISH FLOOR GRADE AT ANY DOORWAY, AND COORDINATE WITH FUEL CENTER CONTRACTOR. ADA GUIDELINES MUST BE VERIFIED FOR DOOR ENTRANCES AND FOR THE CUSTOMER SERVICE DRAWER AT THE KIOSK WINDOW.

SITE SPECIFIC GRADING GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO:
(A) EXISTING CURB THAT MAY BE DISTURBED DURING INSTALLATION OF VENT STANDS, AIR STANDS, ETC.,
(B) EXISTING ASPHALT THAT MAY BE DISTURBED DURING TANK INSTALLATION,
(C) EXISTING LANDSCAPING,
(D) EXISTING LIGHT STANDARD(S) AND WIRING.

GRADING LEGEND:

- TG GUTTER GRADE
- TC TOP OF CURB
- BW FINISHED GRADE AT WALL
- FG FINISHED GRADE
- FL DITCH FLOW LINE
- BI PUMP ISLAND BOTTOM
- TI PUMP ISLAND TOP
- TP TOP OF PAVEMENT
- RIM UNDERGROUND STRUCTURE RIM
- TW TOP OF WALK
- FFE FINISHED FLOOR ELEVATION
- ME MATCH EXISTING
- 2.0% PROPOSED SLOPE



GRADING PLAN
SCALE: 1" = 20'-0"

FILE NAME: C:\DET SW\Round\531-00544\Condocs\C1.30.dwg, LAST SAVED BY: Tim Kratz, SAVED DATE: 5/30/2017 5:26 AM, PLOTTED: 5/30/2017 10:02 AM

REVISIONS	
NO.	DESCRIPTION
0	05.26.2017 SITE PLAN/SPECIAL USE

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

531-00544
RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

(McHENRY COUNTY)

SHEET TITLE

STORM WATER
MANAGEMENT PLAN

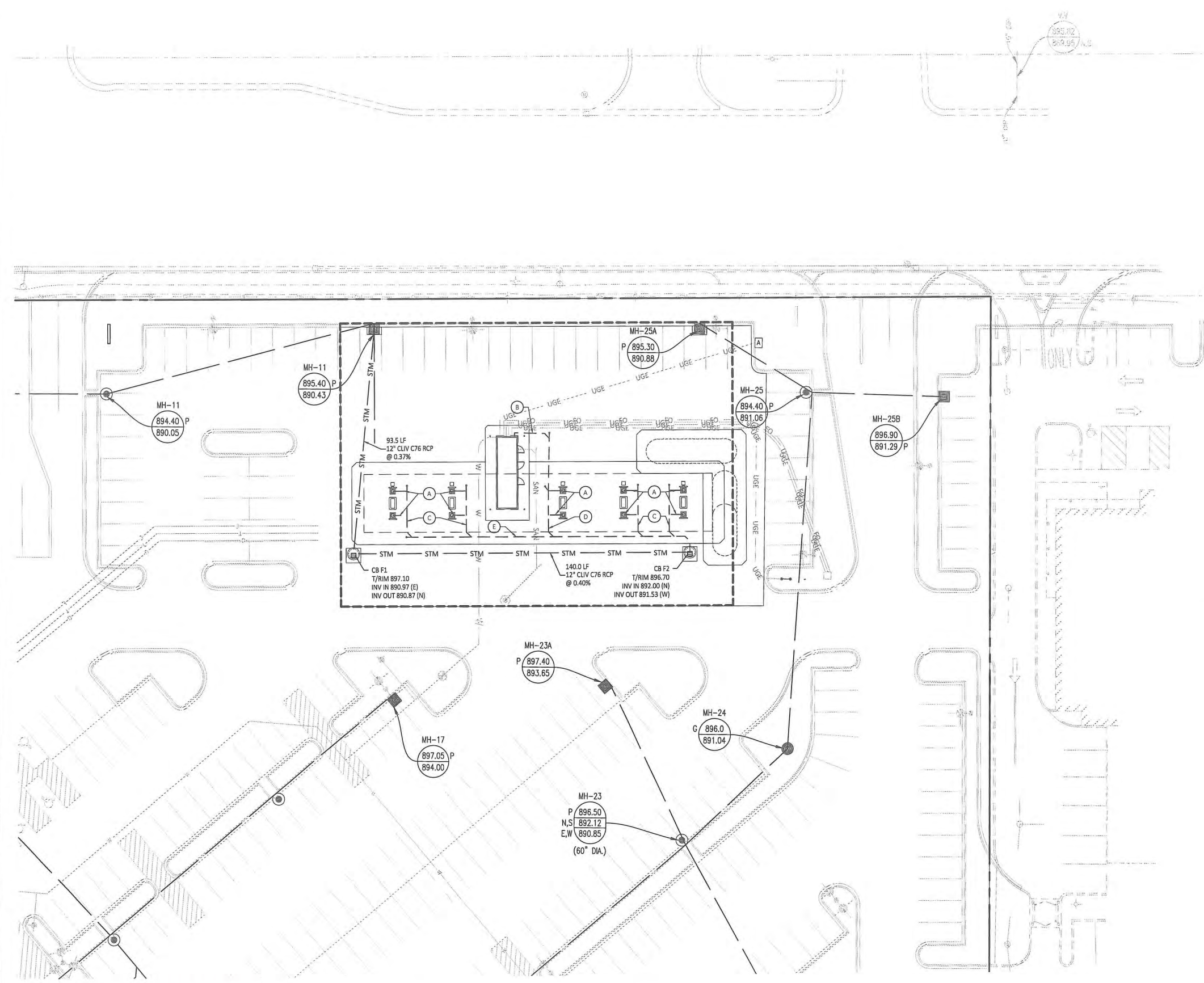
SHEET MANAGEMENT

PROJECT NO.:	531-00544
DATE:	
CAD FILE:	C1.31.dwg
PROJECT MANAGER:	T. KRATZ

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SHEET NUMBER

C1.31



- STORM STRUCTURE NOTES:**
- ALL STORM STRUCTURES TO BE INSTALLED IN ACCORDANCE WITH VILLAGE OF LOMBARD STANDARDS AND DETAILS UNLESS NOTED OTHERWISE.
 - PROVIDE INLET FILTERS ON ALL PROPOSED INLETS. FILTER SHALL BE REGULARLY MAINTAINED AND REMAIN IN PLACE UNTIL FINAL GRADES HAVE BEEN ESTABLISHED.
 - NORTHING AND EASTING PER COORDINATE SYSTEM PROVIDED AS PER DESIGN SURVEY REFERENCE FILE.
- # ROOF DRAIN SCOPE OF WORK:
- 6.0 LF 4" ROOF CONDUCTOR. SEE DETAIL 6/CS.01.
 - 16.6 LF 4" ROOF CONDUCTOR. SEE DETAIL 6/CS.01 SIMILAR.
 - 20.0 LF 6" SDR 23.5 PVC AT 0.50% MIN SLOPE.
 - 41.4 LF 6" SDR 23.5 PVC AT 0.50% MIN SLOPE.
 - 121.4 LF 8" SDR 23.5 PVC AT 0.50% MIN SLOPE.

NOTES:
FOR ALL EXISTING EASEMENT LIBER AND PAGE NUMBERS, REFER TO ALTA/NSPS LAND TITLE SURVEY SHEETS 1 THROUGH 5 PREPARED BY MANHARD CONSULTING LTD.

LEGEND:

EXISTING STRUCTURES:		
(M) STORM MANHOLE	(E) ELECTRIC PEDESTAL	
(C) CATCH BASIN	(M) ELECTRIC METER	
(S) SANITARY MANHOLE	(L) LIGHT POLE	
(SC) SANITARY CLEANOUT	(S) SIGN	
(EM) ELECTRIC MANHOLE	(MS) MONUMENT SIGN	
(UP) UTILITY POLE	(WM) WATER MANHOLE	
(GW) GUY WIRE	(WV) WATER VALVE	
(TR) TRANSFORMER	(FH) FIRE HYDRANT	
(AC) AC-UNIT	(MW) MONITORING WELL	
(TM) TELEPHONE MANHOLE	(GM) GAS METER	
(RD) ROOF DRAIN	(GV) GAS VALVE	
(TE) TELEPHONE PEDESTAL		
PROPOSED STRUCTURES:		
(M) STORM MANHOLE	(TR) TRANSFORMER	
(C) CATCH BASIN	(LP) LIGHT POLE	
(S) SANITARY MANHOLE	(WV) WATER VALVE	
(FE) FLARED END SECTION	(FH) FIRE HYDRANT	
(SM) SANITARY MANHOLE	(FW) FUEL VENT	
(SC) SANITARY CLEANOUT	(AT) AIR TOWER	

LINETYPES:

— STM —	STORM SEWER
---	ROOF DRAIN
---	SANITARY SEWER
— W —	WATER MAIN/SERVICE
— GAS —	GAS MAIN/SERVICE
— UGE —	ELECTRIC SERVICE
— UGT —	TELEPHONE SERVICE
— OH —	OVERHEAD UTILITIES
---	PROPOSED UTILITIES BY OTHERS

STORM WATER MANAGEMENT PLAN
SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	DESCRIPTION
0	05.26.2017	SITE PLAN/SPECIAL USE

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

531-00544
RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

(MICHIGEN COUNTY)

SHEET TITLE

UTILITY PLAN

SHEET MANAGEMENT

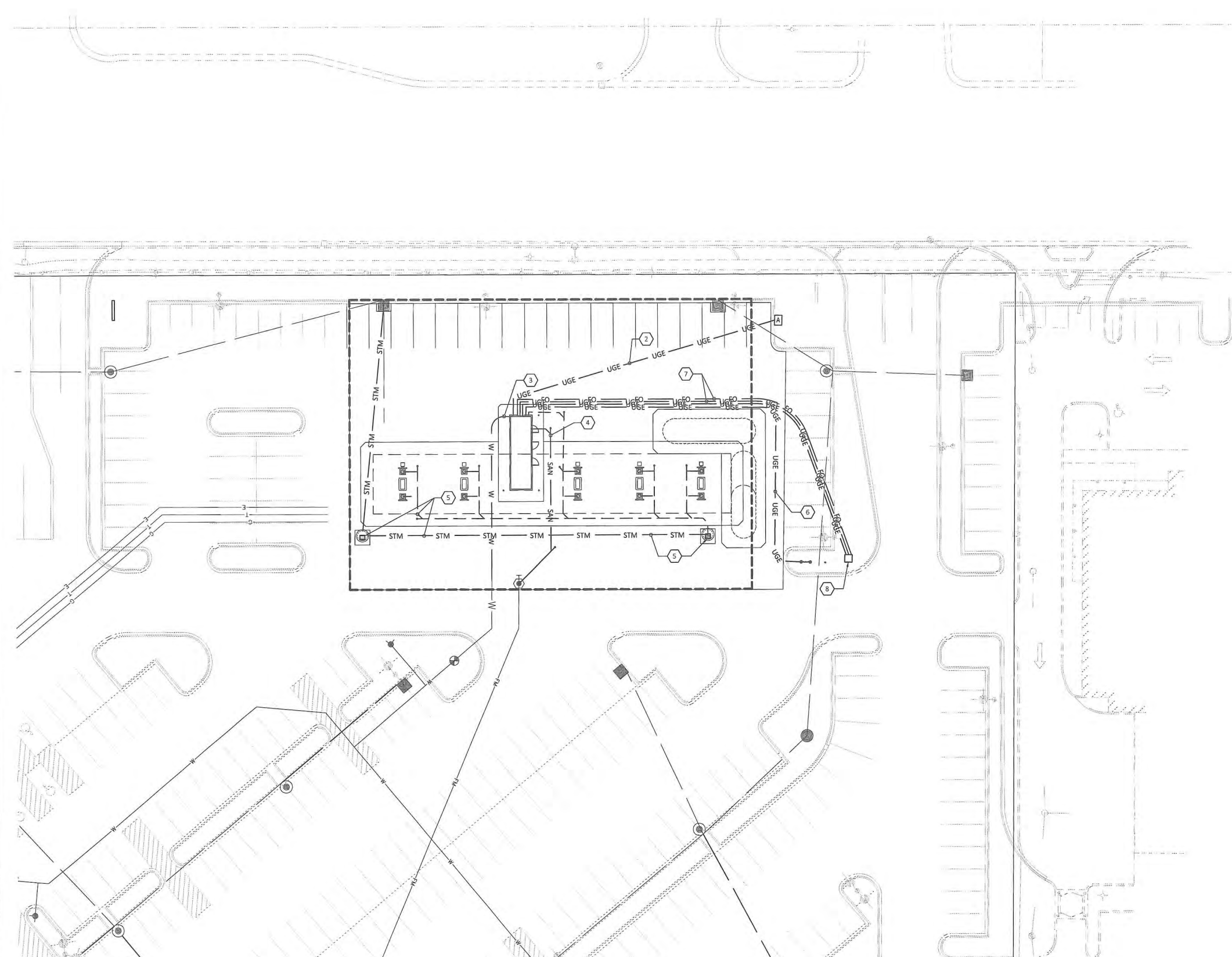
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DATE:	
CAD FILE:	C1.40.dwg
PROJECT MANAGER:	T. KRATZ

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SHEET NUMBER

C1.40

- KEYNOTES:**
- PROVIDE AND INSTALL TWO (2) 4" SCHEDULE 40 PVC CONDUIT (WITH TWO (2) PULL STRINGS EACH) FROM PULL BOX TO SERVICE ENTRANCE BY CONTRACTOR. UTILITY COMPANY TO PROVIDE AND PULL WIRE FROM TRANSFORMER TO SERVICE ENTRANCE AND MAKE FINAL CONNECTION. FIELD VERIFY AND COORDINATE EXACT CONDUIT ROUTING WITH OWNER'S CONSTRUCTION REPRESENTATIVE. REFER TO KIOSK POWER AND LIGHTING PLAN ON SHEET E1.0 AND THE LINE DIAGRAM(S) AND PANEL SCHEDULE(S) ON SHEET E2.0 FOR STUB-UP LOCATIONS AND ELECTRICAL LOAD REQUIREMENTS.
 - PROVIDE AND INSTALL ONE (1) 3/4" SCHEDULE 40 PVC CONDUIT FROM FUEL CENTER KIOSK TO AIR COMPRESSOR FOR 120V POWER.
 - PROVIDE AND INSTALL 3/4" PVC SDR-21, CLASS 200 WATER SERVICE LINE (MIN. DEPTH 5.0'); PROVIDE MINIMUM 18" CLEARANCE AT ALL UTILITY CROSSINGS. MAKE CONNECTION AT WATER MAIN PER REQUIRED STANDARDS.
 - PROVIDE AND INSTALL 6" PVC SDR-35 SANITARY SEWER SERVICE WITH CLEANOUTS LOCATED 5.0' OUTSIDE OF FOUNDATION AND AT EVERY HORIZONTAL AND VERTICAL BEND PER DETAIL 7/CS.01. MAKE WYE CONNECTION WITH RISER TO SANITARY SEWER PIPE PER REQUIRED STANDARDS.
 - STORM WATER MANAGEMENT SYSTEM. REFER TO STORM WATER MANAGEMENT PLAN, C1.31.
 - PROVIDE AND INSTALL TWO (2) 3/4" SCHEDULE 40 PVC CONDUIT FROM FUEL CENTER KIOSK TO TANK VENT.
 - INSTALL (2) 2" SCH 40 PVC COMMUNICATION CONDUITS (WITH TWO (2) PULL STRINGS EACH) FROM THE UTILITY PULL BOX TO THE FUEL CENTER KIOSK. REFER TO ELECTRICAL PLANS AND DETAILS ON SHEET E1.0 FOR ADDITIONAL INFORMATION. COORDINATE WITH COMMUNICATION UTILITY COMPANY.
 - PROVIDE AND INSTALL 3'x3' PULL BOX IN LANDSCAPE AREA.



LEGEND:

EXISTING STRUCTURES:	STORM MANHOLE	ELECTRIC PEDESTAL
CATCH BASIN	YARD BASIN	ELECTRIC METER
SANITARY MANHOLE	ELECTRIC MANHOLE	LIGHT POLE
UTILITY POLE	GUY WIRE	SIGN
TRANSFORMER	AC-UNIT	MONUMENT SIGN
TELEPHONE MANHOLE	ROOF DRAIN	WATER MANHOLE
TELEPHONE PEDESTAL		WATER METER
		WATER VALVE
		FIRE HYDRANT
		MONITORING WELL
		GAS METER
		GAS VALVE
PROPOSED STRUCTURES:	STORM MANHOLE	TRANSFORMER
CATCH BASIN	YARD BASIN	LIGHT POLE
FLARED END SECTION	SANITARY MANHOLE	WATER VALVE
SANITARY CLEANOUT		FIRE HYDRANT
		FUEL VENT
		AIR TOWER

LINETYPES:

STM	STORM SEWER
RD	ROOF DRAIN
SAN	SANITARY SEWER
W	WATER MAIN/SERVICE
GAS	GAS MAIN/SERVICE
UGE	ELECTRIC SERVICE
UGT	TELEPHONE SERVICE
OH	OVERHEAD UTILITIES
STM	PROPOSED UTILITIES BY OTHERS

UTILITY PLAN
SCALE: 1" = 20'-0"

REVISIONS	
NO.	DESCRIPTION
0	05.26.2017 SITE PLAN/SPECIAL USE

CONSULTANT

SEAL
LICENSED PROFESSIONAL ENGINEER
TIMOTHY B. KRATZ
062.088955
5/30/17

CUSTOMER
MARIANO'S

PROJECT DESCRIPTION
531-00544
RETAIL FUEL CENTER

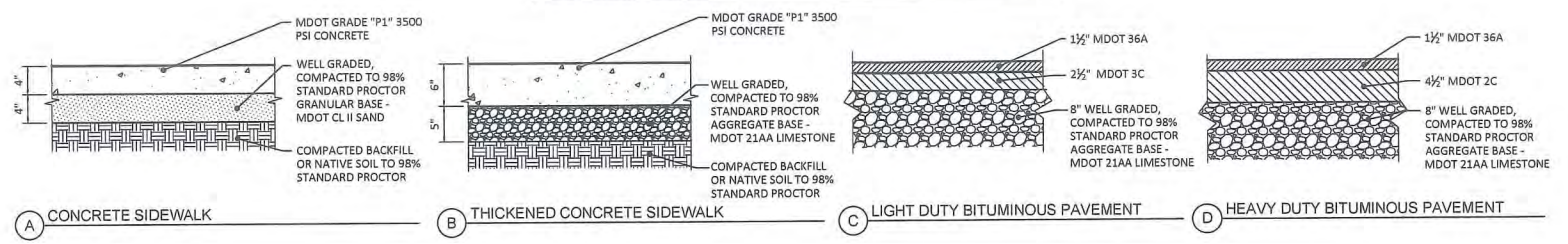
PROJECT LOCATION
NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014
(McHENRY COUNTY)

SHEET TITLE
SITE DETAILS

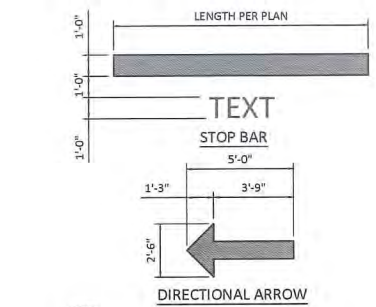
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DATE:	-
CAD FILE:	C5.00.dwg
PROJECT MANAGER:	T. KRATZ

SHEET NUMBER
C5.00

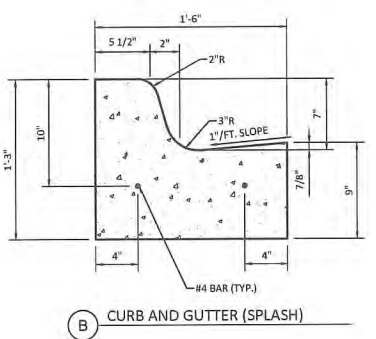
GEOTECHNICAL CONSTRUCTION NOTE
PAVING SECTIONS PER GEOTECHNICAL SOIL REPORT RECOMMENDATIONS; REFER TO GEOTECHNICAL SOIL REPORT FOR SUBGRADE PREPARATION RECOMMENDATIONS FOR FOOTINGS, TRENCHES, APRONS, TANKS, AND SURFACE TREATMENTS.



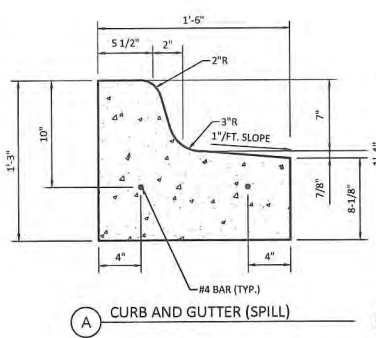
2 PAVING DETAILS
SCALE: 1" = 1'-0"



1 STOP BAR PAVEMENT MARKING
SCALE: 1/4" = 1'-0"



B CURB AND GUTTER (SPLASH)

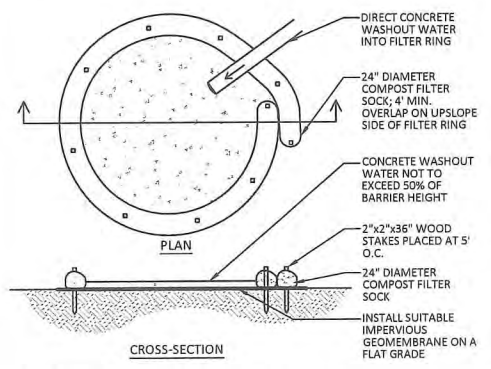


A CURB AND GUTTER (SPILL)

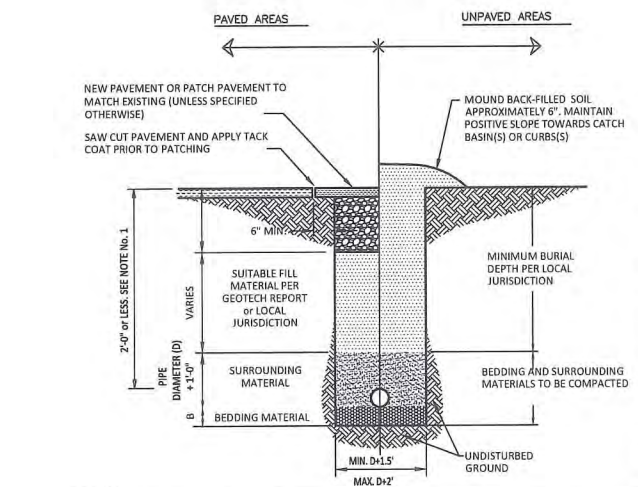


C BARRIER CURB

3 CURB AND GUTTER DETAIL
SCALE: 1 1/2" = 1'-0"

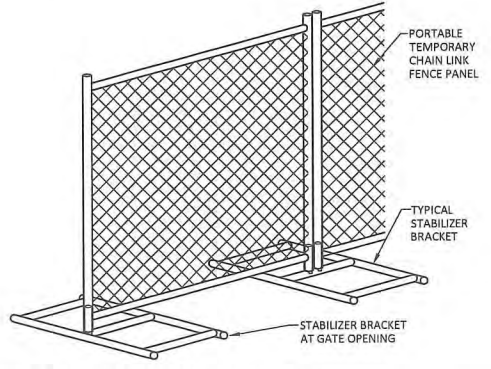


6 CONCRETE WASH DETAIL
SCALE: NONE



- NOTES:
- THE SURROUND MATERIAL MUST BE INSTALLED TO THE PAVEMENT BASE ELEVATION IF THERE IS LESS THAN 2'-0" OF FILL OVER THE PIPE.
 - COMPACT ALL BACK FILL UNDERNEATH, AROUND AND ABOVE PROPOSE PIPES TO 95% STANDARD PROCTOR IN PAVED AND STRUCTURAL AREAS, 90% STANDARD PROCTOR IN UNPAVED OR NON-STRUCTURAL AREAS. THE UPPER 12" OF TRENCH BACKFILL MATERIAL IN PAVED/STRUCTURAL AREAS MUST BE COMPACTED TO 98% STANDARD PROCTOR (ASTM-698).
 - WHERE A PIPE HAS A SLOPE GREATER THAN OR EQUAL TO 4% OR WHERE GROUNDWATER IS PRESENT, CLAY DAMS SHALL BE INSTALLED AROUND THE PIPE EVERY 100' TO PREVENT WASHOUT AROUND THE PIPE.
 - ALL SUITABLE FILL SHOULD NOT CONTAIN STONES GREATER THAN 4" IN DIAMETER, FROZEN LUMPS, AND SHALL CONTAIN A MINIMAL AMOUNT OF ORGANIC MATERIALS (LESS THAN 3%).
 - MATERIAL IS TO BE PLACED AT NO MORE THAN 8" INTERVALS AND COMPACTED BEFORE PLACING NEXT LAYER.

4 TRENCH DETAIL
SCALE: NO SCALE



7 CONSTRUCTION FENCE
SCALE: NO SCALE

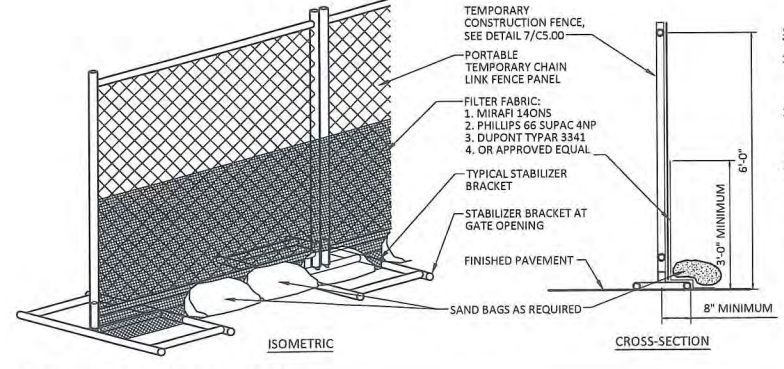
RECOMMENDED FILL MATERIALS

TYPE OF PIPE	SURROUNDING MATERIAL TYPE	B-DIMENSION	BEDDING MATERIAL TYPE
DUCTILE IRON PIPE	"A", "B", OR "C"	3"	SAND OR "C"
RCP PIPE	"B" OR "C"	3"	SAND OR "C"
ALL PIPE OVER BEDROCK OR LEDGE	"B" OR "C"	6"	SAND OR "C"
RCP PIPE IN CLAY	"B" OR "C"	6"	SAND
PLASTIC-ALL	"C"	6"	SAND OR "C"

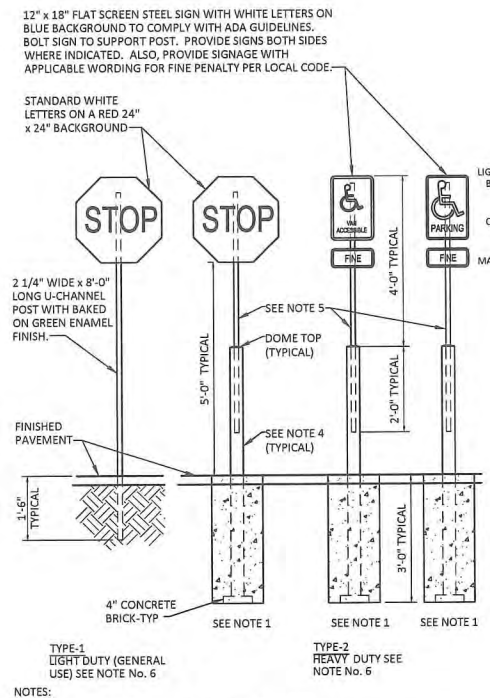
"RECOMMENDED FILL MATERIALS" ARE MINIMUM REQUIREMENTS. CONTRACTOR SHALL ENSURE COMPLIANCE WITH LOCAL JURISDICTION AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

- MATERIAL TYPES:
- "A": GRAVEL OR EXCAVATED MATERIAL WHICH HAS NO STONES GREATER THAN 1.5" DIAMETER.
- "B": MDOT 25A
- "C": CRUSHED STONE WITH 100% PASSING A 1" SQUARE SIEVE AND 0-5% PASSING A 1/4" SQUARE SIEVE, PEA GRAVEL, OR OTHER NATURAL FREE DRAINING STONE MATERIAL WITH LESS THAN 10% P200 (PASSING No. 200 SIEVE).
- SAND: MDOT CLASS II GRANULAR MATERIAL

5 TYPICAL SIGN DETAILS
SCALE: NO SCALE

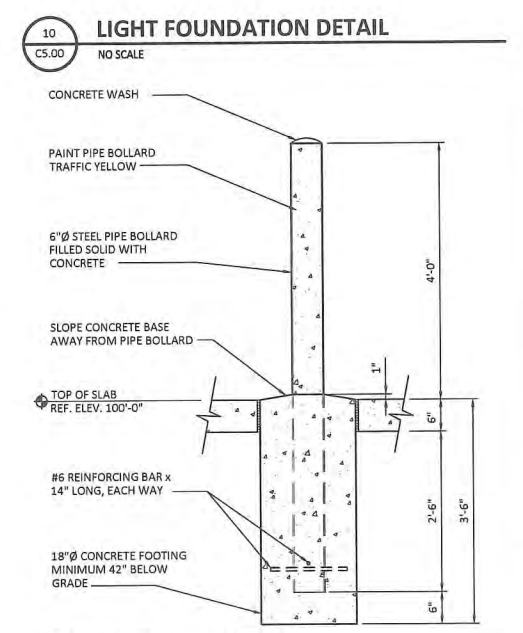
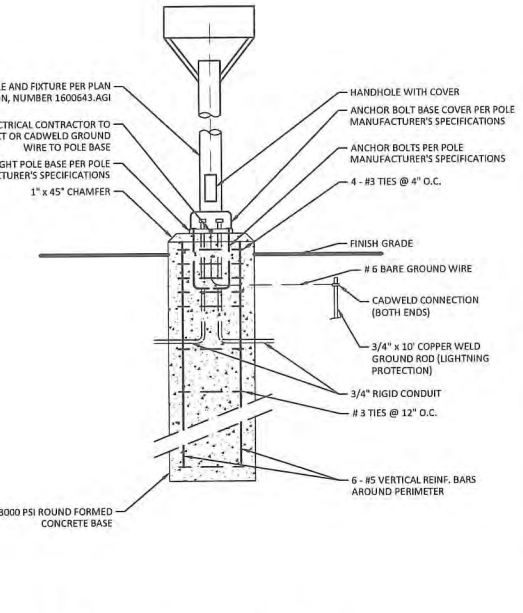


8 SILT FENCE DETAILS
SCALE: NO SCALE

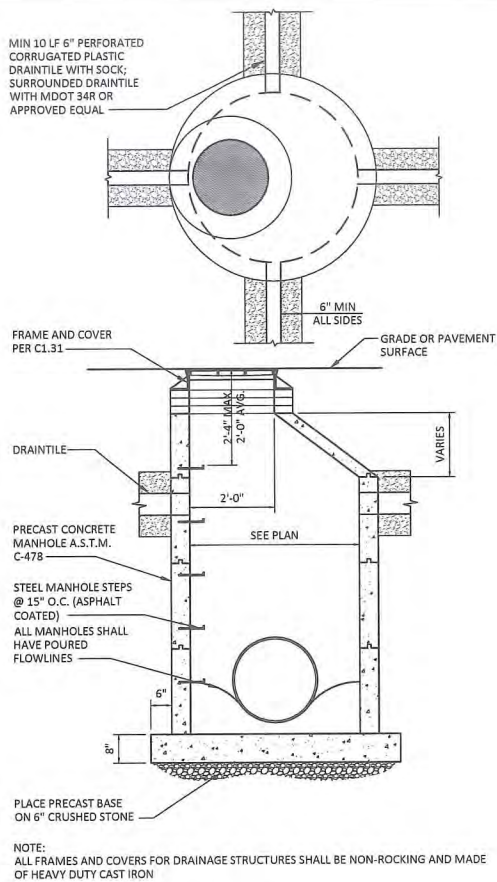


- NOTES:
- INSTALL ALL SIGNS WHERE INDICATED ON SITE PLAN.
 - ADJUST MOUNTING HEIGHTS TO MEET LOCAL CODES WHERE APPLICABLE.
 - SET ALL POSTS IN 16" DIAMETER x 36" DEEP CONCRETE FOUNDATION.
 - 4" x 6"-0" CONCRETE FILLED STEEL POST CENTERED IN FOUNDATION, PAINTED YELLOW, SEE SPECS.
 - 2 1/4" WIDE x 6'-0" LONG U-CHANNEL POST WITH BAKED ON GREEN ENAMEL FINISH.
 - LIGHT DUTY -- LANDSCAPED AREAS and AREAS NOT SUBJECT TO TRUCK TRAFFIC. HEAVY DUTY -- PAVED AREAS and AREAS SUBJECT TO TRUCK TRAFFIC or NOT PROTECTED IN LANDSCAPED AREAS.

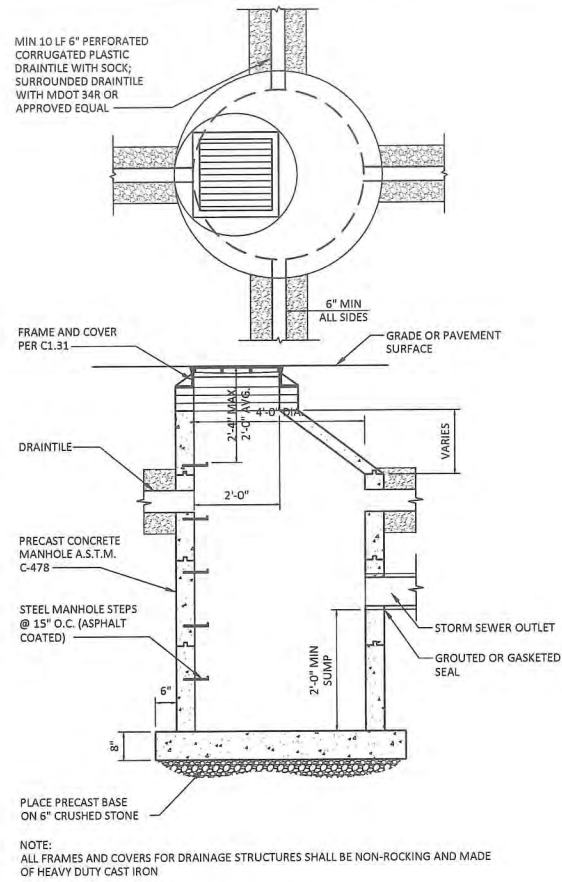
10 LIGHT FOUNDATION DETAIL
SCALE: NO SCALE



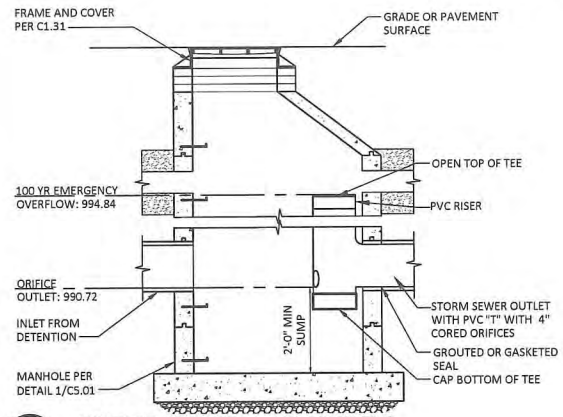
9 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



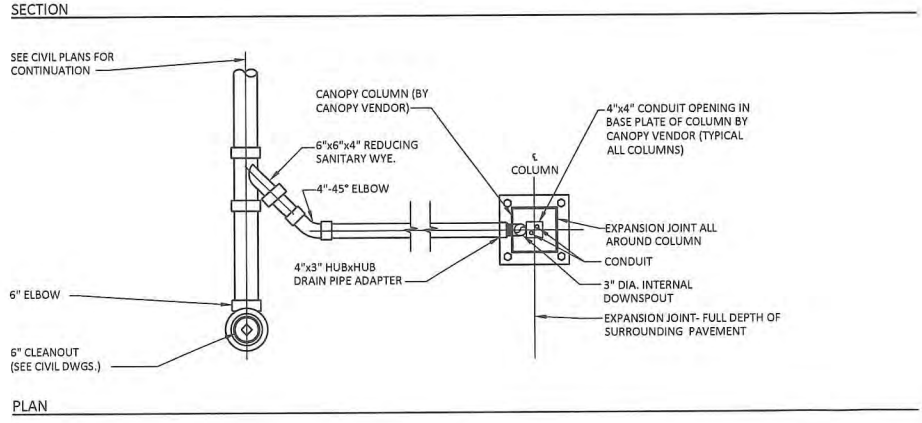
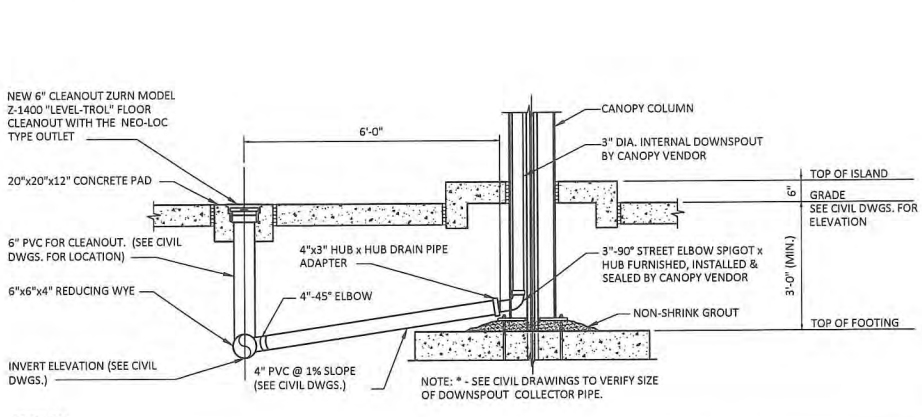
1 MANHOLE DETAIL
CS.01 SCALE: NO SCALE



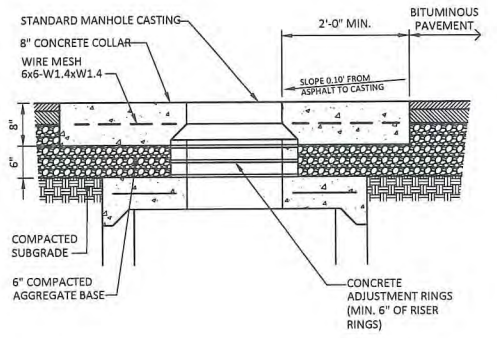
2 CATCH BASIN DETAIL
CS.01 SCALE: NO SCALE



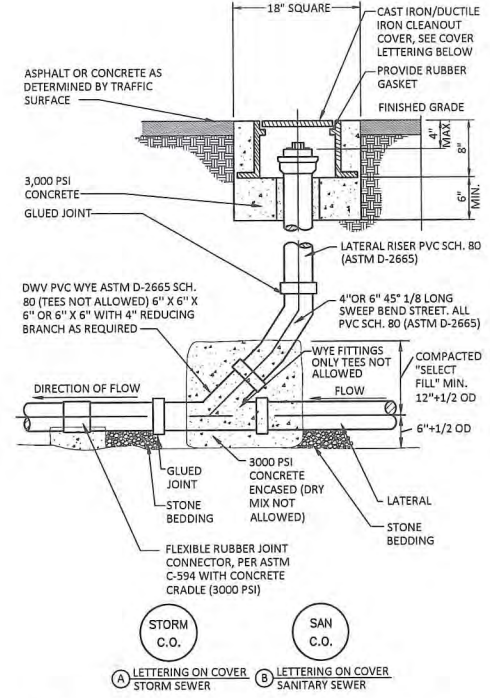
4 OUTLET CONTROL STRUCTURE
CS.00 SCALE: NO SCALE



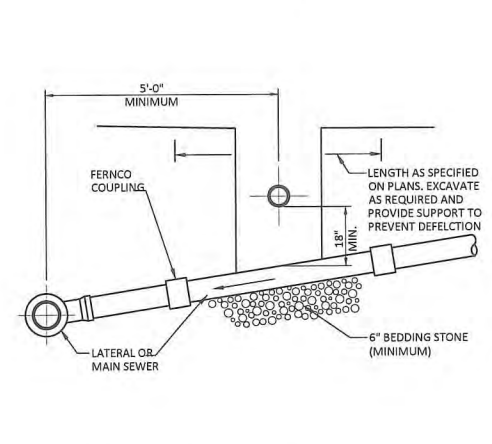
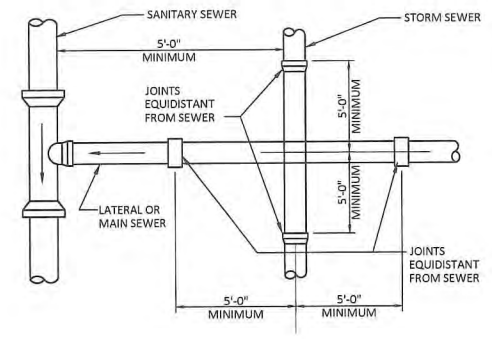
6 DOWNSPOUT CONNECTION TO STORM LINE DETAIL
CS.01 SCALE: NO SCALE



5 CONCRETE COLLAR DETAIL
CS.01 SCALE: NO SCALE



7 CLEAN-OUT FOR TRAFFIC AREA ASSEMBLY DETAIL
CS.01 SCALE: NO SCALE



8 STORM/SANITARY SEWER CROSSING DETAIL
CS.01 SCALE: NO SCALE

SHOULD A CONFLICT EXIST BETWEEN SEVAN MULTI-SITE SOLUTIONS DETAILS AND THE CITY OF CRYSTAL LAKE DETAILS, THE CITY OF CRYSTAL LAKE DETAILS SHALL TAKE PRECEDENCE.

sevan
MULTI-SITE SOLUTIONS

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
info@sevan.com www.sevan.com

SAFETY - INTEGRITY - SUSTAINABILITY

REVISIONS		
NO.	DATE	DESCRIPTION
0	05.26.2017	SITE PLAN/SPECIAL USE

CONSULTANT

SEAL

LICENSED PROFESSIONAL ENGINEER
TIMOTHY B. KRATZ
062.088955
STATE OF ILLINOIS
5/30/17

CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

531-00544
RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014
(McHENRY COUNTY)

SHEET TITLE

SITE DETAILS

SHEET MANAGEMENT	
PROJECT NO.:	531-00544
DATE:	-
CAD FILE:	CS.01.dwg
PROJECT MANAGER:	T. KRATZ

SHEET NUMBER

CS.01

FILE NAME: C:\BET\BIB\BIB\531-00544\CS.01 Site Details.dwg LAST SAVED BY: Tim Kratz SAVED DATE: 5/30/2017 10:20 AM PLOTTED: 5/30/2017 11:00 AM

SHOULD A CONFLICT EXIST BETWEEN SEVAN MULTI-SITE SOLUTIONS DETAILS AND THE CITY OF CRYSTAL LAKE DETAILS, THE CITY OF CRYSTAL LAKE DETAILS SHALL TAKE PRECEDENCE.

sevan MULTI-SITE SOLUTIONS. Regional Office: 37704 Hills Tech Drive, Farmington Hills, MI 48331. Corporate Office: 4925 Forest Avenue, Downers Grove, IL 60515.

REVISIONS table with columns: NO., DATE, DESCRIPTION. Row 0: 05.26.2017, SITE PLAN/SPECIAL USE.

GENERAL SITE-WORK:

- 1. Pre-Construction meeting shall be conducted with City Staff and all Contractors prior to commencing any grading or underground utility construction activities... 2. 24-hour Emergency contact numbers shall be provided to City Staff at the Pre-Construction meeting...

GRADING:

- 1. The grading and construction of the site improvements shall not cause ponding of storm sewer water... 2. The proposed grading elevations shown on the plans are finished grade... 3. Embankment material within parkway and open space areas shall be compacted...

TOPSOIL STOCKPILING:

- 1. Location of any on-site topsoil stockpiles shall be identified on the approved plans with silt fence installed around the perimeter of the stockpile... 2. Topsoil stockpiled for future use shall be relatively free from large roots, sticks, weeds, brush, stones larger than one (1) inch diameter...

EROSION CONTROL:

- 1. All specified erosion control measures shall be installed and maintained per the requirements of the Crystal Lake Stormwater Ordinance... 2. All slopes 4:1 or steeper shall be sodded or blanketed immediately after mass earthwork...

SANITARY SEWER:

- 1. Non-flare stainless steel couplings shall be used to connect sewer pipes of dissimilar materials and pipes with no hub joints... 2. Unless an alternate method is approved, water stop gaskets shall be provided at all sanitary sewer manhole connections...

UNDERGROUND UTILITY:

- 1. The Contractor shall coordinate water main, water service, sanitary and storm sewer inspections and testing with the Community Development at least 24 hours in advance... 2. All main line sanitary shall be cleaned and jetted (provide DVD to the City's Engineering Division)...

CONSULTANT

Professional Engineer Seal for Timothy B. Kratz, License No. 052.068956, State of Illinois.

Drawing information for GE-02a: Drawing Name: STANDARD NOTES AND SPECIFICATIONS, Drawing Number: GE-02a, Date: 01/30/15, City of Crystal Lake logo.

Drawing information for GE-02b: Drawing Name: STANDARD NOTES AND SPECIFICATIONS, Drawing Number: GE-02b, Date: 01/30/15, City of Crystal Lake logo.

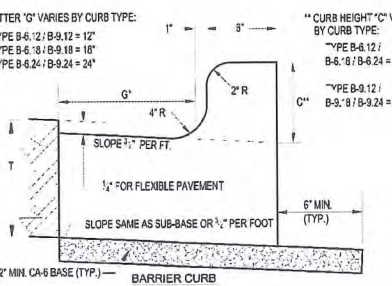
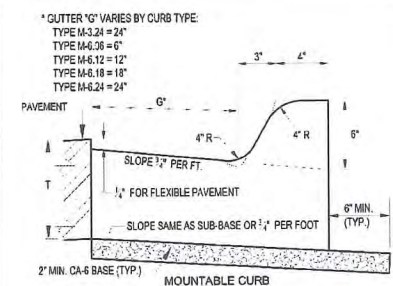
Drawing information for GE-02c: Drawing Name: STANDARD NOTES AND SPECIFICATIONS, Drawing Number: GE-02c, Date: 01/30/15, City of Crystal Lake logo.

WATER MAIN:

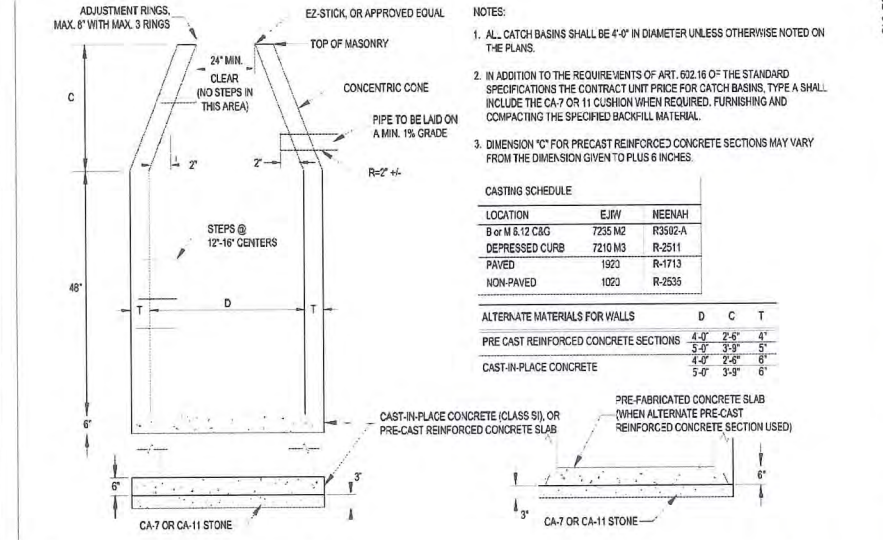
- 1. Water main shall be Ductile Iron or Molecularly Oriented Polyvinyl Chloride (PVC) pipe... 2. Thrust blocking or Mega-Lug or pre-approved equal shall be installed on water mains at all bends, tees, elbows, etc. except as noted below...

PAVING:

- 1. All subgrades and bases shall be proof-rolled and approved by the Engineering Division prior to base or binder installation... 2. Subgrids and proposed pavements shall be finished by the Excavation Contractor to within 0.1 feet plus or minus, of plan elevation...



NOTES: THICKNESS - T - THICKNESS OF PAVEMENT WHEN CURB AND GUTTER IS CONSTRUCTED ADJACENT TO FLEXIBLE OR RIGID PAVEMENT... WHEN CURB AND GUTTER IS CONSTRUCTED ADJACENT TO FLEXIBLE PAVEMENT, A 1" THICK PRE-FORMED EXPANSION JOINT FILER CONFORMING TO THE CROSS SECTIONS OF THE CURB AND GUTTER...



Drawing information for UD-01b: Drawing Name: CATCH BASIN TYPE A, Drawing Number: UD-01b, Date: 09/18/2012, City of Crystal Lake logo.

Drawing information for GE-02d: Drawing Name: STANDARD NOTES AND SPECIFICATIONS, Drawing Number: GE-02d, Date: 01/30/15, City of Crystal Lake logo.

Drawing information for RD-05a: Drawing Name: CURB, CONCRETE CURB AND GUTTER, Drawing Number: RD-05a, Date: 04/15/2015, City of Crystal Lake logo.

CUSTOMER

MARIANO'S logo.

PROJECT DESCRIPTION

531-00544 RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014 (McHENRY COUNTY)

SHEET TITLE

CITY OF CRYSTAL LAKE SITE DETAILS

SHEET MANAGEMENT

PROJECT NO.: 531-00544, DATE: -, CAD FILE: C5.02.dwg, PROJECT MANAGER: T. KRATZ.

SHEET NUMBER

C5.02

FILE NAME: C:\DET\SW\00544\0544-00544\CADD\0544-00544-0544-00544.dwg, LAST SAVED BY: Tim Kratz, SAVED DATE: 5/30/2017 10:57 AM, PLOTTED: 5/30/2017 10:57 AM

SHOULD A CONFLICT EXIST BETWEEN SEVAN MULTI-SITE SOLUTIONS DETAILS AND THE CITY OF CRYSTAL LAKE DETAILS, THE CITY OF CRYSTAL LAKE DETAILS SHALL TAKE PRECEDENCE.

sevan
MULTI-SITE SOLUTIONS

Registered Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
info@sevan.com www.sevan.com

SAFETY - INTEGRITY - SUSTAINABILITY

REVISIONS

NO.	DATE	DESCRIPTION
0	05.26.2017	SITE PLAN/SPECIAL USE

CONSULTANT

SEAL

LICENSED PROFESSIONAL ENGINEER
TIMOTHY B KRATZ
062.068958
OF ILLINOIS

5/30/17

CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

531-00544
RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

(MCHENRY COUNTY)

SHEET TITLE

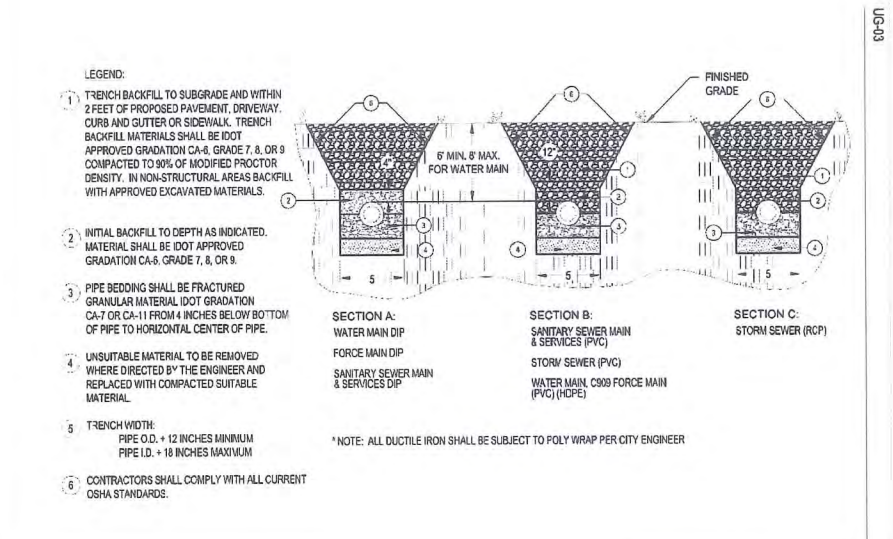
CITY OF CRYSTAL LAKE
SITE DETAILS

SHEET MANAGEMENT

PROJECT NO.: 531-00544
DATE: -
CAD FILE: C5.03.dwg
PROJECT MANAGER: T. KRATZ

SHEET NUMBER

C5.03



Revised: 1. 06/12/2015

Drawing Name: **TYPICAL TRENCH CROSS SECTION**

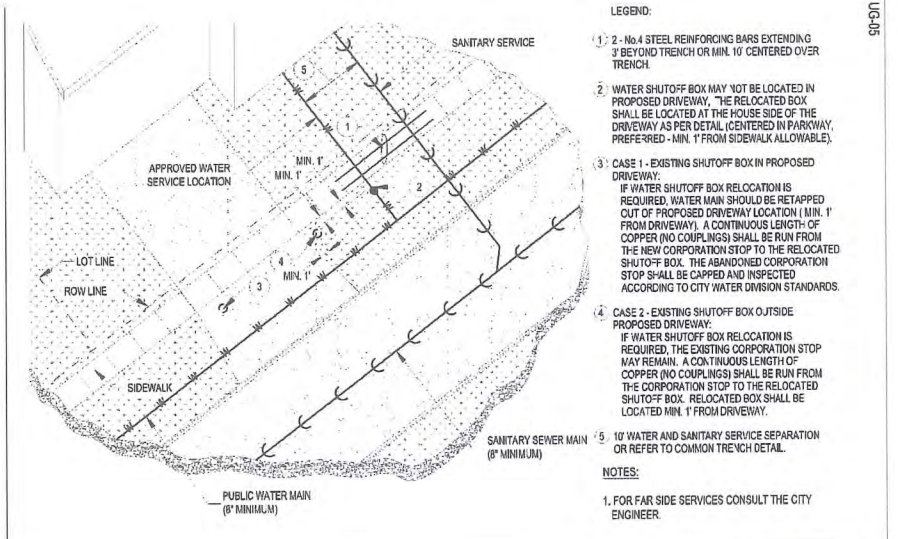
Drawing Number: **UG-03**

Date: 05/29/2015

Drawn: JH

Checked: AWW

City of Crystal Lake, Illinois



Revised: 1. 06/12/2015

Drawing Name: **TYPICAL WATER AND SANITARY SERVICE LOT LOCATION**

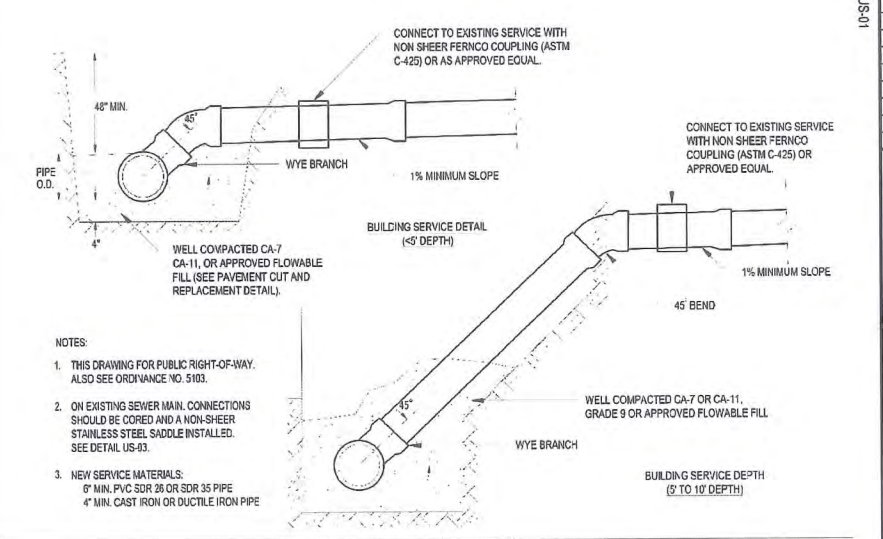
Drawing Number: **UG-05**

Date: 04/16/2007

Drawn: EM

Checked: AWW

City of Crystal Lake, Illinois



Revised: 1. 06/12/2015

Drawing Name: **SANITARY SERVICE RISER (DEPTH <10')**

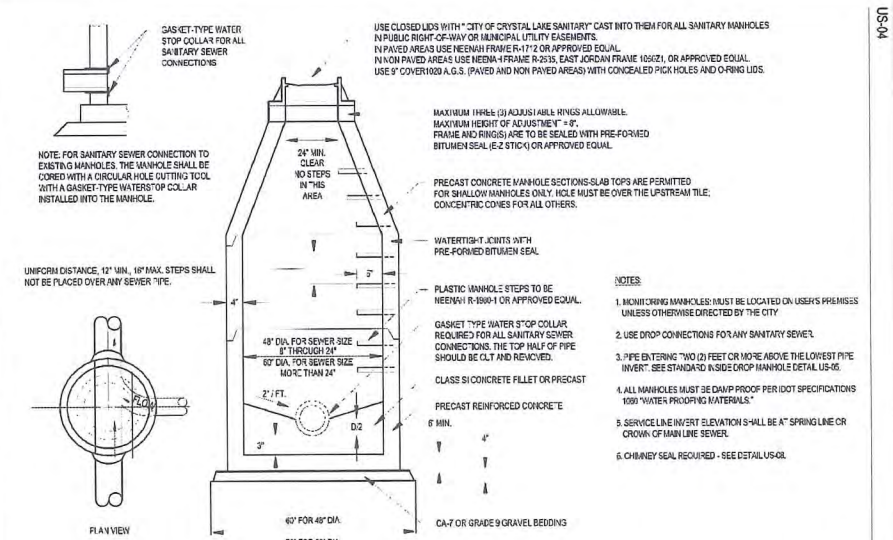
Drawing Number: **US-01**

Date: 06/10/2015

Drawn: JH

Checked: VR

City of Crystal Lake, Illinois



Revised: 1. 06/12/2015

Drawing Name: **STANDARD SANITARY AND MONITORING MANHOLE**

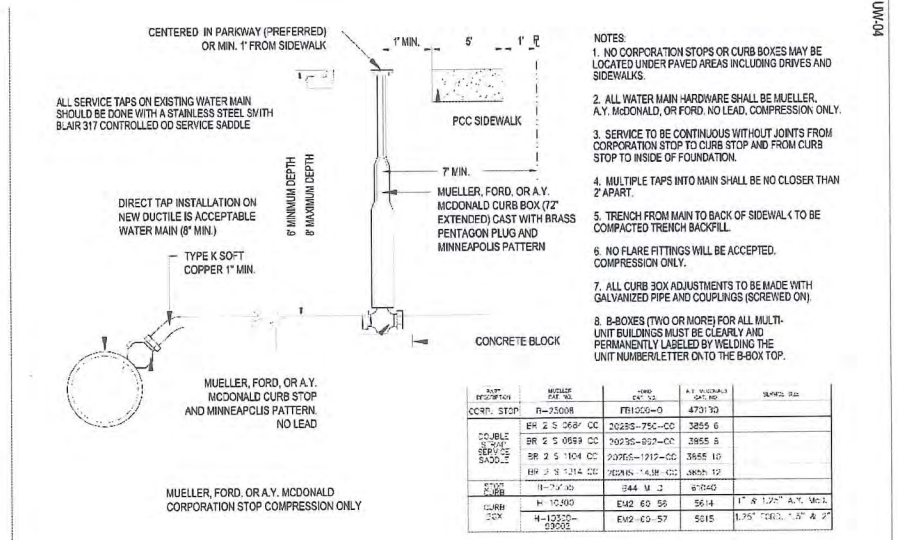
Drawing Number: **US-04**

Date: 06/12/2015

Drawn: JH

Checked: VR

City of Crystal Lake, Illinois



Revised: 1. 06/12/2015

Drawing Name: **WATER SERVICE INSTALLATION FOR DUCTILE AND CAST IRON WATER MAIN**

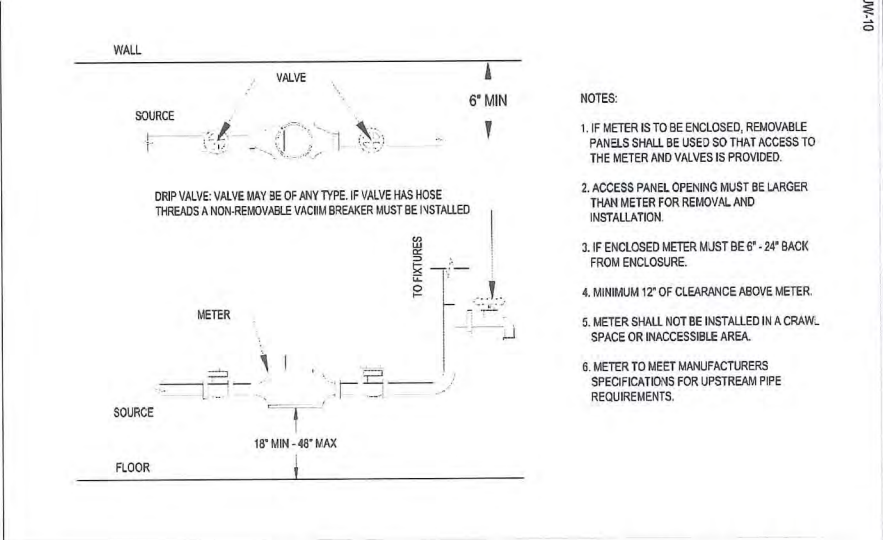
Drawing Number: **UW-04**

Date: 03/17/2014

Drawn: DD

Checked: VR

City of Crystal Lake, Illinois



Revised: 1. 06/12/2015

Drawing Name: **WATER METER INSTALLATION TYPICAL**

Drawing Number: **UW-10**

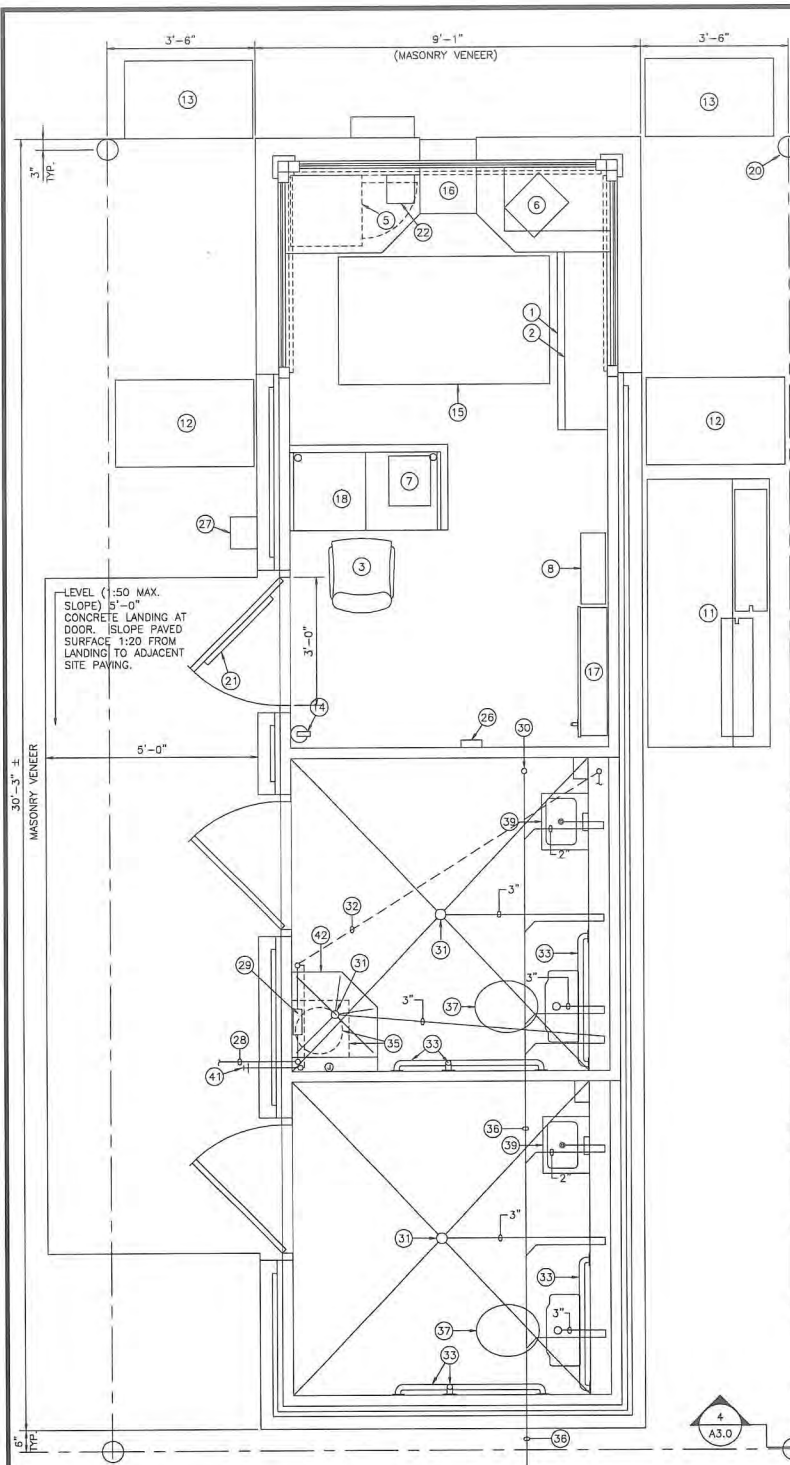
Date: 08/10/2015

Drawn: JH

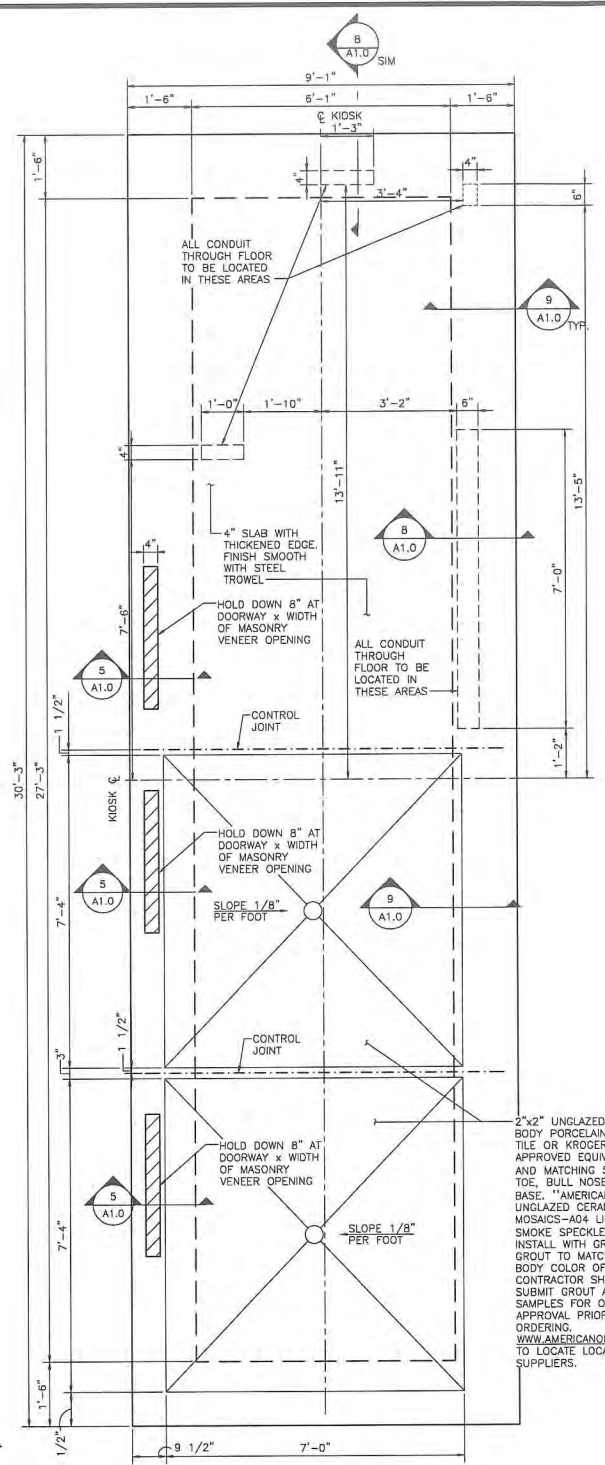
Checked: VR

City of Crystal Lake, Illinois

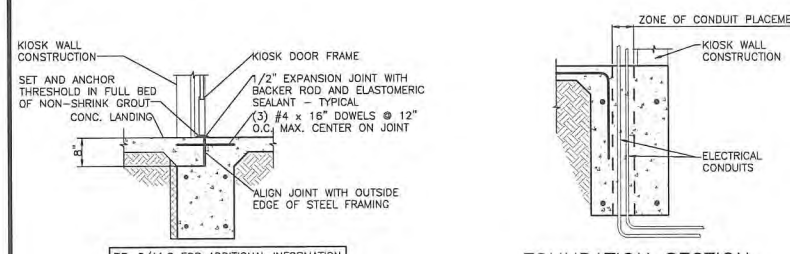
FILE NAME: C:\VET\NWork\531-00544\Condacts\C5.03-Crystal Lake Site Details.dwg, LAST SAVED BY: Tim Kratz, SAVED DATE: 5/30/2017 10:38 AM, PLOTTED: 5/30/2017 10:59 AM



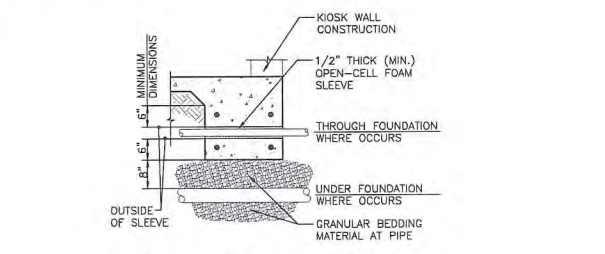
1 KIOSK EQUIPMENT PLAN
SCALE: 1/2"=1'-0"



2 KIOSK FOUNDATION PLAN
SCALE: 1/2"=1'-0" SEE KIOSK NOTES, SHEET A1.1



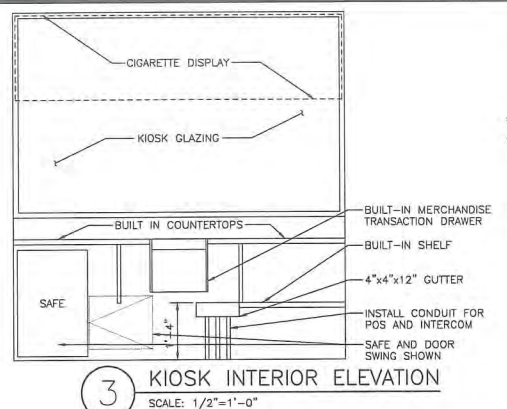
5 FOUNDATION SECTION @ ENTRY
SCALE: NOT TO SCALE



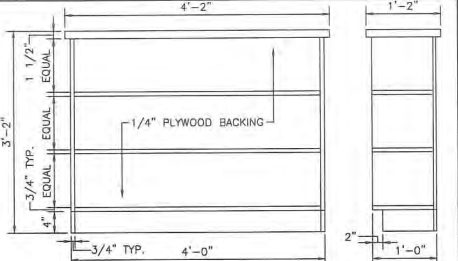
8 FOUNDATION SECTION @ VERTICAL CONDUITS
SCALE: NOT TO SCALE



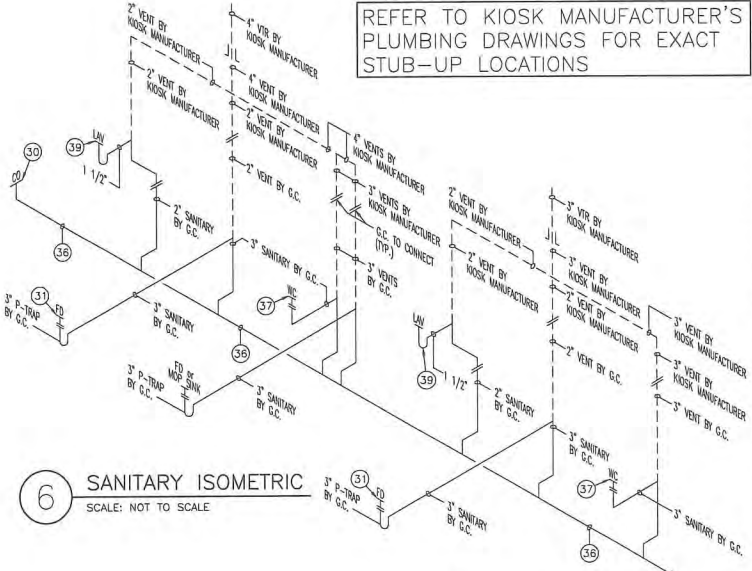
9 FOUNDATION SECTION @ HORIZONTAL PIPE CROSSING
SCALE: NOT TO SCALE



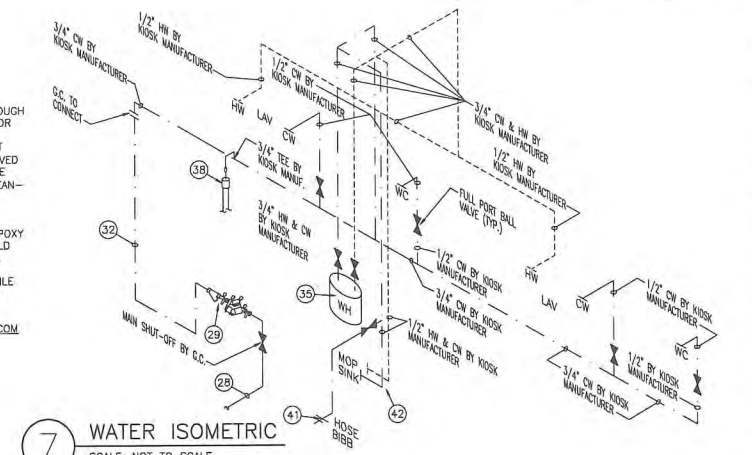
3 KIOSK INTERIOR ELEVATION
SCALE: 1/2"=1'-0"



4 STORAGE RACK
SCALE: 3/4"=1'-0"



6 SANITARY ISOMETRIC
SCALE: NOT TO SCALE



7 WATER ISOMETRIC
SCALE: NOT TO SCALE

PLUMBING GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL REQUIREMENTS OF THE CONTRACT PRIOR TO SUBMITTING HIS/HER BID. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY CONFLICTS PRIOR TO BID OR START OF INSTALLATION.
- THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS WHEN THEY BECOME DUE AND SHALL NOT COVER ANY WORK UNTIL APPROVED BY THE INSPECTION AUTHORITY.
- THE INFORMATION PRESENTED ON THESE DRAWINGS IS DIAGRAMMATIC IN NATURE. IT DOES NOT NECESSARILY REPRESENT ALL FITTINGS, HANGERS, ETC. REQUIRED FOR A COMPLETE WORKING SYSTEM. PROVIDE ALL MATERIALS AND LABOR FOR COMPLETELY FINISHED AND OPERATIONAL SYSTEMS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY ALTERATIONS REQUIRED BY THE OWNER OR FIELD CONDITIONS.
- ALL EQUIPMENT SHALL BE NEW, SHALL COMPLY WITH SPECIFICATIONS ON DRAWINGS, AND SHALL COMPLY WITH ENERGY CONSERVATION CODE REQUIREMENTS AS ADOPTED BY THE STATE, AS WELL AS LOCAL JURISDICTIONAL BUILDING DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE PLUMBING EQUIPMENT, FITTINGS, AND TRIM WHERE SPECIFIED OR AS REQUIRED FOR COMPLETE INSTALLATION. THE CONTRACTOR SHALL ROUGH-IN AND CONNECT ALL EQUIPMENT INCLUDING EQUIPMENT FURNISHED BY OTHERS.
- VENTS THRU ROOF SHALL BE INSTALLED A MIN. OF 10 FT FROM OR TERMINATED A MIN. OF 3 FT ABOVE FRESH AIR INTAKES.
- SHUT-OFF VALVES SHALL BE INSTALLED AT ALL EQUIPMENT WATER SUPPLY CONNECTIONS.
- THE CONTRACTOR SHALL INSULATE EXPOSED HOT WATER LINES AND LAVATORY DRAIN PER BUILDING DEPARTMENT AND A.D.A. REQUIREMENTS.
- REFER TO KIOSK MANUFACTURER DRAWINGS FOR STUB-UP LOCATIONS.

- NOTES:**
- CONSTRUCT WITH 3/4" MEDIUM DENSITY PARTICLEBOARD
 - BACK TO BE 1/4" AB GRADE PLYWOOD
 - FINISH EDGES WITH PINE
 - PRIME AND PAINT ENTIRE UNIT SHERWIN WILLIAMS SW6002 'ESSENTIAL GRAY'

EQUIPMENT LEGEND

- ALL EQUIPMENT FURNISHED BY OWNER UNLESS OTHERWISE SPECIFIED
- STORAGE RACK - FURNISHED AND INSTALLED BY G.C.
 - CANDY RACK
 - CHAIR
 - NOT USED
 - SAFE
 - P.O.S. REGISTER
 - BACK OFFICE P.O.S. INSTALLED BY OWNER
 - TANK MONITOR
 - NOT USED
 - NOT USED
 - 46 C.F. ICE MERCHANDISER
 - 6' REACH-IN PEPS/COKE COOLER - BY VENDOR
 - 4' REACH-IN ENERGY/HYDRATION COOLER - BY VENDOR
 - 2-A: 20-B-C FIRE EXTINGUISHER BY G.C. QUANTITIES AND LOCATIONS INSTALLED PER LOCAL CODE.
 - ANTI-FATIGUE MAT
 - DEAL TRAY/MERCHANDISE DRAWER
 - PANEL BOARD
 - EQUIPMENT RACK - 40 1/2"W x 40 7/8"T x 22"D, WALL MOUNTED
 - NOT USED
 - 6" PIPE BOLLARD - FURNISHED AND INSTALLED BY G.C. (TYP. 4)
 - BULLETIN BOARD - G.C. TO MOUNT ABOVE PEEPHOLE.
 - INTERCOM MASTER STATION INSTALLED BY G.C.
 - NOT USED
 - 6' REACH-IN 7UP COOLER BY VENDOR AND 4-COMPARTMENT DRY MERCHANDISER INSTALLED BY G.C. (ONLY USED ON STACKED DISPENSER LAYOUTS). (REFER TO A1.1)
 - 2-A: 20-B-C FIRE EXTINGUISHER IN STEEL CABINET (TYP.-QUANTITIES AND LOCATIONS INSTALLED PER LOCAL CODE) (EMECO.COM #EC225). G.C. TO MOUNT BOTTOM 32" ABOVE PAVING. CIVIL ENGINEER MUST VERIFY ACCESSIBILITY. (REFER TO A1.1)
 - INTRUSION ALARM KEYPAD
 - EMERGENCY 911 CALL BOX MOUNT CENTERLINE AT +48" A.F.G.
 - 3/4" COLD WATER SERVICE BY G.C. TO PUBLIC CONNECTION. SEE SITE PLAN FOR CONTINUATION.
 - 3/4" BACKFLOW PREVENTER APPROVED BY LOCAL AUTHORITIES BY G.C. INSTALL DEVICE A MINIMUM OF 36" TO A MAXIMUM OF 48" A.F.F. THE DEVICE SHALL HAVE A MINIMUM OF 24" OF CLEAR SPACE IN FRONT OF DEVICE FROM FLOOR TO CEILING. G.C. TO PROVIDE LOCKABLE ALUMINUM COVER FOR BACKFLOW PREVENTER AND VALVES. SUBMIT TO KROGER CONSTRUCTION ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
 - 4" FLOOR CLEAN OUT BY G.C.
 - 3" FLOOR DRAIN BY G.C. JAY R. SMITH #2005-B. PROVIDE WITH TRAP GUARD "SURE SEAL SS2009V/SS3009V" OR EQUIVALENT.
 - 3/4" COLD WATER LINE UNDER SLAB BY G.C.
 - GRAB BARS (TYP.) - INSTALLED BY KIOSK MANUFACTURER.
 - G.C. TO CONNECT VENT LINES FROM FLOOR DRAINS AND WATER CLOSET TO 3" VENT THRU ROOF BY KIOSK MANUFACTURER.
 - 6 GALLON ELECTRIC TANK WATER HEATER & SHELF - INSTALLED BY KIOSK MANUFACTURER.
 - CONNECT 4" WASTE LINE BY G.C. TO CITY SEWER. SEE SITE PLAN FOR CONTINUATION.
 - WATER CLOSET BY G.C. AMERICAN STANDARD MODEL #2377.100 (WHITE). PROVIDE WITH FLUSH LEVER ON OPEN SIDE OF FIXTURE, OPEN-FRONT SEAT (WHITE), & POLISHED CHROME WATER SUPPLY/STOP.
 - NOT USED
 - LAVATORY - INSTALLED BY KIOSK MANUFACTURER.
 - NOT USED
 - FROSTPROOF HOSE BIBB OF LENGTH REQUIRED TO REACH INSIDE THERMAL ENVELOPE, ZURN 21321C-AN-WC SUPPLIED AND INSTALLED BY KIOSK MANUFACTURER.
 - 2"x2" MOP SINK, FAUCET AND ALL TRIM, SUPPLIED BY KIOSK MANUFACTURER - INSTALLED BY G.C.

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NOTE TO CONTRACTOR:
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Gaiway
Planning, Architecture, Engineering
1100 S. Olive
Chicago, IL 60605
Phone: (312) 715-9901
Fax: (312) 715-9905
www.gaiway.com

MARIANOS

The Kroger Co.

Supplemental Detail Group
Drawing No. RD0239
Date: 05/11/2017
Phone: (312) 715-9901
Fax: (312) 715-9905

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ILLINOIS DESIGN FIRM
LICENSE # 184-003185

REVISIONS	
DATE	DESCRIPTION

Project #: RD543

Date: MAY, 2017
Scale: FULL
Disk File: KroR0544_A1.0-PLAN
Model: 5x1 (GD) 2RR
Address: Northwest Highway
Crystal Lake, IL 60014

**CONSTRUCTION &
FOUNDATION PLANS**

Drawing No.: **A1.0**



**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ILLINOIS DESIGN FIRM
 LICENSE # 164-003185

REVISIONS

No.	DESCRIPTION	DATE

Project #: R0543

Date: MAY, 2017

Scale: FULL

Disk File: KroR00544_A2.0-ELEV

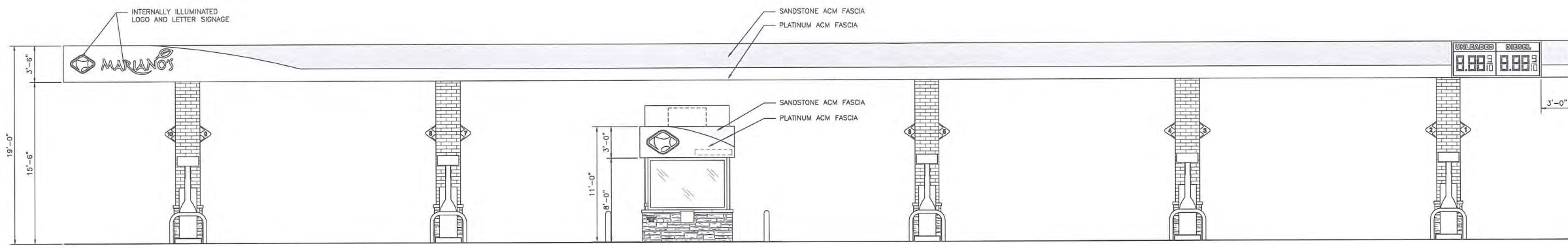
Model: 5x1 (GD) 2RR

Address: Northwest Highway
 Crystal Lake, IL 60014

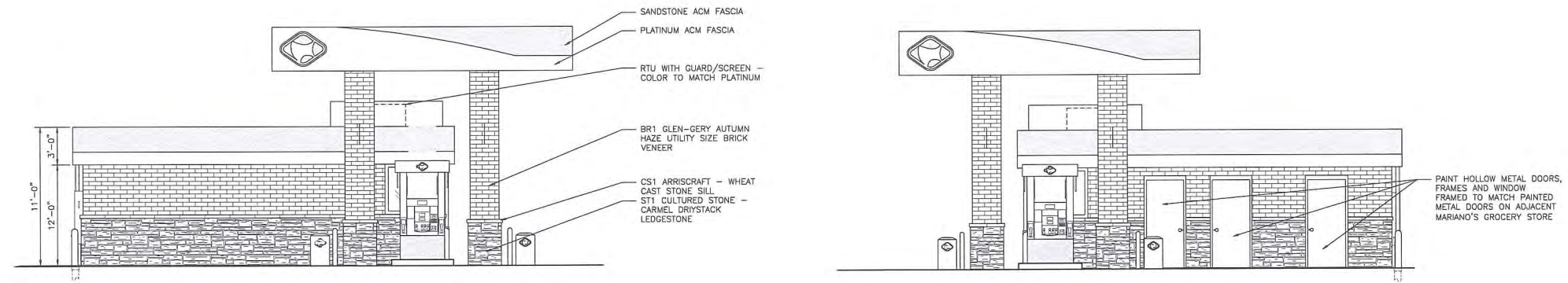
**EXTERIOR ELEVATIONS
 & SIGNAGE**

Drawing No.:

A2.0

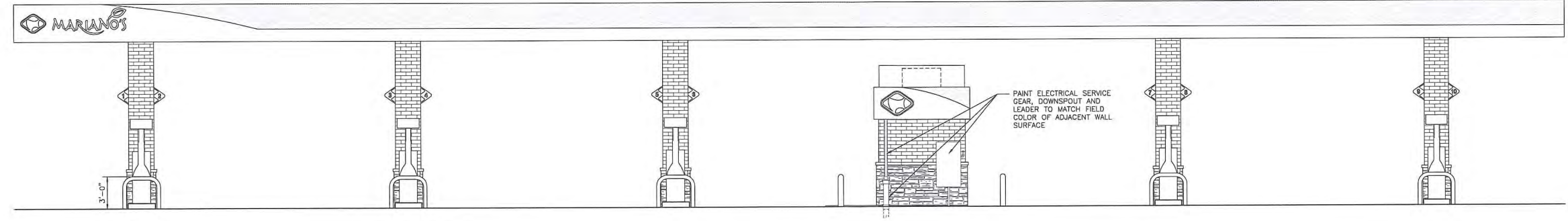


1 FRONT (SOUTH) ELEVATION
 SCALE: 3/16"=1'-0"



2 LEFT (WEST) ELEVATION
 SCALE: 3/16"=1'-0"

3 RIGHT (EAST) ELEVATION
 SCALE: 3/16"=1'-0"



4 REAR (NORTH) ELEVATION
 SCALE: 3/16"=1'-0"

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