



#2017-42 Culvers Project Review for Planning and Zoning Commission

Meeting Dates: December 6, 2017

Requests:

1. Final Plat of Subdivision for two lots.
2. Deferral to bury existing overhead utility lines until an area wide program is established.
3. Variation from Article 4-400 from the requirement to locate a landscape island every 10 spaces.
4. Variation from Article 4-1000 to exceed 150 square feet of building signage allowing for striped awnings.

Location: 400 Pingree Road

Acreage: approximately 3.2 acres

Existing Zoning: B-2 General Commercial

Surrounding Properties:

North:	B-2 PUD General Commercial
South:	B-2 General Commercial
East:	B-2 PUD General Commercial
West:	M Manufacturing

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The site was part of the Recspec subdivision. Three lots were created with the Recspec subdivision, Lot 1 for Country Inn & Suites, Lot 2 for an office building, and Lot 3 this vacant lot, which includes the detention basin. The Recspec plat had a restriction on direct access to Pingree Road, as the plat was approved before Pingree Road was reconstructed. The reconstruction removed the 6-foot hill which eliminates the prior concern about direct access.
- This resubdivision will remove the restriction for access directly to Pingree Road, it will also split the detention basin as a separate lot.
- Culvers will construct a new restaurant on the newly proposed Lot 1.

Land Use Analysis:

ZONING

- The site is currently zoned B-2 General Commercial. Limited Service restaurants with our without a drive-through are a permitted use in B-2.

- The Comprehensive Land Use Plan designates this area as Commercial. The proposed use would be in compliance with the Comprehensive Land Use Plan.

SITE PLAN

- Access to the site is from a full access on Pingree Road, which lines up with Cog Circle.
- Two-way traffic is permitted around the site with the exception of along the drive-through lane and north of the building which is one-way.
- An access easement has been provided along the west edge of the property to allow for continuation of the shared access amongst the lots including the vacant lot to the north.

PARKING

- The site is designed with 57 parking spaces and an additional 6 waiting spaces.
- Limited service restaurants require 1 space per 100 square feet of gross floor area, which requires 43 parking spaces.
- Additional drive-through stacking is also required at 9 spaces, 4 between the pick-up window and order board and 5 after the order board, which has been provided.

ELEVATIONS

- The new Culvers uses a combination of earthy colors and a variety of materials to create an appealing and unique building.
- Stone creates a solid base around the building and continues up the columns.
- The main façade is constructed of Khaki Brown cement board siding, which is a very durable and good looking product.
- A thick cornice with dark top cap has been added to provide a distinct finish to the top of the building.
- A condition of approval has been added to eliminate the LED Cove Lighting as that would not meet the UDO lighting requirements.
- The building meets the commercial design standards in the UDO.

DESIGN CRITERIA

The UDO specifies specific design criteria for new development. There are 10 criteria groups and the site must meet a minimum of 6 of those. Staff has reviewed the proposed development against the standards listed and has made a determination that the project meets 8 of 10 of the criteria. The results are as follows:

1. Building Form

Meets *Does not meet* *Not Applicable*

2. Building Massing and Articulation

Meets *Does not meet* *Not Applicable*

3. Rooflines and Parapets
 Meets *Does not meet* *Not Applicable*
4. Building Materials
 Meets *Does not meet* *Not Applicable*
5. Roof Materials
 Meets *Does not meet* *Not Applicable*
6. Building Colors
 Meets *Does not meet* *Not Applicable*
7. Building Fenestration
 Meets *Does not meet* *Not Applicable*
8. Entrance Design
 Meets *Does not meet* *Not Applicable*
9. Canopy/Awning Design
 Meets *Does not meet* *Not Applicable*
10. Overall Façade Design
 Meets *Does not meet* *Not Applicable*

LANDSCAPE PLAN

- The perimeter is lined with trees and an undulating row of shrubs, flowers and grasses.
- Interior parking lot islands will be planted with trees and shrubs.
- Foundation base planting around the exterior of the building includes turf, grasses, and a variety of shrubs.
- The landscape plan meets the ordinance requirements.

SIGNAGE

- The building is designed with 137.45 square feet of wall signage, which is below the maximum 150 square feet permitted.
- The ordinance counts striping as signage, and in doing so, includes the awnings on the building as signage, even without any text on them. This additional striping puts the building over their allotted signage.
- Culvers free-standing signs include picture display of food products. The City's EMC UDO requirements only permits text. A condition has been added that the sign shall not display pictures.

Findings of fact:

LIMITED USE PERMIT

Drive-through lanes for fast food restaurants are limited uses which means they can be administratively approved by staff. For reference the criteria are provided below noting that they meet all the requirements to have this approved at a staff level.

1. Drive-through windows and lanes shall not be placed between the right-of-way for the primary street and the associated building and not adjacent to residential property.
 Meets *Does not meet*

2. Stacking spaces shall be provided for any use having a drive-through, which do not impede on off-site traffic movements, are a minimum 12 feet wide, and have a 10-foot wide bypass lane
 Meets *Does not meet*

3. The required number of stacking spaces is based on the specific use. For limited service restaurant 9 stacking spaces total with 4 between the pick-up window and order board and 5 beyond the order board.
 Meets *Does not meet*

FINAL PLAT OF SUBDIVISION

The petitioner is requesting a Final Plat of Resubdivision of Lot 3 of the Recspec Subdivision. Lot 3 is currently vacant with a detention pond on the west half. The lot would be resubdivided into 2 lots, with the western half containing the detention basin and the eastern half being sold to Culvers to construct a new restaurant. Both lots would meet the requirements of the B-2 zoning district and do not require any variations.

Per the existing covenants, all properties that drain into the basin are responsible for maintenance. A maintenance agreement needs to be established for the detention basin.

Subdivisions require the applicant to construct sidewalk and plant street trees along roadways and bury overhead utilities underground. This also refers to existing utility lines on the property. The lines along Pingree Road are very large and it would be expensive to bury this small section. The petitioner is requesting a deferral as part of the subdivision request until there's an area-wide program. Sidewalk is already installed along Pingree Road and street trees are shown along Pingree Road, but on the site due to the overhead utility lines.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commercial, which allows for existing and future commercial, retail, restaurant and other business uses. The following goal is applicable to this request:

Land Use – Commercial Residential

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting actions:

Supporting Action: Promote, attract and retain businesses that provide a diverse tax base.

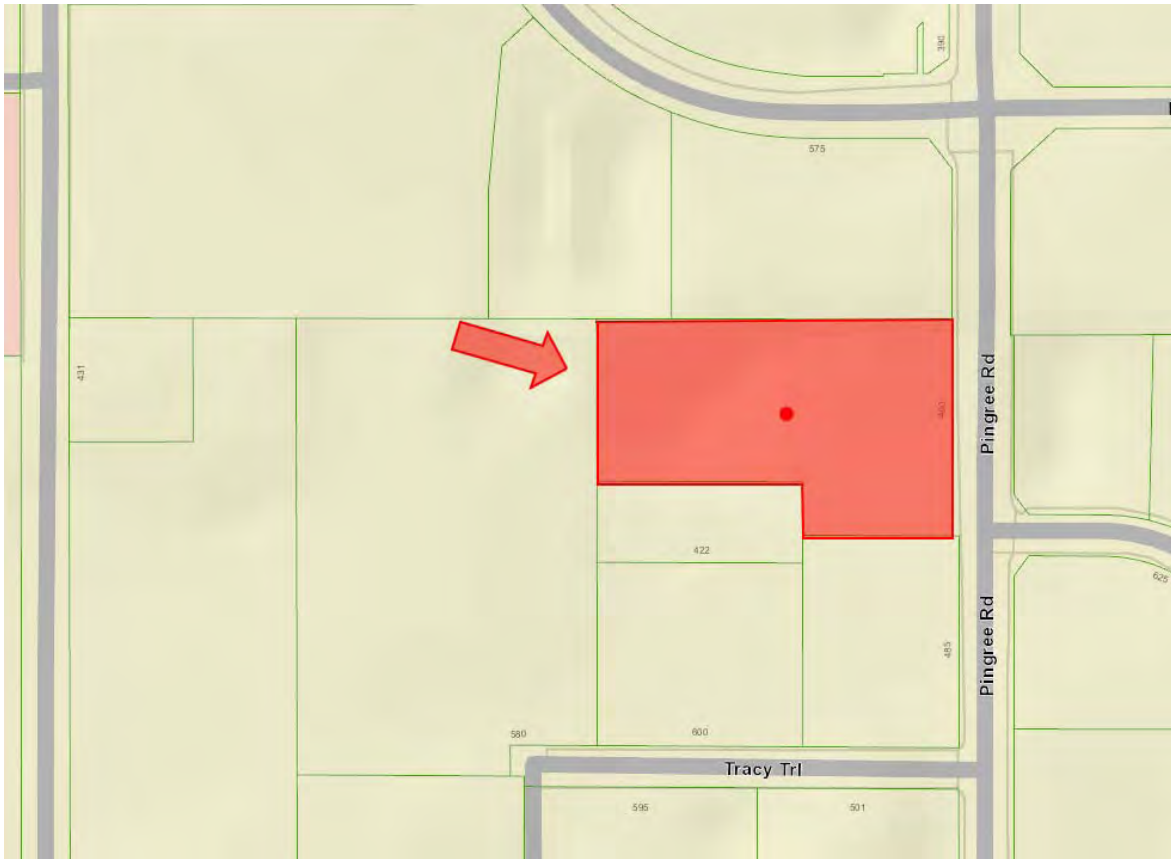
Success Indicator: Number of new “chain store” occupancies.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (DM Crystal Lake, received 11/01/17)
 - B. Final Plat of Subdivision (HR Green, dated 11/01/17, received 11/01/17)
 - C. Landscape Plan (Gary Weber, dated 10/11/17, received 11/01/17)
 - D. Elevations (Ollmann Ernest Martin, dated 10/27/17, received 11/01/17)
 - E. Floor Plan (Ollmann Ernest Martin, dated 10/27/17, received 11/01/17)
 - F. Engineering Plans (CAGE, dated 11/01/17, received 11/01/17)
 - G. Sign Package (Springfield Sign, dated 10/27/17, received 11/01/17)
2. Elevations:
 - A. Lighting used for outlining windows, doors, rooflines or buildings is not permitted, eliminate the Cove Lighting from the plan.
 - B. The building is permitted 150 square feet of signage and additional square footage for the striped awnings.
3. Final Plat of Subdivision.
 - A. The final plat cannot be signed until the agreement for maintenance of the detention area has been established and agreed to by all affected parties. Covenants for the perpetual detention basin must be reviewed and approved by staff.
 - B. Petitioner agrees not to object to an SSA to establish an area wide program to bury overhead utility lines.
4. Signage.
 - A. The EMC sign shall contain text only, no images of products.
5. The petitioner shall address all of the review comments and requirements of the Fire Rescue, Police, Public Works, and Community Development Departments.

2017-42 Culver's – 400 Pingree Rd – Preliminary/Final Plat of Subdivision, Special Use Permit



Received 11-1-17
2017-42

City of Crystal Lake Development Application

Office Use Only
File # _____

Project Title: _____

Action Requested

- | | |
|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input checked="" type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: DM Crystal Lake, Inc

Address: 1750 East Golf Rd. Suite 320
Schaumburg, IL 60173

Phone: 847-322-2714

Fax: _____

E-mail: JIMDIVE@SBCGLOBAL.NET

Owner Information (if different)

Name: _____

Address: _____

Phone: _____

Fax: _____

E-mail: _____

Property Information

Project Description: _____
Construct a new Culver's Restaurant

Project Address/Location: _____

PIN Number(s): _____

Development Team

Please include address, phone, fax and e-mail

Developer: DM Crystal Lake, Inc.

Architect: Ollmann Ernest Martin Architects

Attorney: _____

Engineer: Cage Civil Engineering


Landscape Architect: Cage Civil Engineering

Planner: _____

Surveyor: _____

Other: _____

Signatures

 JIM DIVERDE 10/27/17
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

OWNER: Print and Sign name **Date**

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Development Team

Please include address, phone, fax and e-mail

Developer: DM Crystal Lake, Inc.

Architect: Ollmann Ernest Martin Architects

Attorney: _____

Engineer: Cage Civil Engineering


Landscape Architect: Cage Civil Engineering

Planner: _____

Surveyor: _____

Other: _____

Signatures

 JIM DIVERDE 10/27/17
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

 OWNER: Print and Sign name 10/31/17
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



PUBLIC NOTICE
BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE PETITION
OF Culvers

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission on the application by

Jim DiVerde, on behalf of Culver's and Charles Felleli, seeking a Final Plat of Subdivision and Variations for 400 Pingree Road, Crystal Lake, Illinois.

PH: 19-04-476-017.

This application is filed for the purpose of seeking a Final Plat of Subdivision with a deferral of burial of the overhead utility lines and Variations from Articles; 4-400 Landscape and Screening from the requirement to provide a landscape island every 10 spaces, 4-1000 Signs to exceed the 150 square feet of signage, as well as any other variations as necessary to approve the project as presented pursuant to Article 2 Land Use, Article 5 Subdivision and Article 9 Administration. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on this request will be held at 7:30 p.m. on Wednesday, December 6, 2017, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

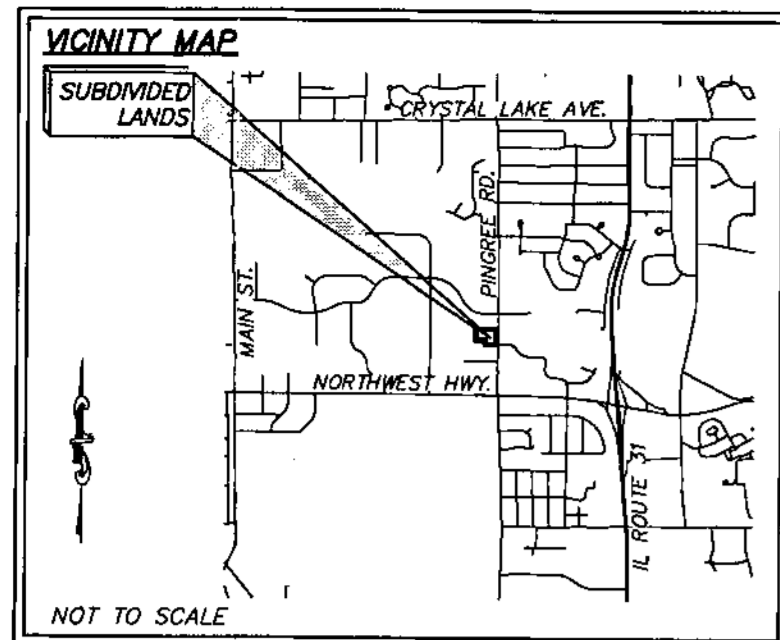
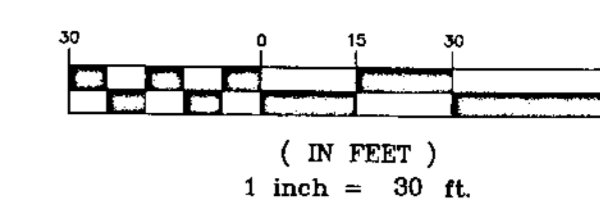
(Published in the Northwest Herald
November 21, 2017)1481688

FINAL PLAT OF RESUBDIVISION OF LOT 3 RECSPEC SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH,
RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN ALGONQUIN TOWNSHIP, McHENRY COUNTY, ILLINOIS.

PIN: 19-04-476-017

GRAPHIC SCALE



OWNERS CERTIFICATE

STATE OF _____)
COUNTY OF _____) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED,

_____ IS/ARE THE LEGAL OWNERS OF
A PORTION OF LAND DESCRIBED ON THE PLAT HEREON DRAWN AND SHOWN HEREON
AS SUBDIVIDED; THAT THEY HAVE CAUSED SAID LAND TO BE SURVEYED, SUBDIVIDED,
STAKED AND PLATTED AS SHOWN HEREON, FOR THE PURPOSE OF HAVING THIS PLAT
RECORDED PROVIDED BY LAW, AND AS THE OWNERS, DO HEREBY STATE THAT TO THE
BEST OF OUR KNOWLEDGE, ALL OF THE LOTS IN THIS SUBDIVISION LIE WITHIN:

CRYSTAL LAKE COMMUNITY CONSOLIDATED SCHOOL DISTRICT _____
CRYSTAL LAKE HIGH SCHOOL DISTRICT _____

DATED THIS _____ DAY OF _____, A.D. 20____

NOTARY CERTIFICATE

STATE OF _____)
COUNTY OF _____) S.S.

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE
AFORESAID, DO HEREBY CERTIFY THAT, _____ OF
OR PERSONS WHOSE NAME OR NAMES ARE SUBSCRIBED TO THE FOREGOING
INSTRUMENT AS, _____ RESPECTIVELY APPEARED BEFORE
ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE
SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND
PURPOSES SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____
20____

NOTARY PUBLIC

PLANNING AND ZONING COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

I, _____ CHAIRMAN OF THE CRYSTAL LAKE
PLANNING AND ZONING COMMISSION, DO HEREBY CERTIFY THAT ON THIS
DAY OF _____, 20____ THIS PLAT OF SUBDIVISION WAS DULY
APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF
CRYSTAL LAKE.

CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

APPROVED BY THE CITY COUNCIL OF CRYSTAL LAKE, ILLINOIS THIS _____ DAY
OF _____, 20____ A.D.

MAYOR

ATTEST: CITY CLERK

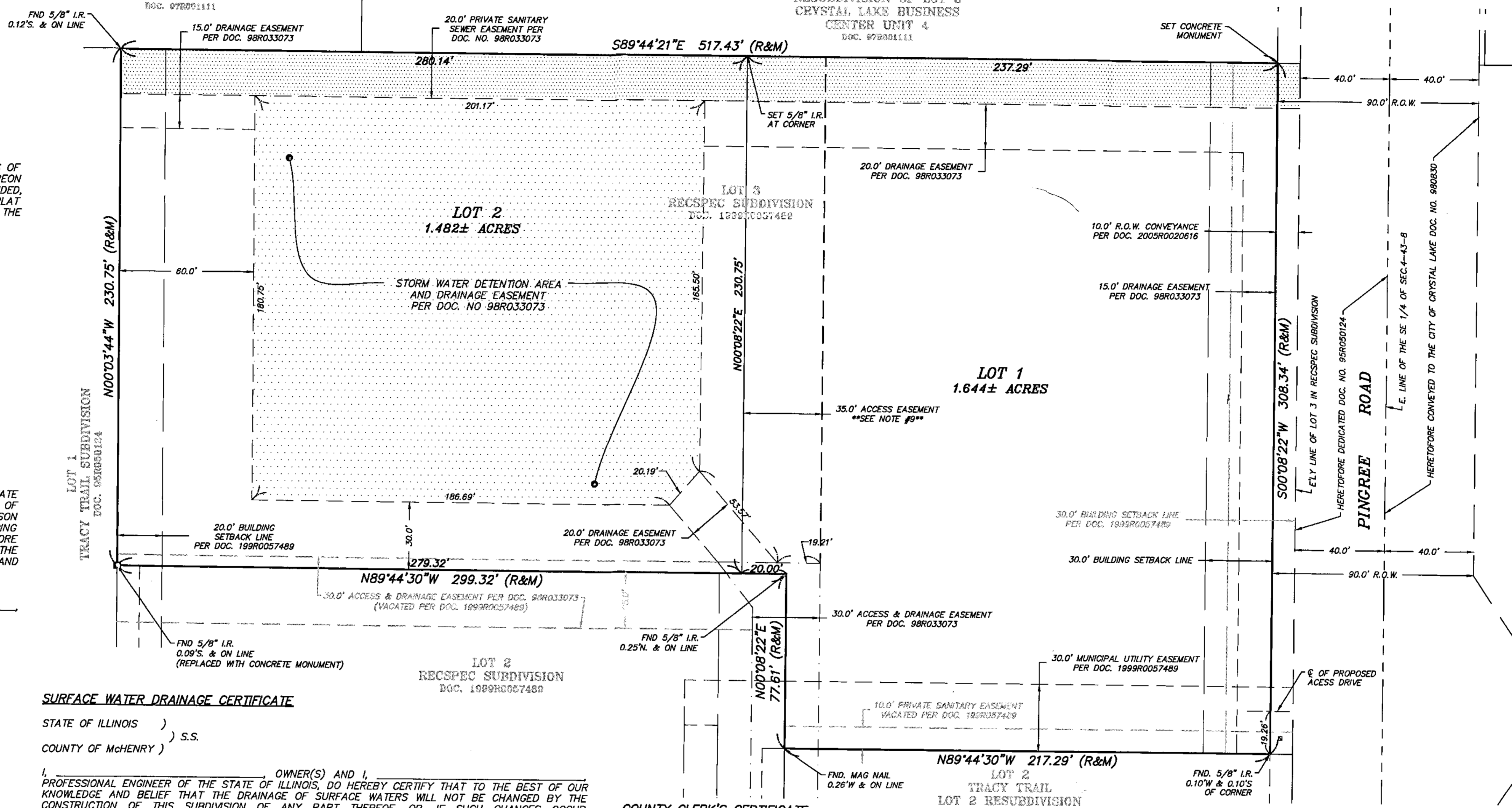
NOTE: Only those Building Line Restrictions or Easements shown on
a Recorded Subdivision Plat are shown hereon unless the
description ordered to be surveyed contains a proper description of
the required building lines or easements.
* Basis of bearings for this survey RECORDED PLAT OF RECSPEC SUBDIVISION
* No distance should be assumed by scaling.
* No underground improvements have been located unless shown
and noted.
* No representation as to ownership, use, or possession should be
hereon implied.
* This Survey and Plat of Survey are void without original embossed
or red colored seal and signature affixed.
* Field work for this survey was completed on 07/27/2017
* This professional service conforms to the current Illinois minimum
standards for a boundary survey and was performed for:

CHARLES R. FOLLETT, JR. TRUST
Compare your description and site markings with this plat and
AT ONCE report any discrepancies which you may find.

11/1/2017 10:31:35 AM
J:\2017\171044\Survey\Dwgs\fp-171044-Lot3_Recpec_REV1.dwg

OUTLOT "A"
RESUBDIVISION OF LOT 6
CRYSTAL LAKE BUSINESS
CENTER UNIT 4
DOC. 978001111

LOT 3
RESUBDIVISION OF LOT 8
CRYSTAL LAKE BUSINESS
CENTER UNIT 4
DOC. 978001111



SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

I, _____ OWNER(S) AND I, _____
PROFESSIONAL ENGINEER OF THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT TO THE BEST OF OUR
KNOWLEDGE AND BELIEF THAT THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE
CONSTRUCTION OF THIS SUBDIVISION OF ANY PART THEREOF, OR, IF SUCH CHANGES OCCUR,
ADEQUATE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE
WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT
SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON ADJOINING LAND OWNERS IN SUCH
CONCENTRATION AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE
CONSTRUCTION OF THIS SUBDIVISION.

OWNER(S)

REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

NOTES

1. THIS PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF CRYSTAL LAKE, ILLINOIS.
2. MONUMENTS FOUND OR SET AS NOTED HEREON.
3. AT THE TIME OF THIS SURVEY, THE SUBDIVIDED LAND WAS ZONED B-2, PER THE OFFICIAL ZONING MAP OF CRYSTAL LAKE, DATED 01/04/2017.
4. EXISTING EASEMENTS AND BUILDING SETBACK LINES ARE SHOWN HEREON, AS EVIDENCED UPON RECSPEC SUBDIVISION (DOC. 1999R0057489).
5. PER RECSPEC SUBDIVISION (DOC. 1999R0057489), IMMEDIATE ACCESS TO PINGREE ROAD WAS RESTRICTED. HOWEVER, UPON THE APPROVAL OF THIS PLAT BY THE CITY OF CRYSTAL LAKE, ONE DRIVEWAY, THE LOCATION OF WHICH IS SHOWN HEREON, SHALL BE ALLOWED.
6. COVENANTS, CONDITIONS AND RESTRICTIONS FOR THIS RESUBDIVISION RECORDED AS DOC. _____
7. SEE THE FOLLOWING COVENANTS, CONDITIONS AND RESTRICTIONS WHICH RELATE TO THE UNDERLYING SUBDIVISIONS OF THE SUBJECT PROPERTY.
TRACY TRAIL LOT 2 RESUBDIVISION (DOC. 98R00033073) - C.C.R. DOC. NO. 98R033074
RECSPEC SUBDIVISION (DOC. 1999R057489) - C.C.R. DOC. NO. 1999R57490

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

I, _____ COUNTY CLERK IN McHENRY COUNTY,
ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES,
NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO
REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE
ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY
FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY AT WOODSTOCK, ILLINOIS
THIS _____ DAY OF _____, 20____

McHENRY COUNTY CLERK

RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

THIS INSTRUMENT FILES FOR RECORD IN THE RECORDER'S OFFICE OF McHENRY COUNTY,
ILLINOIS ON THIS _____ DAY OF _____, 20____ A.D. AT
_____ O'CLOCK A.M. AND RECORDED AS DOCUMENT NUMBER _____

McHENRY COUNTY RECORDER

THIS PLAT PRESENTED BY:

NAME: _____
ADDRESS: _____

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KENDALL) S.S.

THIS IS TO CERTIFY THAT I, BERNARD J. BAUER, AN ILLINOIS PROFESSIONAL LAND SURVEYOR,
HAVE SURVEYED AND SUBDIVIDED THE PROPERTY AS DESCRIBED AND SHOWN BY THE PLAT,
WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES
ARE SHOWN IN FEET AND DECIMALS THEREOF. DIMENSIONS SHOWN ALONG CURVES ARE ARC
DISTANCES UNLESS OTHERWISE NOTED.

LEGAL DESCRIPTION:
LOT 3 EXCEPT THE EAST 10.00 FEET THEREOF, IN RECSPEC SUBDIVISION, BEING A PART OF
THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 11, 1999 AS
DOCUMENT 1999R0057489, IN McHENRY COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY, AND THAT CONCRETE MONUMENTS AT
OPPOSING SUBDIVISION CORNERS AND 5/8" IRON BARS AT ALL LOT CORNERS AND POINT OF
CHANGE IN ALIGNMENT WILL BE SET AS REQUIRED BY THE PLAT ACT (ILLINOIS REVISED
STATUTES 2005, 765ILCS 205/1)

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE "X" AREAS
DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS IDENTIFIED BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP COMMUNITY PANEL 170476
0335 J, BEARING AN EFFECTIVE DATE OF NOVEMBER 16, 2006.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF THE CITY
OF CRYSTAL LAKE, ILLINOIS.

GIVEN UNDER MY HAND AND SEAL AT YORKVILLE, ILLINOIS, THIS _____ DAY OF _____, 20____

FOR REVIEW

2017 42

BERNARD J. BAUER, P.L.S.
ILLINOIS PROFESSIONAL LAND SURVEYOR #035-003799
LICENSE EXPIRES: 11/30/2018

RECEIVED
NOV 01 2017

FINAL PLAT OF
RESUBDIVISION OF LOT 3
RECSPEC SUBDIVISION

NO.	DATE	BY	REVISION DESCRIPTION
1	11/01/17	BJB	LOT 1/2 PROP LINE & PER CITY COMMENTS

Illinois Professional Design Firm # 184-001322
651 Prairie Pointe Drive, Suite 201,
Yorkville, Illinois 60560
t. 630.553.7500 f. 630.553.7646
www.hrgreen.com



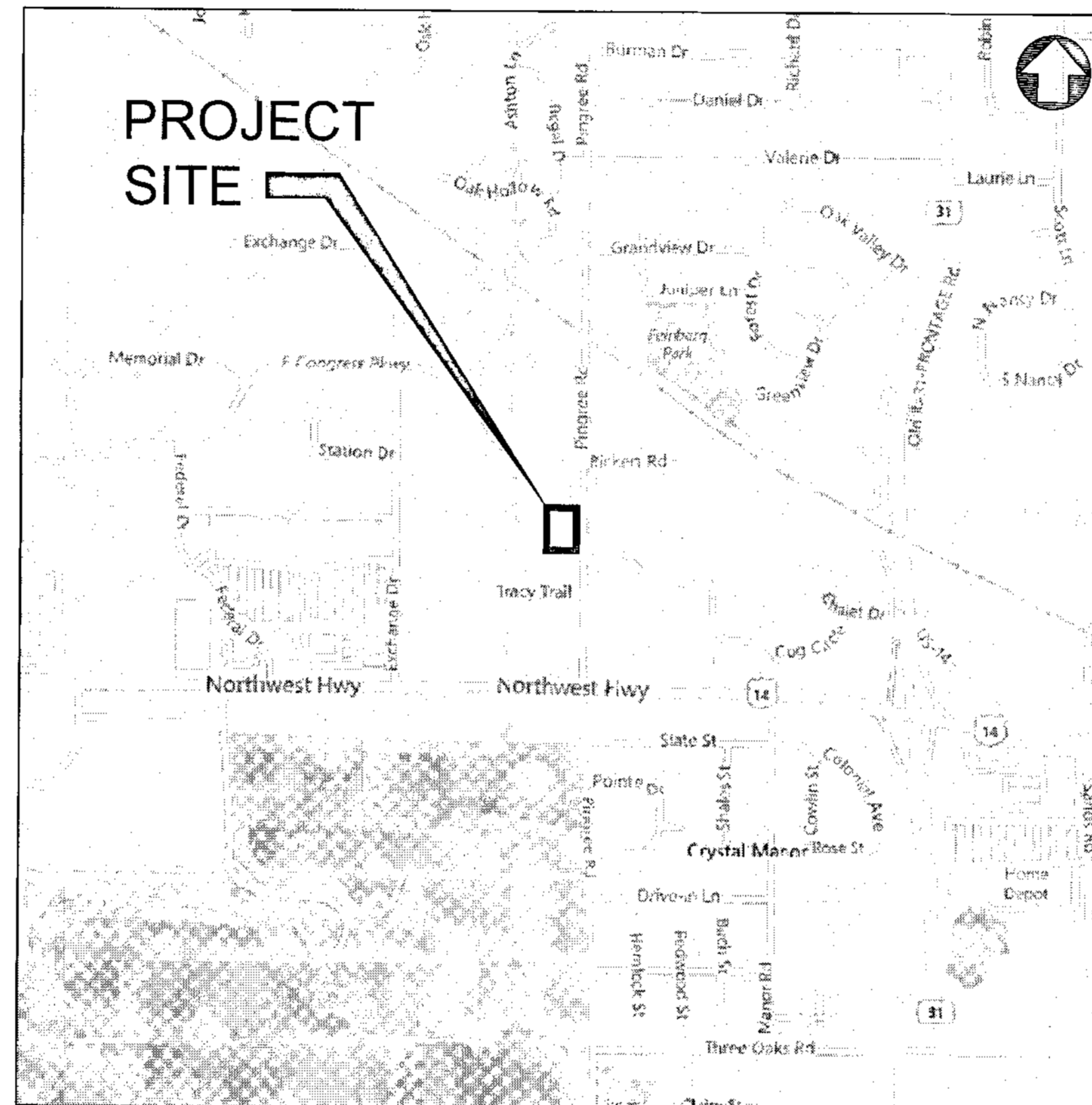
BAR IS ONE INCH ON
OFFICIAL DRAWINGS
0" = 1" = 1" = 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

DRAWN BY: BJB
APPROVED: MRF
JOB DATE: 07/27/2017
JOB NO: 171044

SHEET
1 OF 1

PRELIMINARY ENGINEERING PLANS FOR CULVER'S NW CORNER OF TRACY TRAIL & PINGREE ROAD

LOCATION MAP



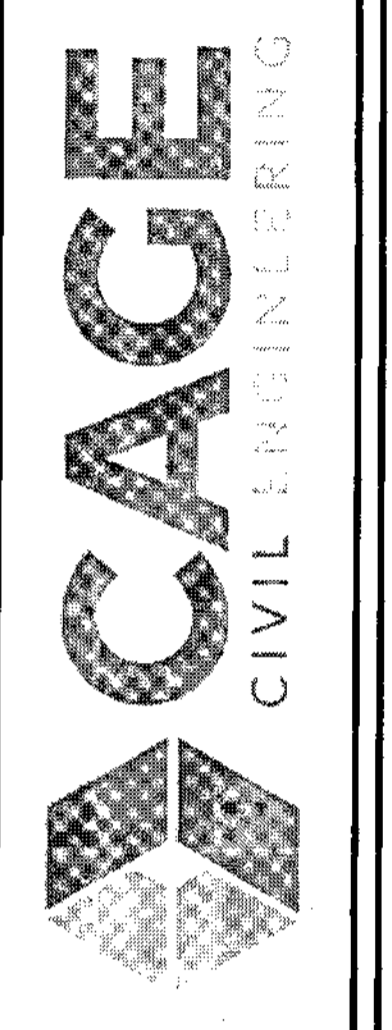
SECTION 4, TOWNSHIP 43N, RANGE 8E

INDEX OF SHEETS

- C1.0 - TITLE SHEET
- C2.0 - EXISTING CONDITIONS PLAN
- C3.0 - SITE LAYOUT PLAN
- C4.0 - UTILITY PLAN
- C5.0 - GRADING, DRAINAGE, AND EROSION CONTROL PLAN
- C6.0 - STORMWATER MANAGEMENT PLAN

EXISTING LEGEND	PROPOSED LEGEND
EXISTING TREE	CURB & GUTTER
CURB & GUTTER	REVERSE PITCH CURB & GUTTER
EXISTING BUILDING	DEPRESSED CURB & GUTTER
PCC SIDEWALK	PROPOSED BUILDING
GAS SERVICE	STANDARD DUTY PAVEMENT
ELECTRIC SERVICE	HEAVY DUTY PAVEMENT
STORM SEWER	GAS SERVICE
SANITARY SEWER	ELECTRIC SERVICE
WATER MAIN	STORM SEWER
CABLE LINE	SANITARY SEWER
OVERHEAD UTILITY LINE	WATER MAIN
COMMUNICATION LINE	FENCE
FIBER OPTIC LINE	STORM INLET
FENCE	STORM CURB INLET
STORM INLET	STORM MANHOLE
STORM CURB INLET	STORM CATCH BASIN
STORM MANHOLE	DOWNSPOUT CONNECTION
STORM CATCH BASIN	SANITARY MANHOLE
SANITARY MANHOLE	CLEANOUT
CLEANOUT	WATER METER
WATER METER	VALVE VAULT
VALVE VAULT	VALVE BOX
VALVE BOX	HYDRANT
HYDRANT	GAS METER
GAS METER	ELECTRIC METER
ELECTRIC METER	PARKING LOT LIGHT
PARKING LOT LIGHT	FLOW ARROW
UTILITY POLE	OVERLAND FLOOD ROUTE
TRANSFORMER	TOP OF SIDEWALK GRADE
FIBER OPTIC BOX	TOP OF CURB GRADE
FIBER OPTIC PEDESTAL	PAVEMENT GRADE
CABLE PEDESTAL	GROUND GRADE
PHONE PEDESTAL	MAJOR CONTOUR
ELECTRIC PEDESTAL	MINOR CONTOUR
MAJOR CONTOUR	
MINOR CONTOUR	

210 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 PH: 630.598.0007
 WWW.CULVERENGINEERING.COM



REVISIONS								
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CULVER'S
 NW CORNER OF TRACY TRAIL & PINGREE ROAD
 CRYSTAL LAKE, IL

PROJ NO: 170079
 ENG: BPH
 DATE: 11-01-17
 SCALE: N.T.S.

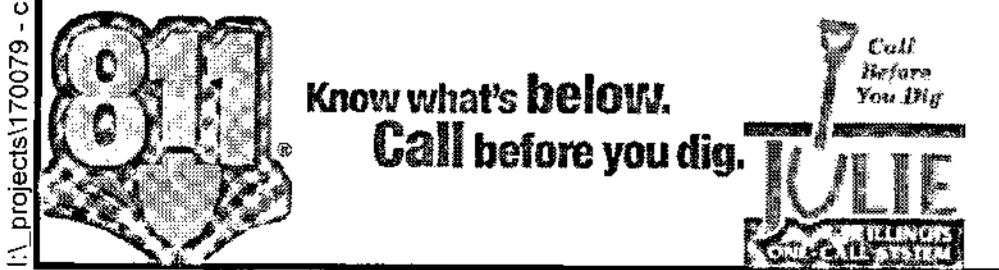
SHEET TITLE
TITLE SHEET

SHEET NUMBER
C1.0
 OF 6

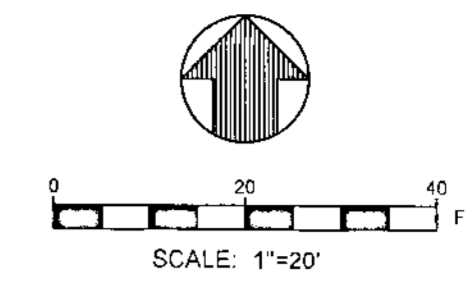
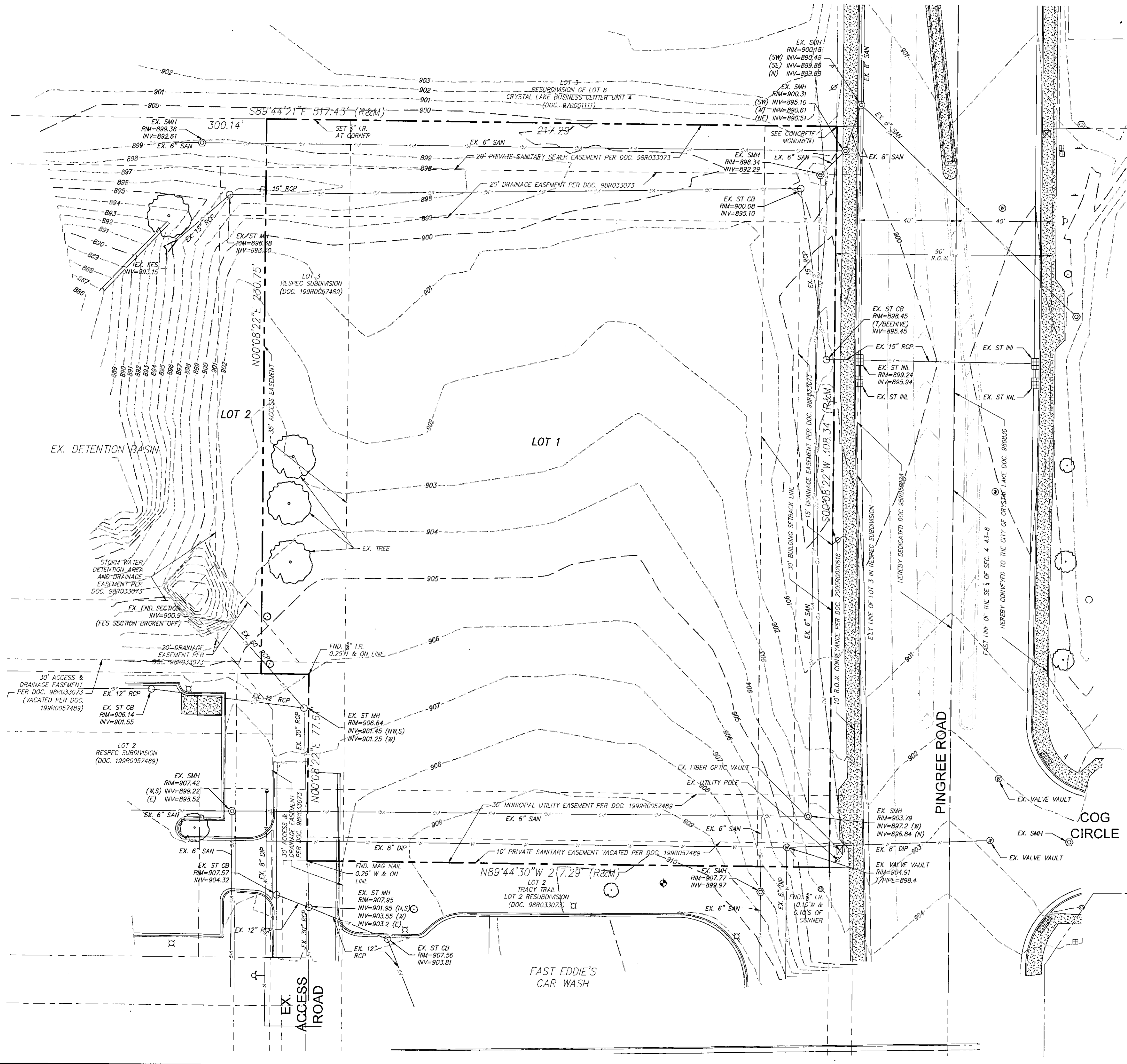
2017 42



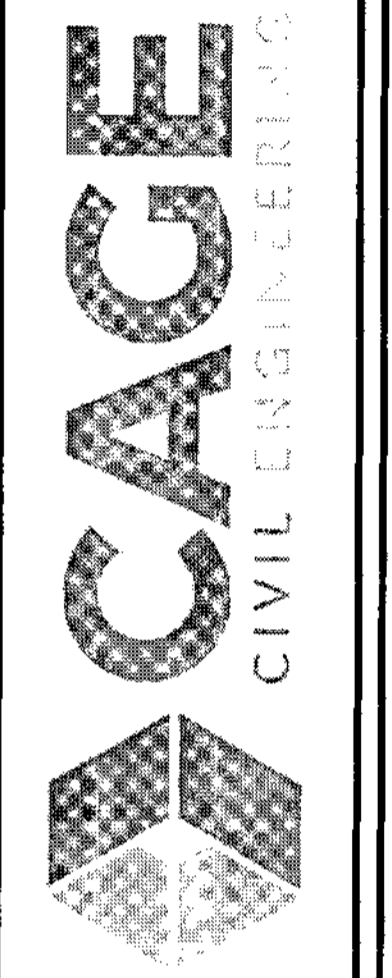
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I:\projects\170079 - culver's - crystal lake - drawings\cmaplan set\cmaplan.dwg - existing conditions and demarcation plan - 170079 - 11/11/2017 11:08:49 AM



3110 WOODCREEK DRIVE
DOWAN'S GROVE, IL 60145
PHONE: 630.598.9007
WWW.CULVER.COM



REVISIONS	DATE	BY

CULVER'S
NW CORNER OF TRACY TRAIL & PINGREE ROAD
CRYSTAL LAKE, IL

PROJ NO: 170079
ENG: BPH
DATE: 11-01-17
SCALE: 1"=10'

SHEET TITLE
EXISTING CONDITIONS PLAN

SHEET NUMBER
C2.0
OF 6

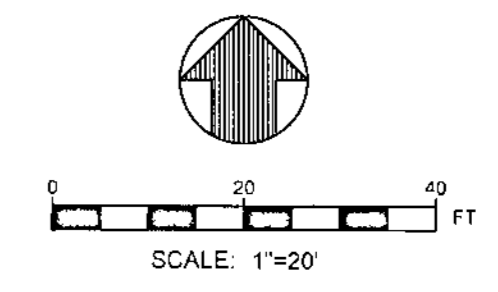
REVISIONS Δ

CULVER'S
 NW CORNER OF TRACY TRAIL & PINGREE ROAD
 CRYSTAL LAKE, IL

PROJ NO. 170079
 ENG. BPH
 DATE: 11-01-17
 SCALE: 1"=10'

SHEET TITLE
SITE LAYOUT PLAN

SHEET NUMBER
C3.0
 OF 6



SITE DATA

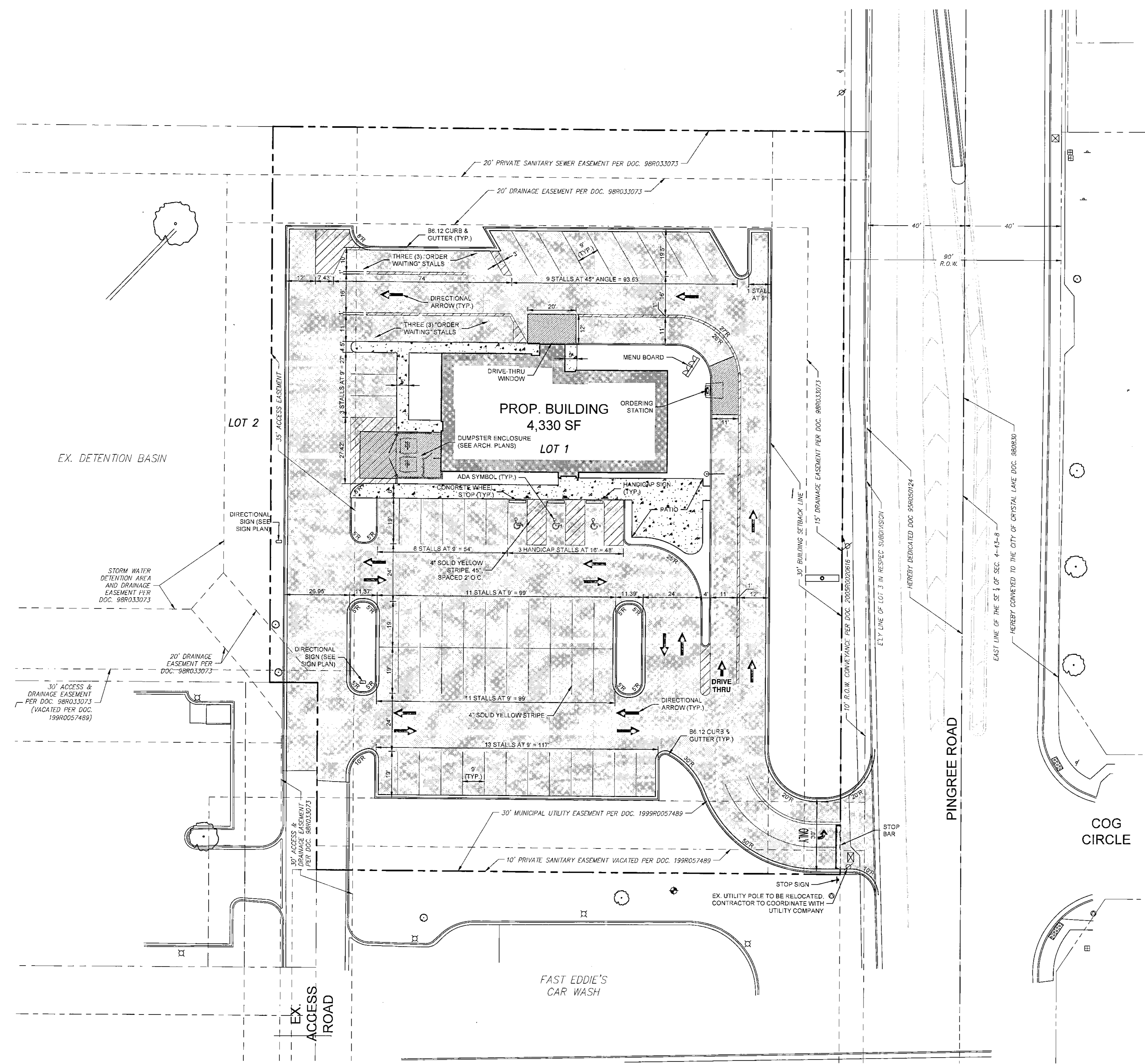
ONSITE IMPERVIOUS AREA	44,528 SF
ONSITE PERVIOUS AREA	27,090 SF
TOTAL SITE AREA	71,618 SF
PROPOSED BUILDING AREA	4,330 SF

PARKING SUMMARY:

STANDARD STALLS PROVIDED	54 STALLS
ADA STALLS PROVIDED	3 STALLS
TOTAL STALLS PROVIDED	57 STALLS
"ORDER WAITING" STALLS PROVIDED	6 STALLS

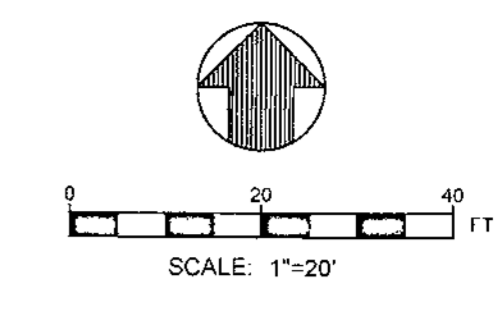
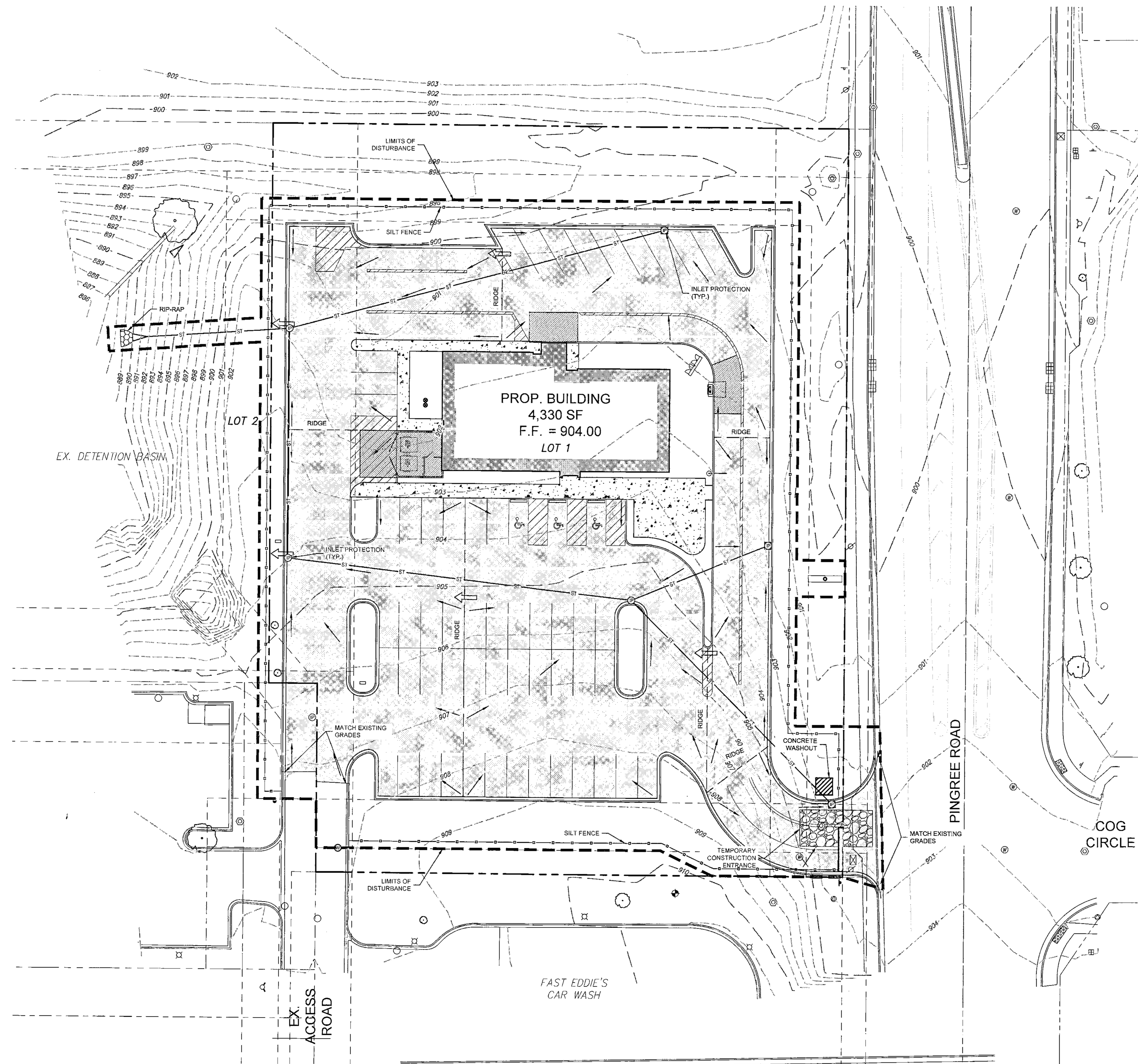
PAVING LEGEND

	BITUMINOUS ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK



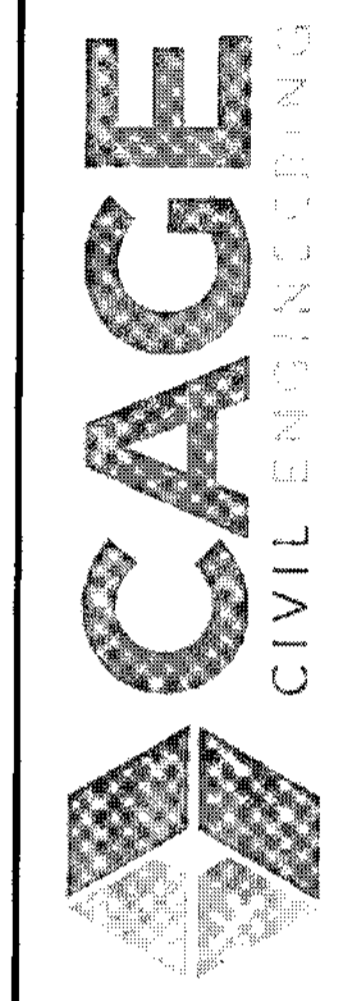
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I:\projects\170079 - culver's - crystal lake_103 - drawings\dwg\plan set\p\main\c5.0 - grading, drainage and sesc plan_170079.dwg 11/1/2017 11:10:31 AM



GRADING & SESC LEGEND	
	FLOW ARROW
	OVERLAND FLOOD ROUTE
	RIDGE LINE
	INLET PROTECTION
	SILT FENCE
	LIMITS OF DISTURBANCE
	CONCRETE WASHOUT
	TEMPORARY CONSTRUCTION ENTRANCE

310 WOODCREEK DRIVE
DOWNERS GROVE, IL 60555
P. 630.298.0007
WWW.CAGECIVIL.COM



REVISIONS	DATE

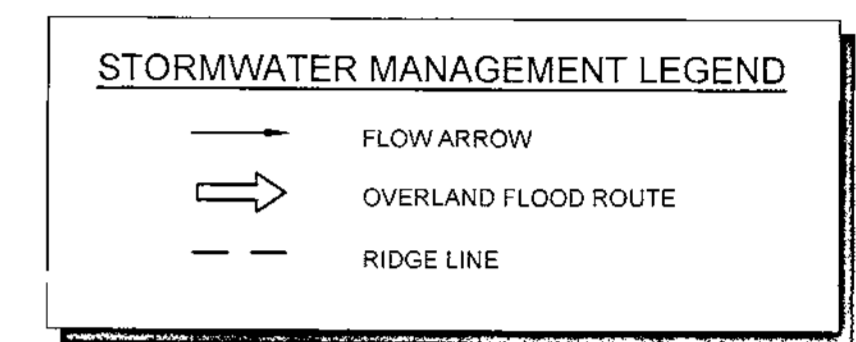
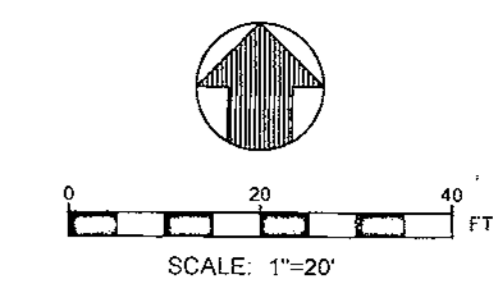
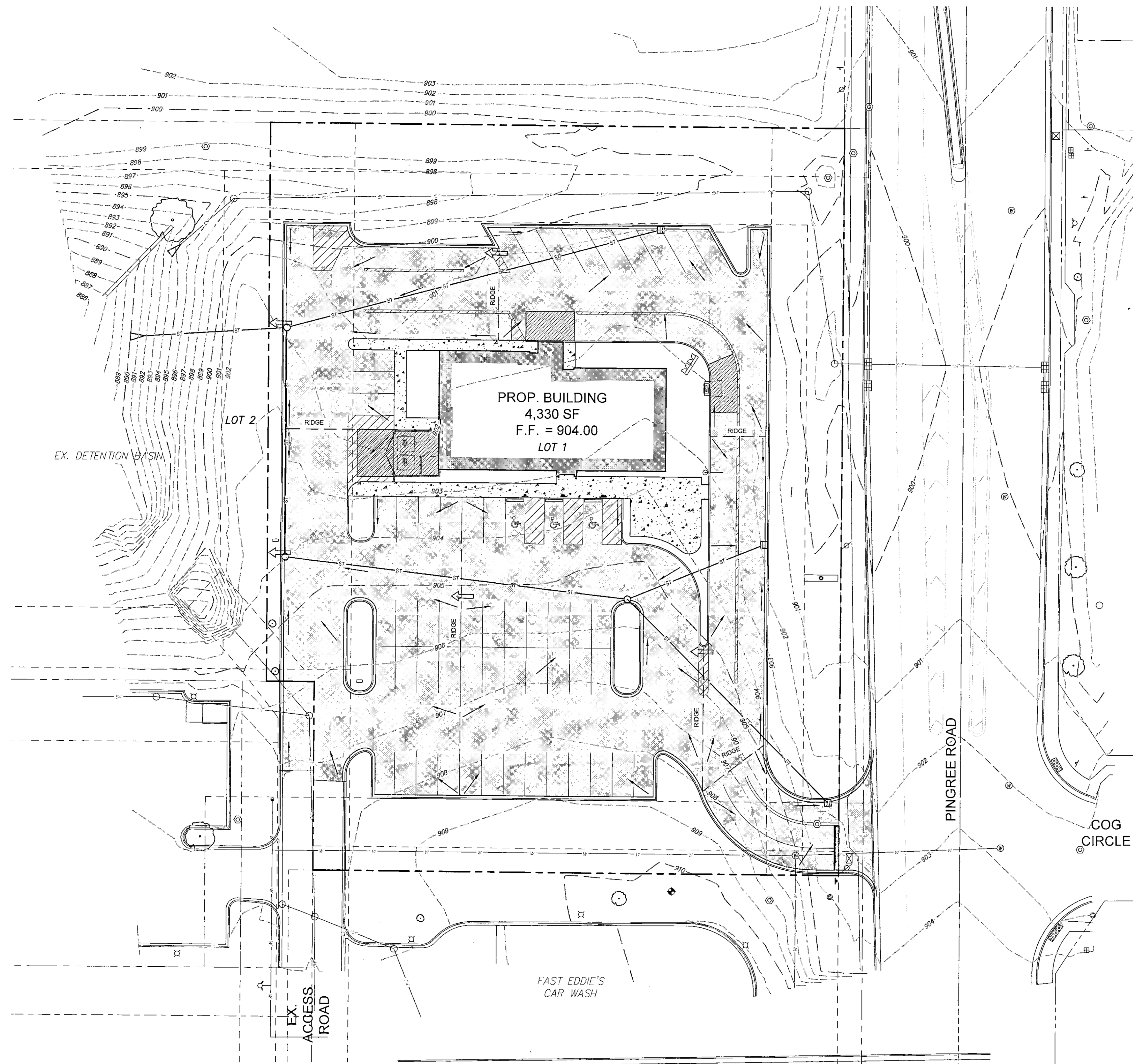
CULVER'S
NW CORNER OF TRACY TRAIL & PINGREE ROAD
CRYSTAL LAKE, IL

PROJ NO: 170079
ENG: BPH
DATE: 11-01-17
SCALE: 1"=10'

SHEET TITLE
**GRADING,
DRAINAGE, AND
EROSION
CONTROL PLAN**

SHEET NUMBER
C5.0
OF 6

L:\projects\170079 - culver's - crystal lake_003 - drawings\dwg\plan set\preliminary\03.0 - stormwater management plan_170079_11/17/2017_11:21:03 AM



STORMWATER MANAGEMENT SUMMARY
 THE PROJECT SITE IS TRIBUTARY TO THE EXISTING REGIONAL DETENTION BASIN LOCATED DIRECTLY WEST OF THE SUBJECT PROPERTY. APPROXIMATELY 2/3 OF THE SITE CURRENTLY SHEET DRAINS TO THE EXISTING REGIONAL DETENTION BASIN, THE REMAINING 1/3 OF THE SITE DRAINING EAST TO PINGREE ROAD. THE PROPOSED STORM SYSTEM IS DESIGNED TO CONVEY ON-SITE RUNOFF TO THE EXISTING REGIONAL DETENTION BASIN.

THE EXISTING REGIONAL DETENTION BASIN WAS PREVIOUSLY DESIGNED TO DETAINE THE SUBJECT PROPERTY PER THE STORMWATER REPORT TITLED "ENGINEER'S DRAINAGE REPORT - LOT 2 TRACY TRAIL SUBDIVISION" BY SMITH ENGINEERING CONSULTANTS, INC. DATED NOVEMBER 7, 1997. THE BASIN SIZED TO DETAINE 150% OF THE 100-YEAR STORM ASSUMING 100% IMPERVIOUS LOT COVERAGE. THE PROPOSED SITE IS 62% IMPERVIOUS, WHICH IS CONSISTENT WITH THE DESIGN FOR THE OVERALL REGIONAL DETENTION FACILITY.

REVISIONS

NO.	DATE	DESCRIPTION

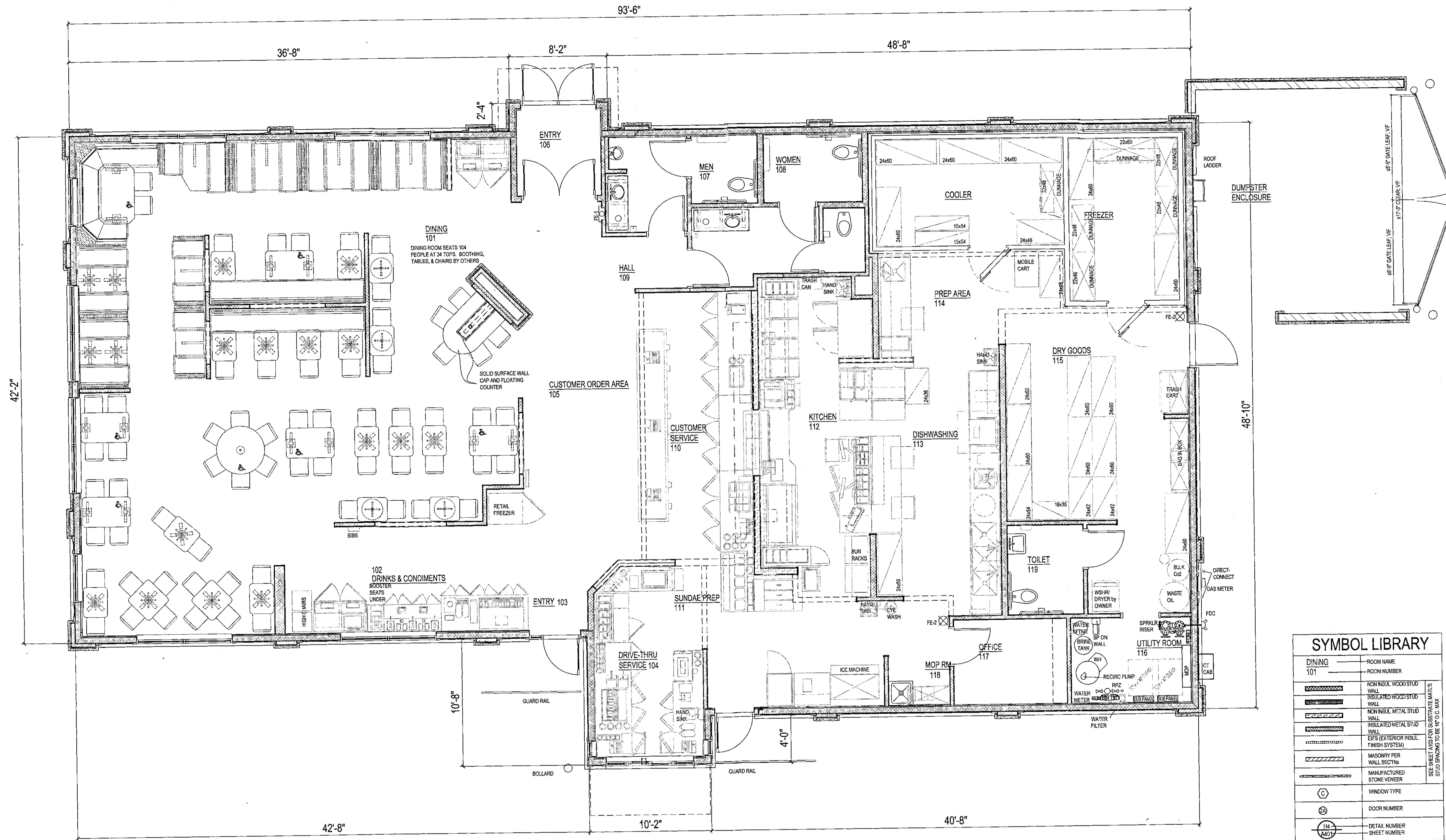
CULVER'S
 NW CORNER OF TRACY TRAIL & PINGREE ROAD
 CRYSTAL LAKE, IL

PROJ NO. 170079
 ENG: BPH
 DATE: 11-01-17
 SCALE: 1"=10'

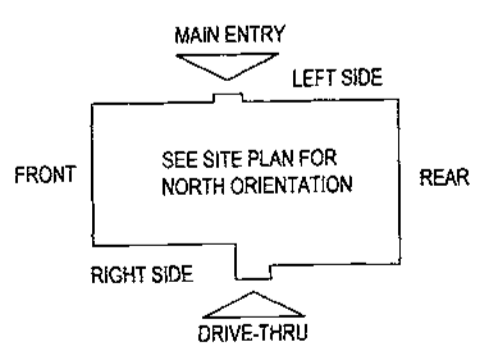
SHEET TITLE
STORMWATER MANAGEMENT PLAN

SHEET NUMBER
C6.0
 OF 6

310 WOODCREER DRIVE
 DOWNERS GROVE, IL 60515
 P: 630.598.0007
 WWW.CAGECIVIL.COM



E5 FLOOR PLAN
SCALE: 1/4" = 1'-0"



SYMBOL LIBRARY

DINING 101	ROOM NAME
ROOM NUMBER	ROOM NUMBER
[Symbol]	NONINSUL WOOD STUD WALL
[Symbol]	INSULATED WOOD STUD WALL
[Symbol]	NONINSUL METAL STUD WALL
[Symbol]	INSULATED METAL STUD WALL
[Symbol]	EIPS (EXTERIOR INSUL FINISH SYSTEM)
[Symbol]	MASONRY PER WALL SECTION
[Symbol]	MANUFACTURED STONE VENEER
[Symbol]	WINDOW TYPE
[Symbol]	DOOR NUMBER
[Symbol]	DETAIL NUMBER SHEET NUMBER
[Symbol]	DETAIL NUMBER SHEET NUMBER

GENERAL NOTES

CONTINUOUS INSULATION (CI) AT EXTERIOR WALLS IS NOT REQUIRED FOR THIS PROJECT AND CAN BE OMITTED IF OWNER CHOOSES TO DO SO.

DIMENSIONS SHOWN ARE FACE OF FRAMING TO FACE OF FRAMING, UNLESS NOTED OTHERWISE. ADJUST DIMENSIONS ACCORDINGLY RELATIVE TO EXTERIOR WALL TO ACCOUNT FOR INSTALLATION OF RIGID CONTINUOUS INSULATION AS SHOWN IN WALL SECTIONS ON SHEET A101 IF USED.

ALL WALLS w/ WOOD BLOCKING SHALL HAVE FIRE BLOCKING AT THE CEILING LEVEL AS NOTED ON SHEET A103.

INSTALL DRYWALL CONTROL JOINTS AT 25' 0" O.C. MAXIMUM HORIZONTALLY OR VERTICALLY AS REQUIRED. ALIGN WITH EDGE OF DOOR JAMBS WHERE POSSIBLE.

© 2017

NEW CULVER'S RESTAURANT
400 Pingree Road
Crystal Lake, IL 60014
County of McHENRY

Culver's
Culver Franchising System, Inc.
1240 Water Street
Prairie du Sac, WI 53578
800-643-7990

OWNER:
DVM CRYSTAL LAKE, INC.
1750 East Golf Road, Suite 320
Schaumburg, IL 60173
Mr. Charles Martin
Mr. James D'Veador

OLLMANN ERNEST MARTIN ARCHITECTS
509 South State Street
Belvidere Illinois 61008
815-544-7790 Phone
815-544-7792 Fax

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Revision:
Date: 10-27-2017

FLOOR PLAN

2017-074

A101

FOR APPRAISAL

2017 42

01 2017



GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
212 SOUTH MAIN STREET
WHEATON, ILLINOIS 60187
PHONE: 630-668-1197

ENGINEER:
CAGE CIVIL ENGINEERING
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515

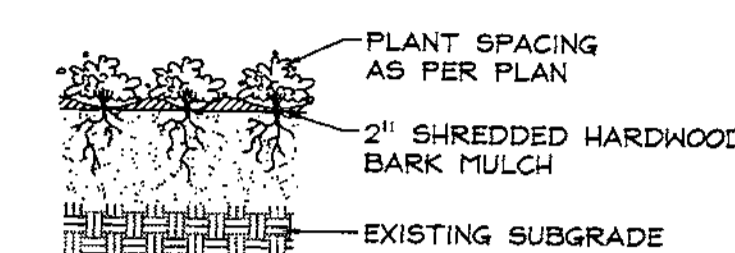
CULVER'S RESTAURANT
CRYSTAL LAKE, ILLINOIS
PRELIMINARY LANDSCAPE PLAN

REVISIONS

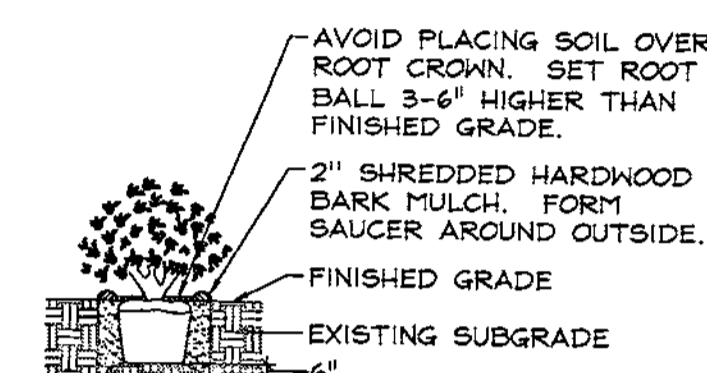
DATE: 10.11.17
PROJECT NO.: CGE1704
DRAWN: GFB/TRC
CHECKED: JCT
SHEET NO.

1 OF 1

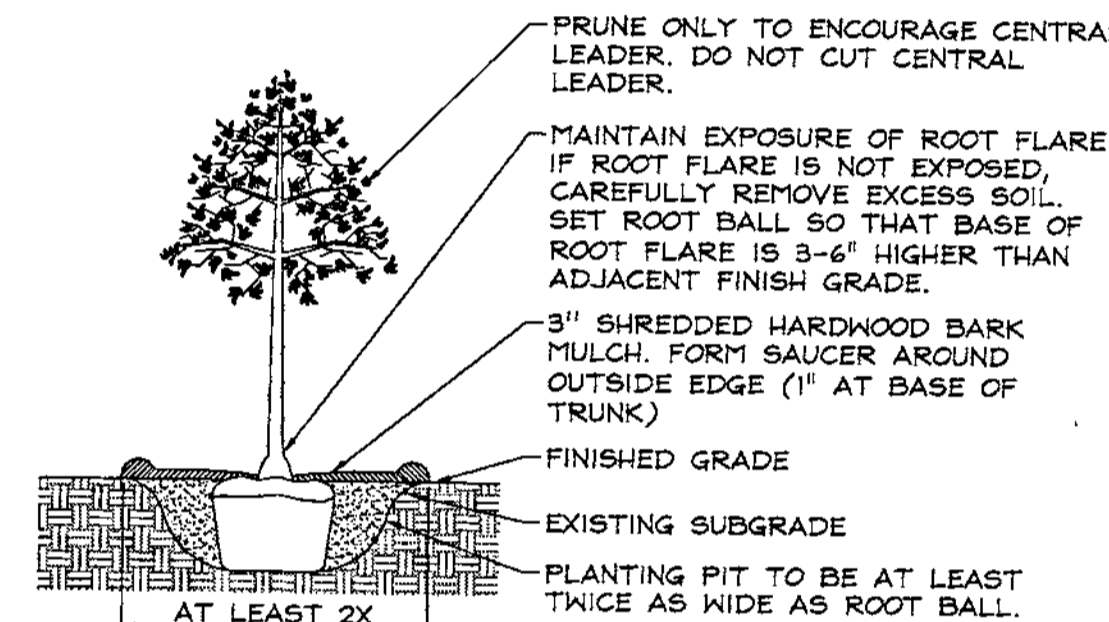
PLANTING DETAILS



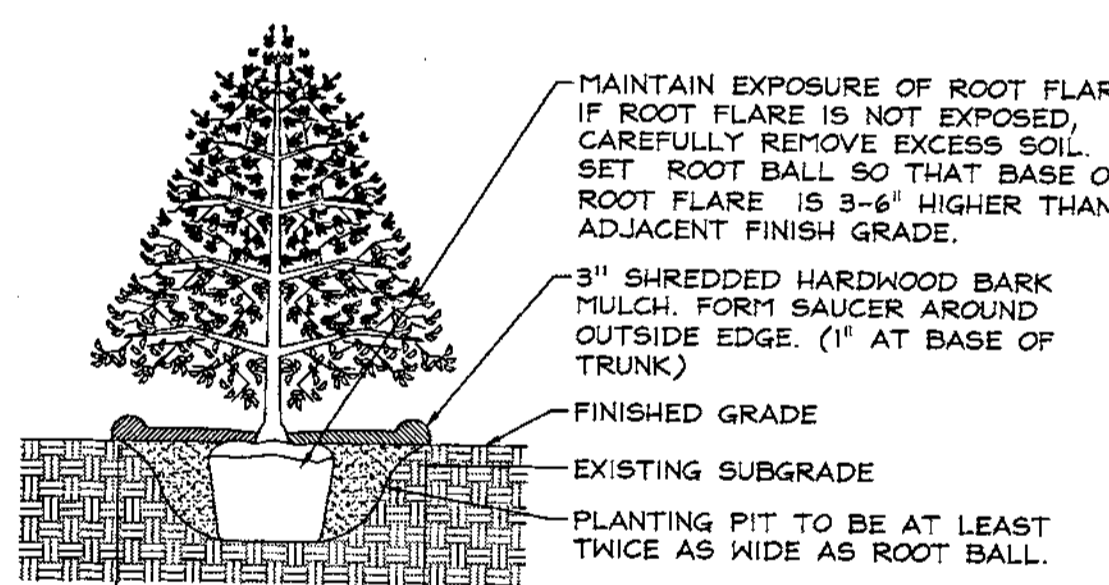
PERENNIALS AND GROUNDCOVERS
NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUBS
NOT TO SCALE



DECIDUOUS TREES
NOT TO SCALE



EVERGREEN TREES
NOT TO SCALE

PERIMETER LANDSCAPE NOT ABUTTING ROW
NORTH PROPERTY LINE (202')
TREES:
REQUIRED: 5
PROVIDED: 5
SHRUBS:
REQUIRED: 25
PROVIDED: 25

FOUNDATION LANDSCAPING
REQUIRED: 5' WIDE BED
PROVIDED: 5' WIDE BED

PARKWAY TREES
PARKWAY TREES:
REQUIRED: 7 (LOCATE ON PRIVATE PROPERTY DUE TO SPACE CONSTRAINTS)
PROVIDED: 7

PERIMETER LANDSCAPE ABUTTING ROW
EAST PROPERTY LINE (236')
SHADE TREES:
REQUIRED: 2
PROVIDED: 2
ORNAMENTAL TREES:
REQUIRED: 2
PROVIDED: 2
EVERGREEN TREES:
REQUIRED: 2
PROVIDED: 2
SHRUBS:
REQUIRED: CONTINUOUS PLANTING
PROVIDED: CONTINUOUS PLANTING

INTERIOR PARKING LOT PLANTING
REQUIRED: 1 SHADE TREE
5 SHRUBS
PROVIDED: 1 SHADE TREE
5 SHRUBS

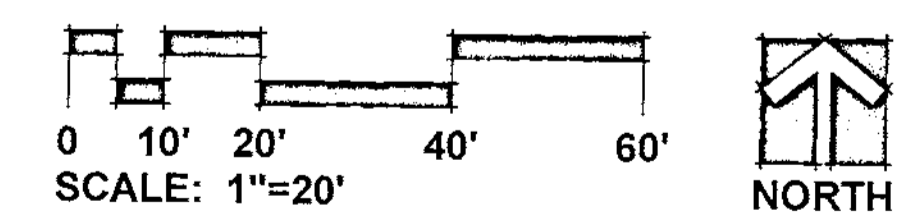
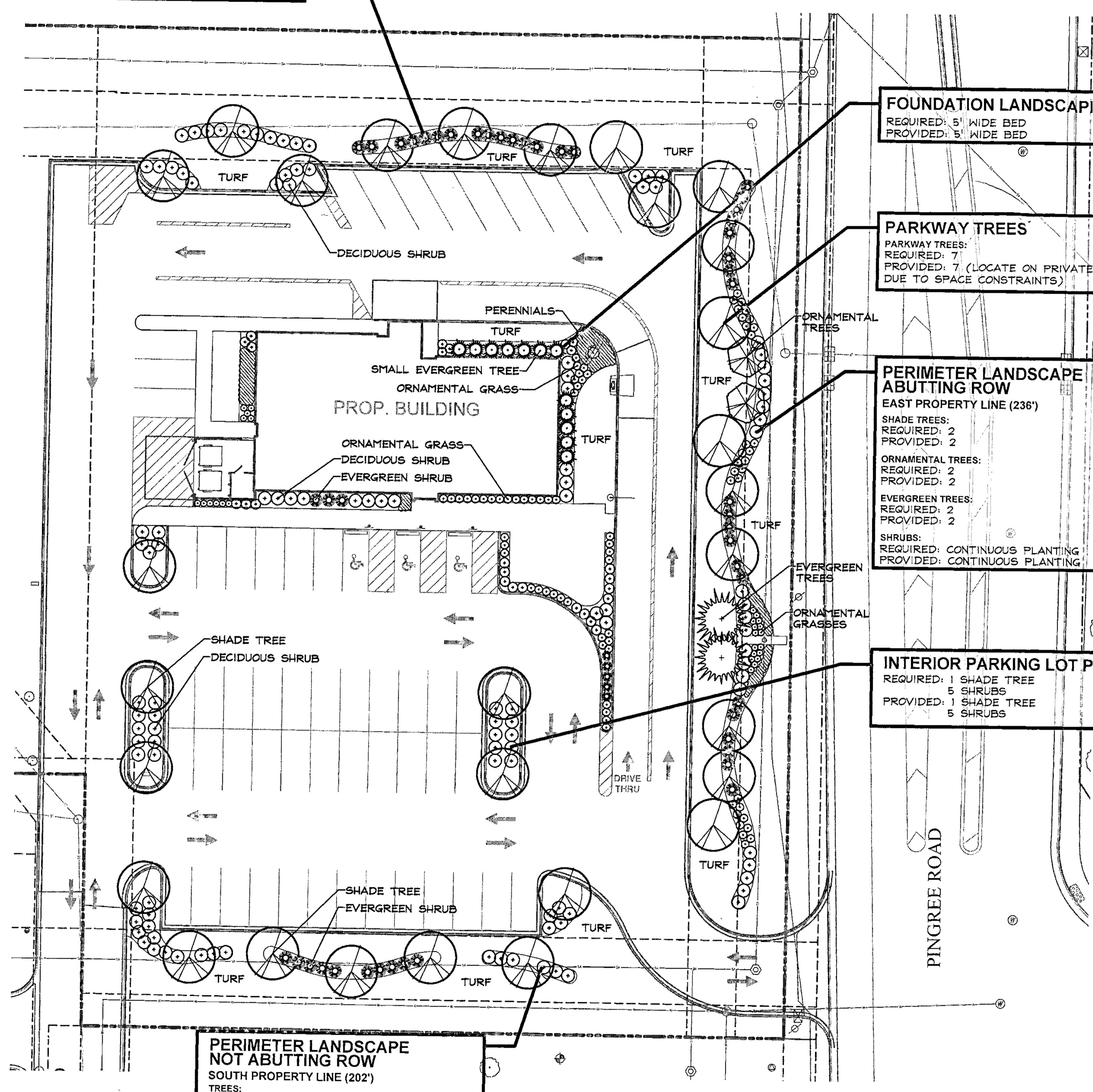
PERIMETER LANDSCAPE NOT ABUTTING ROW
SOUTH PROPERTY LINE (202')
TREES:
REQUIRED: 5
PROVIDED: 5
SHRUBS:
REQUIRED: 25
PROVIDED: 25

REPRESENTATIVE PLANT LIST

Key	Botanical/Common Name	Size	Remarks
SHADE TREES			
	Acer x freemanii AUTUMN BLAZE MAPLE	2 1/2" Cal.	
	Gleditsia triacanthos inermis 'Skyline' SKYLINE HONEYLOCUST	2 1/2" Cal.	
	Syringa reticulata 'Ivory Silk' IVORY SILK JAPANESE TREE LILAC	2 1/2" Cal.	
	Tilia americana 'McSentry' SENTRY AMERICAN LINDEN	2 1/2" Cal.	
	Ulmus carpinifolia 'Regal' REGAL SMOOTHLEAF ELM	2 1/2" Cal.	
ORNAMENTAL TREES			
	Cornus mas CORNELIANCHERRY DOGWOOD	6' Tall	Clump Form
	Cotoneaster crug-galli inermis THORNLESS COCKSPUR HAWTHORN	6' Tall	Clump Form
EVERGREEN TREES			
	Picea glauca 'Denata' BLACK HILLS SPRUCE	6' Tall	
	Thuja occidentalis 'Techny' MISSION ARBOVITAE	6' Tall	
DECIDUOUS SHRUBS			
	Cornus sericea 'Bailey' BAILEY'S REDTAIL DOGWOOD	5 Gal./36" Tall	5' O.C.
	Cotoneaster acutifolia PEKING COTONEASTER	5 Gal./36" Tall	4' O.C.
	Spiraea betulifolia 'Tor' BIRCHLEAF SPIREA	5 Gal./24" Tall	3' O.C.
	Syringa meyeri 'Palibin' DWARF KOREAN LILAC	5 Gal./24" Tall	4' O.C.
	Viburnum dentatum ARROWWOOD VIBURNUM	5 Gal./36" Tall	5' O.C.
	Viburnum trilobum 'Hah's' HAH'S CRANBERRYBUSH VIBURNUM	5 Gal./36" Tall	4' O.C.
EVERGREEN SHRUBS			
	Juniperus chinensis v. sargentii 'Viridis' GREEN SARGENT JUNIPER	5 Gal./24" Wide	5' O.C.
	Juniperus chinensis 'Sea-green' SEA GREEN JUNIPER	5 Gal./24" Wide	4' O.C.
	Juniperus chinensis 'Kallay's Compact' KALLAY COMPACT PFITZER JUNIPER	5 Gal./24" Wide	4' O.C.
	Taxus x media 'Densiflora' DENSE YEW	5 Gal./24" Wide	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES			
	Hosta sieboldiana 'Frances Williams' FRANCES WILLIAMS HOSTA	#1	24" O.C.
	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
	Miscanthus sinensis 'Gracillimus' MAIDEN GRASS	#3	36" O.C.
	Pennisetum alopecuroides 'Hameln' DWARF FOUNTAIN GRASS	#2	24" O.C.
	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	#1	18" O.C.
	Salvia nemorosa 'East Friesland' EAST FRIESLAND SALVIA	#1	18" O.C.
	Sporobolus heterolepis PRAIRIE DROPS EED	#1	18" O.C.

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



REPRESENTATION MATERIAL COLOR

- COPING UNA-CLAD "REGAL BLUE"
- EIFS "CORNICICE" "TIKI HUT" SW 7509
- LED STRIP LIGHT BLUE
- GOOSENECK WHITE
- EIFS @ PIERS "TIKI HUT" SW 7509
- AWNING CANVAS (BY OTHERS) "ROYAL BLUE", "SKY BLUE", "OYSTER"
- WINDOW & DOOR FRAMES NATURAL ALUM. FRAMES
- CEMENT BOARD SIDING "KHAKI BROWN" JAMESHARDIE
- MFGR'D STONE w/ STONE SILL TRIM "ASPEN NICKEL CREEK" TUSCAN LEDGE ENVIRONMENTAL STONEWORKS



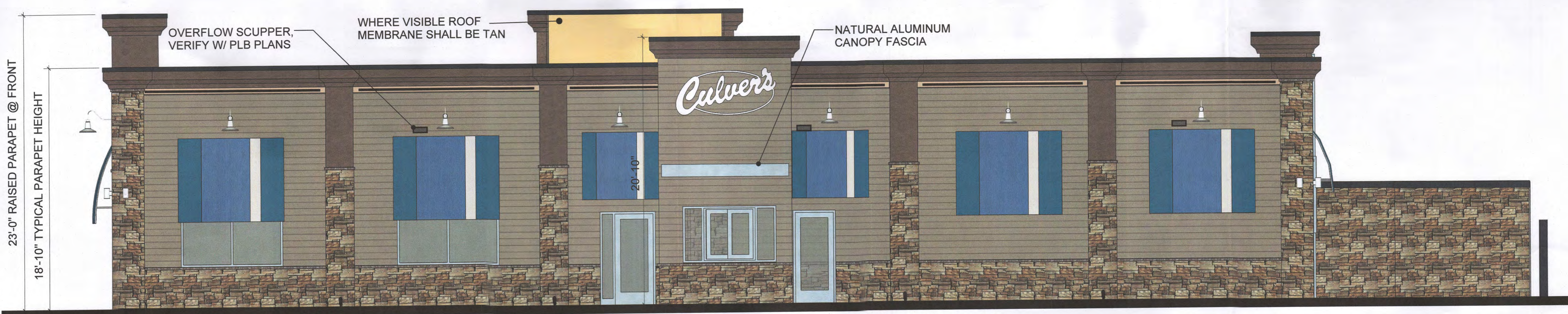
MAIN ENTRY ELEVATION



FRONT ELEVATION

REAR ELEVATION

EXTERIOR HOLLOW METAL SHALL BE PAINTED TO MATCH SIDING



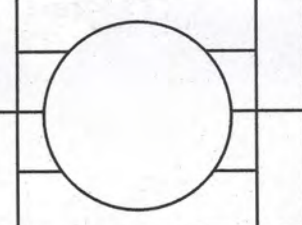
DRIVE THRU ELEVATION

©2017

NEW CULVER'S RESTAURANT
400 Pingree Road
 Crystal Lake, IL 60014
 County of McHENRY



OLLMANN ERNEST MARTIN
 ARCHITECTS
 509 South State Street
 Belvidere Illinois 61008
 815-544-7790 Phone
 815-544-7792 Fax



ELEVATIONS
 NOTE: THOUGH THESE IMAGES HAVE PHOTO REALISTIC QUALITIES, THE ACTUAL BUILDING MATERIALS MAY VARY IN APPEARANCE.
 Date: 10-27-2017
 Revision:

2017-074

A1

2017 42
RECEIVED
 NOV 01 2017
 BY:



SIGN PACKAGE PROPOSAL

NEW BUILD

PRESENTED TO:
Culver's - Crystal Lake, IL

DATE PREPARED:
Preliminary: 10-24-2017
10-26-2017 - REV - Removed Amber Monument
10-27-2017 - REV2 - Architect Elevation Drawings

2017 42



AD-1 ADDRESS NUMBERS

CRYSTAL LAKE, IL

Routed Address Numbers

AD-1

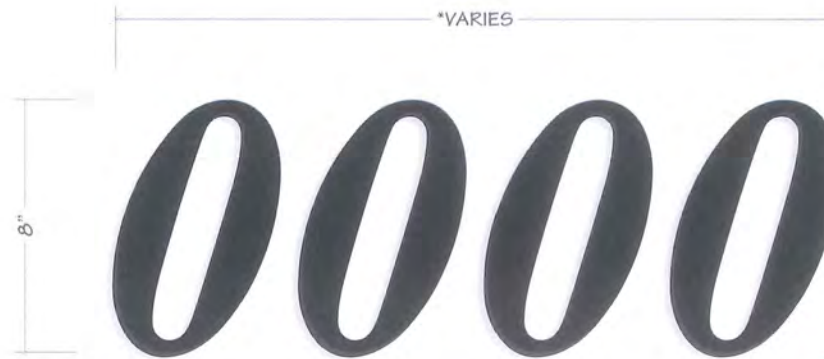
Address letters as required for building occupancy

Size & quantity may vary

Stud/adhesive mounting

1/2" thick, black XPVC

NOTE: Address to be verified with G.C. prior to mfg.



*SEE NOTE

TYPICAL INSTALLATION

*SEE NOTE



SCALE: 1/8" = 1'

NOTES

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	AO: 14825
--------------------------------------	---------------------------------	---------------------

DATE CREATED / REVISION HISTORY 10/24/17-NEW
--

* Determined by physical address numbers

SCALE: 1" = 6'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

FILE PATH: T:\Culver's\Crystal Lake, IL\

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This is an artistic rendition and final colors / sizes may vary from that depicted herein.



BB-3 BUTTERBURGER PANEL

CRYSTAL LAKE, IL

ButterBurger Outdoor Panel Wall Sign

BB-3

All aluminum 0.080" thick panel -
backside is blank (white)

Baked on aluminum white enamel
finish

Digital print overlay with
overlaminated

Rounded corners are to be 1.25"
radius

Sign is to be mounted flush to wall



NOT FOR
PRELIMINARY
CONSTRUCTION

TYPICAL INSTALLATION - TOP VIEW



INSTALL NOTES

TYPICALLY USED FOR MIRRORRED METRO L LAYOUTS

NOTES

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	AO: 14825
--------------------------------------	---------------------------------	---------------------

DATE CREATED / REVISION HISTORY

10/24/17- NEW	
---------------	--



SCALE: 1-1/2" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

* Determined by physical address numbers

FILE PATH: T:\Culvers\Crsytal Lake, IL\

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DIR-C DIRECTIONAL SIGNS

CRYSTAL LAKE, IL

Illuminated Directional Signs

DIR-C

- All aluminum construction
- LED internal illumination
- Totally self contained lighting
- Polycarbonate thermoformed faces
- Face removal for service
- Site plans show placement & field orientation
- UL marked product

DIRECTIONAL SIGN 1
DIR-D10-D12-C



SIDE: A



SIDE: B

NOT FOR
PRELIMINARY
CONSTRUCTION

DIRECTIONAL SIGN 2
DIR-D8-D10-C



SIDE: A



SIDE: B

SIGN CONCEPTUAL

CUSTOM

NOTE:
SIGN FACE SHOWN IS FOR
DIMENSIONAL DRAWING
ONLY (CULVER'S LOGO).
ACTUAL LOCATION SIGN FACES
ARE SHOWN ON LEFT.

NOTES

SQUARE FOOTAGE CALCULATIONS:
MATHEMATICAL: 2.55 SF
RECTANGULAR: 3.24 SF
MAX HEIGHT: 36" PER CSE

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	AO: 14825
--------------------------------------	---------------------------------	---------------------

DATE CREATED / REVISION HISTORY	
10/24/17- NEW	

FILE PATH: T:\Culvers\Crsytal Lake, IL\



SCALE: 3/4" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

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DTC-2 DRIVE-THRU CANOPY

CRYSTAL LAKE, IL

Drive-Thru Canopy For Order Confirmation System (OCS)

DTC-2

All aluminum construction

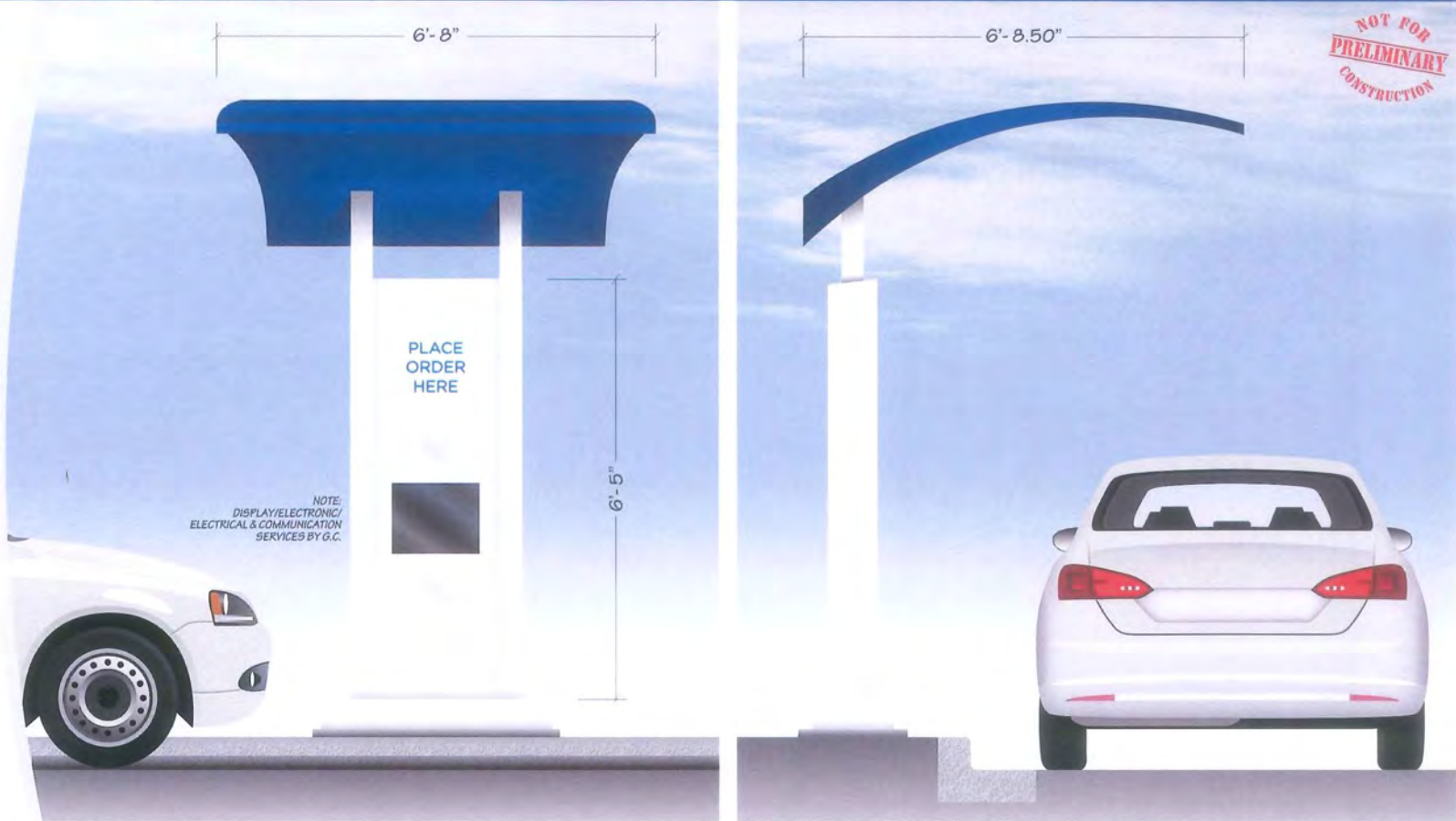
Rated for 160 mph winds (3 second burst) & heavy northern states snow loads

Order Confirmation System (OCS) by others

Rear panel (door) access - lockable

Provides protection from rain for DT customer

Houses OCS, speaker &



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

NOTES
NOTES HERE

DATE CREATED / REVISION HISTORY			
10/24/17 - NEW			

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	AO: 14825
--------------------------------------	---------------------------------	---------------------

FILE PATH: T:\Culvers\Crystal Lake, IL\

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This is an artistic rendition and final colors / sizes may vary from that depicted herein.



ELEVATION WALL SIGNS

CRYSTAL LAKE, IL

SL-45 & SL-30 Illuminated White Script Channel Letters - Mirrored Metro-L

NOT FOR
PRELIMINARY
CONSTRUCTION

SL-SERIES

- Channel letter construction
- One piece (saddle capped sections)
- LED internal illumination
- Typical application for new construction
- Embedded power supplies
- UL marked product
- No install pattern needed, level line scribed in back of sign



SCALE: 1/16" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE



SIGN SQUARE FOOTAGE	
SOUTH ELEVATION:	QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF
EAST ELEVATION:	QTY-1 SL-45 (56.00" X 120.00") = 46.67 SF
	QTY-1 BB-3 (17.67" X 27.88") = 3.42 SF
WEST ELEVATION:	QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF
NORTH ELEVATION:	QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF

17-074 ELEV 10-27-2017 A1 COLOR ARCHITECT DRAWINGS SHOWN

NOTES
LL-X LED accent strip lighting typical placements:
SOUTH: (5) places
EAST: (2) Places
WEST: NA
NORTH: (6) places
BB-3 typical Drive-Thru placement: EAST

DATE CREATED / REVISION HISTORY			
10/24/17 - NEW			
10/27/17 - ARCHITECT COLOR ELEVATIONS (JW)			

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER/JW	AQ: 14825	FILE PATH: T:\Culvers\Crystal Lake, IL\
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FCO-2 INTERIOR SIGN

CRYSTAL LAKE, IL

FCO Interior Sign with City & State

FCO-2

Chemetal¹ 916 brushed pewter

Routed to shape

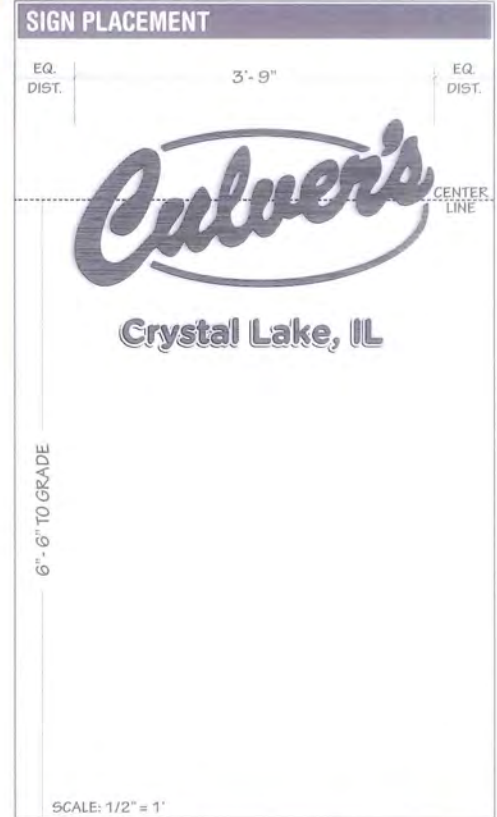
Pin mounted for rough surface application

VHB tape for smooth wall application

Mounting pattern with fastener instructions

Horizontal brush

¹ - Chemetal is a subsidiary of The October Company, Inc.



CHEMETAL¹
916 BRUSHED PEWTER



CHEMETAL¹
902 BRUSHED ALUMINUM



SCALE: 1" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

SALES PERSON: MARK WEGSELL	DESIGNED BY: C WALKER	AO: 14825
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MAX-1 MAXIMUM OCCUPANCY SIGN

CRYSTAL LAKE, IL

Interior Maximum Occupancy Sign

NOT FOR
PRELIMINARY
CONSTRUCTION

MAX-1

3/16" White acrylic substrate

Direct to surface printing

3M VHB peel & stick adhesive on back

"MAXIMUM OCCUPANCY" must be verified prior to manufacturing

3M is a registered trademark of Minnesota Mining & Manufacturing



SCALE: 3" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
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NOTES

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SALES PERSON:
MARK WESSELL

DESIGNED BY:
C WALKER

AD:
14825

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SPRINGFIELD SIGN
www.springfieldsign.com

MB-DT-46 EXTERIOR MENU BOARD

CRYSTAL LAKE, IL

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

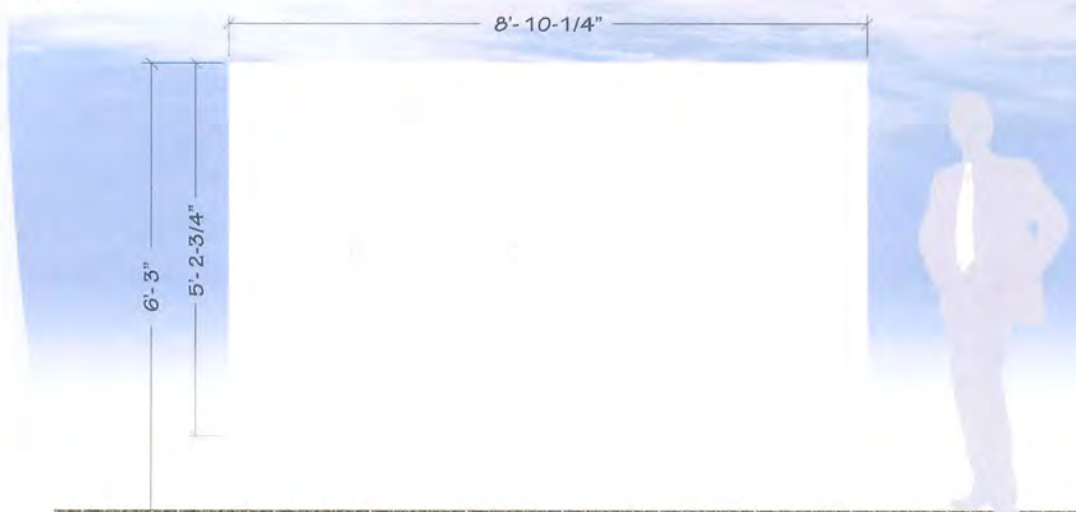
Locking rear access doors (4)

FRONT



NOT FOR PRELIMINARY CONSTRUCTION

REAR



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

POPP-Out Point Of Purchase Panel System

INTERIOR VIEW OF MENU BOARD PANEL BEING REMOVED



PANEL IN PLACE



- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL FITTED WITH POPP-Out PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POPP-Out TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-OUT PANEL & BACK OF MENU BOARD)

SALES PERSON: MARK WESSSELL	DESIGNED BY: C WALKER	AO: 14825
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MB-ID-84 INTERIOR MENU BOARD MIRRORED

CRYSTAL LAKE, IL

Blue Indoor Menu Board

MB-ID-84-M

- Easy lift up & out graphic panel
- American Beech Wood surround
- LED internal illumination
- Ultra low power consumption
- For Mirrored floor plans



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SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
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NOTES
MENU BOARD TO INSTALL CENTERED TO THE FRONT CASH REGISTER COUNTER



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ME-27-C CUSTOM MONUMENT WITH EMC-OPT 1

CRYSTAL LAKE, IL

ME-27-L-XXxXXX-XX-RGB-PBC-C

CUSTOM

ME-27-C

Culver's sign cabinet of aluminum construction and internally illuminated with LED's

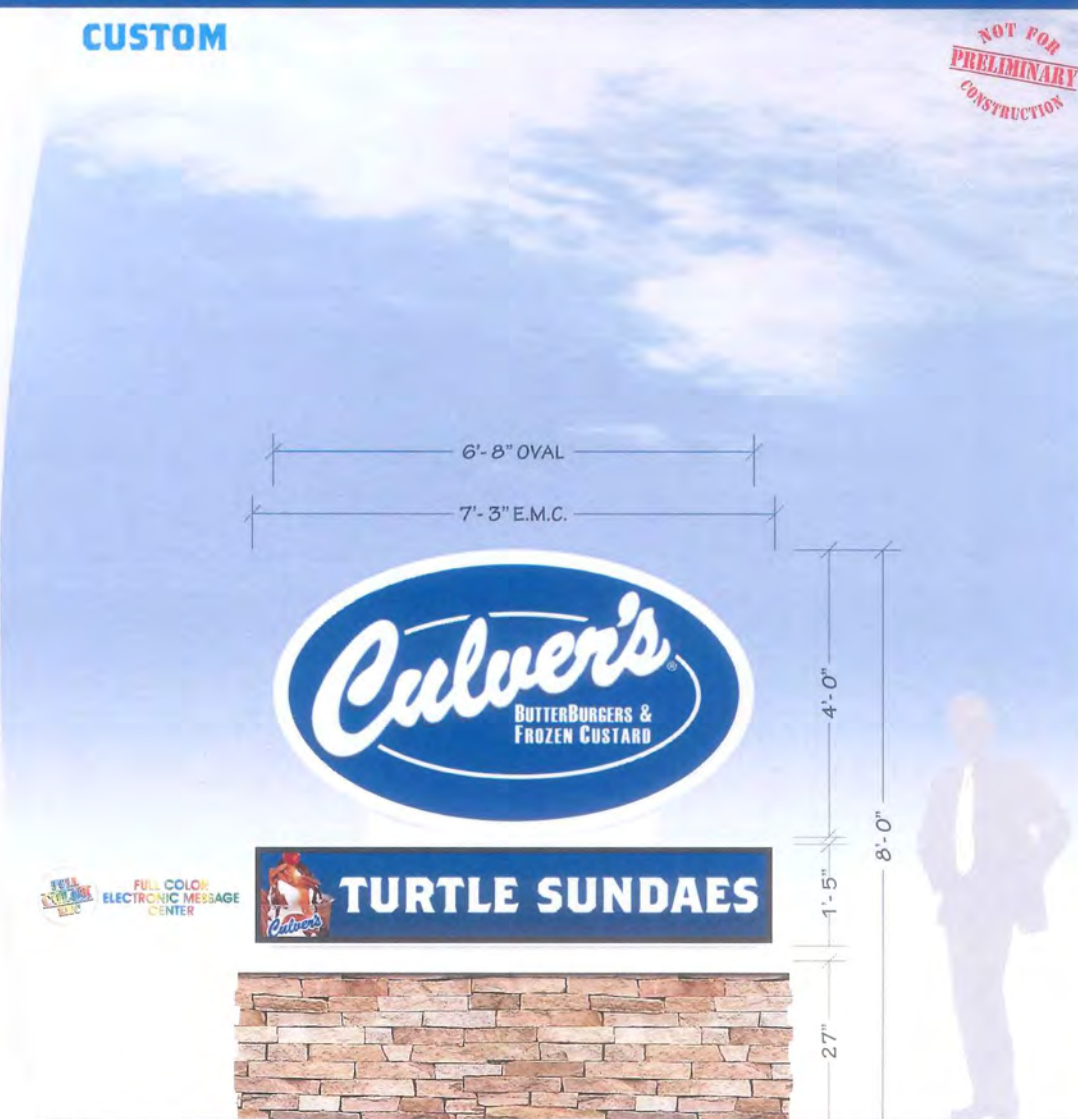
Thermoformed polycarbonate faces, embossed Culver's, 3M¹ HP vinyl decoration

Watchfire² XXxXXX full color RGB XXmm Electronic Message Center (EMC) with RF wireless communication

Broadband communication option available

UL marked product

1 - 3M is a registered trademark of Minnesota Mining & Manufacturing
2 - Watchfire signs by Time-O-Matic Inc.



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EMC CHART - KNOWN RESTRICTIONS

COLOR: Y N | STATIC: Y N | VIDEO: Y N
 ANIMATION: Y N | MOVEMENT: Y N
 HOLD TIME (IF STATIC): 5 MINUTES
 TRANSITION TYPE: _____
 DAYTIME BRIGHTNESS: _____
 NIGHTTIME BRIGHTNESS: _____

ADDITIONAL RESTRICTIONS:

SIGN CODES

NOTES

SQUARE FOOTAGE CALCULATIONS:
 OVAL: 4'-0" X 6'-7" = 20.94 SF (MATHEMATICAL)
 EMC: 1'-5" X 7'-3" = 10.22 SF
 TOTAL: 31.16 SF

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	AO: 14825
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SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
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REG-HC-1 PARKING SIGN

CRYSTAL LAKE, IL

Handicapped Parking Post & Panel Sign

REG-HC-1

All aluminum 0.080" thick panel

U-Channel steel post (green)

Bolted connection

Local codes may require actual copy/graphics to vary

Rounded corners for safety

First surface vinyl (printed) copy

NOTE 1: Overall height can vary per local codes

NOTE 2: 6' x 12" sign panel may also be required



SCALE: 3/4" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

ADDITIONAL PARKING SIGN PANELS

STANDARD FACE OPTIONS:



ADDITIONAL FACE OPTIONS:



SCALE: 1/2" = 1'

SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	A0: 14825
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RR-1-G, RR-1-L, RR-3 RESTROOM SIGNS

CRYSTAL LAKE, IL

Entry Door & Drive-Thru Vinyl Lettering

RR-1-G
RR-1-L
RR-3

RR-1 SERIES RESTROOM SIGNS

Injection molded plastic

ADA compliant

Raised braille

Self adhesive back

RR-3 SIGN

White aluminum substrate - laminated with black core

Digitally printed blue copy routed to shape



RR-1-G
GENTLEMEN



RR-1-L
LADIES

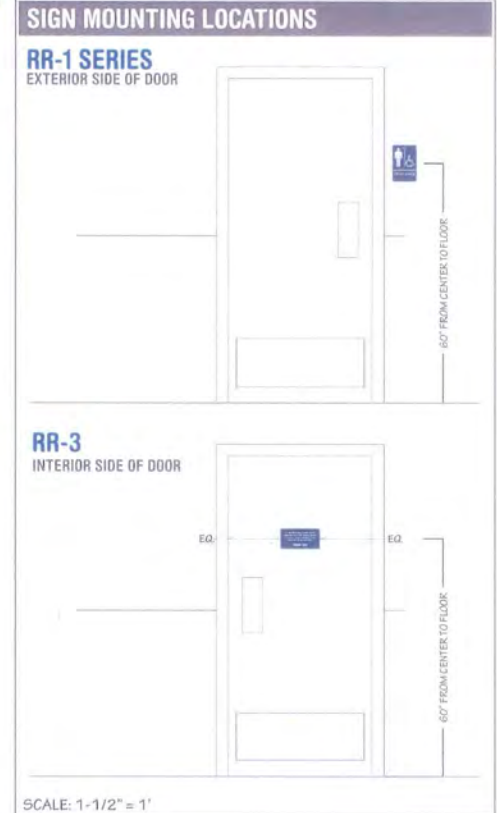


RR-3
LADIES

SCALE: 3" = 1'

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*ALL MEASUREMENTS ARE APPROXIMATE

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V-1, V-5, V-6 DOOR & WINDOW VINYL

CRYSTAL LAKE, IL

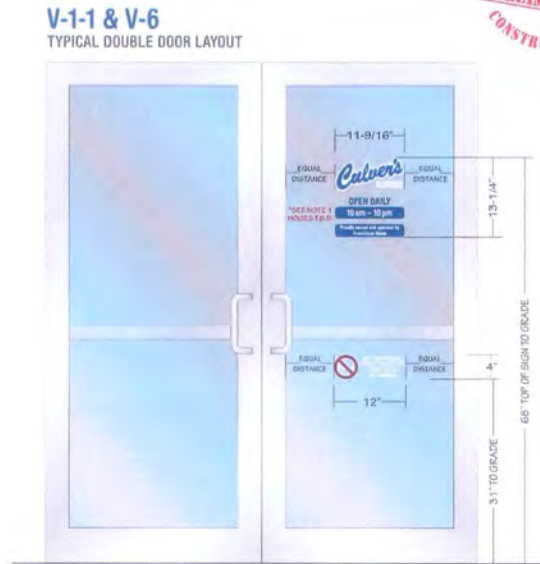
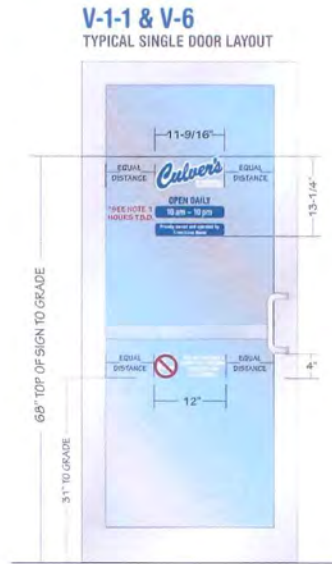
Entry Door & Drive-Thru Vinyl Lettering

V-1-1
V-5-1
V-6

- 3M¹ HP white vinyl substrate
- UV digitally printed image (blue)
- Satin gloss over laminate
- Contour cut
- First surface application

NOTE 1: Business hours shown are typical. However, each location may be different than shown.

¹ 3M is a registered trademark of Minnesota Mining & Manufacturing



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SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
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SIGN SPECIFICATIONS

V-1-1

Dimensions: 11'-9/16" O.A.W. (width), 13'-1/4" O.A.H. (height), 2'-1/16" (height of bottom section).

Materials: PMS 294C, C:100 M:55 Y:0 K:21 (blue), WHITE (background), PMS 294C, C:100 M:58 Y:0 K:21 (blue), WHITE (background).

SCALE: 1-1/2" = 1'

V-6

Dimensions: 12" (width), 4" (height).

Materials: 3M VPHL 7725-53, CARDINAL RED - PMS 201, 3M VPHL 7725-53, WHITE, 3M VPHL 7725-53, WHITE.

SCALE: 1-1/2" = 1'

V-5-1

Dimensions: 9" (width), 2'-1/16" (height).

Materials: PMS 294C, C:100 M:58 Y:0 K:21 (blue), WHITE (background).

SCALE: 1-1/2" = 1'

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Culver's

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SPRINGFIELD SIGN
www.springfieldsign.com

VHD-1 VEHICLE HEIGHT DETECTOR

CRYSTAL LAKE, IL

Vehicle Height Detector for Drive-Thru Lane

VHD-1

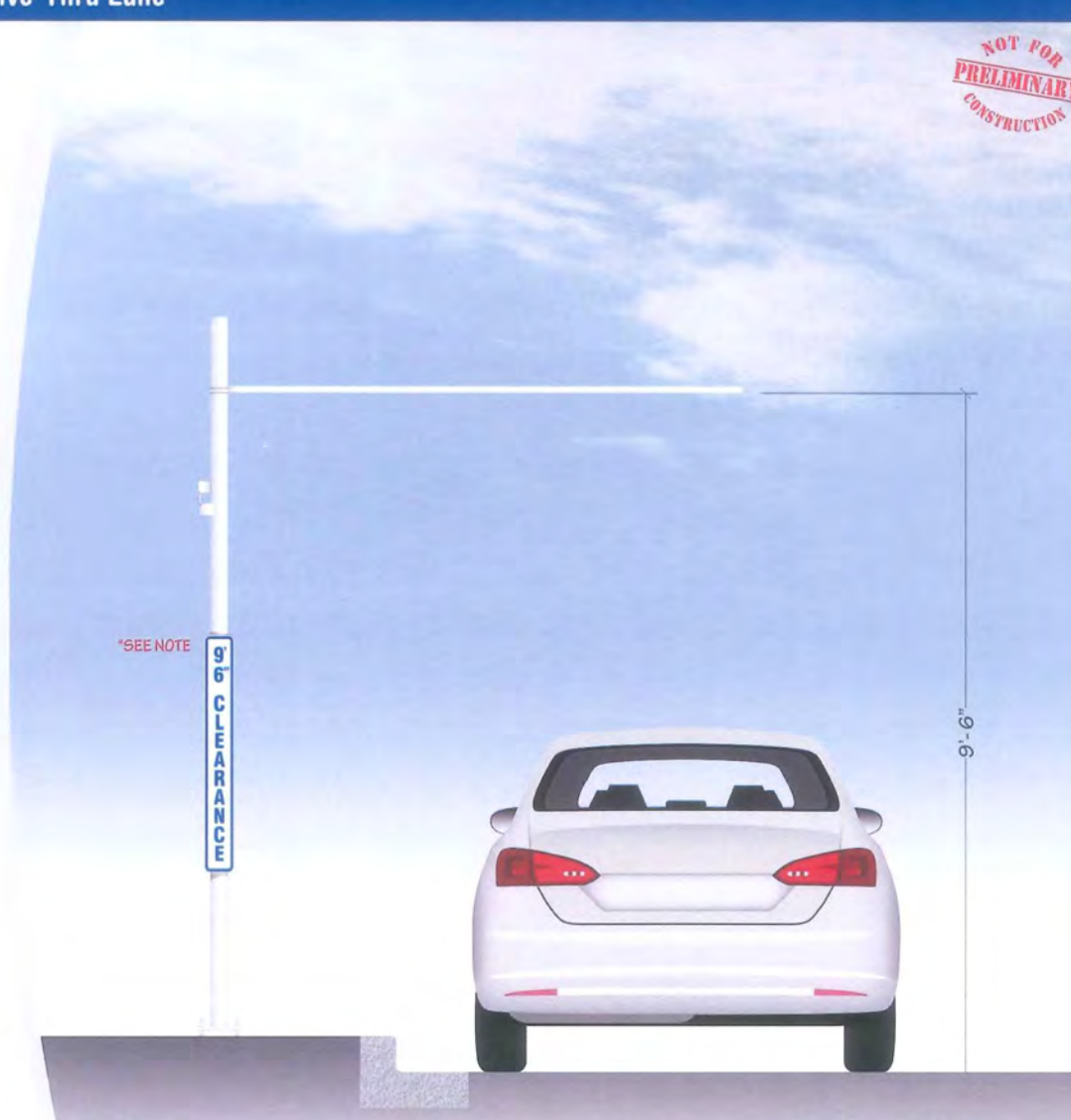
All steel (painted) construction

Re-settable if engaged

Used to help protect canopies from advancing vehicles that are too tall

NOTE: Clearance height must be verified prior to mfg.

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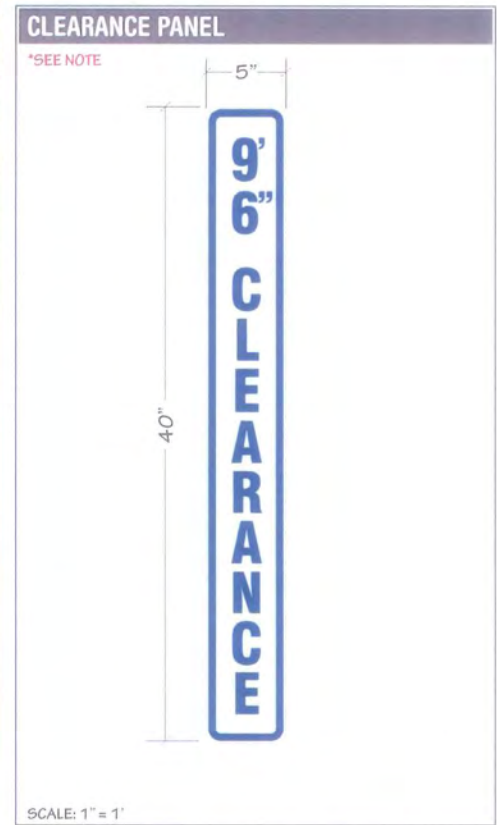


*SEE NOTE

9'-6"

SCALE: 1/2" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
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SALES PERSON: MARK WESSELL	DESIGNED BY: C WALKER	A0: 14825
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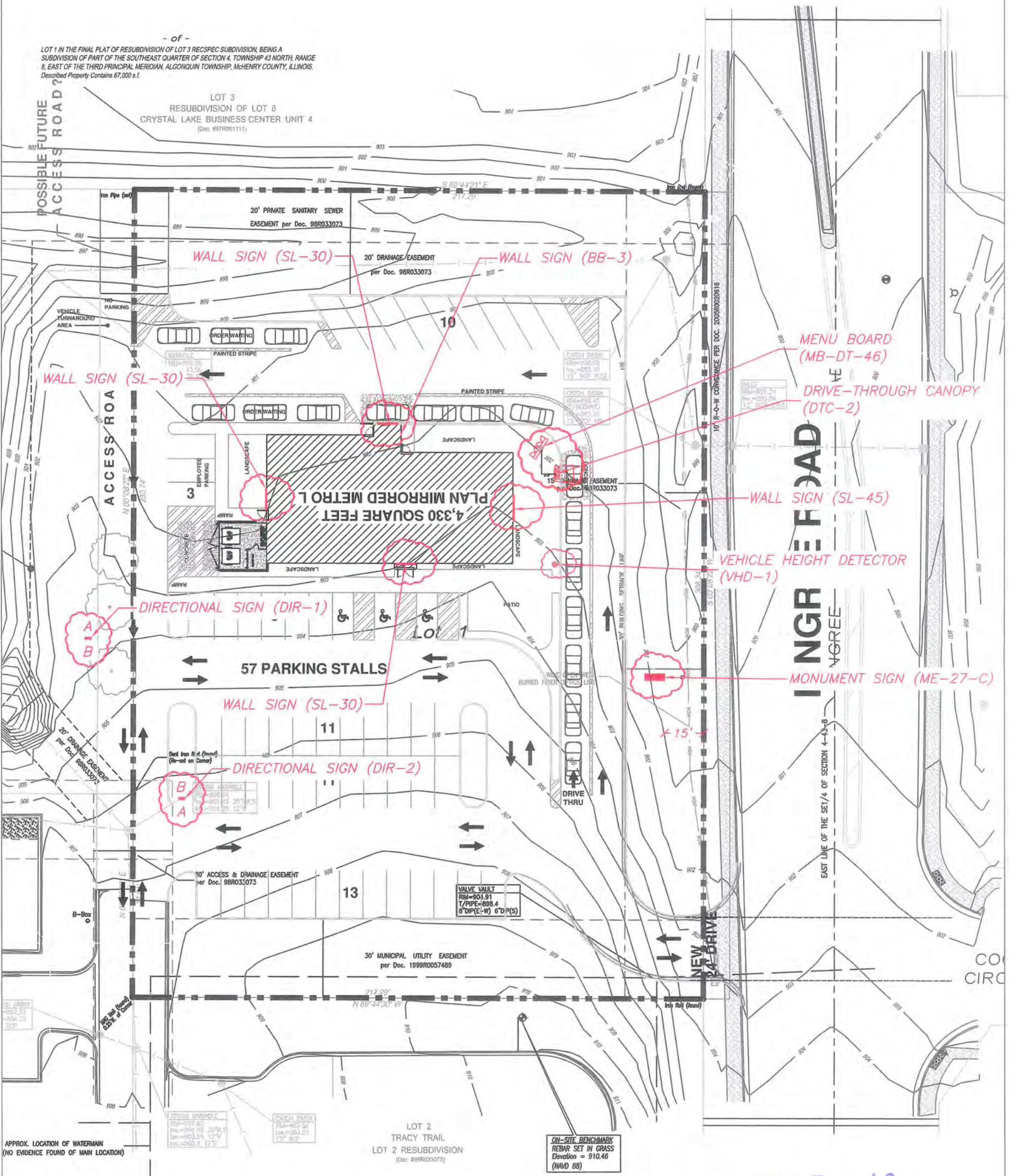
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2017 42
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BY:

SCALE 1" = 40'



APPROVED BY C.F.S.I.
10-27-17

Project No.: 14825
Drawn By: DEN
Reviewed By: MW
Date: 10-27-17
Sheet Number:
1 OF 1

CULVER FRANCHISING SYSTEM, INC.
NEW CULVER'S-SIGNAGE
400 PINGREE ROAD
CRYSTAL LAKE, IL 60014
SIGN PLACEMENT PLAN

LOCATION:
CRYSTAL LAKE, IL

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454