



#2017-05
CL Food Pantry – Variation
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	July 19, 2017
<u>Request:</u>	Variation from Article 3-200, front yard setback, to allow two awnings to encroach 21 feet 5 inches into the required 30-foot setback.
<u>Location:</u>	42 East Street
<u>Acreage:</u>	Approximately 1 acre
<u>Existing Zoning:</u>	M Manufacturing
<u>Surrounding Properties:</u>	North: M Manufacturing South: M Manufacturing East: R-2 Single-Family Residential West: M Manufacturing
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The food pantry was approved in 2016 as an alternative use in the M Manufacturing district. They moved into a portion of this building and have completed improvements creating a waiting area, a loading and storage area for food deliveries, and a shopping area.
- To provide additional protection for their patrons waiting outside prior to opening, the food pantry would like to install two awnings out from each door along the east side of the building. The building is already within the required front-yard setback. Any attachments to the building are considered part of the principal structure and required to meet the setback.

Development Analysis:

Land Use/Zoning

- The site is currently zoned M Manufacturing. No changes that affect the zoning are proposed.
- The land use map shows the area as Industry. No changes that alter the land use are proposed.

Site Layout

- Nothing is changing with the existing site layout with the exception that awnings will project from the building out to the parking area.

Signage

- The petitioner would meet the office sign section of the ordinance with any signage they plan to install.
- The “Enter” and “Exit” signs are included in overall sign calculations.

Findings of fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation to allow the covered awnings to encroach into the required front yard setback. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.
 Meets *Does not meet*
- b. Also, that the variation, if granted, will not alter the essential character of the locality.
 Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*
- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*
- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
 Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Industry, which allows for existing and future business uses that provide service, office and manufacturing uses. The following goal is applicable to this request:

Land Use - Commerce

Goal: Support manufacturing uses within the community which contribute to the regional and local economy and Crystal Lake’s live, work, play philosophy.

This can be accomplished with the following supporting action:

Supporting Action: Encourage the redevelopment of “brownfield” sites, underused or abandoned manufacturing properties in the City, and reuse already existing structures or draw upon existing infrastructure.

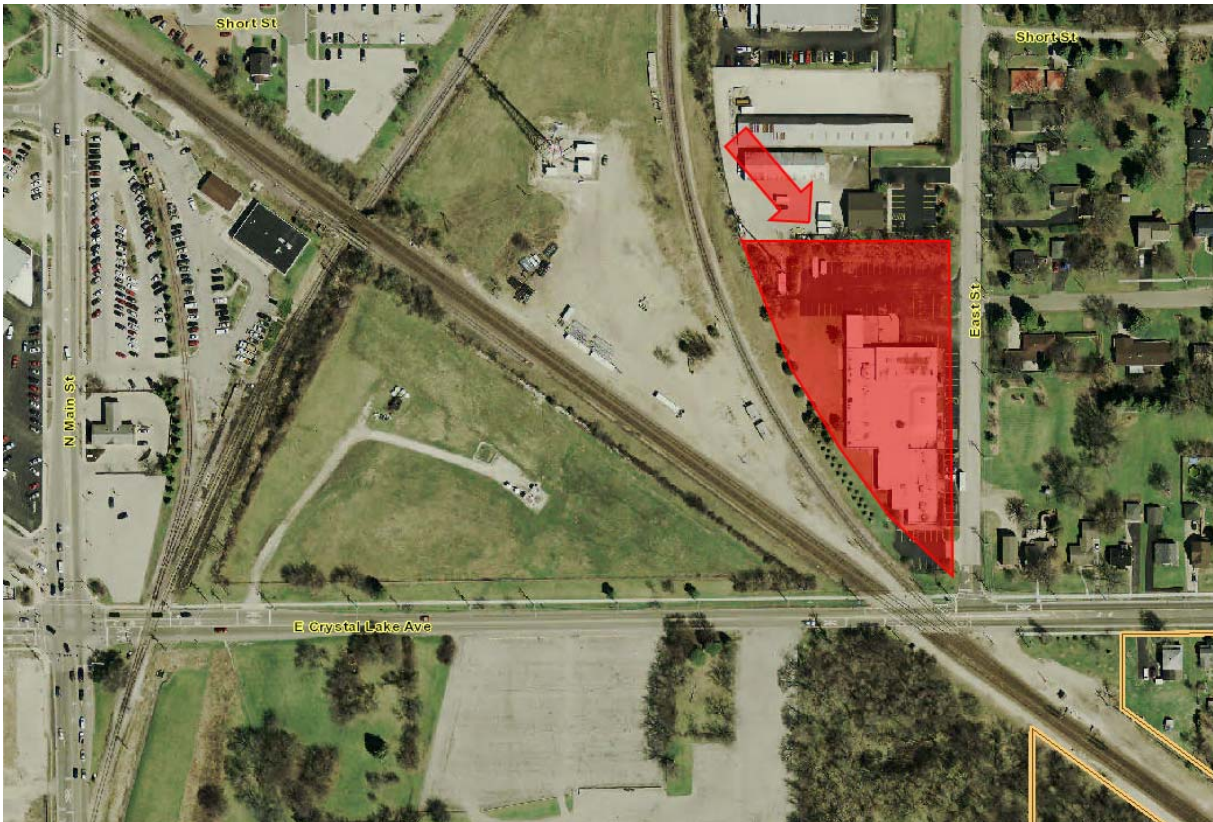
Success Indicator: The number of new tenant occupancies in existing buildings.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Food Pantry, received 03/09/17)
 - B. Awning Plans (Hunzinger Williams, undated, received 03/09/17)
 - C. Alta Survey (Vanderstappen, dated 02/15/17, received 06/16/16)
 - D. Site Plan (Apex, dated 06/25/16, received 03/09/17)
2. All conditions of Ordinance # 7202 remain valid with this variation approval.
3. The petitioner shall meet the Office sign requirements in the UDO and provide the square footage of the new signs for review with the building permit.
4. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments.

2017-05 Crystal Lake Food Pantry – 42 East Street



City of Crystal Lake Development Application

Office Use Only

File #

2017 05

Project Title: Setback Variance

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

RECEIVED
MAR 09 2017

Petitioner Information

Name: Crystal Lake Food Pantry, Inc.
Address: 42 East Street
Crystal Lake, IL 60014
Phone: _____
Fax: _____
E-mail: _____

Owner Information (if different)

Name: _____
Address: _____
Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: Setback variance regarding awnings on building

Project Address/Location: 42 East Street, Crystal Lake, IL 60014

PIN Number(s): 14-33-356-009

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: _____

Attorney: Ryan P. Farrell, Zukowski, Rogers, Flood & McArdle,
50 Virginia Street, Crystal Lake, IL 60014

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____


Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

William Eich  3/7/17

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE
BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE PETITION
OF Crystal Lake Food Pantry

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois that a public

hearing will be held before the Planning and Zoning Commission on the application by Bill Eich, on behalf of the Crystal Lake Food Pantry to approve a variation at 42 East Street, Crystal Lake, Illinois. PIN: 14-33-356-009

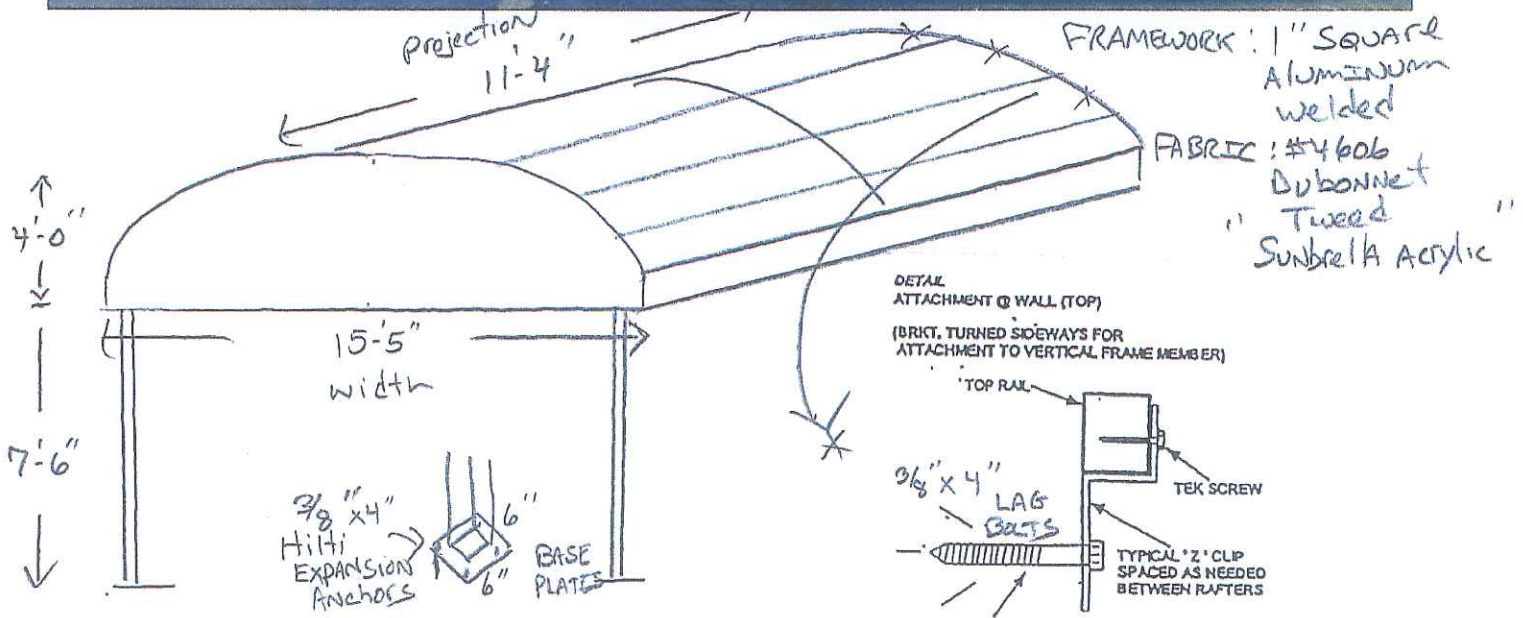
This application is filed for the purpose of seeking a variation from the front yard setback to allow two awnings to encroach 21 feet 5 inches into the setback pursuant to Article 3-200, as well as, any other variations as necessary to approve the plans as presented to approve this development. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on this request will be held at 7:30 p.m. on Wednesday, July 19, 2017, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
on June 28, 2017) 1429854

SOUTH ENTRANCE



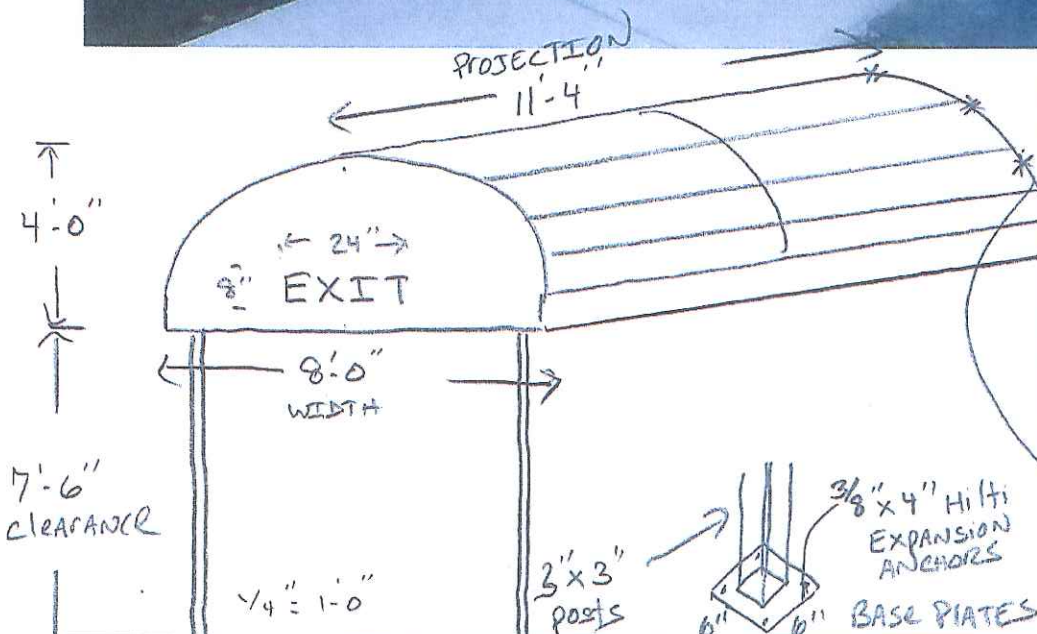
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Approved By: _____ Date _____

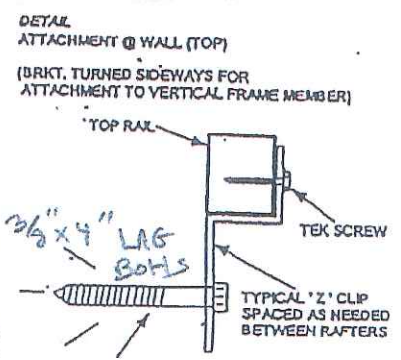
2017 05

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 BY: _____

NORTH ENTRANCE



FRAMEWORK: 1" SQUARE Aluminum welded
 FABRIC: #4606 DuPont Tynex Sunbrella Acrylic

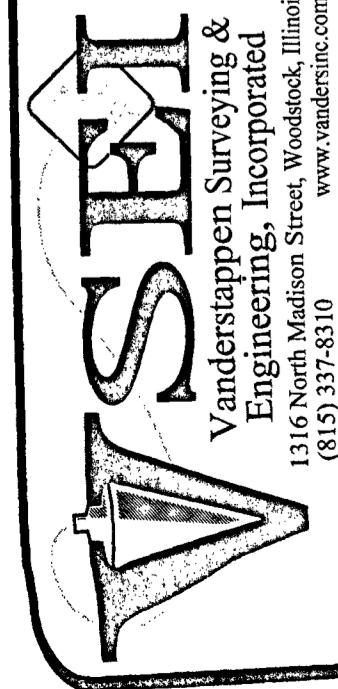


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Approved By: _____ Date _____

RECEIVED
 MAR 09 2017
 BY: _____

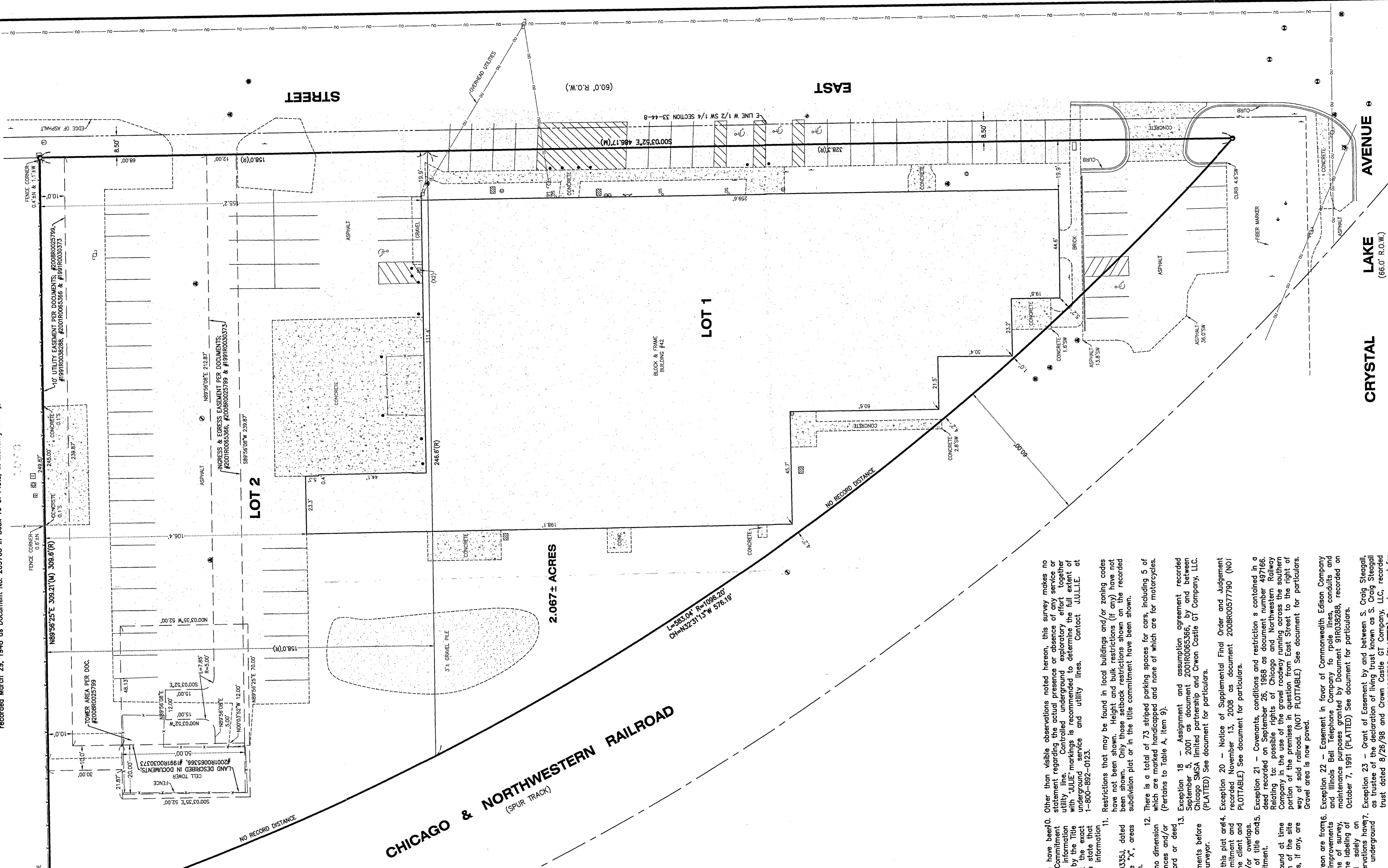
2017 05



ALTA/ACSM LAND AND TITLE SURVEY

Lots 1 and 2 in Salveus's Subdivision, (being a Reabundition of Blocks 3, 4, and 5, of Lindley's Addition to North Crystal Lake), being a Subdivision of part of the Section 33, Township 44 North, Range 10 East, in McHenry County, Illinois, recorded March 29, 1946 as Document No. 209705 in Book 10 of Plats, in McHenry County, Illinois.

RECEIVED JUN 16 2017 BY: [Signature]

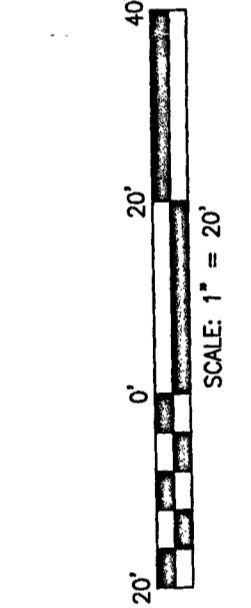


LEGEND	
■	AIR CONDITIONER
●	CATCH BASIN
○	CLEAN OUT
•	DOWN GUT
•	DOWN SPOUT
⊕	ELECTRIC METER
⊕	FIRE CONNECTION
⊕	FLAG POLE
⊕	FOUND IRON BAR
⊕	FOUND IRON PIPE
⊕	GAS METER
⊕	HANDICAP
⊕	MAIL BOX
⊕	MANHOLE
⊕	MONITORING WELL
⊕	SANITARY MANHOLE
⊕	SIGN
⊕	STORM MANHOLE
⊕	TELEPHONE MANHOLE
⊕	TELEPHONE RISER
⊕	TRAFFIC SIGNAL POLE
⊕	TRANSFORMER
⊕	TV RISER
⊕	UTILITY POLE
⊕	VALVE VAULT
⊕	WELL
(R)	RECORD
(M)	MEASURE

SURVEYOR'S NOTES

- The legal description and utility easements shown hereon have been provided by First American Title Insurance Company, Commitment policy #1546103MC dated December 21, 2015. The title information shown hereon is exclusively that provided to the Surveyor by the title insurer or the client. The Surveyor does not warrant the exact location of the Utility Easements shown hereon, but does warrant that they are located as accurately as possible from the information provided.
- Based on Flood Insurance Rate Map, Panel No. 1711100335J, dated November 16, 2006, the subject property lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain.
- Distances are marked in feet and decimal places thereof, no dimension shall be assumed by scale measurement hereon. Distances and/or bearings shown with a "D" in parenthesis (D) are record or deed values, not field measured.
- Compare this plot, legal description and all survey monuments before building, and immediately report any discrepancies to the surveyor.
- The location of the property lines shown on the face of this plot are based on the legal description contained in the title commitment and shown hereon. This information has been furnished by the client and compared to record deeds to check for gaps and / or overlaps. However, this survey may not reflect the true boundaries or ownership, that have not been discussed by the title commitment.
- Only the improvements which were visible from above ground at the time of survey and through a normal search and walk through of the site are shown on the face of this plot. Lawn sprinkler systems, if any, are not shown on this survey.
- Manholes, inlets and other utility rims or grates shown hereon are from field location of such, and only represent such utility improvements which are visible from above ground survey at the time of survey, through a normal search and walk through of the site. The labeling of these manholes (sanitary, water, etc) are based solely on the stamped markings on the rim, no description or record was obtained. An attempt was made to verify the actual use or existence of underground utilities.
- Surface indications of utilities on the surveyed parcel have been shown. Underground and offset observations have not been made. The Surveyor determines the extent of utilities serving the property, including public and/or private overhead wires and poles (if any) have been shown, however their function and dimensions have not been shown.
- This survey may not reflect all utilities or improvements, if such items are hidden by landscaping, or are covered by such items as dumpsters or trailers or when the site was covered with snow. At the time of survey, the site was not covered by snow.

CLIENT: CRYSTAL LAKE FOOD PANTRY
 DRAWN BY: DAM CHECKED BY: MUV
 SCALE: 1"=20' SEC. 33 T. 44 R. 8 E.
 BASIS OF BEARING: ASSUMED
 P.L.N.: 14-33-358-009
 JOB NO.: 160047-1 I.D. ALI
 FIELDWORK COMP.: 2/15/17 BK. PG.
 ALL DISTANCES SHOWN IN FEET AND DECIMAL FEET.
 PARTS THEREOF CORRECTED TO BE F.



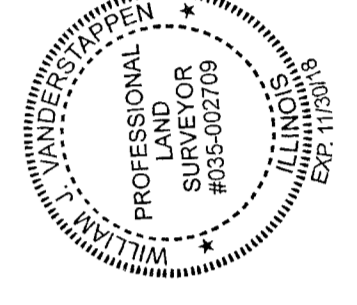
STATE OF ILLINOIS) S.S.
 COUNTY OF MCHENRY)
 Certified to: 1) First American Title Insurance Company
 2) Crystal Lake Food Pantry
 3) Craig Steagall

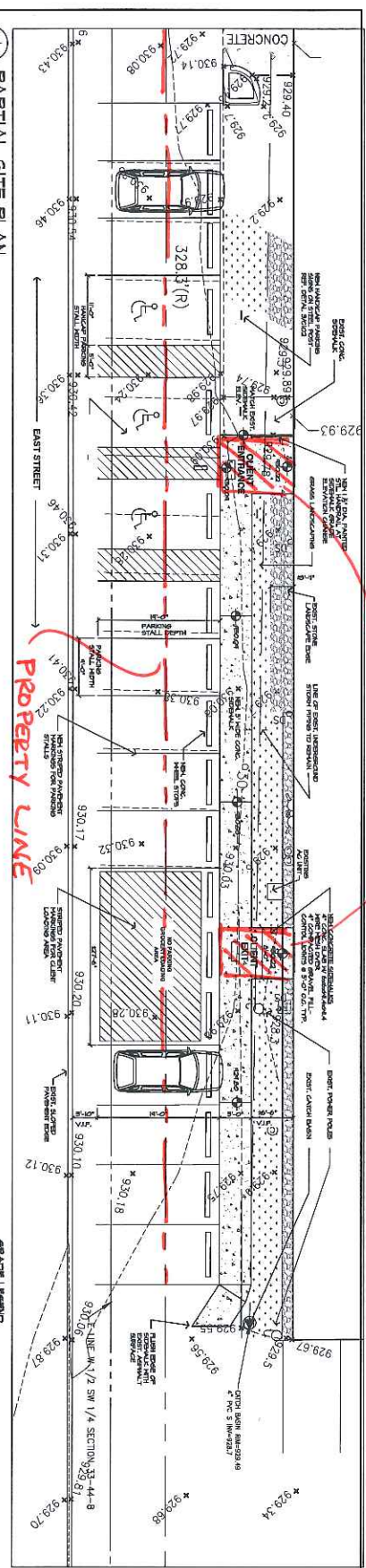
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NRS, and includes Items 1, 2, 3, 4, 7a, 8, 9, & 21 of Table A hereof. This field work was completed on February 16th, 2017.

Dated this 23rd day of February, A.D., 2017.

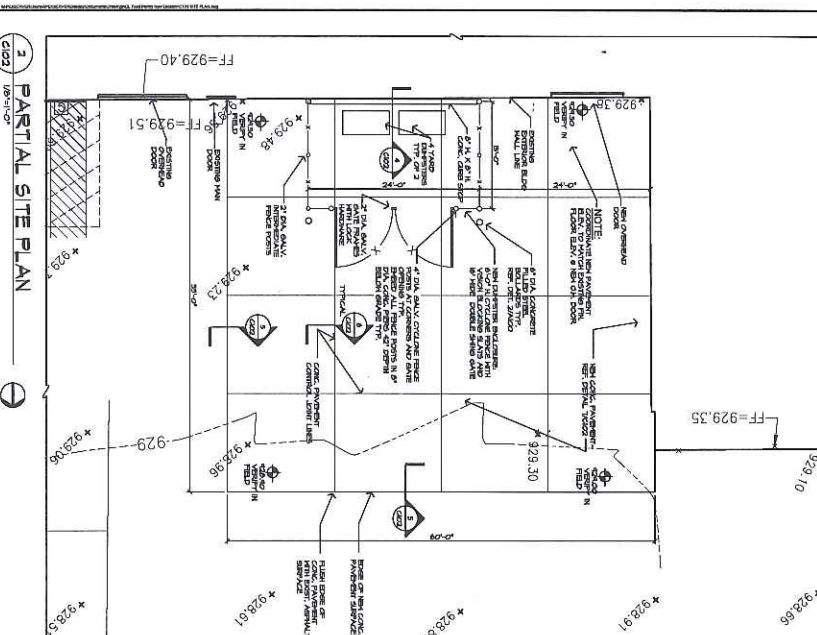
VANDERSTAPPEN SURVEYING & ENGINEERING, INC.
 Design Firm No. 184-002792

WILLIAM J. VANDERSTAPPEN (seal)
 PROFESSIONAL LAND SURVEYOR

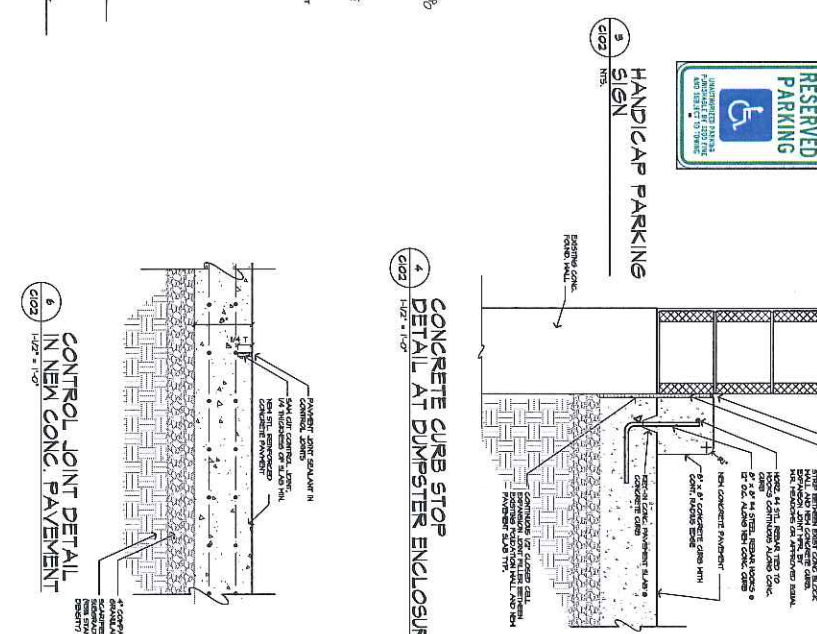




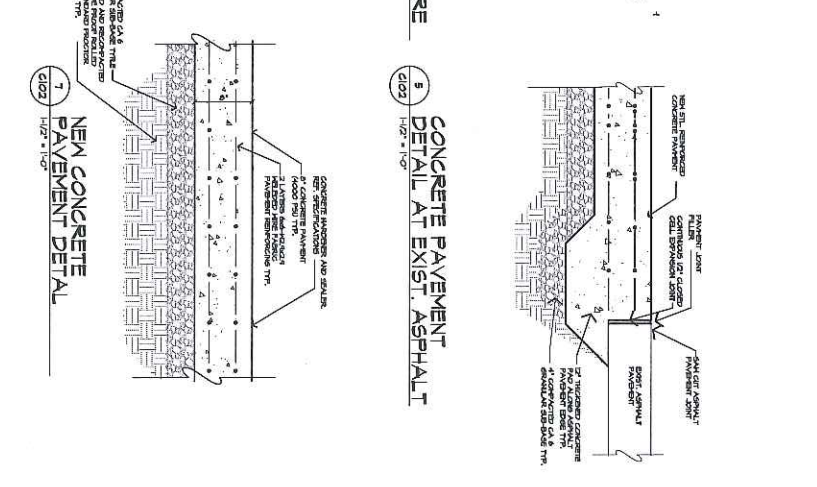
1 PARTIAL SITE PLAN
1/8" = 1'-0"



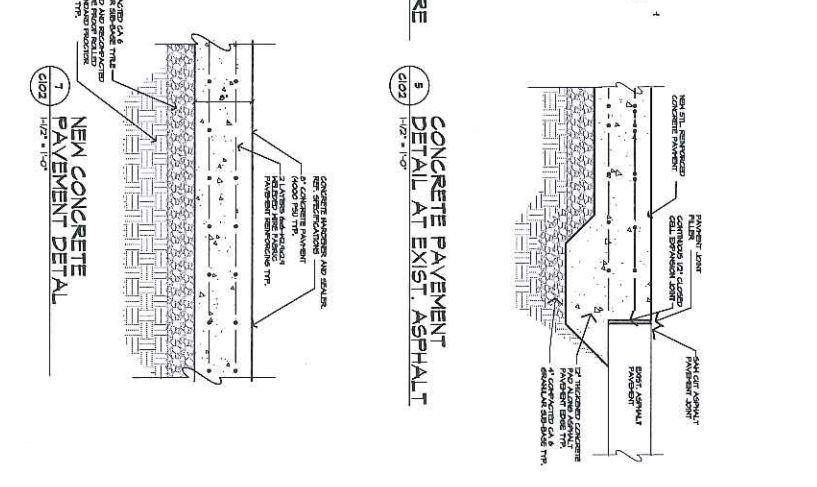
2 PARTIAL SITE PLAN
1/8" = 1'-0"



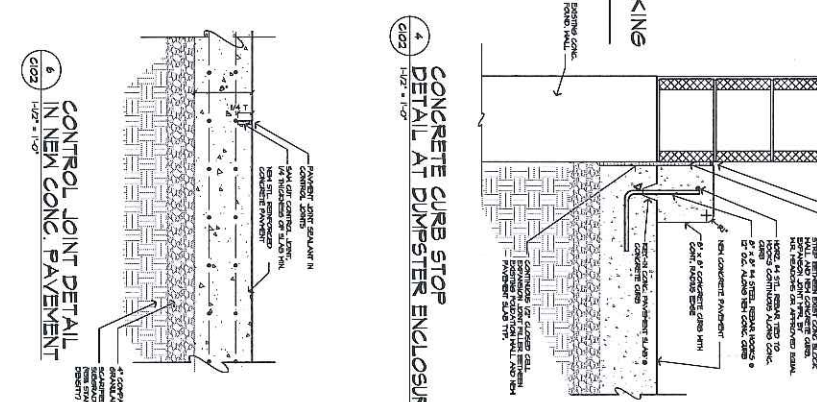
3 HANDICAP PARKING SIGN
1/2" = 1'-0"



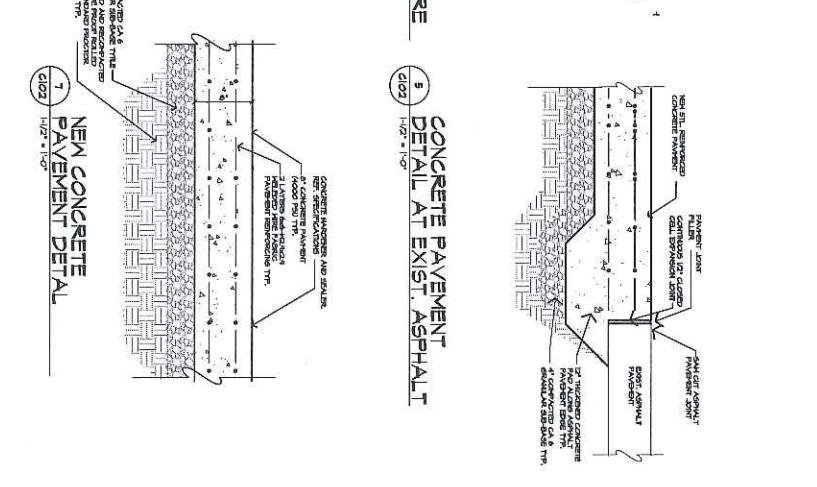
4 CONCRETE CURB STOP DETAIL AT DUMPSTER ENCLOSURE
1/2" = 1'-0"



5 CONCRETE PAVEMENT DETAIL AT EXIST. ASPHALT
1/2" = 1'-0"



6 CONTROL JOINT DETAIL IN NEW CONC. PAVEMENT
1/2" = 1'-0"



7 NEW CONCRETE PAVEMENT DETAIL
1/2" = 1'-0"

GRADE LEGEND

+ XXXXX EXIST. SPOT GRADE ELEVATIONS
+XXXXX EXISTING CONTOUR ELEVATIONS
◆ XXXXX NEW SPOT GRADE ELEVATIONS

CLIENT:
CRYSTAL LAKE FOOD PANTRY
42 EAST STREET
CRYSTAL LAKE, IL 60014

PROJECT:
RENOVATION

SHEET NUMBER:
C102

SHEET TITLE:
ENLARGED SITE PLAN DETAILS

APEX
PROJECT MANAGEMENT, LLC
35 EAST CRYSTAL LAKE AVENUE
CRYSTAL LAKE, ILLINOIS 60014-8101
(815) 455-4546
(815) 455-4411 (Fax)
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No.	ISSUE	DATE	DATE
	ISSUED FOR PERMIT	LB	6/25/16
	ISSUED FOR REVIEW	MK	6/20/16
	ISSUED FOR REVIEW	MK	6/8/16

Drawn By: LB
Checked By: MK
Project No:
CAD File:
Scale: