

#2017-19

Mariano's Gas Station – Special Use Permit Project Review for Planning and Zoning Commission

Meeting Date: June 21, 2017

Requests:

1. Special Use Permit to allow a Gasoline Service Station with Gasoline Electronic Pricing signs.

2. Variations from:

a. Article 2-400 13 d. Special Use Criteria for Gasoline Stations from the requirement to construct a peaked canopy.

b. Article 2-400 62 c. ii Special Use Criteria for Gasoline Stations to allow red illumination.

c. Article 4-1000 Signs to allow a second freestanding sign for the gas station.

Location: 105 Northwest Highway (Route 14)

Acreage: Approximately 19,000 square feet for gas station area

Existing Zoning: B-2 General Commercial

Surrounding Properties: North: B-2 PUD General Commercial

South: R-3B Multi-Family

East: B-2 General Commercial West: B-2 General Commercial

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

• The property is currently being demolished and will be reconstructed for a Mariano's grocery store.

• In addition to the grocery store, the owners have proposed a gas station along the front portion of the site.

Development Analysis:

Land Use/Zoning

• The site is currently zoned B-2 General Commercial. This is the appropriate zoning district for a gasoline service station, which requires a Special Use Permit in this district.

• The land use map shows the area as Commerce. This is an appropriate land use designation for Gasoline Service Station.

Site Layout

- The gas station is considered an ancillary use.
- Two main drive entrances are illustrated from Route 14. There is also access from Virginia Road. The existing cross-access points between this property and the adjacent businesses would be maintained by Mariano's.
- A new gas canopy with 10 fueling stations is illustrated in front of Mariano's grocery store along Route 14.

Elevations

- The gas canopy posts and the attendant building will match the color and materials of Mariano's with the stone base, banding and brick the remaining way up.
- The canopy is a light silver with a tan banding to match the main building.

Parking

• The site will share parking with the overall site.

<u>Landscape</u>

• The landscape is proposed as part of the overall Mariano's development.

Signage

- A zoning lot is permitted one freestanding sign at 80 square feet and 9 feet tall. A second freestanding sign for the gas station use is proposed. Both signs would meet the height and area restrictions.
- The wall signage proposed for the gas station including the canopy and the pumps is 124 square feet, which meets the UDO
- Below are photos of the two other big box users that also have ancillary gas stations. The first is Sam's Club, which just has one freestanding sign and no separate signage for the gas station. The second is Wal-Mart, which has one freestanding sign and no separate freestanding sign for Murphy's gas station.





• Recently the City approved the gas station for Bucky's, which is a stand-alone tenant that has two freestanding signs.

Findings of fact:

SPECIAL USE PERMIT

The petitioner is requesting approval of a Special Use Permit to allow a Gasoline Service Station with Gasoline Electronic Pricing Sign. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1.	The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
2.	The use will not be detrimental to area property values.
3.	The use will comply with the zoning districts regulations.
4.	The use will not negatively impact traffic circulation.
5.	The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
6.	The use will not negatively impact the environment or be unsightly.
7.	The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
8.	The use will meet requirements of all regulating governmental agencies.
9.	The use will conform to any conditions approved as part of the issued Special Use Permit.
10.	The use will conform to the regulations established for specific special uses, where applicable Meets Does not meet
	soline Stations have specific Special Use Criteria they have to meet. Gasoline stations must mply with the following standards:
	 Location: Gasoline stations are not permitted within the City's wellhead protection areas. Stations in the Crystal Lake watershed require a site specific analysis by the City's watershed consultant
	The proposed station is outside of the wellhead protection area.

2.	Environmental impact: No gasoline station shall commence operations unless it has first provided an environmental impact statement (EIS) from a qualified expert in the related field that the use will not negatively affect ground water resources or contaminate the soil. Meets Does not meet
	An EIS would need to be provided, which says that during normal operations no contamination is expected.
3.	Screening: Gasoline stations adjacent to residential properties shall provide a 6-foot tall solid screen consisting of a solid wooden fence, in accordance with the provisions of Article 4-700, Fences, Walls and Screening or opaque landscaping along the perimeters of the property abutting the residential district or use, in accordance with the provisions of Article 4-400, Landscaping and Screening Standards.
	☐ Meets ☐ Does not meet
	The site is not adjacent to a residential use.
4.	Canopy: Flat canopies are not permitted. Canopies must have a minimum 4:12 pitch (Amended per Ord. 6970, 11-5-2013). The edge of the pump canopy shall be setback at least 15 feet from all property lines. Does not meet
	The petitioner is requesting a variation from this criterion. The building has been designed with a flat top parapet style roof. This flat style gas canopy has been designed to match the style of the main Mariano's building. Mariano's would also like to minimize the impact of the gas station on blocking the view to the grocery store.
5.	Curb cuts: There shall be a maximum of 2 curb cuts per property. Corner lots shall be limited to 1 curb cut per street frontage. Curb cuts for corner lots shall be located at least 75 feet from the intersection, or as deemed appropriate by the City Engineer.
	Curb cuts are set as part of the Mariano's site plan.
6.	Vending machines: One vacuums and one air compressors shall be permitted on-site. Vending machines are treated as outside sales and display. Refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.
	Since there is no convenience store associated with this use, only the required attendant booth, no outside sales and display is permitted.

7.	Outside sales: Outside product display and sales of seasonal items are prohibited. Propane tanks stored in 1 locked metal cage are not treated as outside sales and permitted subject to the approval of the City's Fire Prevention Bureau. For any other outside display and sales, refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.
	Since there is no convenience store associated with this use, only the required attendant booth, no outside sales and display is permitted.
8.	Monitoring: Monitoring wells finished at appropriate depths and locations best suited to detect a contaminate plume are required to be designed and located by a groundwater professional for stations within the Crystal Lake watershed or as determined by the City Engineer.
	☐ Meets ☐ Does not meet
	No monitoring wells are required.
9.	Electronic Pricing Signs: Electronic pricing signs must be requested as part of the Special Use Permit.
	☐ Meets ☐ Does not meet
	Sign has been requested as part of the Special Use Permit.
	ne electronic pricing signs. All gasoline electronic pricing signs must comply with the ing criteria:
a.	Gasoline electronic pricing (GEP) signs are permitted only on properties where a special use permit for a gasoline station has been previously granted by the City.
	☐ Meets ☐ Does not meet
b.	The GEP sign may be incorporated into (1) freestanding business sign on the property. A new freestanding sign incorporating a GEP portion must meet all the ordinance requirements for that sign.
	☐ Meets ☐ Does not meet
c.	The GEP portion of the sign shall meet all the following design conditions:
	(i) The GEP unit must be equipped with both a programmed dimming sequence as well as an additional overriding mechanical photocell that adjusts the brightness of the display to ambient light at all times of the day. Such programming and mechanical equipment shall be set so that the GEP, at night or in overcast conditions, will be no more than 40% of the daytime brightness level;
	☐ Meets ☐ Does not meet

	(ii)	The GEP unit must be illuminated by white, amber, or green incandescent lamps, LED (light-emitting diode) or magnetic discs;
		☐ Meets ☐ Does not meet
	(iii)	The pricing displayed on the GEP unit may only transition from one message (price) to another by either fading or dissolving to black with another message (price) appearing immediately thereafter, without movement or other transition effects in between;
		☐ Meets ☐ Does not meet
	(iv)	Except as otherwise provided herein, all messages displayed on the GEP unit must be static and may not reflect movement, flashing scrolling or changes in shape or size of messages or portions of messages. Streaming and/or live-time video is not permitted and this function of the EMC must be disables; and
		☐ Meets ☐ Does not meet
	(v)	The GEP sign must be set in a manner that the display will turn dark in case of a malfunction.
		☐ Meets ☐ Does not meet
d.		maximum gross surface area of the GEP portion of the sign shall not exceed 20 re feet.
	$\square N$	Teets Does not meet
d.	one g	es cannot switch between multiple grades on one GEP. The GEP must display only grade or have separate GEP for each grade. Meets

Findings of Fact:

ZONING VARIATIONS

The petitioner is requesting three variations:

- a. Article 2-400 13 d. Special Use Criteria for Gasoline Stations from the requirement to construct a peaked roof over the fueling canopy.
- b. Article 2-400 62 c ii. Special Use Criteria for Gasoline Stations to allow red illumination.
- c. Article 4-1000 Signs to allow a second freestanding sign.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a

zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions. Does not meet
Also, that the variation, if granted, will not alter the essential character of the locality.
purposes of supplementing the above standards, the Commission may take into ration the extent to which the following facts favorable to the application have been need by the evidence presented at the public hearing: That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification; Meets Does not meet
That the alleged difficulty or hardship has not been created by any person presently having interest in the property; \[\begin{align*} Meets & Does not meet \end{align*}
That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future business uses. The following goal is applicable to this request:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the City as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Success Indicator: The number of new chain stores.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

- 1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Roundy's, received 05/31/17)
 - B. Plat of Survey (Manhard, dated 07/29/16, received 05/31/17)
 - C. Site Plans (Seven, dated 05/26/17, received 05/31/17)
 - D. Signage (Doyle, dated 05/25/17, received 05/31/17)
- 2. Petitioner is required to prepare and submit an Environmental Impact Statement for review and approval.
- 3. No outdoor storage, display or sales are permitted outside at the gas station area.
- 4. Work with staff to determinate the best site layout and if one-way circulation is necessary around the gas pumps to reduce any stacking with the major east-west drive aisle for the grocery store.
- 5. No signage is permitted on the canopy posts or on any light posts.
- 6. The petitioner must address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments and of the City's Stormwater Consultant.

2017-19 MARIANO'S – 105 NORTHWEST HWY – SPECIAL USE PERMIT, VARIATION





City of Crystal Lake Development Application

Office Us	se C	nly	,			
File #	2	Ô	Agrammonn Grammonn	7	 Gerettend	

Project Title:	RECEIVE
Action Requested	MAY 3 1 2017
Annexation	Preliminary PUD BY:
Comprehensive Plan Amendment	Preliminary Plat of Subdivision
Conceptual PUD Review	Rezoning
Final PUD	X Special Use Permit
Final PUD Amendment	<u>X</u> Variation
Final Plat of Subdivision	Other
Petitioner Information	Owner Information (if different)
Roundy's Supermarkets Inc. Name: (Shaun Nelson)	Crystal LK JV LLC Name: (C/O Continental Properties CO.)
Address: P.O. Box 473, MS-3300	Address: W134 N8675 Executive Parkway
Milwaukee, WI 53201	Menomonee Falls, WI 53051
Phone:414.231.5880	Phone:
Fax: 414.231.7939	Fax:
E-mail: Shaun.Nelson@roundys.com	E-mail:
<u> </u>	ft. fuel canopy, a 270 sq.ft. transaction
	ne-filled under ground storage tanks, and
five(5) multi-product fuel dispensers.	
and kiosk will utilize building materi	
Project Address/Location: 105 Northwest H	Iighway (US Route 14), between Teckler
Teckler Boulevard and Virginia Street	•
PIN Number(s): 19-08-201-032	

Development Team			Please inclu	de address,	phone, fax and	l e-mail
Roundy's S						
Developer:	4.231.5880,	Fax: 414	.231.7939, S	naun.Nels	oneroundys.	COM
				.ce: 303.	770.8884, F	ax:
Architect: 303.770.3	oso, www.gal	.lowayus.c	OTI	<u></u>		
Attorney: N/A	~~~	**************************************				
						- J
Landscape Architect:	N/A					
£	***************************************	<u> </u>			······································	
Planner: N/A						
						11, 00001
Signatures HAUN A. NECS PETITIONER: Pr	······································	L ve (if different	from owner)	5,	/30/17 Date	lithadannahan anak
As owner of the propert	y in question,	l hereby aut <i>laped</i> es C	horize the seeki	ng of the al	bove requested	d action.
Joe Berlywho	d Sign name	** - * ********************************	See		Date	WI 53201 com Drive ax:
NOTE: If the property is	Roundy's Supermarkets Inc., P.O. Box 473, MS-3300, Milwaukee, WI 53201 Diffice: 414.231.5880, Fax: 414.231.7939, Shaun.Nelson@roundys.com Galloway Planning. Architecture. Engineering. 6162 S. Willow Drive Suite 320 Greenwood Village, CO 80111 Office: 303.770.8884, Fax: 303.770.3636, www.gallowayUS.com N/A Sevan Multi-Site Solutions, 4925 Forest Ave., Downers Grove, IL, Office: 219.841.6535, tim.kratz@sevansolutions.com Architect: N/A Manhard Consulting LTD, 900 Woodlands Parkway, Vernon Hills, IL 60061 Office: 847.634.5550, Fax: 847.634.0095, manhard.com /A INC. Solve Sevential Graphers from owner) Date The property in question, I hereby authorize the seeking of the above requested action. Logary Britt and Sign name The Print and Sign name Date Date Date Date Date Date Date Date					

- Variations: 1. Two monument signs
 2. Stripes on the canopy (communicative architecture-signs)
 3. Flat roof on the fuel canopy

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE,

ZUNING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE
PETITION OF
ROUNDY'S Supermarkels Inc
LEGAL NOTICE
Notice is hereby given in
compliance with the Unitiled
Development Ordinonce (UDDO) of
the City of Crystal Lake, Illinois that
o public hearing will be held before
the Plonning and Zoning
Commission on the opplication by
Shaun Nelson, on behalf of
Roundy's Supermarkels Inc.LLC,
representing the owner Continental
Properties CO., seeking a Special
Use Permit and Variotions for a Gas
Station at 105 Northwest Highway,
Crystal Lake, Illinois. PIN: 19-08201-032. 201-032.

Crystal Lake, Illinois. PIN: 19-08-201-032.

This application is filed for the purpose of seeking a Special Use Permit for a Gasoline Service Station with a Gasoline Electronic Pricing Sign pursuant to Article 2-400 and Article 9-200 D and Variations from Article 2-400 13d Gasoline Stations from the requirement to provide a peaked canopy, Article 2-400 62c ii Gasoline Electronic Pricing Sign to allow red illumination, Article 4-1000 F to allow a second free-standing sign on the property, as well as any ather variations as necessary to approve the plans as presented to approve the plans os presented to approve this development. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zaning Commission an this request will be held at 7:30 p.m. an Wednesdoy, June 21, 2017, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

present.
Tom Hayden, Chairperson

Planning and Zoning Commission City of Crystal Lake

(Published in the Northwest Herald on June 5, 2017) 1419585

(EXCEPTION L-17) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT IN FAVOR OF ILLINOIS BELL TELEPHONE COMPANY, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, (EXCEPTION L=17) THE SORVETED PROPERTY IS SUBJECT TO AN EASEMENT PROVIDED IN LINIOS BELL TELEPHONE COMPANY, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS. CONTAINED IN THE GRANT RECORDED/FILED IN BOOK 7 OF MISCELLANEOUS RECORDS, PAGE 489, AS DOCUMENT 62255.

AFFECTING THAT PART OF THE LAND THAT FALLS IN, ALONG, UPON AND UNDER THE ROADS, STREETS AND HIGHWAYS ADJOINING OF THE LAND.

(EXCEPTION M-18) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT OF 10 FEET IN WIDTH IS PROVIDED ON THE REAR LINE OF EACH LOT WHERE RECEDED AS SHOWN ON THE PLAT OF TECKLER'S GRANDWER SUBDINISION RECORDED AS DOCUMENT 36359, IN BOOK 6 OF PLATS, PACE 64.

**FECTING THE SOUTH 10 FEET OF LOTS 1, 2, 3, 4, 5 & AND THE NORTH 10 FEET OF LOTS 1.

(EXCEPTION N-19) THE SURVEYED PROPERTY IS SUBJECT TO EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION OF TECKLER'S GRANDVIEW SUBDIVISION RECORDED AS DOCUMENT 83559, IN BOOK 6 OF PLATS, PAGE 64, AFFECTING SOUTH TO FEET OF LOTS 1, 2, 3, 4 AND 5 AND THE NORTH 10 FEET OF LOT 25.

(EXCEPTION 0-20) THE SURVEYED PROPERTY IS SUBJECT TO BUILDING LINES AS SHOWN ON TECKLER'S GRANDWEW SUBDIVISION, RECORDED AS DOCUMENT 83659, IN BOOK 6 OF PLATS, PAGE 64, AND ASSESSED AS PAGE 75, AND STREAM FOR THE NORTH LOT LINES OF LOTS 1, 2, 3, 4 AND 5 THAT LESS SOUTH OF THE SOUTH LINE OF U.S. ROUTE 14 AND THE SOUTHWESTERLY LOT LINE OF LOT 25.

(EXCEPTION P-21) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER PART OF LOT 25 IN TECKLET'S GRANDVEW SUBDIVISION, AS CREATED AND GRANTED BY DEED DATED AUGUST 20, 1449 AND RECORDED AS DOCUMENT 223581 BOOK 347 OF RECORDS, PAGE 574 AND REFECORDED SEPTEMBER 13, 1949 AS DOCUMENT 2235825, IN BOOK 349 OF RECORDS, PAGE 22.
AFFECTING THE SOUTH 20 FEET OF THE NORTH 81.30 FEET OF THE WEST 40 FEET OF LOT

(EXCEPTION 0-22) THE SURVEYED PROPERTY IS SUBJECT TO AN ENGROACHMENT BY A ONE STORY BRICK BUILDING ONTO THE AESURENTS AS DEPICTED ON A PLAT OF SURVEY BY INTERNATIONAL LAND SERVICES, BIC., JOB NUMBER 99-04-16:053, DATED MAY 24, 1999 THIS SURVEY WAS NOT REVIEWED BY MANHARD CONSULTAINTS, SURVEY WAS NOT REVIEWED BY MANHARD CONSULTAINTS, SURVEY WAS NOT PROVIDED TO MANHARD CONSULTAINTS FOR REVIEW.

(EXCEPTION T-25) THE SURVEYED PROPERTY IS SUBJECT TO AN RECIPROCAL EASEMENT AGREEMENT AMONG SEARS, ROEBUCK AND CO., A NEW YORK CORPORATION AND SREC CRYSTAL LAKE PARTNERS, LLC., AN ILLINOIS LIMITED LIABILITY COMPANY, RECORDED AUGUST 20, 2002 AS DOCUMENT 2002RO072532.

AFFECTING HE EASTERLY PORTION OF PROPERTY FOR PARTICULARS SEE DOCUMENT.

(EXCEPTION U-26) THE SURVEYED PROPERTY IS SUBJECT TO AN RECIPROCAL EASEMENT AGREEMENT AMONG SEARS, ROEBUCK AND CO., A NEW YORK CORPORATION AND HOME STATE BANK OF CRYSTAL LAKE, AS TRUSTE UNDER TRUST AGREEMENT DATED MARCH 14, 1974 KNOWN AS TRUST NUMBER 1854, RECORDED NOVEMBER4, 2002 AS DOCUMENT 2002R0101459. AFFECTING THE WESTERLY PORTION OF PROPERTY.

(EXCEPTION V-27) THE SURVEYED PROPERTY IS SUBJECT TO BUILDING LINES AS SHOWN ON THE PLAT OF NEW CHANNELS REALTY SUBDIVISION RECORDED NOVEMBER 25, 2002 AS DOCUMENT 2000PG011170. AFFECTING OVER THE NORTH 103.18 FEET AND THE SOUTH 20 FEET OF LOT 2 (PARCEL 2).

(EXCEPTION W-28) THE SURVEYED PROPERTY IS SUBJECT TO AN EASEMENT FOR PUBLIC UTILITIES, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF NEW CHANNELS REALTY SUBJOYISION RECORDED AS DOCUMENT 2002R0111170.

AFFECTING THE SOUTH 10 FEET OF LOT 2 (PARCEL 2).

(EXCEPTION X=29) THE SURVEYED PROPERTY IS SUBJECT TO A NOTE ON THE FILAT OF SUBJINISION RECORDED NOVEMBER 28, 2003 AND DOLORIST HUMBER 202020H179 SUBJECT OF THE THE LAND IS LOCATED WITHIN FLOOD HAZARD ZONE C. AS SHOWN ON THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL 170478003G, DATED SEPTEMBER 4, 1985, FOR CRYSTAL LAKE, ILLINOIS. SEE FLOOD HAZARD NOTE FOR CURRENT FEMA. MAP INFORMATAL NAME.

INDEX TO SCHEDULE B

		SCHEDULE B EXCEPTION TABLE	
EXCEPTION NUMBER	DOCUMENT NUMBER	DESCRIPTION	NOTATION
1	N/A	RIGHTS OR CLAIMS OF PARTIES IN POSSESSION	NOT PLOTTABLE
2	N/A	MATTERS DISCLOSED BY AN ACCURATE SURVEY	SHOWN ON SURVEY
3	N/A	EASEMENTS NOT SHOWN BY PUBLIC RECORDS	NOT PLOTTABLE
4	N/A	ANY LIEN FOR SERVICES, LABOR OR MATERIAL	NOT PLOTTABLE
5	N/A	TAXES OR SPECIAL ASSESSMENTS	NOT PLOTTABLE
6	N/A	REQUEST FOR A PROPERLY EXECUTED ALTA STATEMENT	NOT PLOTTABLE
7	N/A	NOTE REGARDING TITLE INSURANCE COVERAGE	NOT PLOTTABLE
AU-8	N/A	PROPERTY TAXES FOR THE YEAR 2015 AND 2016	NOT PLOTTABLE
C-9	N/A	REQUEST FOR PRESENT VALUE OF THE LAND	NOT REVIEWED
D-10	N/A	EXISTING UNRECORDED LEASES	NOT REVIEWED
E-11	N/A	REQUEST FOR PROPERTY MANAGER STATEMENT	NOT REVIEWED
F-12	N/A	NOTE REGARDING THE PLAT ACT (765 ILCS 205/ ET SEQ.)	NOT REVIEWED
G-13	N/A	REQUEST FOR RESOLUTIONS AUTHORIZING CONVEYANCE	NOT PLOTTABLE
AE-14	N/A	REQUEST FOR CERTIFICATION	NOT PLOTTABLE
H-15	N/A	NOTE AMENDING THE LEGAL DESCRIPTION	SHOWN ON SURVEY
1-16	N/A	LEGAL DESRIPTION SUBJECT TO REVIEW	NOTPLOTTABLE
L-17	62255	ILLINOIS BELL TELEPHONE COMPANY EASEMENT .	NOT PLOTABLE
M-18	83659	10 FOOT EASEMENT	SHOWN ON SURVEY
N-19	83659	EASEMENTS	SHOWN ON SURVEY
0-20	83659	BUILDING LINES	SHOWN ON SURVEY
P-21	223264, 223825	INGRESS AND EGRESS EASEMENT	SHOWN ON SURVEY
Q-22	N/A	ENCROACHMENT SHOW ON SURVEY BY INTERNATIONAL LAND SERVICES LAST REVISED JUNE 8, 1999	NOT REVIEWED
R-23	2001R0085466	AGREEMENT BETWEEN SEARS ROEBUCK & THE CITY OF CRYSTAL LAKE RELATING TO WATER CONNECTION FEE	NOT PLOTTABLE
S-24	2001R0085467	AGREEMENT BETWEEN SEARS ROEBUCK & THE CITY OF CRYSTAL LAKE RELATING TO SEWER CONNECTION FEE	NOT PLOTTABLE
T-25	2002R0072532	RECIPROCAL EASEMENT AGREEMENT	SHOWN ON SURVE
U-26	2002R0101459	RECIPROCAL EASEMENT AGREEMENT	SHOWN ON SURVE
V-27	2002R0111170	BUILDING LINES	SHOWN ON SURVE
W-28	2002R0111170	PUBLIC UTILITY EASEMENT	SHOWN ON SURVE
X-29	2002R0111170	PROPERTY LOCATED IN FLOOD HAZZARD AREA ZONE C	NOTED ON SURVEY
AK-30	N/A	TERMS, PROVISIONS, CONDITIONS AND OWNERS RIGHTS TO EASEMENTS	
Z-30	N/A	NOTARIAL ACT	NOT PLOTTABLE
AA-30	N/A	TITLE INSURANCE ACT	NOT PLOTTABLE
AB-30	N/A	NOTE FOR INFORMATION	NOT PLOTABLE
AC-30	N/A	INFORMATIONAL NOTE	NOT PLOTTABLE

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

PARCEL 1:

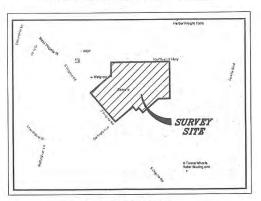
THAT PART OF LOTS 1 THRU 7 AND LOT 25 IN TECKLER'S GRANDVIEW SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 6, 1928 AS DOCUMENT NUMBER 83659, IN BOOK 6 OF PLATS, PAGE 64, AND LOTS 5 AND 4 IN BLOCK 1 IN CRYSTAL LAKE TRIANGLE, A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE HIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED COTOBER 5. 1857 IN BOOK 17 OF DEEDS, THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED COTOBER 5. 1857 IN BOOK 17 OF DEEDS, THE SOUTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 14, THENCE SOSTITIEST PAGE 15 OF THE THIRD PRINCIPAL MERIDIAN, AND THE PLACE OF BEGINNING; THENCE SOUTHERLY, AD INSTANCE OF 12.53 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT1 THAT IS 189.68 FEET SOUTHERSTERLY LINE, OF SAID LOT1 THAT IS 189.68 FEET SOUTHERSTERLY LINE, OF SAID LOT1 THAT IS 189.68 FEET SOUTHERSTERLY LINE, OF SAID LOT1 THAT IS 189.69 FEET SOUTHERSTERLY LINE, OF SAID LOTS OF A POINT ON A LINE THAT IS 369.1 FEET NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE, A DISTANCE OF 94.57 FEET TO A POINT ON A LINE THAT IS 369.1 FEET NORTHWESTERLY LINE OF (AS MEASURED ALONG THE CENTER LINE OF VIRGINIA STREET) AND PARALLEL WITH THE SOUTHWESTERLY LINE, OF SAID LOTS, A SOUTHWESTERLY ALONG SAID SOUTHWESTERLY LINE, A DISTANCE OF 369.1 FEET. THENCE NORTHWESTERLY LINE, A DISTANCE OF 569.1 FEET. THENCE NORTHWESTERLY LINE, A DISTANCE OF 569.1 FEET. THENCE NORTHWESTERLY LINE, A DISTANCE OF 569.1 FEET. THENCE NORTHWESTERLY APPRILLED WITH THE SOUTHWESTERLY LINE, A DISTANCE OF 300.0 FEET TO THE NORTHWESTERLY LINE EXTENDED SOUTHWESTERLY OF SAID LOTS, A SID STANCE OF 300.0 FEET TO THE NORTHWESTERLY LINE EXTENDED SOUTHWESTERLY LINE CONTRACT THE SOUTH LINE OF SAID LOTS, A THE SOUTH LINE OF SAID LOTS, A THE SOUTH LINE OF SOUTH LINE OF SAID LOTS, THE SOUTH LINE OF SAID LOTS, A THE SOUTH LINE OF SAID LOTS, A THE SOUTH

(EXCEPT THEREFROM THE EASTERLY 48.00 FEET OF LOT 5 IN TECKLER'S GRANDWEW SUBDIVISION AFORESAID, AND ALSO EXCEPT THEREFROM THAT PORTION FALLING WITHIN LOTS 1 AND 2 IN LONG JOHN SILVER'S SUBDIVISION NO 2, BEIDING A SUBDIVISION OF PART OF THE NORTHEAST GUARTER OF SECTION 8. TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPLA MEDIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 25, 1997 AS DOCUMENT NO. 97367 AND EXCEPT THEREFROM THAT PORTION FALLING WITHIN LOT 2 IN NEW CHANNELS REALTY SUBDIVISION, RECORDED AS DOCUMENT OF ADDITION FALLING WITHIN LOT 2 IN NEW CHANNELS REALTY SUBDIVISION, RECORDED AS DOCUMENT OF ADDITION FALLING WITHIN VIGINE STREET).

PARCEL 2: LOT 2 IN NEW CHANNELS REALTY SUBDIVISION, BEING A RESUBDIVISION OF LOT 2 IN LONG JOHN SILVER'S SUBDIVISION NO. 2 AND OF LOT 5 IN TECKLER'S GRANDWEW SUBDIVISION, ALL IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 25, 2002 AS DOCUMENT 2002R011170, IN MCHENRY COUNTY, ILLINOIS.

PROPERTY ADDRESS

105 NORTHWEST HIGHWAY, CRYSTAL LAKE ILLINOIS



LOCATION MAP

PROPERTY AREA

PARKING SUMMARY

REGULAR SPACES = 376

SHEET INDEX

SHEET 1 LEGAL DESCRIPTION, SURVEYOR'S NOTES

SHEET 2

SHEETS 3-4

SHEETS 5-8

OVERALL PROPERTY BOUNDARY &:

SURFACE FEATURES AND BUILDING TIES

HANDICAPPED SPACES = 9 TOTAL SPACES = 385

BENCHMARKS:

SOURCE BENCHMARK: NGS NH0144

STAMP ON BENCHMARK DISK
AT THE JUNCTION OF FRANKLIN AVENUE AND SOUTH CAROLINE STREET,
AT COMMUNITY HIGH SCHOOL, IN TOP OF THE EAST EDGE OF THE
ORDULAR CONCRETE BASE FOR THE FLAGFOLE, BY FEET NORTH OF
HE NORTH FACES TEDGE OF THE SIDEWALK LEADING TO THE MORTH
ENTRANCE OF SCHOOL, BY FEET SOUTH OF THE SOUTH CURB LINE OF
FRANKLIN AVENUE, AND ABOUT LEVEL WITH HE SIDEWALK.
ELEVATION: 922.37

DATUM:NAVD88

SIL BENCHMARK 1: SET FACE OF POWER POLE LOCATED IN THE REAR PARKING LOT OF AAMOO TRANSMISSION CENTER 7218 S. WREIMA ROAD APPROXIMATELY 7½ FROM THE WEST FACE OF BACK OF CURB 4: 19'4 OFF THE NORTH FACE OF BACK OF CURB. ELEVATION: 898.86

SITE BENCHMARK 2:
CUT SQUARE ON CONCRETE LIGHT POLE BASE LOCATED AT THE NORTH
PARKING LOT OF SHERWIN WILLIAMS PAINT STORE (6605 NORTHWEST
HIGHWAY), APPROXAMATELY 4' NORTHEAST OF NORTH FACE OF BACK
OF CURB IN PARKING LOT AND 135'± FROM THE CENTERLINE OF U.S.
ROUTE 14 (NORTHWEST HIGHWAY).

PARTINALMANDER ELEVATION: 896.50

SURVEY PREPARED FOR

CRYSTAL LAKE JV LLC W134 N8675 EXECUTIVE PARKWAY MENOMONEE FALL, WI 53051-3310

2017 19

MAY 31 2017

PINS

19-08-201-032 19-08-201-033

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM OF 1983, EAST ZONE—2011 ADJUSTMENT. ADJUSTED TO GROUND VALUES, AS ESTABUSHED UTILIZING TRIMBLE VPS REAL—TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELITE SYSTEM (GNSS)

SURVEYOR'S NOTES

DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESIS (456.87) ARE RECORD OR DEED VALUES, NOT FIELD MEASURED.

2. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

3. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT AND SHOWN HEREON. THIS INFORMATION HAS BEEN FUNISHED BY THE CLIENT AND COMPARED TO RECORD DEEDS TO CHECK FOR GAPS AND/OR OVERLAPS. HOWEVER, THIS SURVEY MAY NOT REFLECT HISTORICAL MATTERS OF TITLE AND OWNERSHIP THAT HAVE NOT BEEN DISCLOSED BY THE THIS COMMITMENT.

4. UNLESS OTHERWISE NOTED, ONLY THE IMPROVEMENTS WHICH WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.

6. UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, STORM AND SANITARY SEMERS, AND WATER MAINS, SHOWN HEREON HAVE BEEN LOCATED BASED ON ACTUAL FIELD GRSERVATIONS AT AN OPEN MANHOLE. THE SURVEYOR MAKES NO QUARRANTIES THAT THE UNDERGROUND UTILITIES SHOWN FROM THE SURVEYOR FURTHER DOCUMENT OF THE SURVEYOR FURTHER DOCUMENT ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

7. THIS SURVEY MAY NOT REFLECT ALL UTILITIES, OR IMPROVEMENTS, IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING, OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS OR TRAILERS, OR WHEN THE SITE WAS HOW TO WITH SHOW. AT THE TIME OF SURVEY, THE SITE WAS HOT COVERED BY SHOW. OVERHEAD WIRES AND POLES (IF ANY) HAVE BEEN SHOWN, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.

8. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT RECORDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE. CONTROLLED UNDERGROUND EXPLORATORY EFFORT TOCHTER WITH "JULIE" MARKINGS IS RECOMMENDED TO DETERMINE THE FULL EXTENT OF UNDERGROUND SERVICE AND UTILITY LINES. CONTACT JULIE. AT 1-800-892-0123.

9. RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES HAVE NOT BEEN SHOWN. HEIGHT AND BULK RESTRICTIONS (IF ANY) HAVE NOT BEEN SHOWN. ONLY THOSE SETBACK RESTRICTIONS SHOWN ON THE RECORDED SUBDIVISION PLAT OR IN THE TITLE COMMITMENT HAVE BEEN SHOWN.

THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SURVEYED PROPERTY AT THE TIME OF SURVEY.

11 THE SURVEYED PROPERTY IS 800'± TO THE WEST OF TECKLER ROAD.

12. TABLE A ITEM 11 INCLUDES STORM, SANITARY AND WATER MAINS PER OBSERVED EVIDENCE AND PROPOSED ENGINEERING PLANS.

13. TABLE A ITEM 21 IS FOR THE TOPOGRAPHIC SURVEY OF THE PROPERTY.

BULK REGULATIONS

THE SURVEYED PROPERTY IS LOCATED IN GENERAL COMMERCIAL "B2" ZONING DISTRICT IS DEFINED AS THE CITY'S PRIMARY COMMERCIAL DISTRICT. IT ACCOMMODATES HIGHWAY SERVICE USES AND COMMUNITY OR REGIONAL COMMERCIAL, OFFICE AND SERVICE USES WITH THE FOLLOWING DEFINED RESTRICTIONS LAST REVISED MARCH I, 2016.

.. FRONT YARDS: MINIMUM 30 FEET

... INTERIOR SIDE YARD: MINIMUM O FEET

.. CORNER SIDE SETBACK: MINIMUM 30 FEET

2. MAXIMUM HEIGHT PRINCIPAL STRUCTURE: 28 FEET (2 STORIES)

3. MAXIMUM IMPERVIOUS LOT COVERAGE: 65%

THE COMPLETE ORDINANCE CAN BE OBTAINED FROM THE CITY OF CRYSTAL LAKE WEBSITE.

FLOOD HAZARD NOTE:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM COMMUNITY PANEL NUMBER 171110.0327J WITH AN EFFECTIVE DATE OF NOVEMBER 16, 2006 INDICATES THAT THE ABOVE DESCRIBED PROPERTY LESS WITHIN AREAS DESIGNATED AS ZONE X. ZONE Y. (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAN. PER THE FLOOD INSURANCE RATE MAPS. THIS MAP DOES NOT NECESSARILY SHOW LAREAS SUBJECT TO FLOODING IN THE COMMUNITY OF ALL PLANMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. THIS DOES NOT AGENTAL THE SURVEYED PROPERTY WILL OF WILL NOT FLOOD APPROVING THE MAPS.

SURVEYOR CERTIFICATE:

STATE OF ILLINOIS) COUNTY OF LAKE

CERTIFIED TO: CRYSTAL LAKE JV LLC.

AND: CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA,MSPS LAND THE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(o), 6(b), 8, 9, 11, 13, 14, 16, 17, 20 AND 21 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JULY 29, 2016.

Jan. Ba ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3648 LICENSE EXPIRES NOVEMBER 30, 2016

DESIGN FIRM PROFESSIONAL LICENSE NO. 184003350 LICENSE EXPIRES APRIL 30, 2017.



Purker Com Q Q Q Q

D 12.83.7183. Oz Σ°0

CRYSTAL LAKE ILLINOIS TITLE SURVEY DEVELOPMENT

HIGHWAY, ALTA/NSPS LAND

PROPOSED NORTHWEST 05

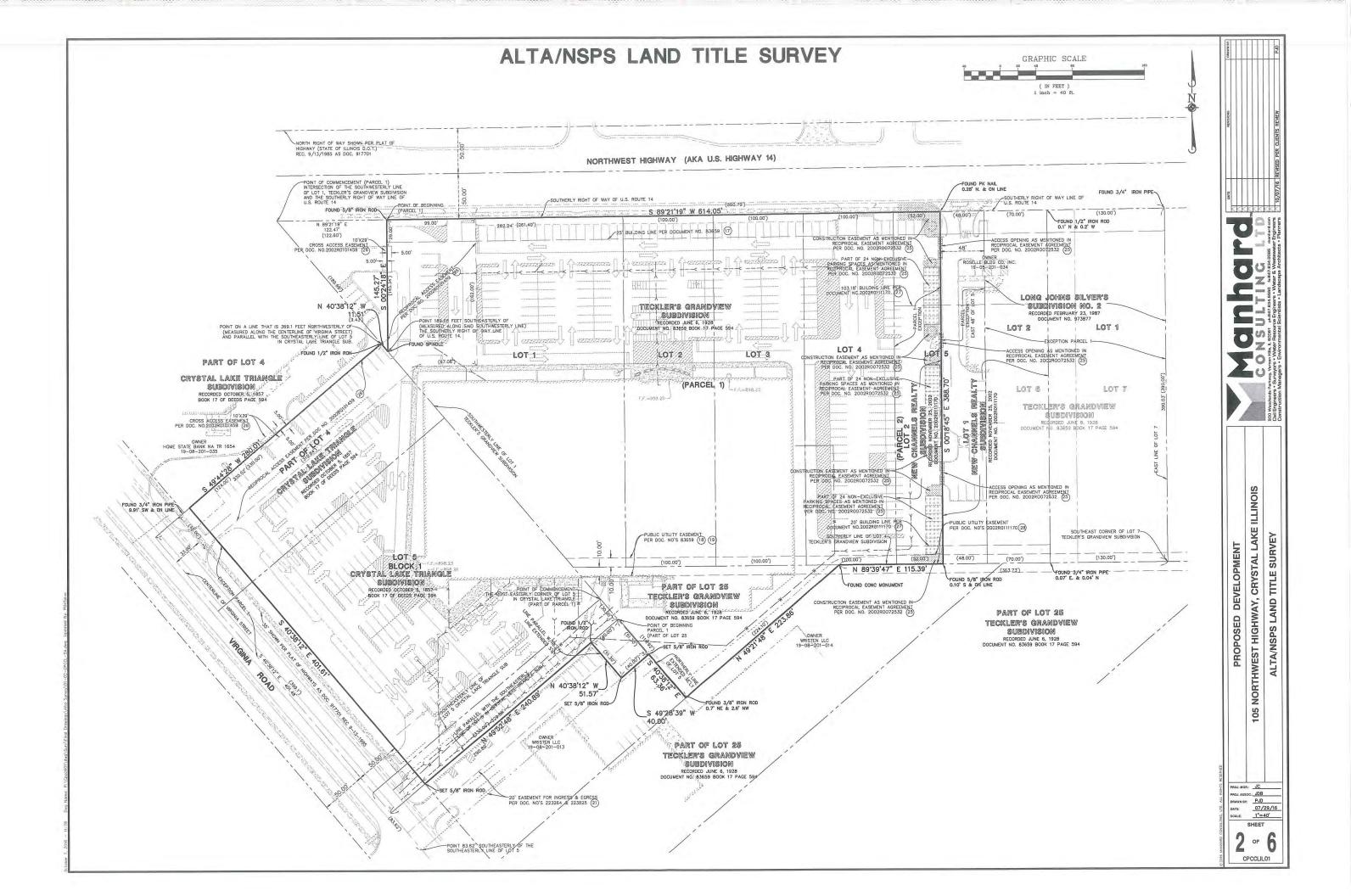
ROJ. MGR.: JC PROJ. ASSOC: JDB DRAWN BY: PJD

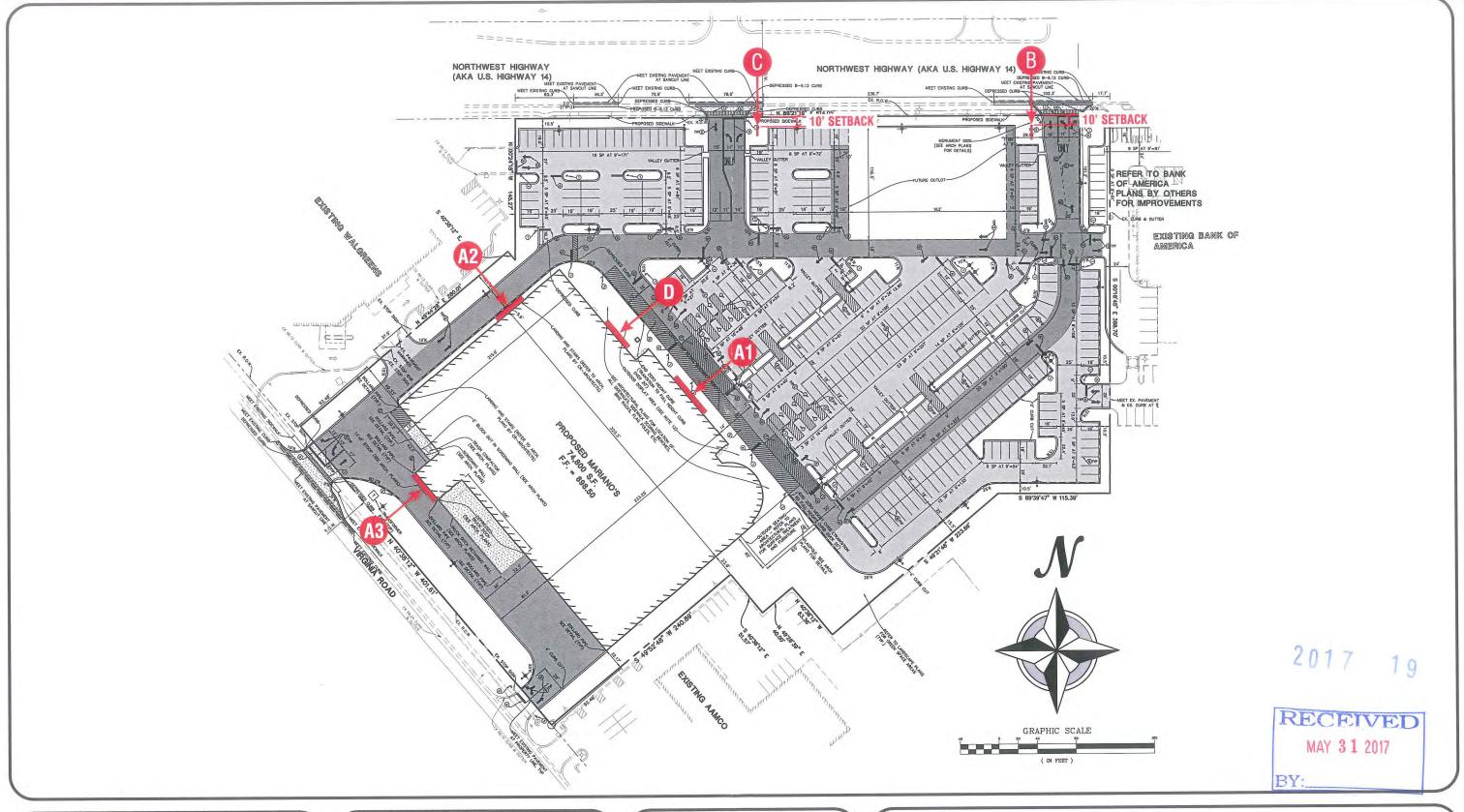
DATE: 07/29/16

SCALE: N/A

SHEET 1 of 6

CPCCLIL01





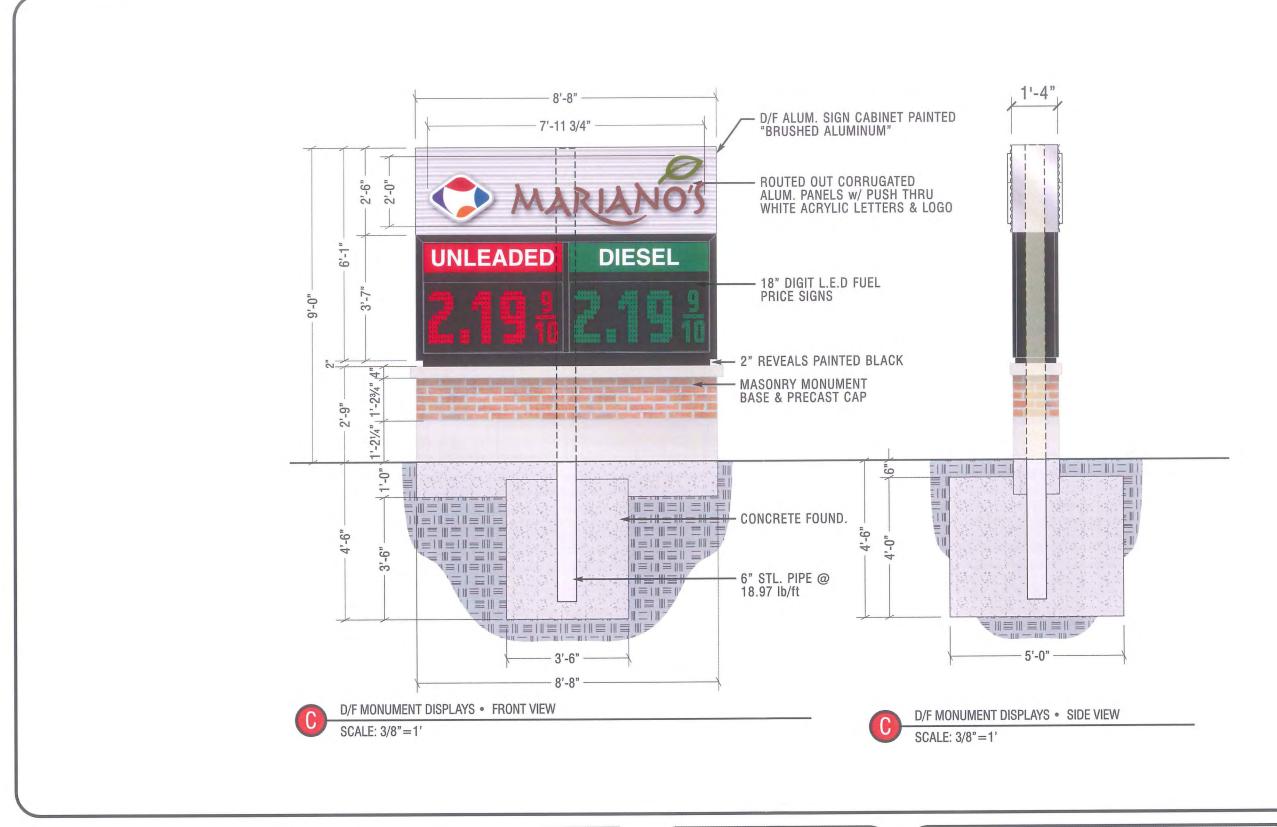


DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER

CUSTOMER APPROVAL	DATE
	An shows the al-

This design is the original and unpublished work of DOYLE SIGNS, INC. and may not be reproduced, copied or exhibited in any fashion without the expressed written consent from an authorized officer of The Company. The rights to this design may be purchased.

CLIENT	MARIANO'S					
ADDRESS	105 NORTHWEST HIGHWA	Υ				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER KM	SALESPERSON	TD
DRWG. NO.	15984	SCALE:	NOTED	DATE: 05.24.2017	SHEET NO.	1



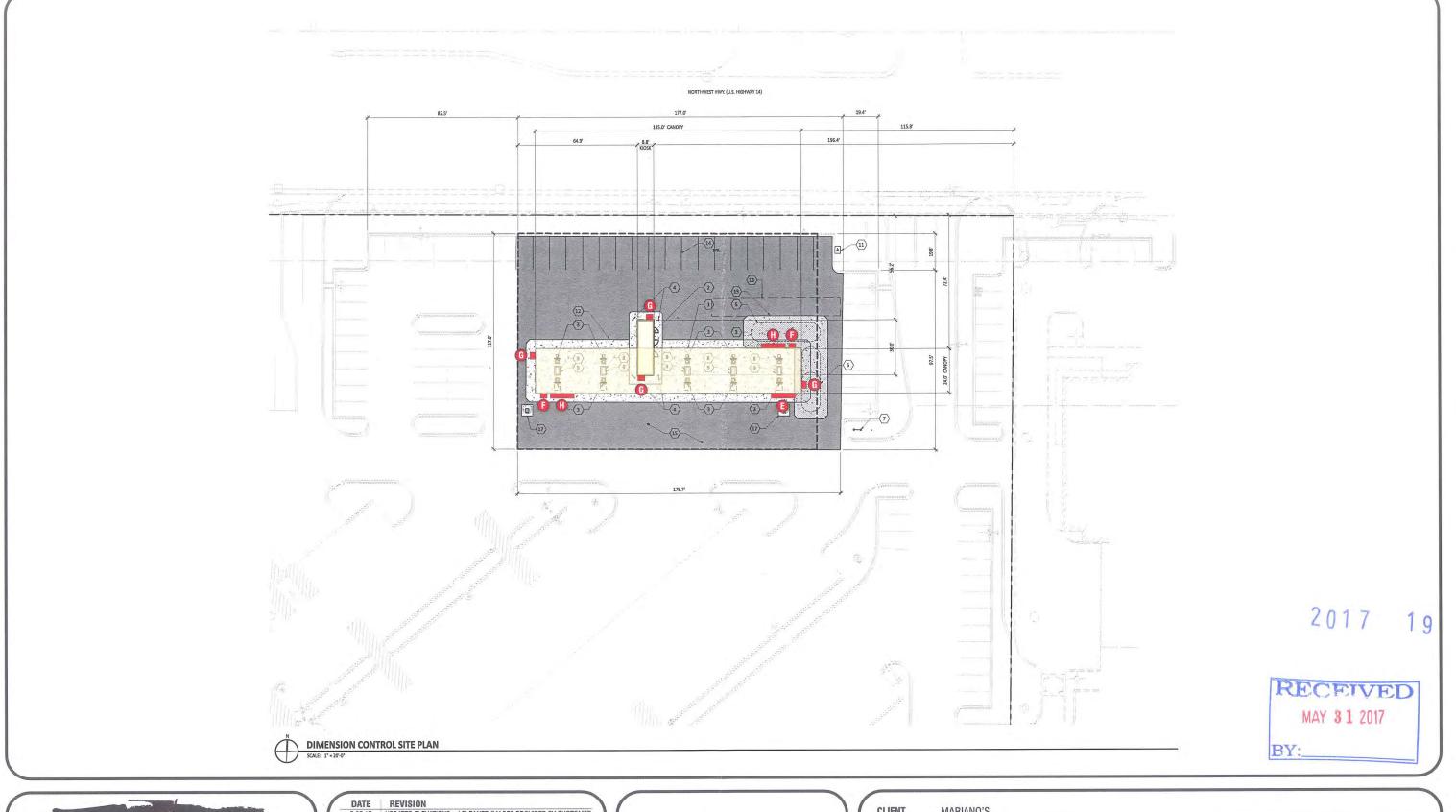


DAIL	KEVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER

CUSTOMER APPROVAL	DATE
This dealer is the extense and consulting	had made of

This design is the original and unpublished work of DOYLE SIGNS, INC. and may not be reproduced, copied or exhibited in any fashion without the expressed written consent from an authorized officer of The Company. The rights to this design may be purchased.

CLIENT	MARIANO'S					
ADDRESS	105 NORTHWEST HIG	HWAY				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER KM	SALESPERSON	TD
DRWG. NO.	15984	SCALE:	NOTED	DATE: 05.24.2017	SHEET NO.	5



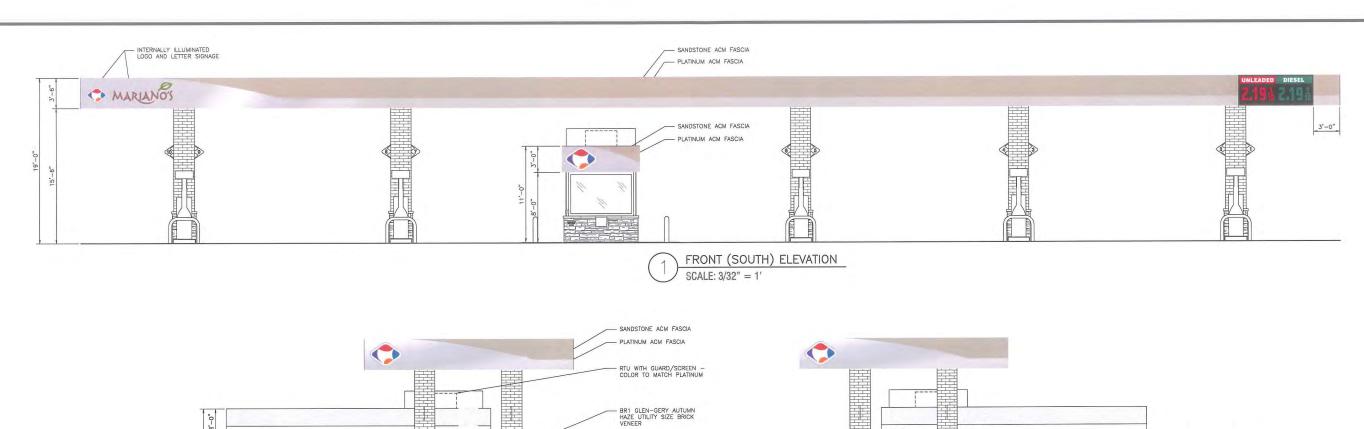


	DATE	REVISION
	5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER
_	5.26.17	ADDED GAS STATION CANOPY SIGNS, ELEVATIONS & SITE PLAN
	5.30.17	ADDED GAS PUMP ELEVATION & SQ. FOOTAGE TABLE
_		
-		
_		

USTOMER	APPROVAL	DATE

This design is the original and unpublished work of DOYLE SIGNS, INC. and may not be reproduced, copied or exhibited in any fashion without the expressed written consent from an authorized officer of The Company. The rights to this design may be purchased.

CLIENT	MARIANO'S					
ADDRESS	105 NORTHWEST HIGH	-YAW-				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER KM	SALESPERSON	TD
DRWG. NO.	15984	SCALE:	NOTED	DATE: 05.24.2017	SHEET NO.	7

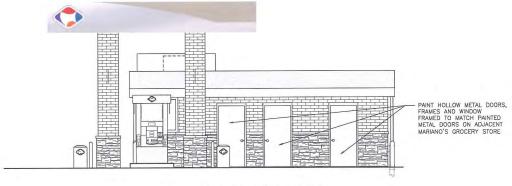


- CS1 ARRISCRAFT - WHEAT CAST STONE SILL - ST1 CULTURED STONE -CARMEL DRIYSTACK LEDGESTONE

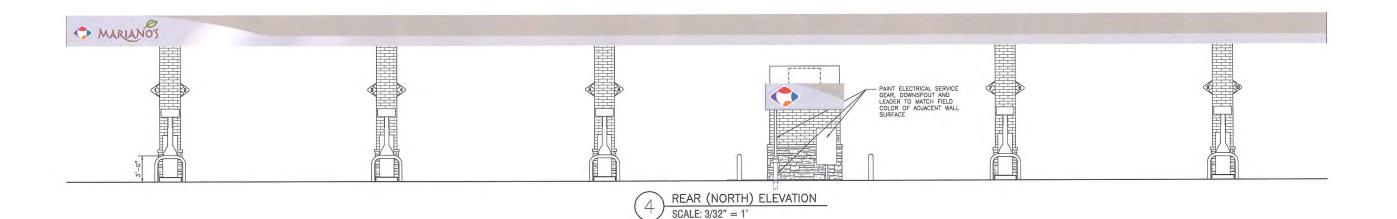
8

LEFT (WEST) ELEVATION

SCALE: 3/32" = 1'



RIGHT (EAST) ELEVATION
SCALE: 3/32" = 1'



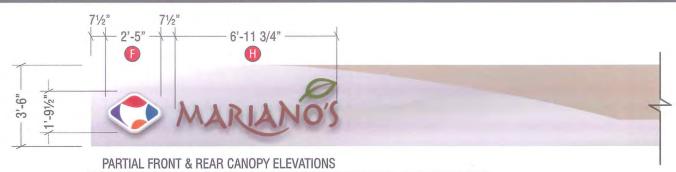


DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER
5.26.17	ADDED GAS STATION CANOPY SIGNS, ELEVATIONS & SITE PLAN
5.30.17	ADDED GAS PUMP ELEVATION & SQ. FOOTAGE TABLE

US	TOMER APPROVAL	DATE
	This design is the original and unput	lished work of

This design is the original and unpublished work of	
DOYLE SIGNS, INC. and may not be reproduced, copied	
DOTLE Signs, INC. and may not be reproduced, copied	
or exhibited in any fashion without the expressed written	
consent from an authorized officer of The Company.	
The rights to this design may be purchased.	

CLIENT	MARIANO'S					
ADDRESS	105 NORTHWEST HIGH	HWAY				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER KM	SALESPERSON	TD
DRWG. NO.	15984	SCALE:	NOTED	DATE: 05.24.2017	SHEET NO.	8

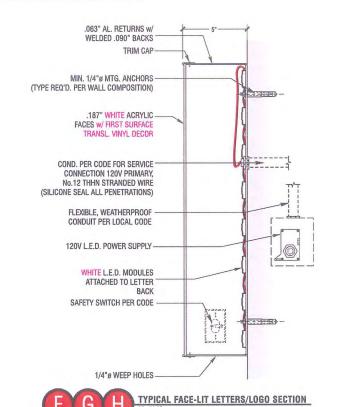


SCALE: 1/4"=1'



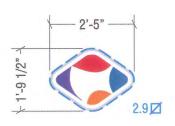
PARTIAL LEFT & RIGHT CANOPY ELEVATIONS

SCALE: 1/4"=1'



8'-8" -UNLEADED DIESEL 30.3

ONE(1) SINGLE FACE, DOUBLE PRODUCT L.E.D. GAS PRICE DISPLAYS SCALE: 3/8"=1'



PANTONE | PANTONE | PANTONE | 485 C | 3135 C | 1375 C

2726 C

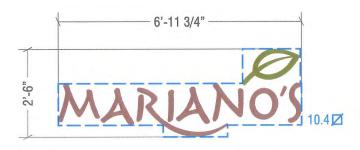


3'-9" -

TWO(2) SINGLE FACE INTERNALLY ILLUMINATED LOGOS SCALE: 3/8"=1"

FOUR(4) SINGLE FACE INTERNALLY ILLUMINATED LOGOS SCALE: 3/8"=1'

- TWO(2) SIGNS FOR CANOPY & TWO(2) SIGNS FOR KIOSK





TWO(2) SETS OF L.E.D. ILLUMINATED LETTERS & LOGO SCALE: 3/8"=1'



FAX 630-543-9493

DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER
5.26.17	ADDED GAS STATION CANOPY SIGNS, ELEVATIONS & SITE PLAN
5.30.17	ADDED GAS PUMP ELEVATION & SQ. FOOTAGE TABLE

USTOMER	APPROVAL	DATE
---------	----------	------

This design is the original and unpublished work of DOYLE SIGNS, INC. and may not be reproduced, copied or exhibited in any fashion without the expressed written consent from an authorized officer of The Company.

The rights to this design may be purchased.

CLIENT	MARIANO'S					
ADDRESS	105 NORTHWEST HIGH	HWAY				
CITY	CRYSTAL LAKE	STATE	IL	DESIGNER KM	SALESPERSON	TD
DRWG. NO.	15984	SCALE:	NOTED	DATE: 05.24.2017	SHEET NO.	9



2.9 SQ. FT. **CANOPY:** FRONT ELEV.: LOGO: LETTERS SIGN: 10.4 SQ. FT. REAR ELEV.: LOGO: 2.9 SQ. FT. LETTERS SIGN: 10.4 SQ. FT. GAS PRICE SIGN: 30.3 SQ. FT. LEFT ELEV.: LOGO: 6.6 SQ. FT. 6.6 SQ. FT. RIGHT ELEV.: LOGO: KIOSK: FRONT ELEV.: LOGO: 6.6 SQ. FT. 6.6 SQ. FT. **REAR ELEV.:** LOGO: 8.3 SQ. FT. (5) D/S PUMPS: TOPPER: (5)LOGOS: 4.5 SQ. FT. VALANCE: (10)LOGOS: (10) LETTERING: 2.75 SQ. FT. EA. DOORS: 27.5 SQ. FT. TOTAL AREA: 123.6 SQ. FT.

FIVE(5) DOUBLE SIDED GAS PUMPS • FRONT ELEVATION

SCALE: NTS



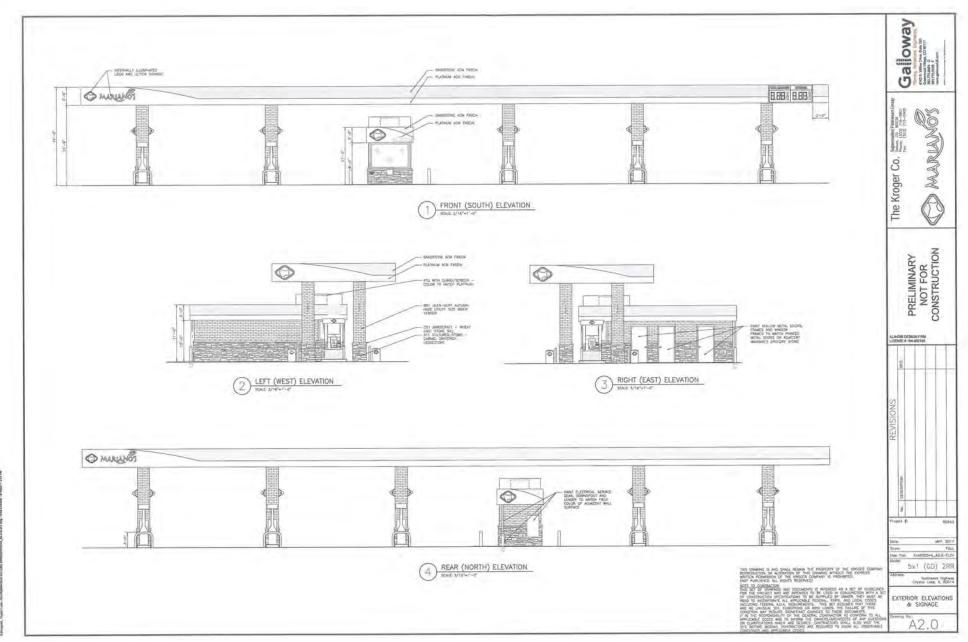
DATE	REVISION
5.25.17	UPDATED ELEVATIONS w/ CLEANER IMAGES PROVIDED BY CUSTOMER
5.26.17	ADDED GAS STATION CANOPY SIGNS, ELEVATIONS & SITE PLAN
5.30.17	ADDED GAS PUMP ELEVATION & SQ. FOOTAGE TABLE

CUSTOMER APPROVAL	 DATE

This design is the original and unpublished work of DOYLE SIGNS, INC. and may not be reproduced, copied or exhibited in any fashion without the expressed written consent from an authorized officer of The Company.

The rights to this design may be purchased

CLIENT	MARIANO'S		***************************************			
ADDRESS	105 NORTHWEST HIG	HWAY				
CITY	CRYSTAL LAKE	STATE II	_ D	ESIGNER KM	SALESPERSON	TD
DRWG. NO.	15984	SCALE: N	IOTED D	ATE: 05.24.2017	SHEET NO.	10





Mariano's 531-00544 **Retail Fuel Center**

Northwest Highway Crystal Lake, Illinois 60014



LOCATION MAP SCALE: NTS

BUILDING CODE REVIEW:

ACCESSIBILITY CODE: BUILDING CODE: ELECTRICAL CODE: MECHANICAL CODE: PLUMBING CODE: FUEL/GAS CODE: FIRE SPRINKLER:

ZONING ORDINANCE REVIEW:

ZONING ORDINANCE:

CITY OF CRYSTAL LAKE UNIFIED DEVELOPMENT ORDINANCE ORDINANCE NUMBER 6461 EFFECTIVE JULY 21, 2017

ZONING MAP:

B-2 GENERAL COMMERCIAL SPECIAL USE

DESIGN CRITERIA

PROJECT DESCRIPTION:

CONSTRUCTION OF A RETAIL FUEL CENTER AND SHOPPING CENTER SITE CONSISTING OF:

- ONE (1) 3,480 SF CANOPY
 ONE (1) 270 SF KIOSK BUILDING
 FIVE (5) DISPENSER ISLANDS

SITE NOTES:

- 1. SITE WILL BE ROUGH GRADED TO ELEVATIONS AS SHOWN ON CL. 30. REFER TO REFERENCE STORE SITE GRADING PLAN 9 OF 20 BY MANHARD CONSULTING FOR MORE INFORMATION.
 2. FUEL CENTER OPERATIONS WILL UTILIZE STORE TRASH DUMPSTER.
 3. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY MANHARD CONSULTING, LTD. ON JULY 29, 2016. THE SURROUNDING IMPROVEMENTS INCLUDING PROPOSED ELEVATIONS, IMPROVEMENTS, INCLUDING PROPOSED ELEVATIONS, IMPROVEMENTS, UTILIZE, STC. ARE BASED ON DESIGN DOCUMENTS BY MANHARD CONSULTING, LTD DATED APRIL 21, 2017. THE CONTRACTOR SHALL VEHI'V THE EXISTING CONDITIONS PROTO TO CONSTITUTION AND SHALL IMMEDIATELY NOTIFY ENGINEER AND OWNER IN WRITING IF CONFLICTS EXIST.

D	EV	EI.	OF	NA	EN	T	N	0	T	F	ς
\mathbf{D}	EV	EL	Ur	IVI	EIN		1.4	U	1	E,	٥

	OWNER	MARIANO'S 875 E. WISCONSIN MILWAUKEE, WI 53202	NATALIE MOUW 317.710.6255
PROJECT CONSULTANT		SEVAN MULTI-SITE SOLUTIONS 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIM KRATZ, P.E. 586.630.7212
	SURVEYOR	MANHARD CONSULTING LTD 900 WOODLANDS PARKWAY VERNON HILLS, IL 60061	DANIEL MILETIC, P.E. 847.634.5550
	CIVIL ENGINEER	SEVAN MULTI-SITE SOLUTIONS 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIM KRATZ, P.E. 586.630.7212
ONAL	FUEL ARCHITECT	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
REGISTERED DESIGN PROFESSIONAL	TANK AND PIPING	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
R DESIGN	KIOSK VENDOR	VENTAIRE, LLC 909 N. WHEELING AVENUE TULSA, OK 74110	RALPH HIBBERD 918.858.1407
	CANOPY VENDOR	McGEE CORPORATION 12701 EAST INDEPENDENCE BLVD. MATTHEWS, NC 28106	CANDACE BOYCE 704.884.1500
	TELEPHONE	AT&T 2004 MINER STREET DES PLAINES, IL 60016	HECTOR SUAREZ 847.888.6864
È	ELECTRIC	COMMONWEALTH EDISON 350 SOUTH SECOND STREET ELGIN, IL 60123	MARY INFANTE 630.639.3532
VTILITY	GAS	NICOR GAS 1844 FERRY ROAD NAPERVILLE, IL 60565	CONSTANCE LANE 630.399.0600
	SEWER/WATER	CITY OF CRYSTAL LAKE 100 W. WOODSTOCK STREET CRYSTAL LAKE, IL 60014	ANDREW RESEK 815.356.3614
	PLANNING DEPARTMENT	-	-
GOVERNMENT	ENGINEER	-	-
GOVE	BUILDING DEPARTMENT	-	2
	-	-	

MINIMUM: 100' LOT WIDTH

31,363 SF MAXIMUM: 28.0' (2 STORIES)

ACTUAL: 194.70'

MINIMUM: 20,000 SF

ACTUAL: 19.0'

MINIMUM: 30.0

ACTUAL: 59.88'

MINIMUM: 15.0'

MINIMUM: 30.0

MINIMUM: 50.0' ACTUAL:

MINIMUM: 10' x 45'

ACTUAL: 12' x 70'

5 DISPENSER = 10 NOZZLE = 10 SPACES

O.S.F. USEABLE FLOOR AREA TOTAL = 10 SPACES FUEL CENTER PARKING FIELD: - SPACES **BULK REGULATIONS**

ACTUAL:

MINIMUM:

ACTUAL:

SETBACKS - BUILDING

SETBACKS- CORNER SIDE LOT

LOADING ZONE:

PARKING:

PROVIDED:

ALL YARDS:

MINIMUM: 0' (INTERIOR LOT)

20.0'

299.32

408.26' WEST 194.15' EAST

72.41' NORTH 289.66' SOUTH 115.14' EAST 355.02' WEST

18 SPACES* - TO BE INCLUDED IN OVERALL SHOPPING CENTER COUNT.

ACTUAL: 11.0' MAXIMUM: 28.0' SECTION 3-200D(3)

SECTION 3-200D(3)

SECTION 3-200D(3)

SECTION 3-200D(3)

SECTION 3-200D(3)

SECTION 3-200(3)

SECTION 3-200D(3)

SECTION 4-200(13)d

SECTION 3-200D(3)

SECTION 3-200D(3)

SECTION 4-200(2)(b)

	OWNER	875 E. WISCONSIN MILWAUKEE, WI 53202	317.710.6255
PROJECT CONSULTANT		SEVAN MULTI-SITE SOLUTIONS 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIM KRATZ, P.E. 586.630.7212
	SURVEYOR	MANHARD CONSULTING LTD 900 WOODLANDS PARKWAY VERNON HILLS, IL 60061	DANIEL MILETIC, P.E. 847.634.5550
	CIVIL ENGINEER	SEVAN MULTI-SITE SOLUTIONS 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIM KRATZ, P.E. 586.630.7212
ONAL	FUEL ARCHITECT	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
REGISTERED DESIGN PROFESSIONAL	TANK AND PIPING	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
R DESIGN	KIOSK VENDOR	VENTAIRE, LLC 909 N. WHEELING AVENUE TULSA, OK 74110	RALPH HIBBERD 918.858.1407
	CANOPY VENDOR	McGEE CORPORATION 12701 EAST INDEPENDENCE BLVD. MATTHEWS, NC 28106	CANDACE BOYCE 704.884.1500
	TELEPHONE	AT&T 2004 MINER STREET DES PLAINES, IL 60016	HECTOR SUAREZ 847.888.6864
È	ELECTRIC	COMMONWEALTH EDISON 350 SOUTH SECOND STREET ELGIN, IL 60123	MARY INFANTE 630.639.3532
УППП	GAS	NICOR GAS 1844 FERRY ROAD NAPERVILLE, IL 60565	CONSTANCE LANE 630.399.0600
	SEWER/WATER	CITY OF CRYSTAL LAKE 100 W. WOODSTOCK STREET CRYSTAL LAKE, IL 60014	ANDREW RESEK 815.356.3614
	PLANNING DEPARTMENT	-	-
GOVERNMENT	ENGINEER	-	1
GOVER	BUILDING DEPARTMENT	-	4
	-	2	

PROJECT DIRECTORY

		SITE PLAN/SPECIAL USE 05.26.2017										45		15	
		0	1	2	3	4	5	6	7	8	9	10	11	12	1
GENERAL															r
G0.01 G0.02	COVER SHEET GENERAL NOTES	0													F
SURVEY															
															F
			Е							E					
CIVIL						_			_					_	-
C1.02 C1.10	COMPOSITE SITE PLAN - CONSTRUCTION DEMOLITION SITE PLAN														E
C1.11 C1.20	SOIL EROSION AND SEDIMENT CONTROL PLAN DIMENSION CONTROL SITE PLAN														F
C1.30 C1.31 C1.32	GRADING PLAN STORM WATER MANAGEMENT PLAN STORM WATER MANAGEMENT PLAN	0									E	E			Ħ
C1.33 C1.40	STORM WATER MANAGEMENT DETAILS UTILITY PLAN	0													£
C5.00 C5.01	SITE DETAILS SITE DETAILS	0	F												+
C5.02 L1.20	TRASH ENCLOSURE PLAN AND DETAILS LANDSCAPE PLAN, DETAILS, AND SCHEDULE														
	7 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7				F										1
C5.02	D DETAILS - CITY OF CRYSTAL LAKE SITE DETAILS	0	F						F	F					ŧ
C5.02 C5.03	SITE DETAILS	0													F
															+
									F				F		Ŧ
ARCHITEC	TURAL		F								+		F		+
			-		F					F			F		+
									-	F		-		F	f
	FURAL GRAPHICS SIGN DIAN - SITE		-								-				+
AG1.01 AG2.01 AG5.01	SIGN PLAN - SITE SIGN ELEVATIONS - EXTERIOR SIGN DETAILS		F												f
ARCHITEC					1				T	1					1
A0.0	COVER SHEET							E		F		E			Ŧ
A1.0 A1.1	CONSTRUCTION & FOUNDATION PLANS FLOOR & EQUIPMENT PLANS CEILING/FINISH, MECHANICAL, ROOF PLANS & DETAILS		F		F	F		-		F		F	F	F	+
A1.2 A2.0 A2.1	CELLING/FINISH, MECHANICAL, ROUP PLANS & DETAILS EXTERIOR ELEVATIONS AND SIGNAGE EXTERIOR ELEVATIONS & DETAILS EXTERIOR ELEVATIONS & DETAILS	0								E	F		E	E	-
A2.2 A2.3	BUILDING SECTIONS AND DETAILS BUILDING DETAILS		F					F					+	F	+
A3.0 S1.1 S1.2	YARD DETAILS FOUNDATION PLAN, ROOF FRAMING PLAN, STRUCTURAL DETAILS FOUNDATION AND FRAMING DETAILS				-	F	F	F		F					-
S1.3 E1.0	STRUCTURAL NOTES ELECTRICAL PLANS		F				F	F		F	+	1	F		1
E2.0 E3.0 P1.1	PANE SCHEDULE AND DETAILS DISPENSER AND LEAK DETECTION WIRING PLUMBING PLANS		+			-		-	-	-	F	F	F		+
CA1.0 CA2.0	CANOPY CONSTRUCTION & FOUNDATION PLANS CANOPY EXTERIOR ELEVATIONS & SIGNAGE														-
CE1.0	CANOPY ELECTRICAL PLANS & DETAILS		+	-	+		-	-	-		+		-		+
							-				F				1
			+	+		-		+	+	-			1		1
TANK ANI	FUELING LAYOUTS - LCY		F		F			F	F	1	F	F		E	1
T2.0 T2.1	TANK AND PIPING MATERIALS LIST (1 OF 2) - LCX TANK AND PIPING MATERIALS LIST (2 OF 2) - LCX			F			F	F	F	F				F	1
T3.0 T3.1	20,000 GALLON TANK PLAN AND SECTION INSTALLATION DETAILS - LCX 10,000/8,000 GALLON TANK PLAN AND SECTION INSTALLATION DETAILS - LCX TANK SLAB, ANCHORING AND MISCELLANEOUS INSTALLATION DETAILS			F	-	-	+	+	+	+	+	+		F	+
T4.0 T5.0 T6.0	TANK TURBINE/FILL SUMP & STATIC GROUNDING INSTALLATION DETAILS TANK TURBINE SUMP & MISCELLANEOUS INSTALLATION DETAILS (ALL CONFIGURATIONS)					F	E		-						
T7.0 T8.0	TANK FILL SUMP & FITTING INSTALLATION DETAILS DISPENSER & PIPING INSTALLATION DETAILS (WAYNE OVATION 3+0)		1	F	-	1	F		+		+	-	+	+	-
T8.1	DISPENSER & PIPING INSTALLATION DETAILS (WAYNE OVATION 3+1)				F	F	Ė		1						
				F					1	F		F	1		-
			+	+	+	+	+		+	+	+	+	+	F	=
CANOPY			+	+	+	+		+	+	+			+	+	-
				-	+		F	ŧ	+	+		+	+	F	
			-	-	-	-	+	+	-	+	+	-	-	-	-
			+	+	+	+	+	+	+						

sevar MULTI-SITE SOLUTIO Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515 SAFETY - INTEGRITY - SUST REVISIONS NO. DATE DESCRIPTION 0 05.26.2017 SITE PLAN/SPECIAL USE CONSULTANT SEAL CUSTOMER MARIANO'S PROJECT DESCRIPTION 531-00544 **RETAIL FUEL CENTER NORTHWEST HIGHWAY** CRYSTAL LAKE, IL 60014 SHEET TITLE **COVER SHEET** SHEET MANAGEMENT PROJECT NO .: PROJECT MANAGER: T. KRATZ

Call Before You Dig Simply Call 811

SHEET INDEX

RECEIVED MAY 3 1 2017

G0.01

SHEET NUMBER

BY:

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KNOW ALL OBSERVABLE CONDITIONS AND TO CONFORM TO ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY NECESSARY OR APPROPRIATE QUESTIONS OR CLARIFICATIONS. THE GENERAL CONTRACTOR SHALL INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL
- THE DRAWINGS AND PROJECT MANUAL (INCLUDING ASSOCIATED STUDIES, DRAWINGS, SHOP DRAWINGS AND SIMILAR INSTRUMENTS AS APPLICABLE CONSTITUTE THE GUIDELINES FOR THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE AFOREMENTIONED ENTIRE BDDY OF PROJECT INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COMPLETE INFORMATION TO ALL JURISDICTIONAL AUTHORITIES, SUBCONTRACTORS, ALLED CONSULTANTS, HIRES, AND ASSIGNS,
- 3. ALL CONSTRUCTION SHALL COMPLY WITH THE BRAWINGS, PROJECT MANUAL, CODES AND STANDARDS OF THE JURISDICTIONAL AUTHORITY OR AUTHORITIES. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, EDERAL, STATE AND LOCAL REGULATIONS. IN CASE OF DISCREPANCIES, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A GENERAL "A" LICENSE WITH HAZ MAT CERTIFICATION FROM THE CONTRACTOR'S STATE LICENSE BOARD AND/OR OTHER
- THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND DURING THE INVESTIGATION OF EXISTING UTILITIES AND TOPOGRAPHY AND/OR DURING THE CONSTRUCTION PHASE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES AND LICENSE FEES. THE GENERAL CONTRACTOR SHALL OSTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL REQUIRED WORK. THE CONTRACTOR SHALL POST ALL DONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE ALL TRAFFIC CONTROL
- 7. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AGENCY OR AGENCIES HAVING JURISDICTION, GRADING, PAVING, AND MATERIALS SHALL COMPTY WITH THE JURISDICTIONAL ROADWAY AUTHORITY OR AUTHORITIES (E.G., DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, A' CLARIFICATION FROM THE COWNERS REPRESENTATIVE.
- 8 THE GENERAL CONTRACTOR SHALL ENSURE ALL SITE INSPECTIONS REQUIRED BY CITY AND/OR STATE AGENCIES, AND/OR OTHER JURISDICTIONAL AUTHORITY ARE TO BE SCHEDULED A MINIMUM OF FIVE WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.
- 9. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE DRAWINGS, PROJECT MANUAL AND/OR FIELD CONDITIONS SO THAT APPROPRIATE ADJUSTMENTS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN THE DRAWINGS AND PROJECT MANUAL SHALL BE DENTIFIED BY THE GENERAL CONTRACTOR AND IRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
- 10. MATERIAL TESTING SHALL BE SUPPLIED BY THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TESTING FIRM. ALL RE-TESTING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SOIL SAMPLES MAY BE REQUIRED TO BE TAKEN FOR TESTING AT THE DIRECTION OF HAZ MAT, OTHER JURISDICTIONAL AUTHORITY, OR THE OWNER'S REPRESENTATIVE.
- 12. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA. TRASH AND WASTE IALS SHALL BE COLLECTED AT A SAFE POINT, AWAY FROM FLAMES OR OTHER FIRE SOURCES. THE GENERAL CONTRACTOR SHALL PREVENT ANY LEAKS OR DRIPS OF HYDRAULIC SOURCES. THE GENERAL CONTRACT ON STARL PREVENT ANY LEAST OF THIO-DOCUMENT OF THE CONTRACT OF T
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- 14. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, OTHER OPENINGS, AND HAZARDOUS AREAS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TI CONTROL SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND FOR DEWATERING TO IPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. DEWATERING SHALL NOT DISCHARGE TO ANY SANITARY SEWER SYSTEM OR BE PLIMPED ONTO ANY PUBLIC ROADWA
- PROMPTLY REMOVE ALL DEMOLITIONS, PROJECT DISCARDS, RUBBISH, AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND/OR EFFECTIVE PROJECT LIMITS, AND DISPOSE IN A LEGAL
- 17. ALL EQUIPMENT TO BE INSTALLED SHALL BE UL APPROVED.
- 18. THE GENERAL CONTRACTOR SHALL PROVIDE A TRAFFIC SEQUENCING AND SCHEDULING PLAN AT THE ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVES AND APPLICABLE LANDLORD'S REPRESENTATIVE(S).
- THE GENERAL CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF AFFECTED OWNERS, JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
- 20. ALL CONSTRUCTION SHALL BE CONDUCTED TO CAUSE MINIMAL INTERFERENCE WITH STREETS. AND SHALL NOT CAUSE THE CLOSURE OR OBSTRUCTION OF STREETS, DRIVES, WALKS OR USER FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE
- 21. THE GENERAL CONTRACTOR SHALL PHASE CONSTRUCTION IN SUCH A WAY AS TO MAINTAIN AN ACCESS ROUTE FROM AN ENTRANCE DRIVE TO TRUCK DOCKS AND/OR LOADING AREA(S) AT ALL
- 22. CONTRACTOR SHALL KEEP EXISTING STREETS, ROADS AND DRIVES CLEAR OF DIRT, DEBRIS AND
- 23. THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE FOR THE GENERAL CONTRACTOR SHALL DISTAIN APPROVAL FROM THE OWNERS PREVASENTATIVE PRANTING AND STORAGE OF EQUIPMENT. THIS AREA, AS WELL AS THE LIDB STIE, SHALL BE ENCLOSED IN CHAIN LINK FENCING, A TRAFFIC LANE SHALL BE DESIGNATED FOR INGRESS AND ERCERS FROM THE WORK AREA, IF REQUIRED, I.A. MEN SHALL BE PROVIDED TO PROVIDE FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES. NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIDG APPROVAL OF THE OWNER'S REPRESENTATIVE; THE OWNER'S REPRESENTATIVE WILL SECURE APPROVAL FOR SUCH CHANGES, I EARDLICABLE.
- 24 NO FOLIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
- FOR THE DURATION OF CONSTRUCTION OPERATIONS, EMPLOYEE(S) WILL PARK IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
- 26. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT ON CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR

- 78. WRITTEN DIMENSIONS SHALL PREVAIL. NO DIMENSION MAY BE SCALED, REFER ANY UNCLEAR TEMS TO THE OWNER'S REPRESENTATIVE FOR INTERPRETATION
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED DIMENSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS, UTILITY SERVICE POINT CONNECTIONS, ETC., AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTIS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- 30. COORDINATES AND/OR DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO BACK OF CURE OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, OR CENTER OF STRUCTURE OR SIGN UNLESS NOTED OTHERWISE.
- 31. ANY BEARINGS USED HEREON ARE FOR THE PURPOSE OF ANGULAR MEASUREMENT ONLY AND ARE
- 32. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974.
- 33. THE GENERAL CONTRACTOR AT ALL TIMES SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD LINES. IF THE GENERAL CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO UNDERGROUND AND/OR OVERHEAD ELECTRIC LINES, CONTACT THE AFFECTED UTILITY CO AND MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS, PRIOR TO OPERATION.
- 34. THE GENERAL CONTRACTOR SHALL AT HIS OR HER EXPENSE. RESTORE ANY AND ALL STRUCTURES. THE GENERAL CONTRACTOR SHALL, AT I HIS OF NEW EXPENSE, RESIDURE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAYMENET, CURS, SIDEWAIK, LANDSCAPED AREA, ETC. DISTURED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL COMDITION OR BETTER, TO THE SATISFACTION OF THE
- 36. IN ALL CASES THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS ASSUMED TO BE APPROXIMATE. LOCATIONS ARE BASED ON THE SEST AVAILABLE REFERENCE PLANS AND AN ACTUAL FILED SURVEY OF VISIBLE STRUCTURES, CONTACT THE REGIONAL UTILITY NE-CALL SYSTEM OFFICE BEFORE DIGGING
- 37. THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES AND/OR SERVICING THE CHERGIAL CONTROL A PHALL NOT HERROR FEASITION OF THE THRES DURING OCCUPIED FACILITIES OCCUPIED AND USED BY THE OWNER, LANDLORD, OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERSUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE AFFECTED OWNER, LANDLORD, JUSSICITIONAL AUTHORITY, AND/OR UTILITY COMPANY, INTERSUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS
- 38. NOT USED.
- 39 THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALLIED CONSULTANTS THROUGHOUT THE
- 40. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION PROJECT TO BE COMPLETED IN ACCORDANCE WITH ALL BRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPPERATIONAL CONDITION.
- 41. UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE AN ELECTRICIAN AVAILABLE DURING TO OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMEN
- 42. AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED. THE AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT, MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PAR STRIPES OR STAINED PAVEMENT SHALL BE REFINISHED TO ITS ORIGINAL CONDITION BY THE
- 43. SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCHING OPERATIONS. SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
- 44. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1' BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
- 45. REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED
- 46. PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORSEEN CONDITIONS.
- 47. ALL PAVEMENTS ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT
- 48. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING ARES AS REQUIRED TO PROTECT
- WHENEVER REQUIRED OR APPROPRIATE. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP IGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND LIRISDICTIONAL AUTHORITY OR AUTHORITIES, AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FARRICATION AND/OR DELIVERY TO THE SITE, ALLOW A MINIMUM OF 14 WORKING DAYS
- THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STARIWAYS, ETC.
- 51. TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE STATE DOT AND/OR THER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE MOST CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- 53, IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE, STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EX
- 54. AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGAT SIEVE ANALYSES AND JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNERS REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
- 55. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
- 56. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWNINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWNINGS AND PROJECT MANUAL.

57. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPULES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE

DEMOLITION NOTES:

- 1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE
- 2. PERFORM CLEARING, STRUCTURE REMOVAL, PAVEMENT REMOVAL AND APPLICABLE STOCKPILING IN ACCORDANCE WITH THE PROJECT DRAWINGS AND PROJECT MANUAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH,
- NO ATTEMPT IS MADE TO STIPULATE EACH ITEM TO BE REMOVED AND/OR DEMOLISHED, EITHER ON THE DRAWINGS OR IN THE PROJECT MANUAL. THE CONTRACTOR MUST WIST THE SITE TO ASSESS EXISTING PHYSICAL CONDITIONS, AS WELL AS REVIEW THE DRAWINGS, AND UITIMATELY DETERMINE WORK NECESSARY TO ACCOMPUSH INTENDED RESULTS DESCRIBED BY THE PROJECT
- 4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXIST COMPICE M INCOME ALL SITURDAY OF A FFECTED OWNER(S) AND/OR GOVERNING AUTHORITY ALL COSTS FOR CLEAN-UP, RESTORATION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY ALL COSTS FOR CLEAN-UP, RESTORATION OF MORK AND OTHER STATEMENT OF POERATION SUCH AS, THE TO WEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTROL SIGNATOR SERSONALITY, RESTORATION FOR MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTROL SIGNATOR SERSONALITY, RESTORATION FOR MAINTAINING EXISTING PREFROMED WITHIN FIVE (S) WORKING DAYS AFFECOMPLETION OF FIRMAL GRADING.
- 5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH
- 6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE
- IF APPROPRIATE, RETAIN SOIL SPOILS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).

- 1. PROTECT AND MAINTAIN CROSSINGS WITH ANY AND ALL OTHER UTILITY LINES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE JURISDICTIONAL AUTHORITY OR AUTHORITIES TO PROVIDE FEES AND SECURE PERMITS FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- THOROUGH COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, AND OTHER IURISDICTIONAL AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE
- 4 THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND LEVATIONS OF ALL UTILITIES, INCLUDING SERVICES AND SERVICE LINES, PRIOR TO
- THE SERVICE OF THE SET VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION, TEST PITS SHALL BE DUE AT ALL LOCATIONS WHERE SEWER GROSS EXISTING UITURIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTUTIES SHALL BE DETERMINED. THE GENERAL CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IN THE VEHIOR OF MEMORISEER CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IN THE VEHIOR TO REPRESENT CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IN THE VEHIOR TO ANY DEPORT OF THE VIBRICATION AND PROPOSED UITURIES SO THAT AN APPROPRIATE MODIFICATION MAY BE
- THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN SERVICE RELOCATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES, PAY ALL FEES AND SECURE ALL PERMITS FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS AND DEMOLITION AS NECESSAR OR APPROPRIATE.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO THE GENERAL CONTRACTOR SHALL MAINTAIN ALL HOWS AND UTILLY COMPICE TO THE SENSING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNIT. AUTHORIZED TO DISCONNECT BY THE OWNER'S REPRESENTATIVE, OTHER AFFECTED OWNERS), THE UTILLY COMPANIES AND JURISDICTIONAL AUTHORITIES. THE CONTRACTED OWNERS, THE UTILLY COMPANIES AND JURISDICTIONAL AUTHORITIES. THE CONTRACTED OWNERS WERE COMPANIES OF THE SENSING THE SENSIN
- THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES UNDER FOOTINGS AND/OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- 9. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS AND ROOF LEADERS, AND TO THE STORM DRAINAGE SYSTEM.
- 10. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE UTILITY COMPANY OR COMPANIES, AND O'
- 11. THE GENERAL CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, PAVEMENT, CURBS, SIDEWALKS, APPROPRIATE LANDSCAPE AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE
- 12. PENDING THE GENERAL CONTRACTOR'S NOTIFICATION OF AND APPROVAL BY THE OWNER'S REPRESENTATIVE, UTILITY CONNECTION DESIGN AS REFLECTED IN THE PLANS AND PROJECT MANUAL MAY CHANGE SUBJECT TO UTILITY COMPANY AND JURISDICTIONAL AUTHORITY REVIEW

BID NOTES:

- THE GENERAL CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT, FROM GEO, PREPARED BY TERRACON CONSULTANTS-MI, Inc. COLUMBUS, OHIO.
- 2. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING
- 3 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES.

NOTES TO GENERAL CONTRACTOR:

- 1. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. ELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE A MINIMUM OF FREE (3) WORKING DAYS BEFORE ANY DIGGING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- 3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
- THE CONTRACTOR SHALL INCLUDE THE BITUMINOUS AND CONCRETE PAVING SHOWN ON THE PLANS IN THEIR BASE BID.
- THE CONTRACTOR SHALL PROVIDE THE UP-CHARGE, IF ANY, TO INSTALL CONCRETE PAYING INSTEAD
 OF BITUMINOUS PAYING. THIS PRICE SHALL ASO INCLUDE THE COSTS TO PROTECT THE NEW
 CONCRETE PAYING ERROR MUNITED CONSTRUCTION.

- 1. THIS SET OF DRAWINGS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE TO BE JSED IN CONJUNCTION WITH THE PROJECT MANUAL AND/OR SUPPLEMENTAL DATA TO BE PROVIDED BY THE OWNER'S REPRESENTATIVE. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES
- 2. EXISTING SITE INFORMATION HEREON IS PROVIDED BY THE OWNER, SURVEYOR, PLANS PREPARED BY OTHERS, AND/OR FIELD SURFACE SUIDENCE. ALL LOCATIONS ARE PRESUMED TO BE APPROXIMATE. THE PROJECT COLLABORATIVE, JIC. ASSUMES TO LUBILITY FOR INFORMATION REPRESENTING EXISTING CONDITIONS HEREON. IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO THOROUGHLY REVIEW THESE DRAWINGS AND SUPPLEMENTAL OWNER PROVIDED DATA WITH ACTUAL SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTE AND DISCREPANCIES IN THE DRAWINGS AND ACTUAL SITE CONDITIONS. WHETHER SHOWN ON THE PLANS OR NOT, WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING AND CONSTRUCTION.
- 3 THE DRAWINGS AND PROJECT MANUAL ASSUME THERE ARE NO UNUSUAL SOIL CONDITIONS. INNINON'N UNDERGROUND STRUCTURES OR IMPEDIMENTS, UND LOADS, SAIL-OND SIMILAR UNFORESEEN CIRCUMSTANCES, UNUSUAL CONDITIONS DETECTED THE GENERAL CONTINUED AND STREET OF THE GEN SIGNIFICANT CHANGES TO THESE DRAWINGS.
- 4. THE DRAWINGS AND PROJECT MANUAL ARE AND SHALL REMAIN THE PROPERTY OF THE KROGER CO. REPRODUCTION OR ALTERATION WITHOUT THE EXPRESS WRITTEN KROGER CO. IS PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED).

eva

37704 Hills Tech Drive Farmington Hills, MI 48331

4925 Forest Avenue Downers Grove, IL 60515

AFETY - INTEGRITY -

REVISIONS					
DATE	DESCRIPTION				
05.26.2017	SITE PLAN/SPECIAL USE				

CONSULTAN

SEAL



CUSTOMER



PROJECT DESCRIPTION

531-00544 **RETAIL FUEL CENTER**

PROJECT LOCATION

NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

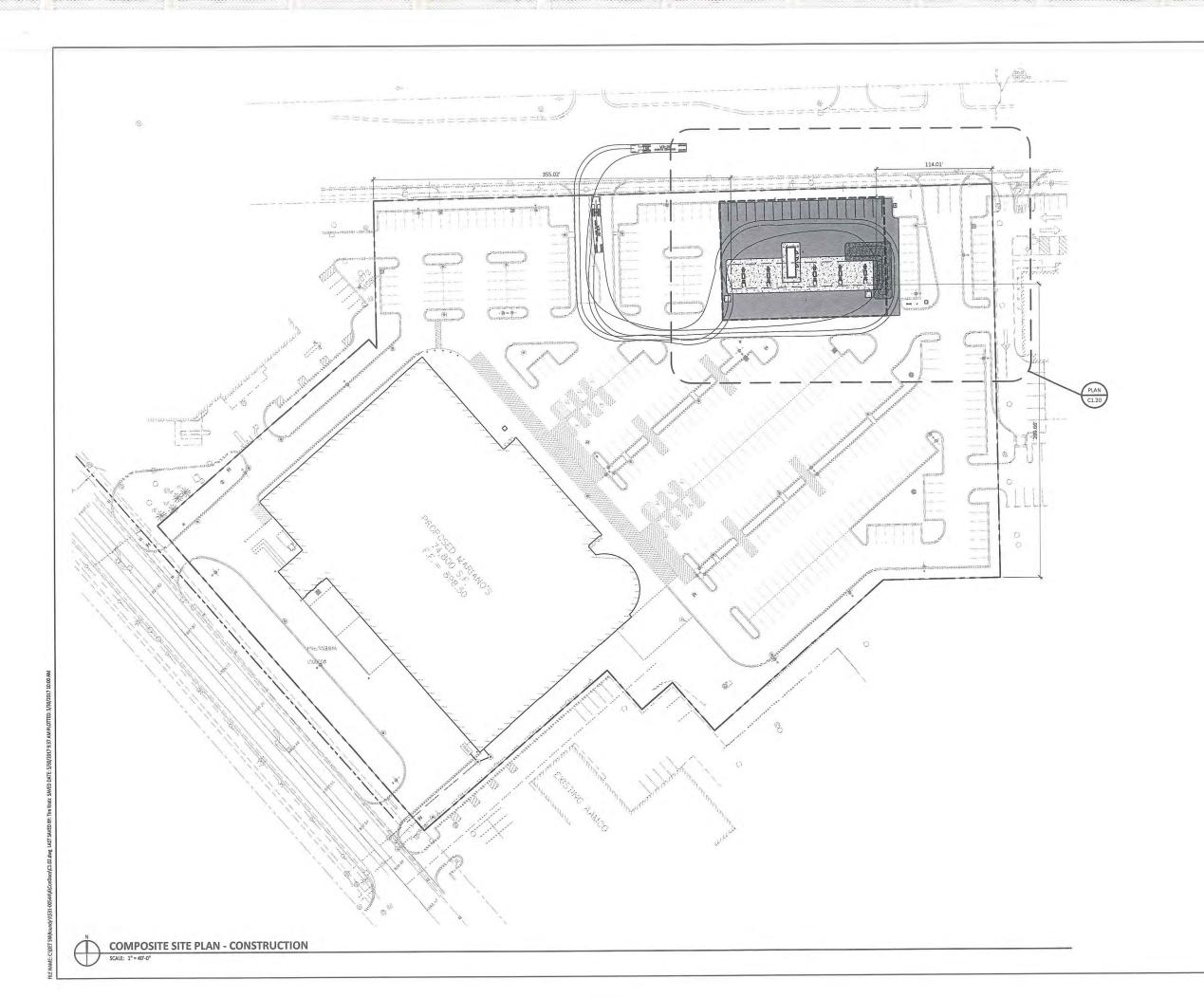
SHEET TITLE

GENERAL NOTES

SHEET MANAGEMENT 531-0054 ROJECT NO .: G0.02.dwg PROJECT MANAGER

SHEET NUMBER

G0.02



SEVAN MULTI-SITE SOLUTIONS

Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
@sevansolutions.com www.sevansolutions.com

SAFETY - INTEGRITY - 5US REVISIONS

IO. DATE DESCRIPTION
0 05.26.2017 SITE PLAN/SPECIAL USE

05.26.2017 SITE PLAN/SPECIAL USE

CONSULTANT



CUSTOMER



PROJECT DESCRIPTION

531-00544 RETAIL FUEL CENTER

PROJECT LOCATION

NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

(McHENRY COUN

SHEET TITLE

COMPOSITE SITE PLAN CONSTRUCTION

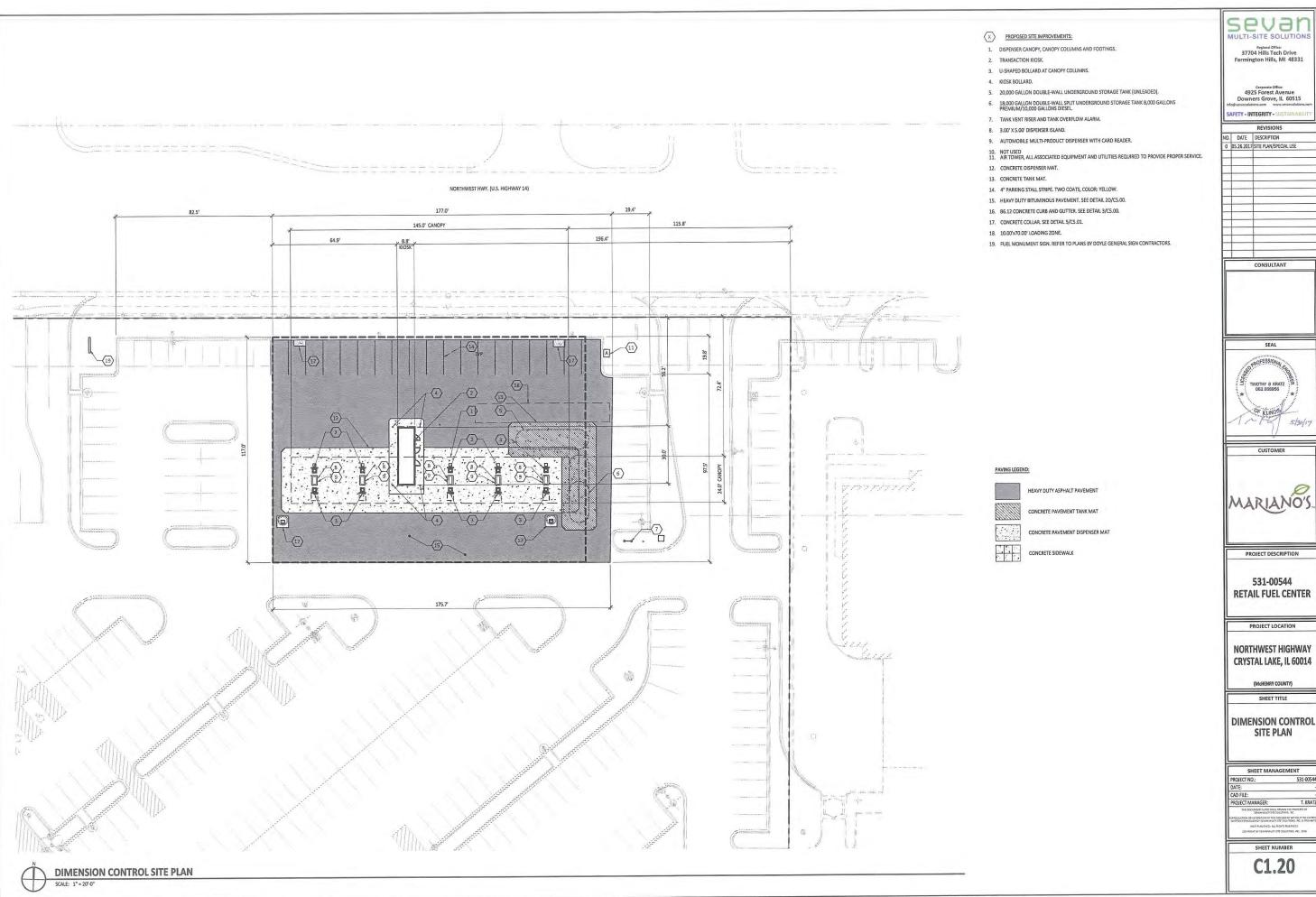
SHEET MANAGEMENT
PROJECT NO.: 531-00
DATE:
CAD FILE: C1.02.

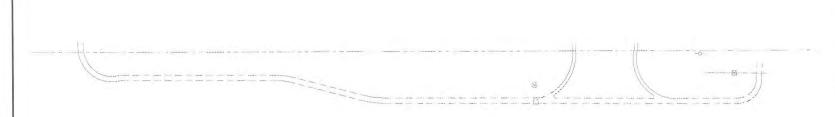
PROJECT MANAGER:

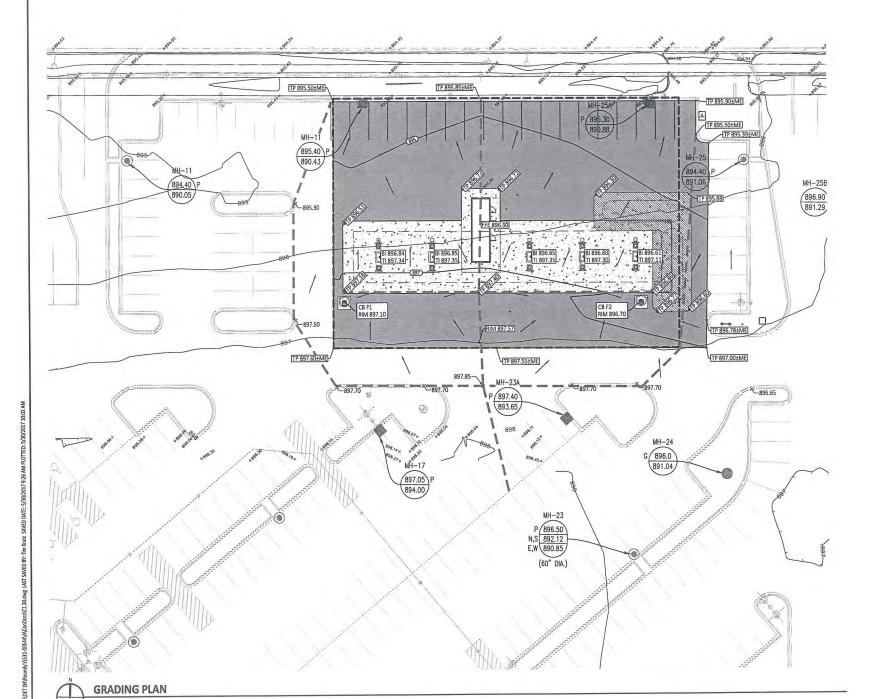
THIS DOCUMENT IS AND SHALL REVAIN THE PROFEST
SEVEN MALES SECURION, INC.
REPRODUCTION OR A LITERATION OF THE SOCUMENT WITHOUT
WRITTEN FERMISSION OF SEVEN MALES FIRE SOLUTIONS, INC. 5

SHEET NUMBER

C1.02







BENCHMARKS:

SOURCE BENCHMARK: NGS NH0144

STAMP ON BENCHMARK DISK.

AT THE JUNCTION OF FRANKLIN AVENUE AND SOUTH CAROLINE STREET, AT COMMUNITY HIGH SCHOOL.

IN THE TOP OF THE EAST EDGE OF THE CIRCULAR CONCRETE BASE FOR THE FLAGFOLE, B4 FEET NORTH
OF THE MORTH FACE OF THE MORTH WALL OF THE SCHOOL. S 1/2 FEET WEST OF THE WEST EDGE OF
THE SIDEWALK LEADING TO THE NORTH ENTRANCE OF SCHOOL, B7 FEET SOUTH OF THE SOUTH CURB
LINE OF FRANKLIN AVENUE, AND ABOUT LEVEL WITH THE SIDEWALK.

LINE OF FRANKLIN AVENUE, AND ABOUT LEVEL WITH THE SIDEWALK.

DATUM: NAVD88

SITE BENCHMARK 1: SET RAIL ROAD SHIELEN WEST FACE OF POWER POLE LOCATED IN THE REAR PARKING LOT OF AAMCO TRAISMISSION CENTER 7218 S. VIRGINIA ROAD APPROXIMATELY 7'± FROM THE WEST FACE OF BACK OF TRAISMISSION CENTER 7218 S. VIRGINIA ROAD APPROXIMATELY 7'± FROM THE WEST FACE OF BACK OF CHARGE & 19± OFF THE NORTH FACE OF BACK OF CAUSE LEVATION: 898.85

SITE BENCHMARK 2:
CUT SQUARE ON CONCRETE LIGHT POLE BASE LOCATED AT THE NORTH PARKING LOT OF SHERWIN
WILLIAMS PAINT STORE (6605 NORTH-WEST HIGHWAY), APPROXIMATELY 4 NORTH-EAST OF NORTH FACE
OF BACK OF CURB IN PARKING LOT AND 135° FROM THE CENTERLING OF U.S. ROUTE 14 (NORTH-WEST
HIGHWAY)

FLEVATION: 896.50 DATUM: NAVD88

GRADING NOTES:

- 1. REFER TO SHEET 3 OF 20 OF MARIANO'S DEVELOPMENT PLAN BY MANHARD CONSULTING FOR EROSION CONTROL NOTES AND DETAILS.
- 2. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- 4. ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- 5. THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
- 6. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWARL, LANDSCAPED AREA, ETC. DISTURGED WITHIN THE SITE AND/OR ADDINING PROPERTIES DURING DEMOTITION OF CONSTRUCTION, SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNERS).
- 7. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
- UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
- 9. THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTEO ON DRAWINGS. SEE SESC PLAN ON SHEET CL.11 FOR LIMIT OF DISTURBANCE, PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY MIDOCATED OTHERWISE.
- 10. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION EST THE FORMINGS AND PROLECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.
- 11. ALL RETAINING WALL ELEVATIONS ARE PROVIDED FOR REFERENCE ONLY. ACTUAL ELEVATIONS SHALL BE FIELD VERIFIED AND COORDINATED WITH PROPOSED IMPROVEMENTS.

FUEL GRADING DESIGN STANDARDS:

- PROVIDE POSITIVE DRAINAGE AWAY FROM FUEL CENTER CONCRETE PAD(S). PER GRADING/SECTION DRAWINGS, 154-3% SLOPE IS TYPICAL WITH A MAXIMUM SLOPE OF 5%. UNLESS EXPRESSLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE, SURFACE WATER SHALL NOT DRAIN THROUGH THE FUEL/CANOPY AREAS.
- PROVIDE MAXIMUM OF 2% SLOPES/GRADES ACROSS FUEL CENTER CONCRETE PADS (UNDER CANOPY AREA), WHILE MAINTAINING POSITIVE BRAINAGE AWAY FROM THE FUEL CENTER KIGSK AND DISPENSER ISLANDS, GRADES AT TANK PAD SHALL NOT EXCEED 3% SLOPE.
- 3. SPECIAL ATTENTION IS REQUIRED AT THE DOORWAY OF THE KIOSK, IN GENERAL, THE KIOSK FINISH FLOOR IS TO BE 1" HIGHER THAN THE SURROUNDING SETERIOR GRADE. SLOPE PRIVEWAY PAVING TO MEET THE FINISH FLOOR GRADE AT ANY DOORWAY, AND COORDINATE WITH FUEL CENTER CONTRACTOR. ADA GUIDELINES MILST BE VEHEED FOR DOOR ENTRANCES AND FOR THE CUSTOMER SERVICE DRAWER AT THE KIOSK WINDOW.

SITE SPECIFIC GRADING GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY

THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT INCLESSARILY UNIMTED TO:
(A) EXISTING CURB THAT MAY BE DISTURBED DURING INSTALLATION OF VENT STANDS, AIR STANDS, ETC.,
(B) EXISTING ASPHALT THAT MAY BE DISTURBED DURING TANK INSTALLATION, (C) INSTITUGIADSCAPING,
(D) EXISTING LIGHT STANDARD(S) AND WIRING.

GRADING LEGEND:

- TG GUTTER GRADE
 TC TOP OF CURB
 BW FINISHED GRADE AT WALL FG FINISHED GRADE
- FL DITCH FLOW LINE
- PUMP ISLAND BOTTOM PUMP ISLAND TOP
- TOP OF PAVEMENT
- TP TOP OF PAVEMENT
 RIM UNDERGROUND STRUCTURE RIM
 TW TOP OF WALK
 FFE FINISHED FLOOR ELEVATION
 ME MATCH EXISTING
 2.0% PROPOSED SLOPE

- sevar MULTI-SITE SOLUT
 - Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 734.367.4445 Telephone

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
Isevansolutions.com www.sevansolutions

SAFETY - INTEGRITY - 5U5T/

		HE AIDIOIAD
NO.	DATE	DESCRIPTION
0	05.26.2017	SITE PLAN/SPECIAL USE
	-	
10.7		

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

531-00544 **RETAIL FUEL CENTER**

PROJECT LOCATION

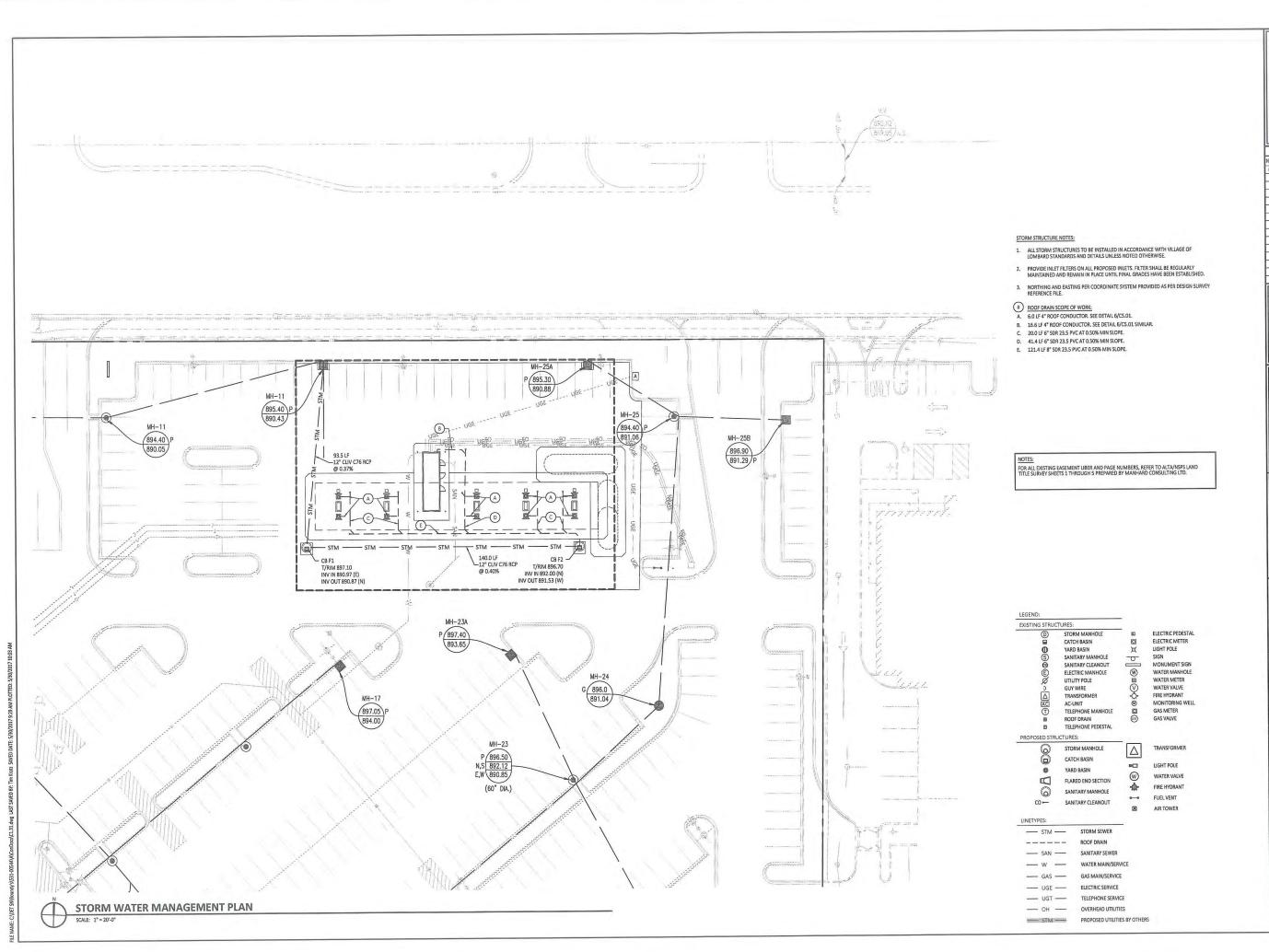
NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

> (McHENRY COUNTY) SHEET TITLE

GRADING PLAN

SHEET MANAGEMENT							
PROJECT NO.:	531-00						
DATE:							
CAD FILE:							
PROJECT MANAGER:	T. KI						
THIS DOCUMENT IS AND SHALL THEM SEVAN MULTI-SITE SOLUT							
REFRODUCTION OR ALTERATION OF THIS COCK WRITTEN PERMISSION OF SEVAN MULTI-SITE	MENT WITHOUT THE E						
(NOT PUBLISHED: ALL RIGHT	S RESERVED.)						

C1.30



Paginal Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
Info@levanue/Lincam www.sevenolubins.com
SAFETY - INTEGRITY - SUSTAINABILITY

REVISIONS
NO. DATE DESCRIPTION
0 05.26.2017 SITE PLANSPECIAL USE

CONSULTANT

SEAL

PROFESSIONA

TMOTHY 8 KPATZ

OSC 068998

CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

531-00544 RETAIL FUEL CENTER

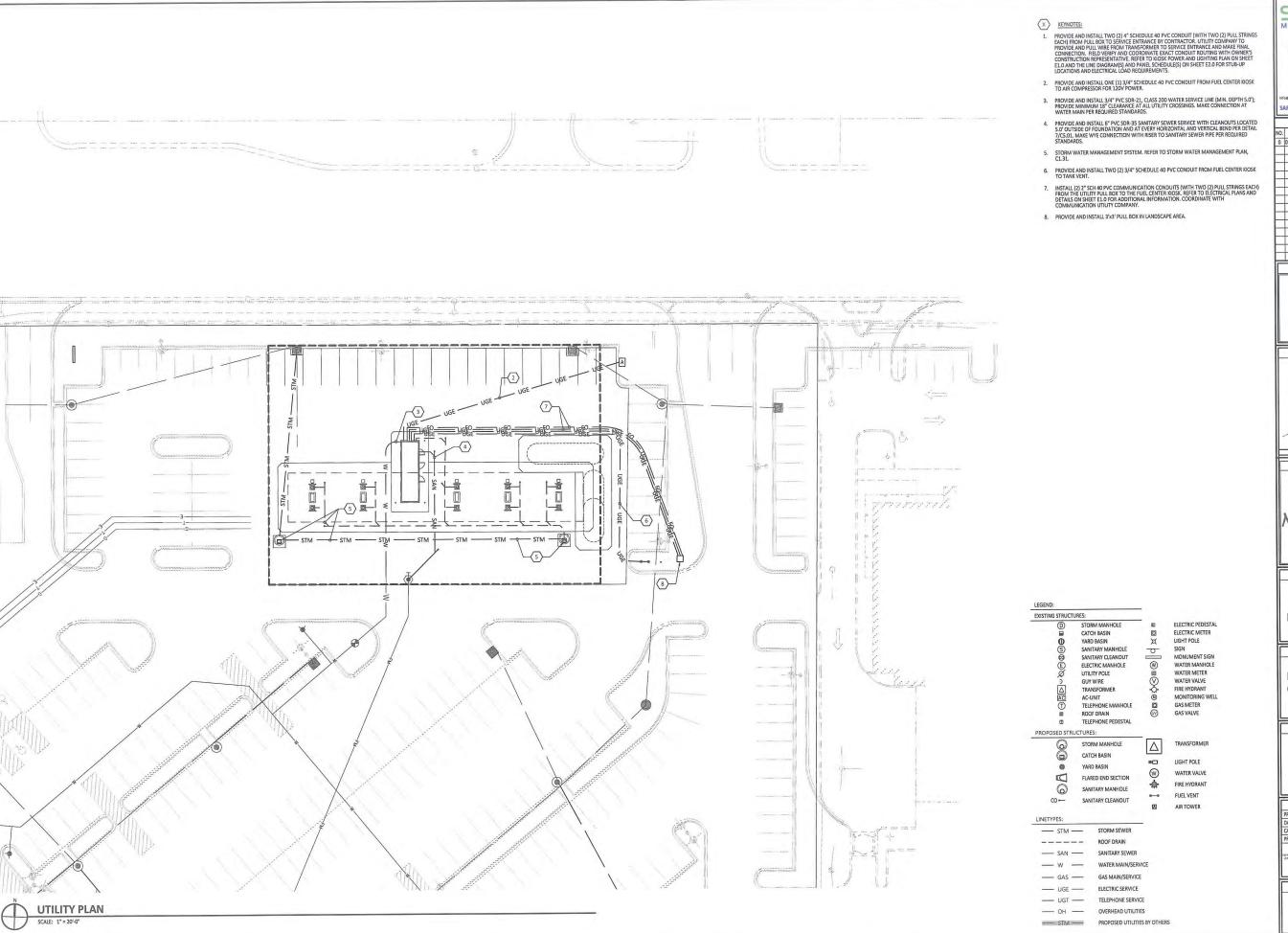
PROJECT LOCATION

NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

McHENRY COUNTY)
SHEET TITLE

STORM WATER MANAGEMENT PLAN

C1.31



SEVƏN MULTI-SITE SOLUTIONS

> Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515
sevansolutions.com www.sevansolutions.c

SAFETY - INTEGRITY - SUSTAINABIL

REVISIONS
2. DATE DESCRIPTION
05.26.2017 SITE PLAN/SPECIAL USE

CONSULTANT

SEAL

TMOTHY B KRATZ
062.068956

OF ILLINOS
5/20/

CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

531-00544 RETAIL FUEL CENTER

PROJECT LOCATION

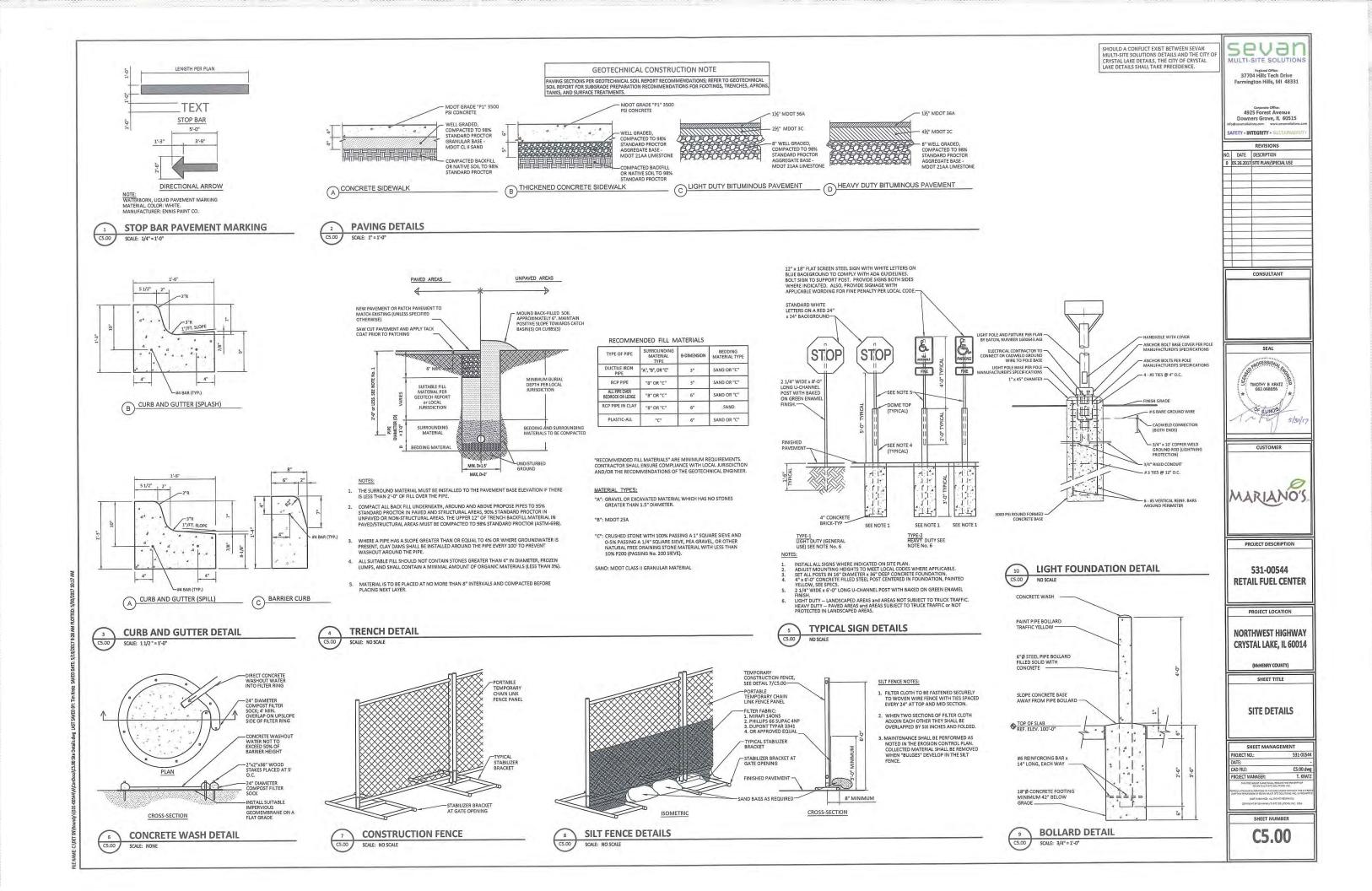
NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

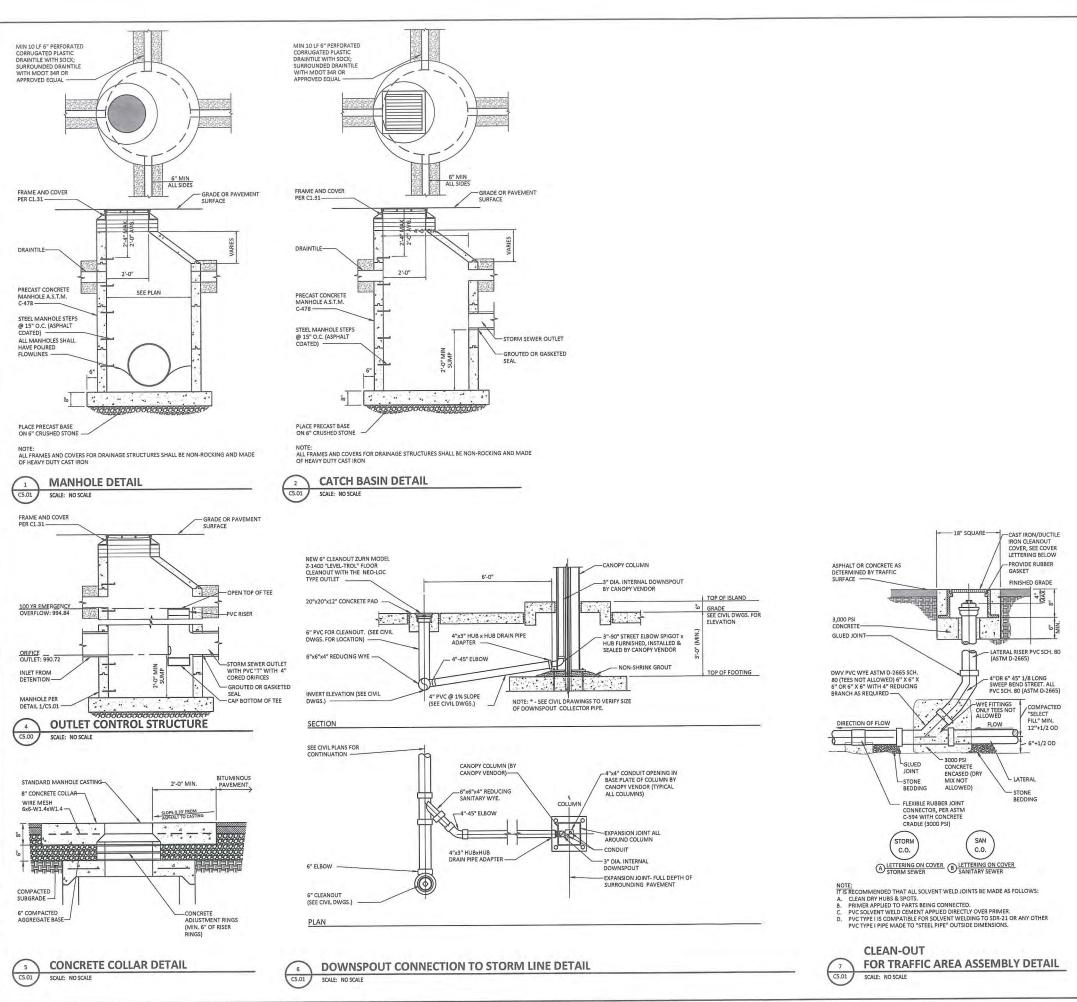
McHENRY COUNTY)
SHEET TITLE

UTILITY PLAN

SHEET MANAGEMENT
PROJECT NO.: 531-0054/
DATE: CL40.dwy
PROJECT MANAGER: T. KRAIT,
PROJECT MANAGER: T. KRAIT,
WAS CONCENTRATED THE CONCENTRATED THE STATE OF THE S

SHEET NUMBER





SHOULD A CONFLICT EXIST BETWEEN SEVAN MULTI-SITE SOLUTIONS DETAILS AND THE CITY OF CRYSTAL LAKE DETAILS, THE CITY OF CRYSTAL LAKE DETAILS SHALL TAKE PRECEDENCE.

Farmington Hills, MI 48331

Corporate Office:
4925 Forest Avenue
Downers Grove, IL 60515

AFETY - INTEGRITY - SUS

0 05.26.2017 SITE PLAN/SPECIAL USE

SEAL

TIMOTHY B KRATZ 062.068956 5/30/1

CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

531-00544 **RETAIL FUEL CENTER**

PROJECT LOCATION

NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

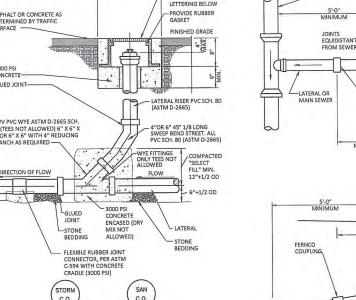
SHEET TITLE

SITE DETAILS

SHEET MANAGEMENT

SHEET NUMBER

C5.01



- LATERAL OR

MAIN SEWER

STORM/SANITARY SEWER CROSSING DETAIL

0

LENGTH AS SPECIFIED ON PLANS. EXCAVATE AS REQUIRED AND PROVIDE SUPPORT TO

PREVENT DEFELCTION

- SANITARY SEWER

MULTI-SITE SOLUTION

Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331

4925 Forest Avenue owners Grove, IL 60515

FETY - INTEGRITY - SUST REVISIONS DATE DESCRIPTION

0 05.26.2017 SITE PLAN/SPECIAL USE

CONSULTANT

Cast Iron Soil Pipe; service weight cast iron soil pipe and fittings conforming C.I.S.P.I. Specification HS-67 with compression type rubber gasket joints conformin ASTM specification C564, or other suitable materials approved by the City Engineer



CUSTOMER

MARIANO'S

PROJECT DESCRIPTION

531-00544 **RETAIL FUEL CENTER**

NORTHWEST HIGHWAY **CRYSTAL LAKE, IL 60014**

SHEET TITLE

CITY OF CRYSTAL LAKE SITE DETAILS

SHEET MANAGEMENT 531-005

- any grading or underground utility construction activities (schedule meeting with the Community Development Department at 815-356-3605).
- 2. 24-hour Emergency contact numbers shall be provided to City Staif at the Pre-Construction meeting.
- 3. Working hours shall be limited to the hours of 7:00 a.m. and 7:00 p.m. on weekcays only (except in cases of emergency). Non-emergency work on weekends or holidays is not permitted per City. Code accept under written permission from the City Engineer. The owner is responsible for the City Inspect cods of overtime inspection beyond the normal eight (0) hour day, including weekends and holidays.
- Public/private streets shall be kept free of dirt and debris with regular deaning, sweeping, and scraping conducted by the Contractor. Juny and debris shall not be allowed to accumulate, blow, or scatter onto streets or adjacent properties.

- Any damage to public right-of-way, public utilities, streets, curb, etc. shall be repaired/replaced as soon as possible and as directed by the City Engineer.
- 9. The contractor shall give the City of Crystal Lake, Illinois Department of Transportation, and any other governmental agency having jurisdiction, saleast two (2) working days notice excluding Saturday and Sunday prior to the initiation of any phase of construction. Contractor shall immediately notify if construction has casted and ensure the two (2) working day notification.
- 10 The Contractor shall be responsible for obtaining all required permits for construction prior commencement along or arross existing streets or highways. The Contractor shall make arrangements for the proper bracing, shoring and other protection of all readways before construction begins.

- The grading and construction of the site improvements shall not cause ponding
 of storm sever water. All areas adjacent to these improvements shall be graded
 to allow positive drainage.
- Embarkment material within parkway and open space areas shall be compacted to a minimum of interty percent (90%) of maximum density in accordance with ASTM Spacification 0-1557 (modified protor method), or to such other density as may be determined appropriate by the soils engineer.
- Proposed pavement areas, building pads, criveways and sidewalks and yardiopen space areas shall be excavated or filled to plus or minus 0.1 foot of design subgrade elevations by the Contractor.
- Any borrow pit locations shall be identified by the Contractor on a copy of the approved site plans and forwarded to the Engineering Division at least 24-hous pind not exceptation. Provide bookfill compacions prefor from a geoloschical engineer and as-built plans to the Engineering Division for any borrow pit
- Backfill shall be monitored by a geotechnical engineer on-site with compaction reports forwarded to the Engineering Division for review.
- Water truck shall be on-sile at all times during mass-grading operations and be available as needed for the purposes of dust control or at the request of City Staff.
- Use of City line hydrants is not atowed unless approved (separate from this
 permit) by the Publis Works Department and a hydrant meter and RPZ is obtained
 from the City of Crystal Lake Water Division (163-56-3614). Only the City of
 Crystal Lake Water Division may operate valves and hydrants.

Drawing Number

Date: 01/30/15

GE-02a

Drawn Checked

Crystal Lake

- Location of any on-site topsoil stockpiles shall be identified on the approved plans with sit fence installed around the perimeter of the stockpile.
- Topsoil slockpiled for future use shall be relatively free from large roots, slicks, weeds, brush, stones larger than one (1) inch diameter, or other litter and waste procucts including other extraneous materials not conductive to plan; growth.
- Topsoil shall be stockpiled in sequence to eliminate any re-handling or double movems by the Contractor. Failure to properly sequence the stockpiling operations shall not constitute a claim for additional compensation. No material shall be stockpiled in front yards. In utility easements, or in the right-of-way lines.

1.06/12/2015

- The Contractor shall coordinate water main, water service, sanitary and storm sewer inspections and testing with the Community Development at least 24 hours in advance.
- All main line scrillary shall be cleaned and televised (provide DVD to the City's Engineering Division).

* GUTTER "G" VARIES BY CURB TYPE:

TYPE M-6.36 = 6

TYPE M-6.24 = 24"

2" MIN. CA-6 BASE (TYP.)

- All manhole or valve covers shall be imprinted "City of Crystal Lake Sarritary". or "City of Crystal Lake Storm", or "City of Crystal Lake Water" as directed by the City.
- 5. Existing manholes to be circular cored and booted.

3' 4'

4"R-

SLOPE SAME AS SUB-BASE OR 14" PER FOOT

MOUNTABLE CURB

TRANSITIONS - THE TRANSITION FROM FULL HEIGHT CURB TO DEFRESSED CURB SHALL BE MADE AT THE RATE OF 3" PER FOOT OF LENGTH OR FLATTER. (21-NO. 4 STEEL REINFORCING BARS SHALL BE INCORPORATED OVER TRENCH CROSSINGS IF REQUIRED BY THE CITY ENGINEER.

SLOPE PER FT.

FROSION CONTROL

STANDARD NOTES

AND SPECIFICATIONS

GUTTER 'G' VARIES BY CURB TYPE:

2" MIN. CA-6 BASE (TYP.) -

- pecified erosion control measures shall be installed and maintained per the irements of the Crystal Lake Stormwater Ordinance in accordance with the active NPDES 1. All specified erosion control m
- 2. All slopes 4:1 or steeper shall be sodded or blanketed immediately after mass earthwork.
- 3. All overland flow routes to be stabilized by sod or blankel.
- Erosion control measures to be inspected and approved by City Engineering Division prior to additional work on site.
- Continuous monitoring of erosion control measures is required. Maintain records of weekly reports per the City of Crystal Lake Stommwater Ordinance.
- The Contractor shall implement any additional erosion control measures deemed necessary by the City per the standards of the City Of Crystal Lake Stormwater Ordinance.
- 7. All slorm sever calch basins, sumps and/or releation besins provided are to be cleaned at the end of construction of the project prior to final acceptance. Cleaning may also be required during the course of the construction of the project if it is determined that the sit and debris traps are not properly functioning and their performance is impaired.
- Rip-rap material RR 2 (6") RR4 (16") shall be in accordance with Article 281 and grouted in place according to Article 601 of the IDOT Standard Specifications.
- 9. Projects of 1 Acre or greater must obtain an NPDES permit prior to commencement of any

Drawing Number

Date: 01/30/15

4"R

14 FOR FLEXIBLE PAVEMEN

SLOPE SAME AS SUB-BASE OR 32" PER FOOT

BARRIER CURB

JOINTS - IN ADDITION TO THE REQUIREMENTS OF ARTICLE 606 06 CF THE STANDARD SPECIFICATIONS. JOINTS SHALL BE CONSTRUCTED AS FOLLOWS:

CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE INSTALLED IN THE CURB OR CURB AND GUTTER IN PROLONGATION WITH JOINTS IN ADJACENT P.C.C. PAYMEMENT OR RASE COURSE

SLOPE 1: PER FT.

GE-02b

Drawn Checked

Crystal Lake

"CURB HEIGHT "C" VARIES BY CURB TYPE:

B-6.18 / B-6.24 = 6"

C" B-9.18/8-9.24 = 9"

SANITARY SEWER:

- Non-shear stainless skeel couplings shall be used when connecting never pipes of dissimilar materials and pipes with no hub joints. When connecting to an existing sanitary server by means other than an existing wey or marrivole, contractor shall use a Sever-Tap and hub-wye or hub-be satisfied.
- Unless an alternate method is approved, water stop gaskets shall be provided at all sanitary sever manhole connections. Type and manufacturer to be approved by the City.
- PVC plastic sewer pipe and fittings of sizes 4-inch through 15-inch shall conform to the latest revised specification requirements of ASTM D0034 for type PSM polyvinyl chloride (PVC) sewer pipe and fittings of minimum wall thickness SDR 35.
- Joints shall be either the solvent wold type conforming to the latest revised specification requirements of ASTM D2864 and ASTM D2855, or elastomeric gasket type conform revised specification requirements of ASTM D1689 and ASTM D3212.
- A thicker walled pipe such as SOR 26 may be specified by the engineer depending on design and/or field conditions. 6. PVC plastic sewer pips and fittings of sizes 18-inch through 39-inch shall conform to the latest revised seedification requirements of ASTM F679 or polyviny; shlorids (PVC) large diameter ribbed gravity sewer pipe and fillings, with inlegral bett gas-veted joints and elastoments gaskets to form a waterfight seal conforming to the basis revised specification.

- 10. PVC glos shall be installed in accordance with the latest revised specification requirements of IASTM D2SEL using either compacted class to robes il granular subchedness installed for bedding, haunching and intella bodish of it? allows over the top of pipe to provide the necessary support for the pipe so that the maximum deflection coses not exceed the percent of the pipe's original internal dismost.

The Contractor shall provide be recessary beds and equipment and perform the work necessary to less the dedection in the initial 1.200 less of installed sever and not less than ten percent (19%) of the remainder of the sever project at anothr bockions selected by the employees no score them 30 days after beddling has been completed. In the event that deflection exceeds the maximum limit of five percent (5%), the Contractor shall test oldner are inscribed prior for deflection. Deflection shall be tested by use of either an inancher or right ball having a dismater equal to ninely-time provent (9%) of the inside dismater of the pipe, and the less that the performed without using machanical pulling divides. Wherever the deflection limitation is exceeded, the occurrence had in concern the first practice of the proper of the installation of the concerns shall once out the first practice of the concerns shall once out the first practice of the concerns shall once out the first practice of the concerns shall once out the first practice of the concerns shall once out the first practice of the concerns shall once the con

The Contractor shall subject all sanitary sewers, including service lines, to an air test. Allowable Infiltration shall not exceed 10C gallons per inch diameter of pipe per mile per day.

AND SPECIFICATIONS

1. ALL CATCH BASINS SHALL BE 4'-0" IN DIAMETER UNLESS OTHERWISE NOTED ON

2. IN ADDITION TO THE REQUIREMENTS OF ART, 602.16 OF THE STANDARD

7235 M2 R3502-A

GE-02c Date: 01/30/15 Drawn Checked

1 06/12/2015

- WATER MAIN: 1. Water main shall be Ductile Iron or Molecularly Oriented Polyvinyl Chloride (PVCO). nee man a raseu oe unocee eron or noesoziarly unemere Polyvenyl Chronice (PVCOD.)

 a) Ductle form valler main stalla bot Cass SS conforming to ANSIAWWA C151/A2.151-49.

 b) Gaskets and cast fron fittings shall conform to ANSIAWWA C111/A21.11 and

 ANSIAWAW. C1 INA21.1 erepetudy.

 c) PVCO - See City Detail UW-12 and UW-13.
- Thrust blocking or Mega-Lug or pre-approved equal shall be installed on water mains at all bends, tees, elbows, etc. except as noted below.
- Thrust blocks not permitted with 45 degree vertical bends in water main (these shall be restrained with Mega-Lug or pre-approved equal.
- When specified, ductile iron pipe shall be encased in polyethylene and shall conform with ANSVAWAVA C105/A21.10 10 and ASTM A674-10. 5. Minimum cover from finished grace to top of water main shall be six (6) feet. Maximum cover shall be eight (8) feet.
- 8. Water Main Taps: An Illinois licensed plumber is required for any water main tap.
- 7. All water mains shall be subjected to a pressure test and a separate teakage test at system pressure for 24 hours by the Contractor. Hydrostatic pressure test and feakage test shall be based on 125 PSI for two (2) hours. Water mains shall be otherhated in accordance with the Standard Specifications.

STANDARD NOTES

AND SPECIFICATIONS

- All subgrades and bases shall be proof-rolled and approved by the Engineering Division
 prior to base or binder installation.
- 3. The Paving Contractor shall ensure that the subgrade has been properly orepared and that the finished top of subgrade elevation has been graded within the bidrances allowed in these specifications. Unless the Paving Contractor advises the owner and rengineer in writing prior to line gracing for base ocurse construction. It is undestrood that the Contractor has approved and access responsibility for the subgrade.
- For the purpose of providing handleap accessibility and complying with the American Disability Act and City Standards, curbs shall be depressed at locations where public walks or pedestrian paths intersect curb lines at street intersections and other locations as directed.
- % inch thick premoided fiber expansion joints with two (2) No. 4 plain round steet dowed bars shall be installed at disgippates intervals and at all P.C., P.T., curb returns and at the end of each pour. Alternate ends of the dowet bars shall be greased and fitted with metal expansion tubes.
- All poured in place concrete curb and gutter shall incorporate two (2) No. 4 reinforcing bars installed wherever the curb and gutter crosses utility service lines, the cost of which shall be considered incidental to the cost of concrete curb and gutter.
- 8. Sideocalls (where required) shall be of the thickness and dimensions as shown in the construction plans. All allewalls concrete shall be a minimum of 6.1 began fix of 100T class SI concrete) and shall develop a minimum of 3.80 pc incorpressive strength at load teach (14) days. Contraction joints shall be set at the (5) but centure, and not-build for 15'-timb) premadule flow organization joints and 15'-timb premadule flow organization joints and 15'-timb premadule flow organization joint and 15'-timb premadule flow organization joint and 15'-timb premadule flow organization and 15'-timb premadule fl

GE-02d

AW



1 06/12/2015



RD-05a Checked

SPECIFICATIONS THE CONTRACT UNIT PRICE FOR CATCH BASINS, TYPE A SHALL INCLUDE THE CA-7 OR 11 CUSHION WHEN REQUIRED. FURNISHING AND PIPE TO BE LAID ON A MIN. 1% GRADE COMPACTING THE SPECIFIED BACKFILL MATERIAL. DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 6 INCHES. LOCATION Bor M 6 12 C&G DEPRESSED CURB 7210 M3 R-2511
PAVED 1920 R-1713 12"-16" CENTERS ALTERNATE MATERIALS FOR WALLS $\begin{array}{ccc} \text{PRE CAST REINFORCED CONCRETE SECTIONS} & \frac{4.0^{\circ}}{5.0^{\circ}} & \frac{2.6^{\circ}}{3.9^{\circ}} \\ \text{CAST-IN-PLACE CONCRETE} & \frac{4.0^{\circ}}{5.0^{\circ}} & \frac{2.6^{\circ}}{3.9^{\circ}} \end{array}$ CAST-IN-PLACE CONCRETE (CLASS SI), OR -----CA-7 OR CA-11 STONE -CA-7 OR CA-11 STONE

UD-01b Date: 09/18/2012 Checked

C5.02

SHEET NUMBER

1. 06/12/2015

STANDARD NOTES AND SPECIFICATIONS Date: 01/30/15 Drawn Checked

Crystal Lake

Drawing Name

Drawing Number

Crystal Lake

WHEN CURB AND GUTTET IS CONSTRUCTED ADJACENT TO FEXIBLE PARABENT, A THICK PRE-POWED EXPANSION, DURFFILLE, CONFIRMING TO HEAVED A CONFIRMING THE PARABENT AND ADJACENT OF THE PARABET OF THE CONTROL CONTROL CURB AND ADJACENT AN ALL CONSTRUCTION JOINTS SHALL BE PROVIDED WITH 12" DIA DEFORMED STEEL THE BARS 30" LONG CONFORMING TO AASHTO M-31 OR M-53. THE BARS SHALL BE PLACED ON 9" CENTERS MINIMUM 2 PER JOINTS. EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 100 FEET

1.06/12/2015

MAX. 8" WITH MAX. 3 RINGS

1.06/12/2015

CLEAR (NO STEPS IN THIS AREA)

CATCH BASIN TYPE A

STANDARD NOTES

EZ-STICK, OR APPROVED EQUAL NOTES:

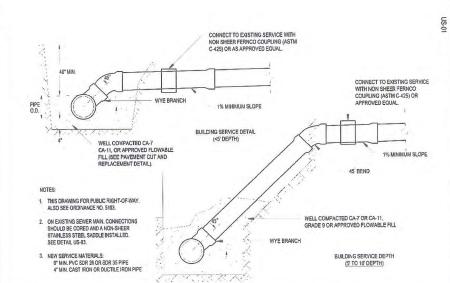
Drawing Number

D C T

PRE-FABRICATED CONCRETE SLAB

(WHEN ALTERNATE PRE-CAST REINFORCED CONCRETE SECTION USED)

SHOULD A CONFLICT EXIST BETWEEN SEVAN MULTI-SITE SOLUTIONS DETAILS AND THE CITY OF CRYSTAL LAKE DETAILS, THE CITY OF CRYSTAL LAKE DETAILS SHALL TAKE PRECEDENCE.



SANITARY SERVICE RISER

(DEPTH <10')

LEGEND: 1) TRENCH BACKFILL TO SUBGRADE AND WITHIN 2 FEET OF PROPOSED PAVEMENT, DRIVEWAY. CURB AND GUTTER OR SIDEWALK. TRENCH BACKFILL MATERIALS SHALL BE IDOT APPROVED GRADATION CA-6, GRADE 7, 8, OR 9 COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY, IN NON-STRUCTURAL AREAS BACKFILL WITH ARDRONS TRUCTURAL AREAS BACKFILL 2 INITIAL BACKFILL TO DEPTH AS INDICATED. MATERIAL SHALL BE IDOT APPROVED GRADATION CA-6, GRADE 7, 8, OR 9. 3 PIPE BEDDING SHALL BE FRACTURED GRANULAR MATERIAL IDOT GRADATION CA-7 OR CA-11 FROM 4 INCHES BELOW BOTTOM SECTION C: SECTION A: SECTION B: OF PIPE TO HORIZONTAL CENTER OF PIPE SANITARY SEWER MAIN & SERVICES (PVC) STORM SEWER (RCP) 4 UNSUITABLE MATERIAL TO BE REMOVED FORCE MAIN DIP STORM SEWER (PVC) WHERE DIRECTED BY THE ENGINEER AND REPLACED WITH COMPACTED SUITABLE SANITARY SEWER MAIN & SERVICES DIP WATER MAIN, C909 FORCE MAIN (PVC) (HDPE) * NOTE: ALL DUCTILE IRON SHALL BE SUBJECT TO POLY WRAP PER CITY ENGINEER 6 CONTRACTORS SHALL COMPLY WITH ALL CURRENT OSHA STANDARDS. Drawing Number

TYPICAL TRENCH

CROSS SECTION

1. 06/12/2015

Crystal Lake

 2 - No.4 STEEL REINFORCING BARS EXTENDING 3' BEYOND TRENCH OR MIN. 10' CENTERED OVER TRENCH. 2 WATER SHUTOFF BOX MAY NOT BE LOCATED IN PROPOSED DRIVEWAY, "HE RELOCATED BOX SHALL BE LOCATED AT THE HOUSE SIDE OF THE DRIVEWAY AP FED FORM (CENTREED IN PARKWAY, PREFERRED - MIN. 1" FROM SIDEWALK ALLOWABLE). CASE 1 - EXISTING SHUTOFF BOX IN PROPOSED CASE 1 - EXIST INIG SHIT/DEF BOX IN PROFUSED PRINCEWAY: IF WATER SHUTCHE BOX RELOCATION IS REQUIRED, WATER IMAN SHOULD BE RETAPPED CUT OF PROPOSED ROWEWAY LOCATION, IMIN. I' FROM DRIVEWAY], A CONTINUOUS LENGTH OF COPPER (NO COUPLINGS) SHALL BE RUN FROM THE NEW CORPORATION STOP TO THE RELOCATE SHUTOF BOX. THE ABANDONED CORPORATION STOP SHALL BE CAPPED AND INSPORTED ACCORDING TO CITY WATER DIVISION STANDAROS CASE 2 - EXISTING SHUTOFF BOX OUTSIDE PROPOSED DRIVEWAY:
If WATER SHUTOFF BOX RELCCATION IS
REQUIRED, THE EXISTING CORPORATION STOP
MAY REMAIN. A CONTINUOUS LENGTH OF
COPPER (NO COUPLINGS) SHALL BE RUN FROM
THE CORPORATION STOP TO THE RELOCATED 10' WATER AND SANITARY SERVICE SEPARATION OR REFER TO COMMON TREVCH DETAIL. SANITARY SEWER MAIN NOTES: __PUBLIC WATER MAIN (8' MINIMUM) 1. FOR FAR SIDE SERVICES CONSULT THE CITY Drawing Number Drawing Name

SANITARY SERVICE

CENTERED IN PARKWAY (PREFERRED) OR MIN. 1° FROM SIDEWALK 5 __1 尺 1,- 31 PCC SIDEWALK 3. SERVICE TO BE CONTINUOUS WITHOUT JOINTS FROM CORPORATION STOP TO CURB STOP AND FROM CURB STOP TO INSIDE OF FOUNDATION. 7 MIN. 4. MULTIPLE TAPS INTO MAIN SHALL BE NO CLOSER THAN 2' APART. MUELLER, FORD, OR A.Y.
MCDONALD CURB BOX (72'
EXTENDED) CAST WITH BR
PENTAGON PLUG AND
MINNEAPOLIS PATTERN DIRECT TAP INSTALLATION ON 5. TRENCH FROM MAIN TO BACK OF SIDEWALK TO BE COMPACTED TRENCH BACKFILL. NEW DUCTILE IS ACCEPTABLE WATER MAIN (8" MIN.) NO FLARE FITTINGS WILL BE ACCEPTED. COMPRESSION ONLY. ALL CURB 30X ADJUSTMENTS TO BE MADE WITH GALVANIZED PIPE AND COUPLINGS (SCREWED ON). CONCRETE BLOCK MUELLER, FORD, OR A.Y.

TYPICAL WATER AND

SANITARY SERVICE LOT LOCATION

| Marie | Marie | Color | Color | Marie | Color | Colo STRAP SERVICE SADDLE BR 2 S 104 CC 20265-1212-CC 3855 IO BR 2 S 1314 CC 20265-1212-CC 3855 IO BR 2 S 1314 CC 20265-14,88-CC 3855 IZ B-25'00 844 M 3 81040 0 70345 1438-00 3855 12 844 M 3 81040 SURB MILETTER FORD OR A V MCDONALD CURB H-10300 30X H-10300-99002

Drawing Number

DD

UW-04

Checked

LEGEND:

UG-05

Drawn Checked

Crystal Lake

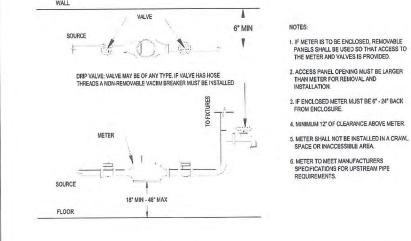
Date: 04/16/2007



1. 06/12/2015

2. 09/22/2015

1. 06/12/2015



TYPICAL

UW-10 WATER METER INSTALLATION Date: 06/10/2015 Drawn Checked JH VR Crystal Lake

Drawing Number

Date: 06/10/2015

US-01

Drawn Checked

Crystal Lake

sevar MULTI-SITE SOLUTIO Regional Office: 37704 Hills Tech Drive

Farmington Hills, MI 48331

4925 Forest Avenue owners Grove, IL 60515

REVISIONS					
NO.	DATE	DESCRIPTION			
0	05.26.2017	SITE PLAN/SPECIAL USE			
Ш					

SEAL 5/30/1

CUSTOMER



PROJECT DESCRIPTION

531-00544 **RETAIL FUEL CENTER**

NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014

SHEET TITLE

CITY OF CRYSTAL LAKE SITE DETAILS

SHEET MANAG	EMENT
PROJECT NO.:	531-005
DATE:	
CAD FILE:	C5.03.dv
PROJECT MANAGER:	T. KRA
THIS COCUMENT IS AND SHALL REA SEVAN MULTI-SITE SOLL	
REPRODUCTION OF ALTERATION OF THIS DOC WRITTEN REPUBLISHED SEVAN MULTI-SITE	UMENT WITHOUT THE EXPR
(NOT PUBLISHED: ALL RIGH	ITS PESERVED.)
COPYRIGHT BY SEVAN MULTI-SITE	SOLUTIONS, INC. 2016

SHEET NUMBER C5.03

1.08/12/2015

PLASTIC MANHOLE STEPS TO BE NEENAH R-1980-1 OR APPROVED EQUAL. GASKET TYPE WATER STOP COLLAR REQUIRED FOR ALL SANITARY SEW CONNECTIONS. THE TOP HALF OF P SHOULD BE CLT AND REVICVED. CLASS SICONCRETE FILLET OR PRECAS PRECAST REINFORCED CONCRETE 60' FOR 48" DIA 72" FOR 60" DIA. 1.06/12/2015

24" MIN. CLEAR NO STEPS IN "HIS AREA

STANDARD SANITARY AND MONITORING MANHOLE

US-04 Date: 06/12/2015

Drawn Checked VR

6. CHIMNEY SEAL REQUIRED - SEE DETAIL US-CO.

2. USE DROP CONNECTIONS FOR ANY SANITARY SEWER.

PIPE BITTERING TWO (2) FEET OR MORE ABOVE THE LOWEST PIPE INVERT. SEE STANDARD INSIDE DROP MANHOLE DETAIL US-05.

5. SERVICE LINE INVERT ELEVATION SHALL BE AT SPRING LINE OR CROWN OF MAIN LINE SEWER.

UG-03

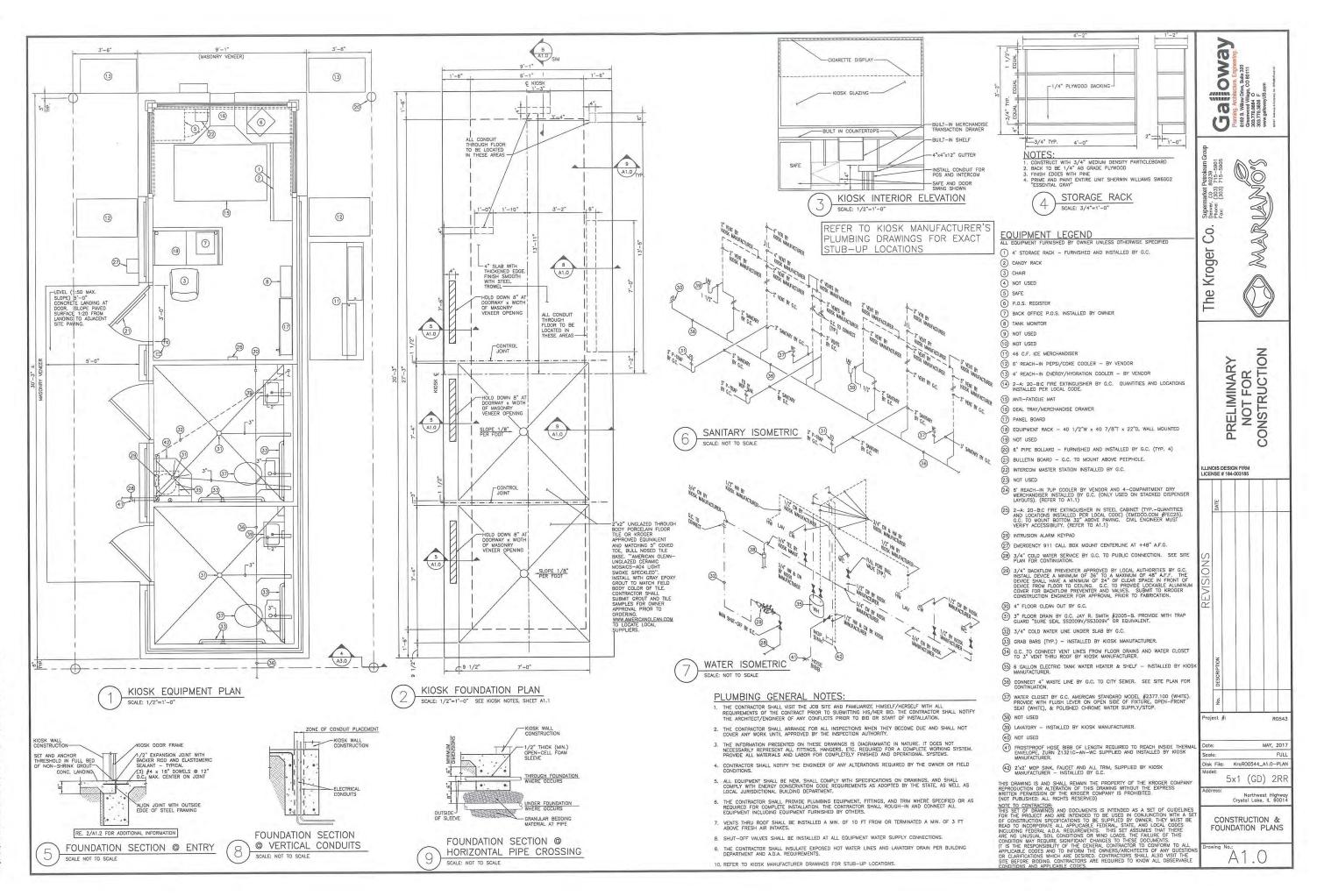
Date: 05/29/2015

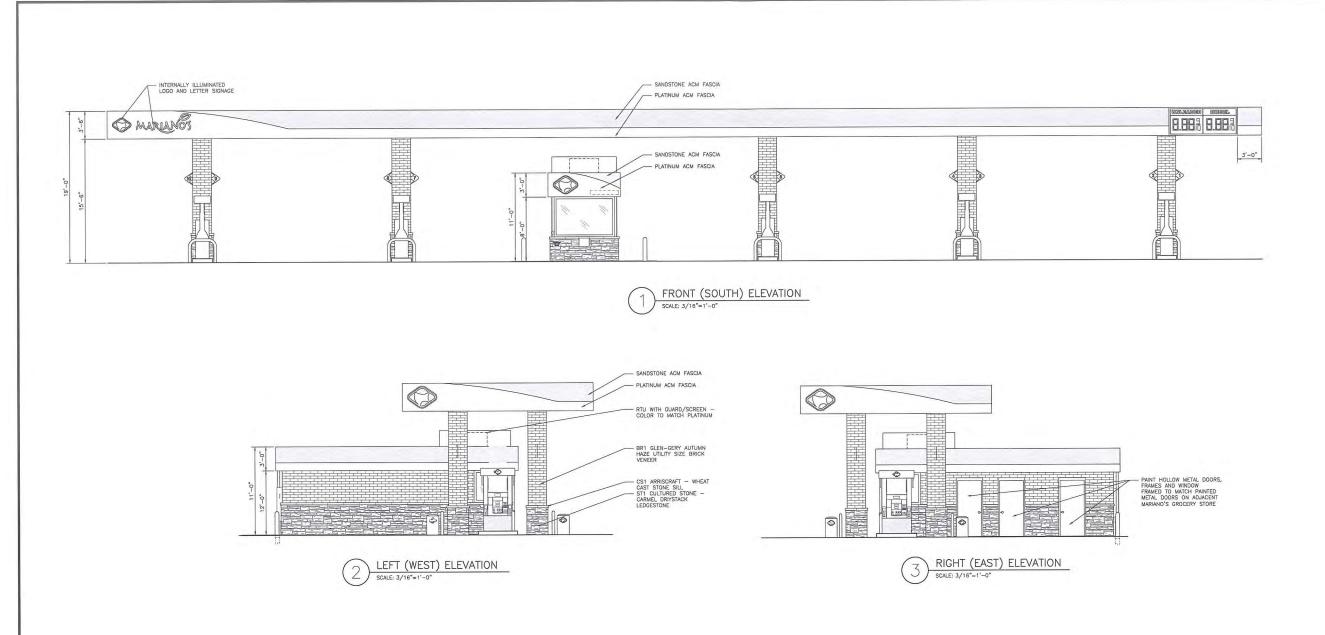
Drawn Checked

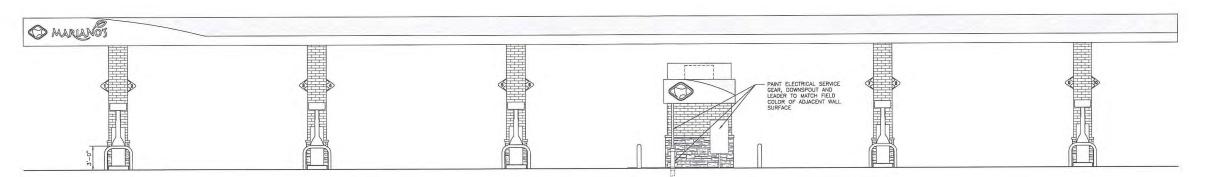




WATER SERVICE INSTALLATION FOR DUCTILE AND CAST IRON WATER MAIN







REAR (NORTH) ELEVATION SCALE: 3/16"=1'-0"

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF THE KROGER COMPANY REPRODUCTION OR ALTERATION OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE KROCER COMPANY IS PROHIBITED.

MOTE PUBLISHED: ALL RIGHTS RESERVED)

MOTE TO CONTRACTOR

MOTE TO CONTRACTOR

TO PROPERT HOW PROJECT WHO ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER, THEY MUST BE FRAD TO INCORPORATE ALL APPLICABLE FEBERAL, TSITE, AND LOCAL COORS INCLUDING FEDERAL AD A. REQUIREMENTS. THIS SET ASSUMES THAT THERE RARD NO MUSTAL AD A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO LIVINGULAS SIZE ONDITIONS OF THIS CONDITION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE COORS AND THE SET ASSUMES THAT THERE APPLICABLE COORS ON THE SET ASSUMES THAT THERE APPLICABLE COORS ON THE SET ASSUMES THAT THERE APPLICABLE COORS ON THE SET ASSUMES THAT THE APPLICABLE COORS ON THE SET ASSUMES THAT THE APPLICABLE COORS ON THE SET ASSUMES THAT THE SET ASSUMES THAT THERE APPLICABLE COORS ON THE SET ASSUMES THAT THE APPLICABLE COORS ON THE SET ASSUMES ASSUMED ASSUMED AS ASSUM

Flaming, Architecture, Engineering, 8182. Willow Thou, Sule and Greenwood Village, CO 80111 302.77.08894 O 302.

MARIANO'S Supermarket Petroleum Gr Denver, CO 80239 Phone: (303) 715—5901 Fax: (303) 715—5905 The Kroger Co.

PRELIMINARY NOT FOR CONSTRUCTION

ILLINOIS DESIGN FIRM LICENSE # 184-003185

	DATE	
REVISIONS	DESCRIPTION	
	ó	
Proje	ct #:	

Disk File: KroR00544_A2.0-ELEV 5x1 (GD) 2RR

Northwest Highway Crystal Lake, IL 60014

EXTERIOR ELEVATIONS & SIGNAGE

A2.0