



#2017-51 McDonald's SUP Amendment Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	January 17, 2018
<u>Requests:</u>	A Special Use Permit Amendment to allow changes to the approved elevations and site plan.
<u>Location:</u>	230 Route 31
<u>Acreage:</u>	Approximately 1.19 acres
<u>Zoning:</u>	B-2 (General Commercial)
<u>Surrounding Properties:</u>	North: B-2 (General Commercial) South: B-2 (General Commercial) East: McHenry County B-1 (Neighborhood Business) West: B-2 (General Commercial)
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3615)

Background:

- **Existing Use:** The subject property is an existing McDonald's restaurant.
- **Previous Approvals:** A special use permit for a drive-through restaurant was granted in 1989.

Development Analysis:

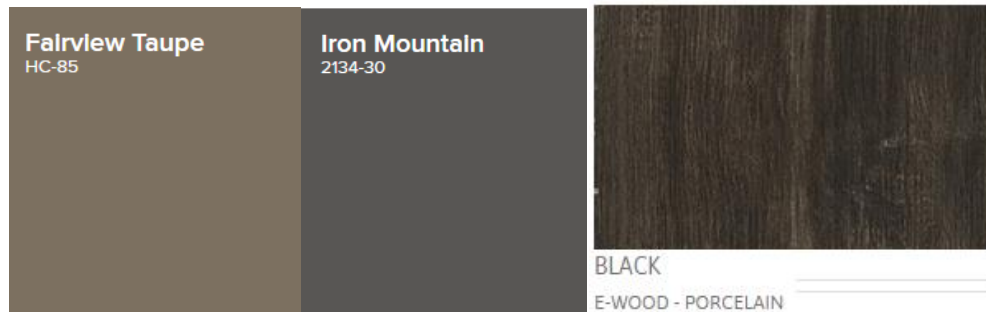
- **Request:** The petitioner is requesting a SUP Amendment for changes to the approved elevations and site plan in order to update the façade and comply with ADA requirements.
- **Land Use:** The land use map shows the area as Commerce. This land use designation is appropriate for the area.
- **Zoning:** The site is zoned B-2. This is an appropriate zoning designation for the area.

Existing Façade:



Proposed Façade:

- The proposed changes to the exterior elevations meet the Unified Development (UDO) design standards for a renovation and are similar to the McDonald's located on Route 14/Crystal Point Drive.
- The proposed elevations are a modern architectural design.
- The existing building is constructed of brick and the proposed changes include painting the brick and adding a tile to accent the parapet walls.
- The proposed façade is accented with tile that looks like wood and the color scheme is gray and white.



- The mansard roof would be removed and replaced with a flat roof. Metal awnings and corrugated metal will be utilized to accent the façade in gray tones creating a top cap.

Site Plan:

- The proposal includes converting existing parking spaces to handicap accessible spaces and minor grading of the parking lot in order to comply with ADA requirements.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future commercial uses. The following goal is applicable to this request:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Findings of Fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit Amendment to allow changes to the approved exterior elevations. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*

2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*

4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*

5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.

Meets *Does not meet*

6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.

Meets *Does not meet*

7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.

Meets *Does not meet*

8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.

Meets *Does not meet*

9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.

Meets *Does not meet*

10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.

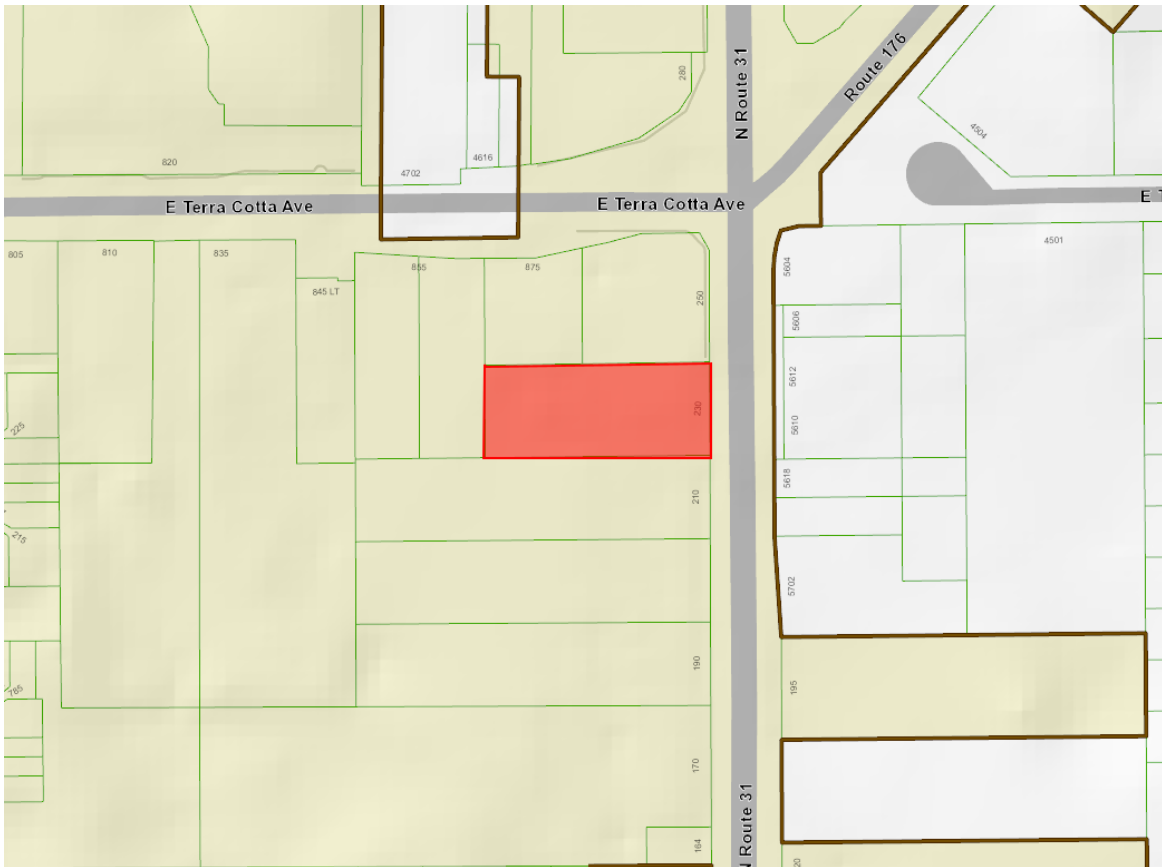
Meets *Does not meet*

Recommended Conditions:

If a motion is made to recommend approval of the petitioner's request, the following conditions are recommended:

1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (McDonald's USA LLC, dated 12/13/17, received 12/20/17)
 - B. Elevations (Lingle Design Group Inc, dated 01/11/18, received 01/11/18)
 - C. Colored Rendering (Lingle Design Group Inc, dated 01/11/18, received 01/11/18)
 - D. Site Plan (Lingle Design Group Inc, dated 11/29/17, received 12/20/17)
2. The total allowable square footage of wall signs is 150 square feet, as permitted by the UDO.
3. Any future changes to the façade may be approved administratively if the design standards in Article 4-1000 are met.
4. The petitioner shall comply with all of the requirements of the Community Development and Fire Rescue Departments.

2017-51 McDonald's – 230 N. Route 31



2017-0051

City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: McDonalds Remodel - Crystal Lake

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit Amendment |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Lingle Design Group

Address: 158 W. Main Street
Lena IL 61048

Phone: 815-369-9155

Fax: 815-369-4495
lisadonmeyer@lingleddesign.com

E-mail: joekerchner@lingleddesign.com

Owner Information (if different)

Name: _____

Address: _____

Phone: _____

Fax: _____

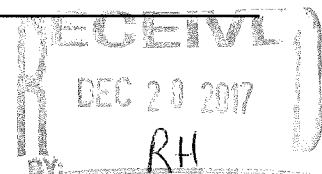
E-mail: _____

Property Information

Project Description: Existing McDonalds to be remodeled. Scope of work includes exterior site work for ADA compliance, and an updated building facade

Project Address/Location: 230 ^N W. Rte 31, Crystal Lake IL

PIN Number(s): 14-34-326-012



PM

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: Lingle Design Group 158 W. Main St., Lena IL 61048 815-369-9155 lisadonmeyer@lingledesign.com

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

Lisa Donmeyer

Digitally signed by Lisa Donmeyer
DN: cn=Lisa Donmeyer, o=Lingle Design Group, ou,
email=lisadonmeyer@lingledesign.com, c=US
Date: 2017.11.29 14:53:35 -06'00'

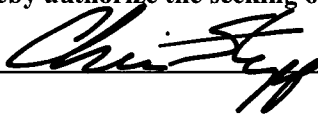
11/30/17

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Chris Stepp - McDonald's USA LLC

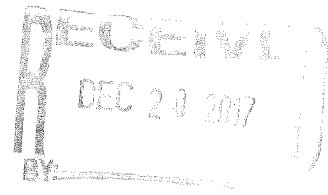


12/13/17

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



PUBLIC NOTICE
BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE
APPLICATION OF McDonald's USA,
LLC

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application of McDonald's USA, LLC seeking a Special Use Permit Amendment, located at 230 N IL Route 31, Crystal Lake, Illinois. PIN 14-34-326-012.

This application is filed for the purpose of seeking a Special Use Permit Amendment pursuant to Article 9-200(D) to amend the approved elevations and site plan

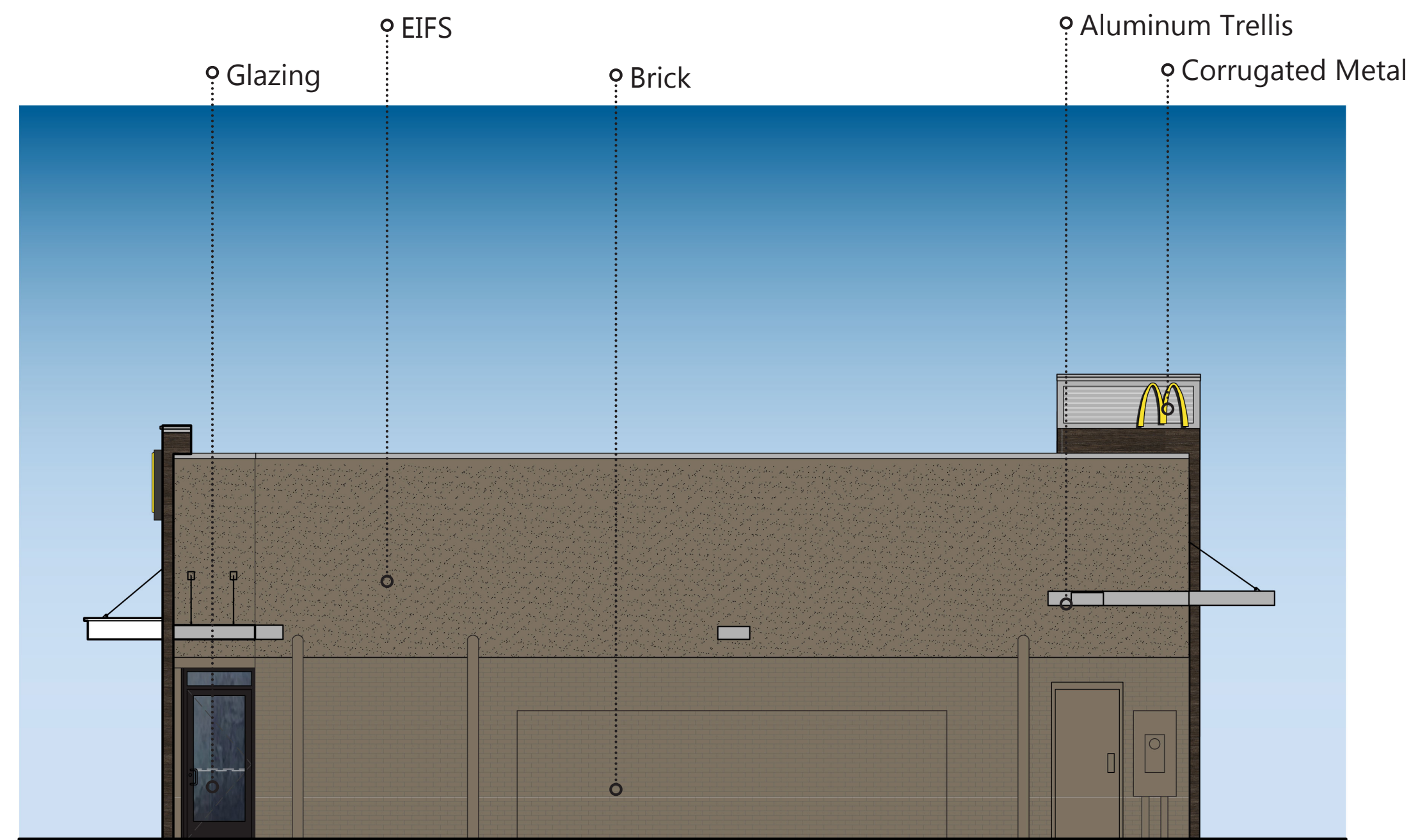
for a fast food and drive through facility, as well as any other variations as necessary to complete the project as proposed. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday January 17, 2018, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.

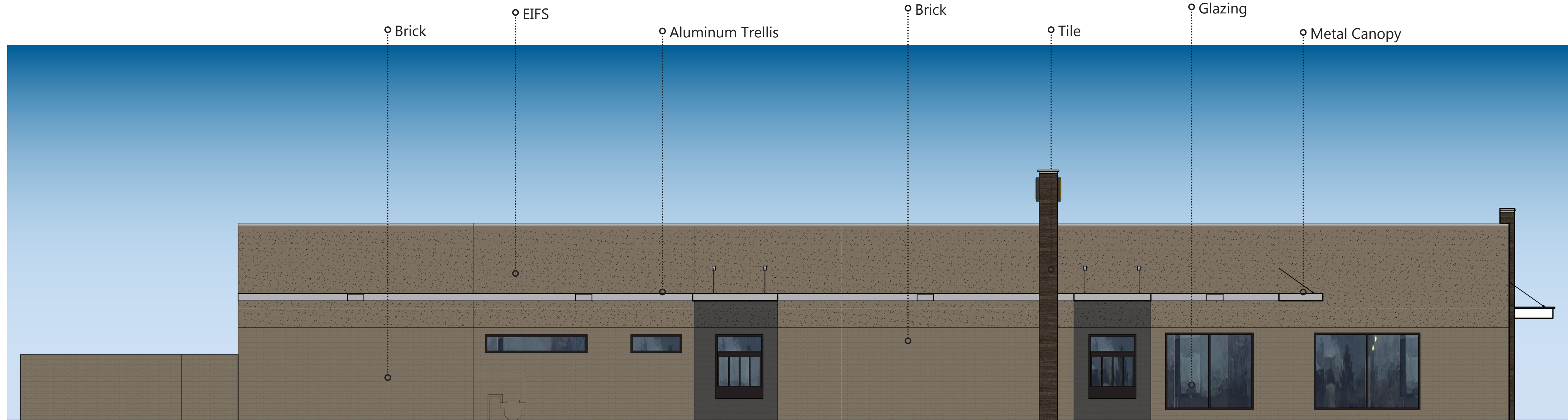
Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
on January 2, 2018) 1493837



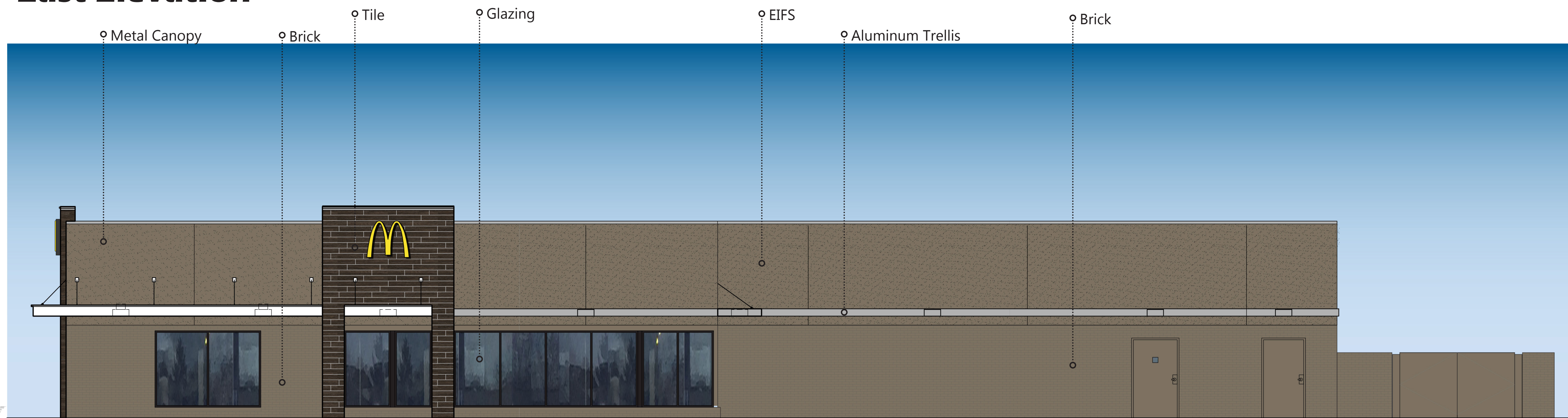
North Elevation



South Elevation



East Elevation



West Elevation

MATERIALS LEGEND	
Craftsman Color Scheme	
	Brick (Existing Building) Existing Brick - Paint - Fairview Taupe BM-HC-85
	Tile (Arcades) Eurowest Ewood - R9 Black
	EIFS Benjamin Moore - Fairview Taupe BM-HC-85
	Canopy (Metal) Pantone 109C
	Glazing (Windows & Storefront) 1" Insulated Clear Glass
	Corrugated Metal Cityscape by Metal-Era
	Aluminum Trellis (Prefinished) Cityscape
	Metal (Coping) Cityscape
	Paint Benjamin Moore - Fairview Taupe BM-HC-85
	Paint (Drive-Thru) Benjamin Moore - Flron Mountain - HC-2134-30



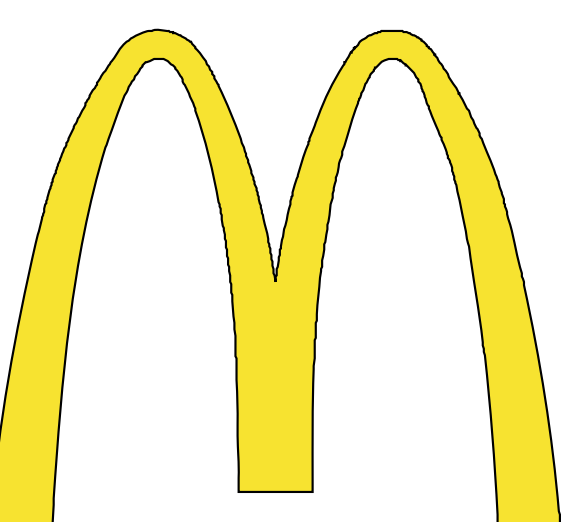
17-0635

Imagine

Create

Excite

McDonald's
230 RTE 31, Crystal Lake, IL
Date: 01/11/2018



NOTE:
 1. EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 2. PAINT TRASH CORRAL INCLUDING DOORS, BOLLARDS ETC. TO MATCH MAIN BUILDING COLOR.

ELEVATION KEY NOTES:

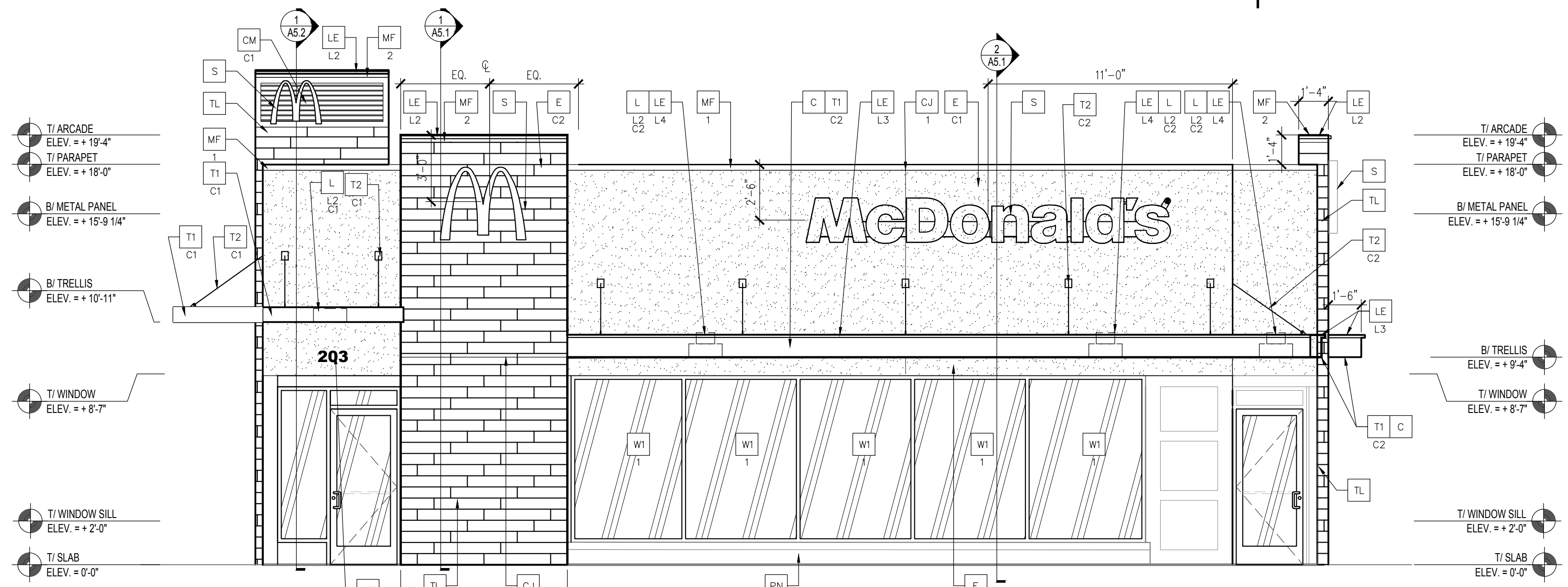
COLOR SCHEME: CRAFTSMEN SCHEME

- AD 4" ADDRESS LETTERING
COLOR: ALUMINUM
- C ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- CJ CONTROL JOINT
X-TYPE:
1 = MATCHING SPACING OF EXISTING EIFS BELOW OR SPACE PER MFR'S RECOMMENDATIONS
- CM CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A5.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) CRAFTSMAN "OUTSULATION PLUS MD" BY DRYVIT OR EQUAL
HIGH IMPACT ZONES: "PANZER 20" ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE
FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
COLOR: STATOTONE HIGH PERFORMANCE COLORANT - MATCH TO BENJAMIN MOORE OR EQUAL
C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE

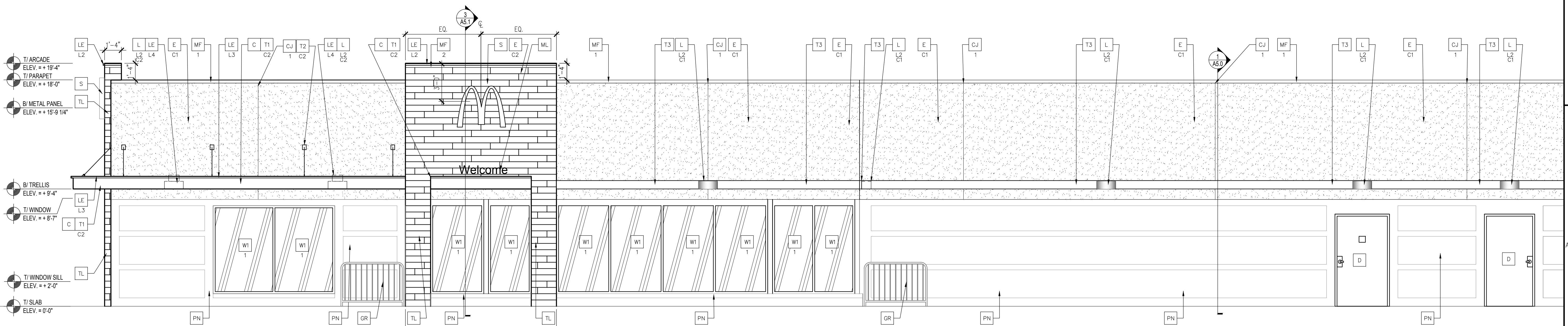
- GR GUARDRAIL
- L LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY SCNCE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE ACCENT LIGHTING - SEE ELECTRICAL
XX-LED LIGHT:
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- MF METAL FASCIA (COLOR: CITYSCAPE) SEE 4/A3.2
X-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
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1 = "WELCOME" - COLOR: SILVER
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- PB PIPE BOLLARD - PAINTED YELLOW
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- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE
- TL TILE - BRAND WALL
EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK 6"X36" 1/4" RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- W1 NEW STOREFRONT AND GLAZING
X-1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36"
SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN;
ELECTRONIC RELEASE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT



1 NORTH ELEVATION
 A2.0
 1/4" = 1'-0"



2 WEST ELEVATION
 A2.0
 1/4" = 1'-0"

LING DESIGN GROUP, INC.
 158 WEST MAIN STREET
 LENA, IL 61048 158
 1860 W. EVANS AVE.
 ENGLEWOOD, CO 80110
 PHONE: 815-369-9155
 FAX: 815-369-4495
 WWW.LINGDESIGN.COM



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BRAND REVIEW

ISSUED DATE: xxxxxxxx

McDonald's
 USA, LLC
 1563 N WELLS ST
 CHICAGO, IL

REVISIONS	DATE	DESCRIPTION
1	12/29/17	BRAND REVIEW

STATE ID: 012-1528
 NATIONAL #: 14173
 PROJECT NUMBER: 17-641
 DRAWN BY: MM
 CHECKED BY: CLL

SHEET TITLE:
 PROPOSED ELEVATIONS

SHEET NUMBER:
 A2.0

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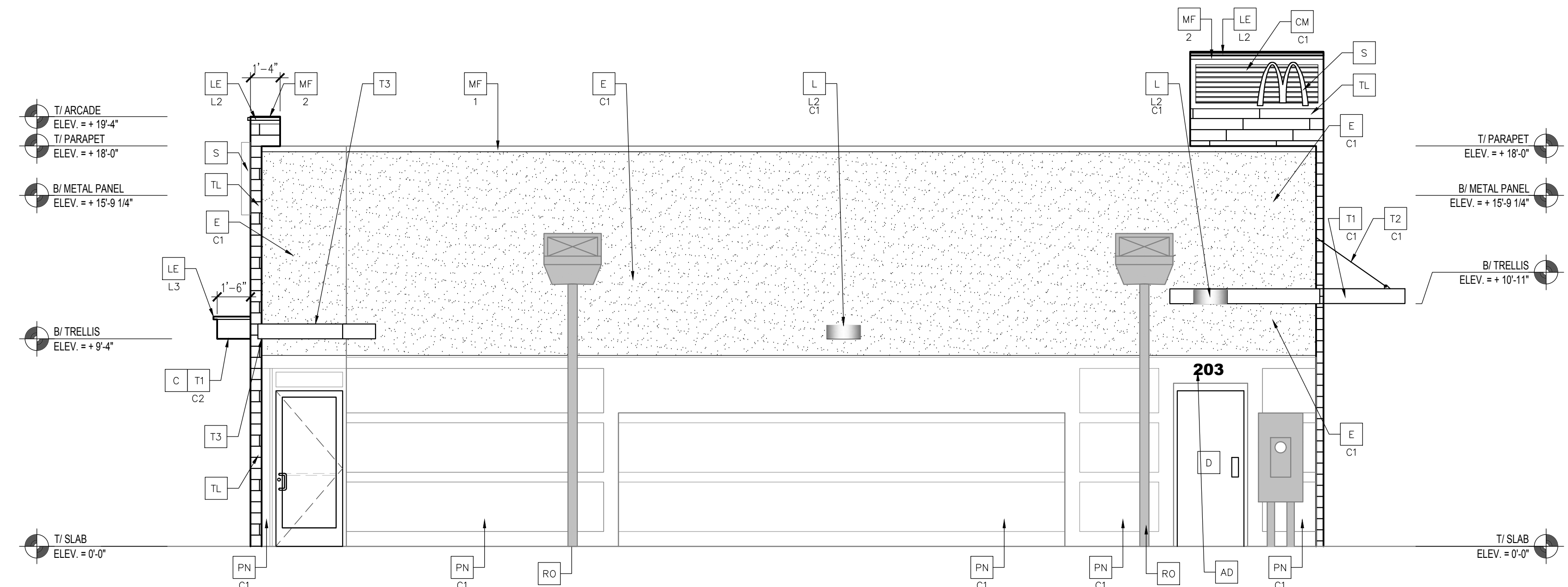
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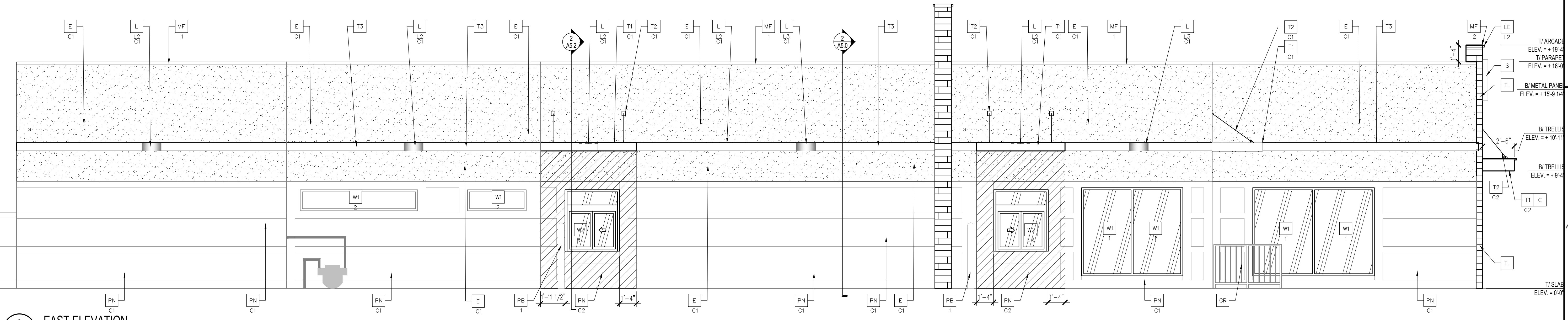
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BRAND REVIEW

ISSUED DATE: xxxxxxxx

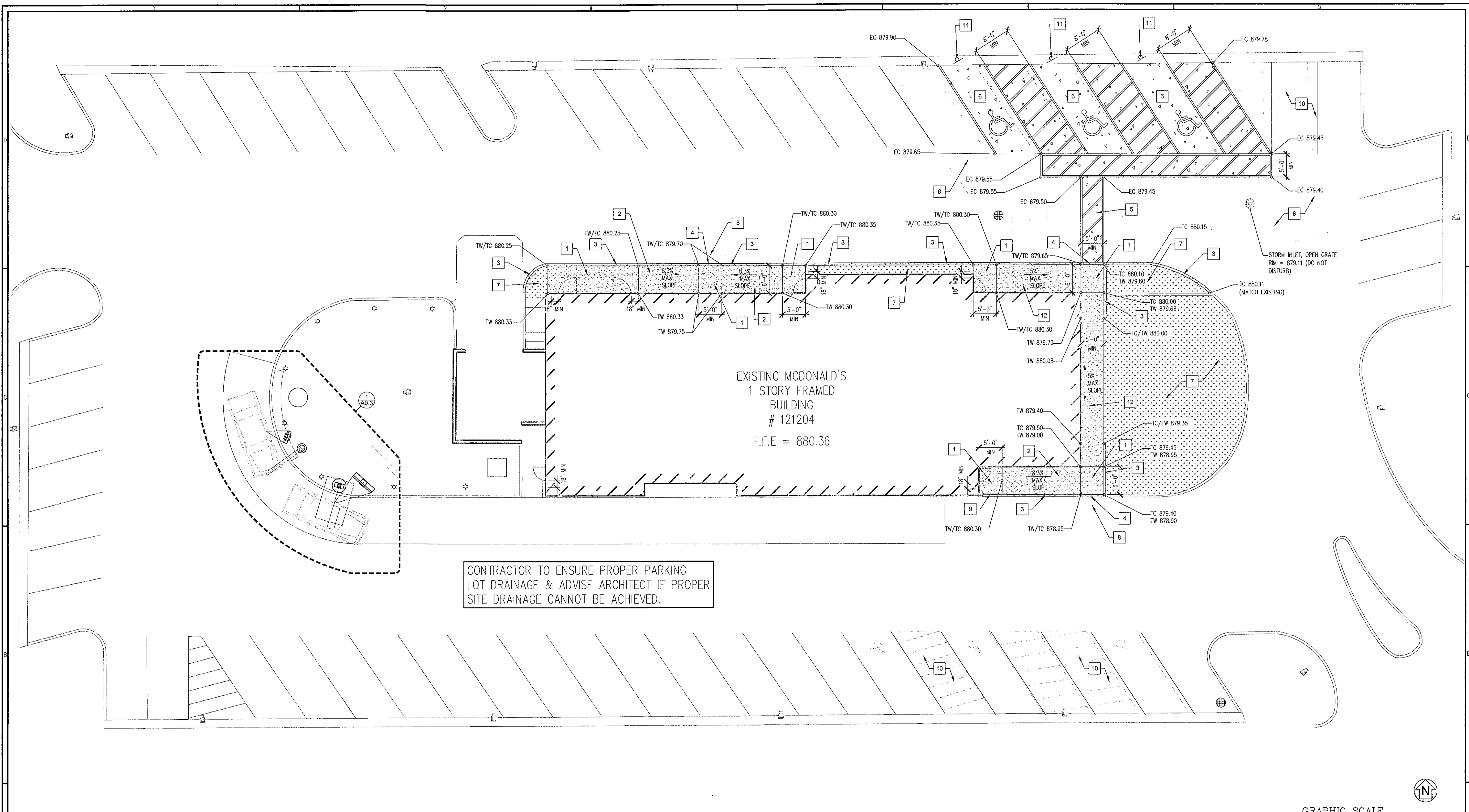
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 CHICAGO, IL

REVISIONS	DATE	DESCRIPTION
1	12/29/17	BRAND REVIEW
2		

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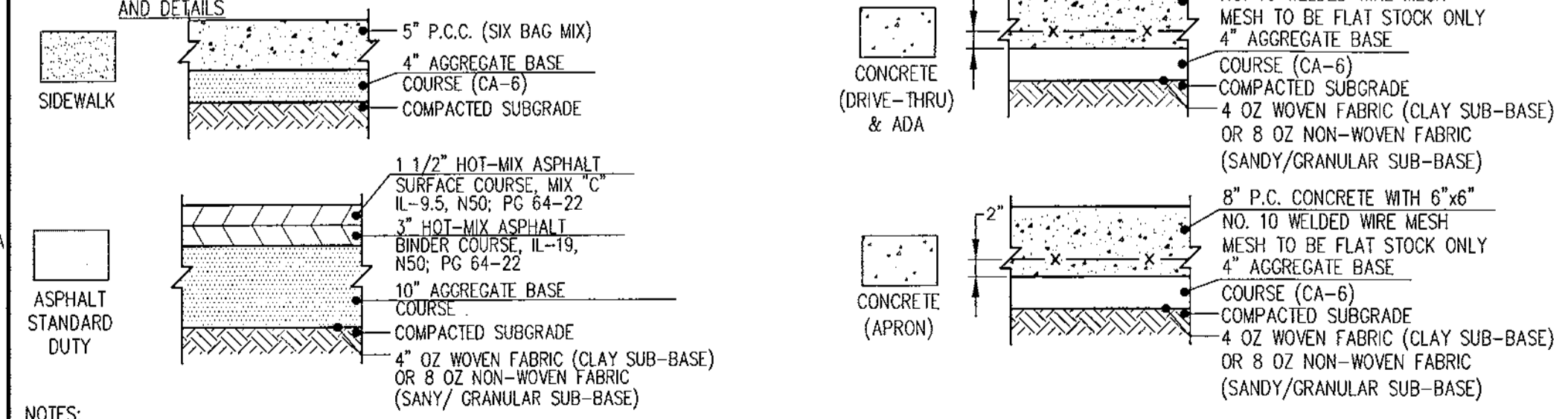
SHEET NUMBER:
 A2.1



CONTRACTOR TO ENSURE PROPER PARKING LOT DRAINAGE & ADVISE ARCHITECT IF PROPER SITE DRAINAGE CANNOT BE ACHIEVED.

EXISTING MCDONALD'S
1 STORY FRAMED
BUILDING
121204
F.F.E = 880.36

PAVEMENT LEGEND - SEE A0.2 FOR PROJECT SPECIFICATIONS



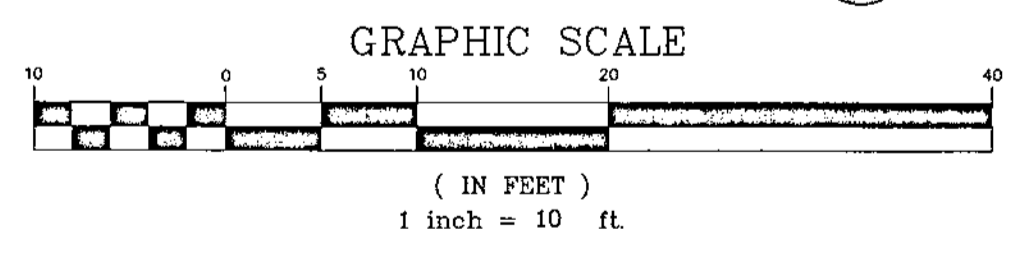
- NOTES:**
- REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.
 - THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
 - THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY PER SECTION 301.
 - PROVIDE CONTRACTION JOINTS ON CONCRETE PAVEMENT AT 18' O.C. FOR SIDEWALKS. PROVIDE CONTROL JOINT AT 5' O.C. EXPANSION JOINTS AT 50' O.C.

ABBREVIATIONS

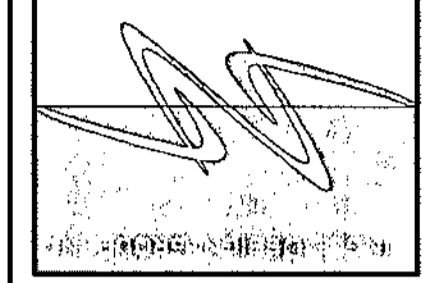
- EP = EDGE OF PAVEMENT
- TW = TOP OF WALK
- TC = TOP OF CURB
- C = CUTTER

KEY NOTES

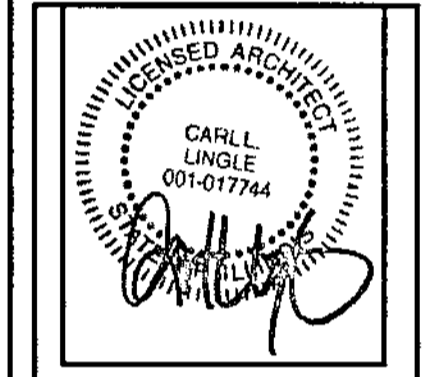
TAG	DESCRIPTION
1	NEW CONCRETE LEVEL LANDING. ENSURE CROSS SLOPE & RUNNING SLOPE DOES NOT EXCEED 2% - SEE 8/A0.2
2	NEW CURB RAMP - REFER TO DETAIL 8/A0.2
3	6" CONCRETE CURB
4	DEPRESSED CURB TO ALIGN WITH TOP OF LOT GRADE OR CROSS WALK. LEVEL CHANGE TO NOT EXCEED 1/4" VERTICAL RISE.
5	NEW CONCRETE CROSSWALK WITH 4" YELLOW STRIPS. ENSURE CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5%
6	NEW CONCRETE PARKING STALL AND ACCESSIBLE AISLE WITH 4" YELLOW STRIPING. ENSURE CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 2%
7	NEW LANDSCAPING. COORDINATE WITH OWNER AND CONSTRUCTION MANAGER
8	GRIND AND RESURFACE (1" MIN) PORTION OF EXISTING ASPHALT AND SLOPE TO ALIGN WITH TOP OF NEW CONCRETE CROSS WALK, ACCESSIBLE PARKING STALLS AND GUTTER PANS. ALIGN WITH TOP OF EXISTING ASPHALT.
9	NEW RAILING - REFER TO DETAIL 10/A0.2
10	REMOVE EXISTING PARKING STRIPING. RE-STRIP PARKING BAY NEW AS SHOWN. PATCH, REPAIR, AND RESEAL ASPHALT AS REQUIRED
11	NEW ACCESSIBLE PARKING SIGNAGE - REFER TO DETAIL 5/A0.2
12	NEW CONCRETE SIDEWALK. ENSURE CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5%.



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ISSUED DATE: 11/23/17

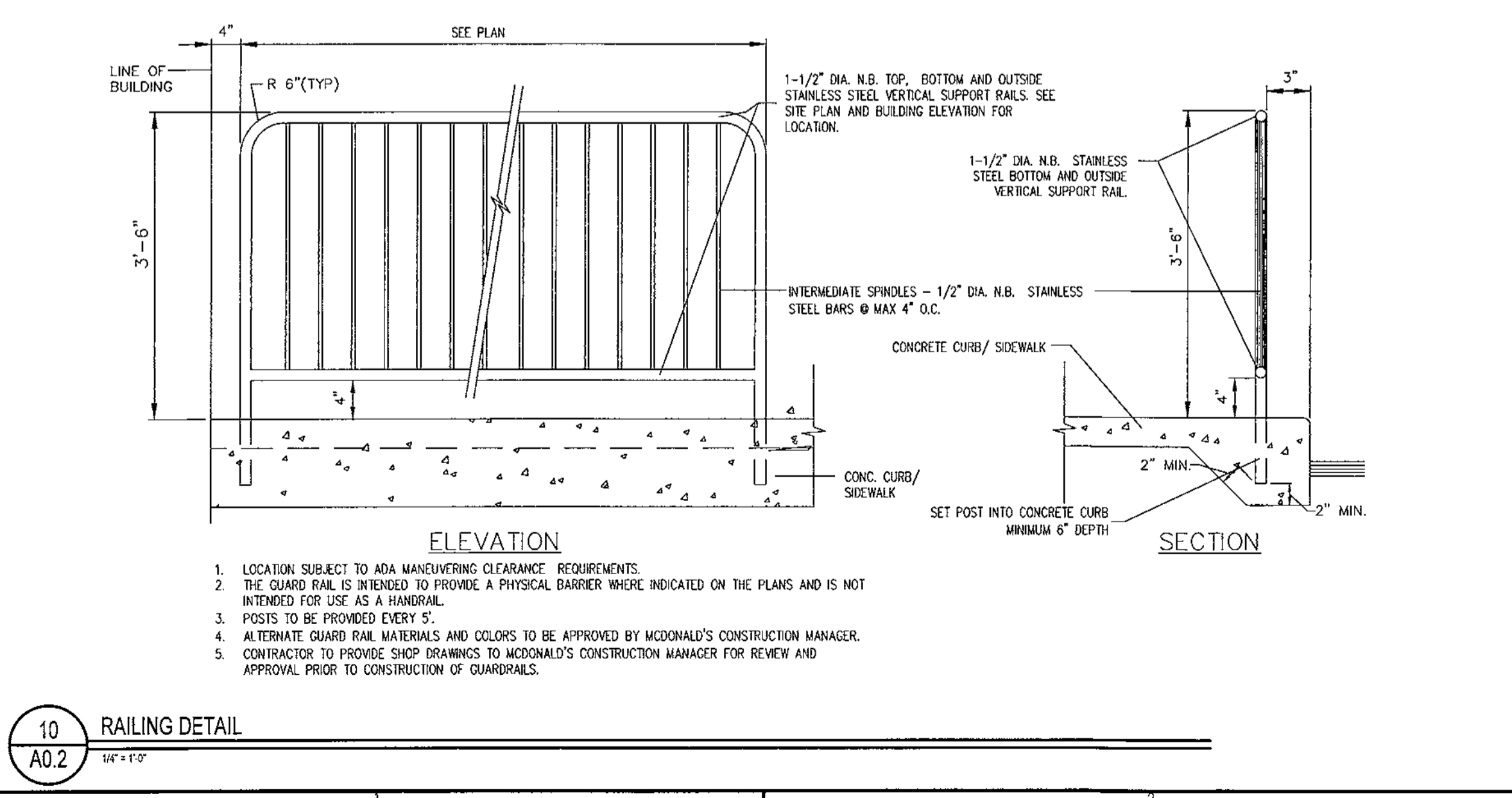
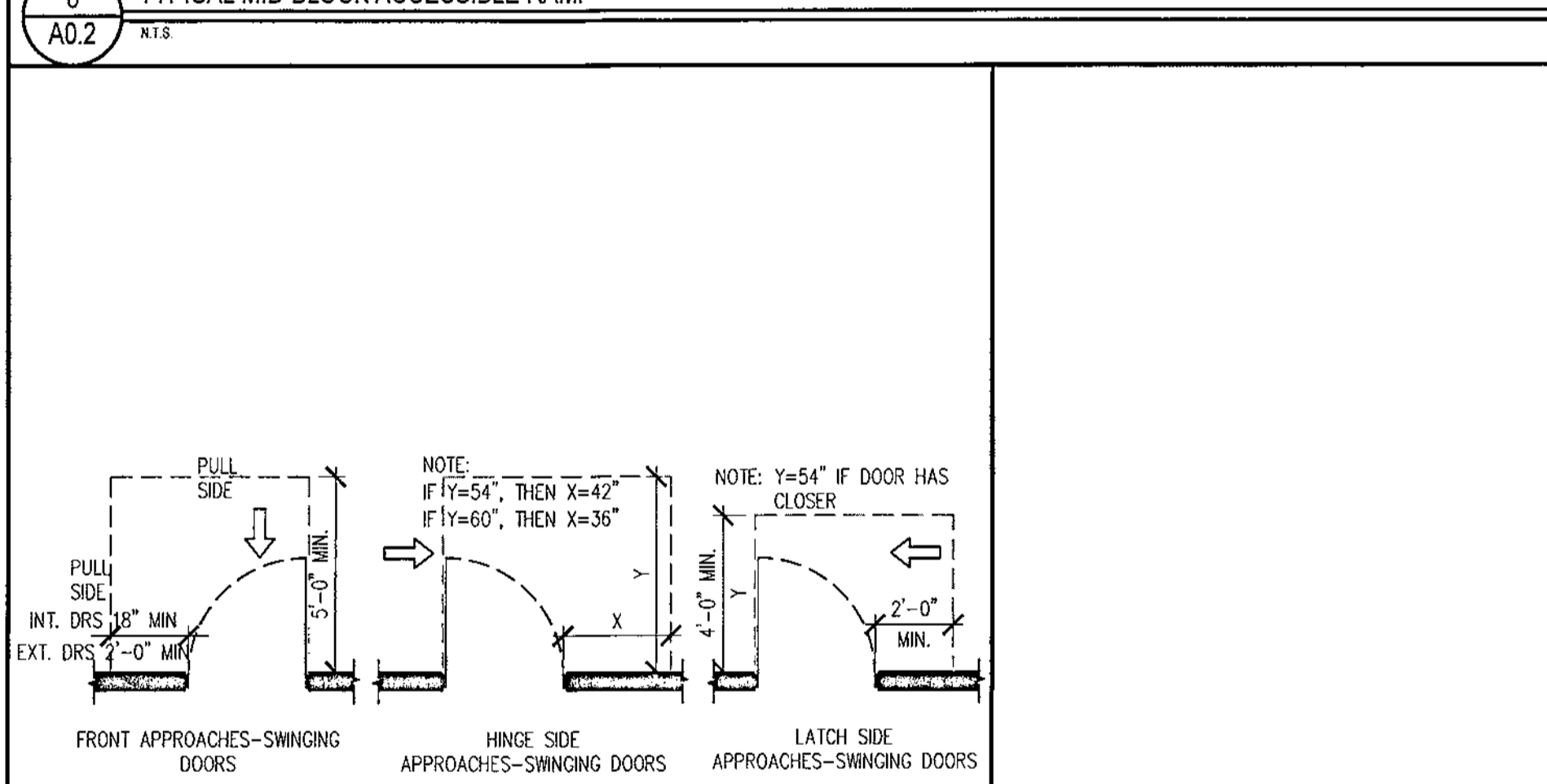
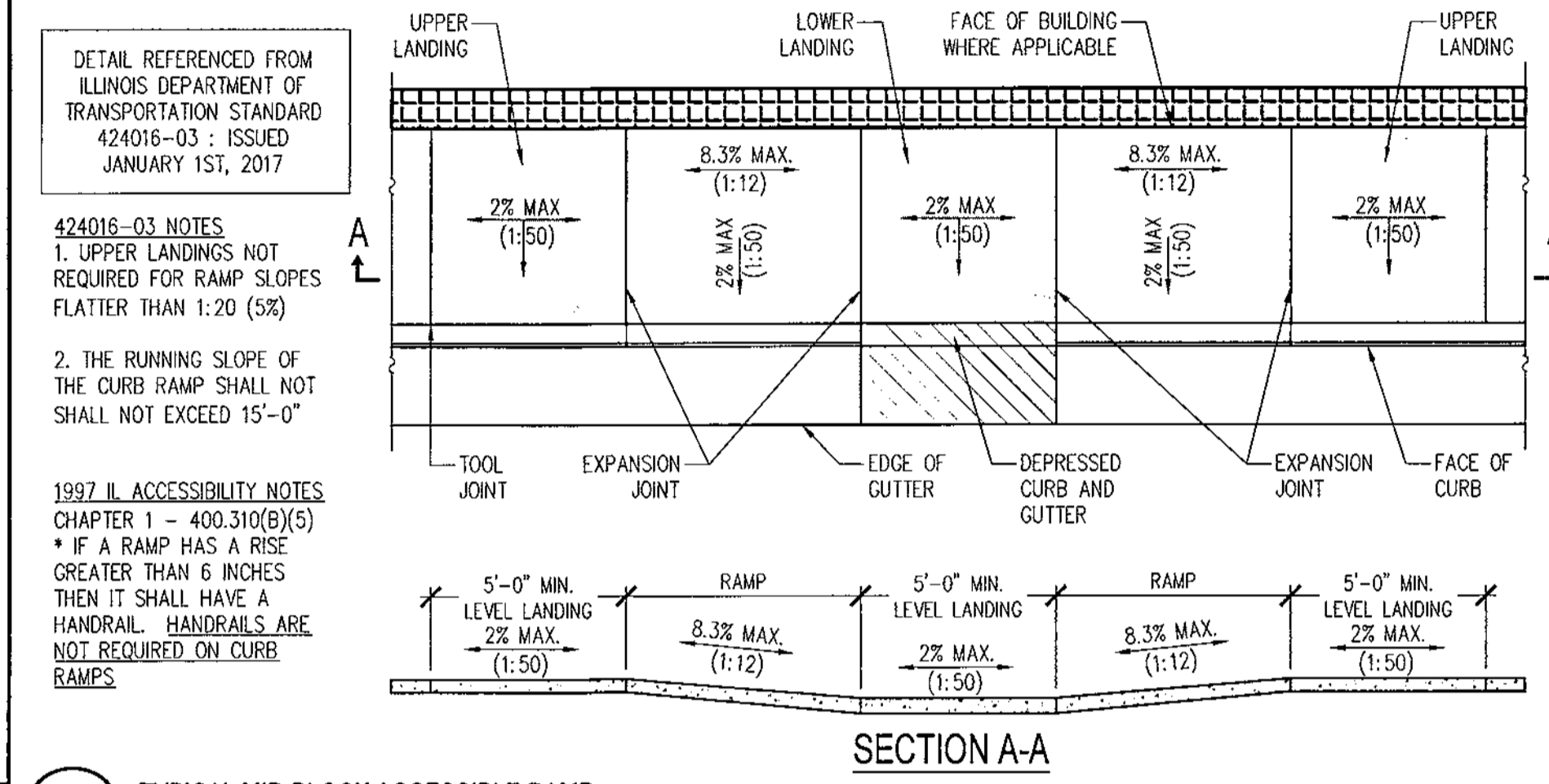
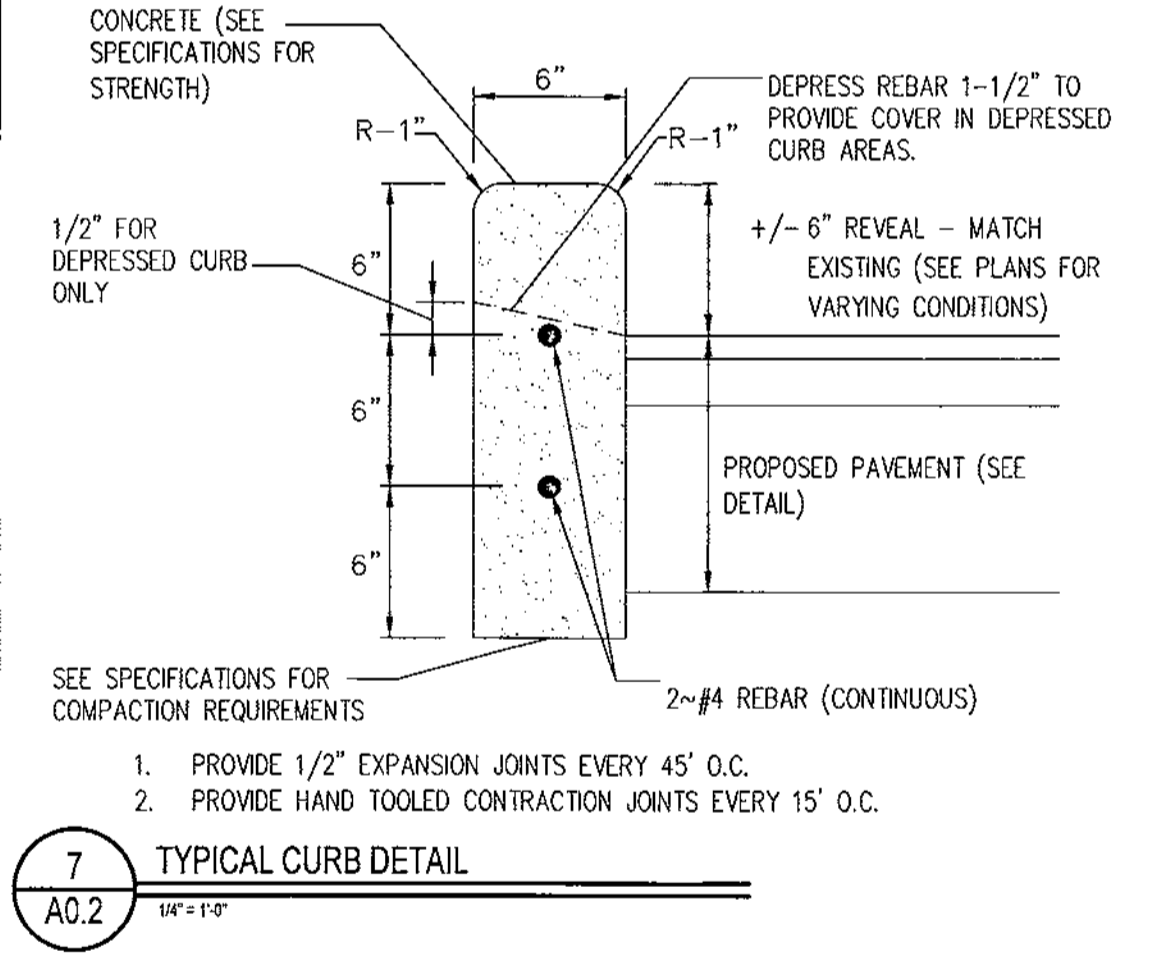
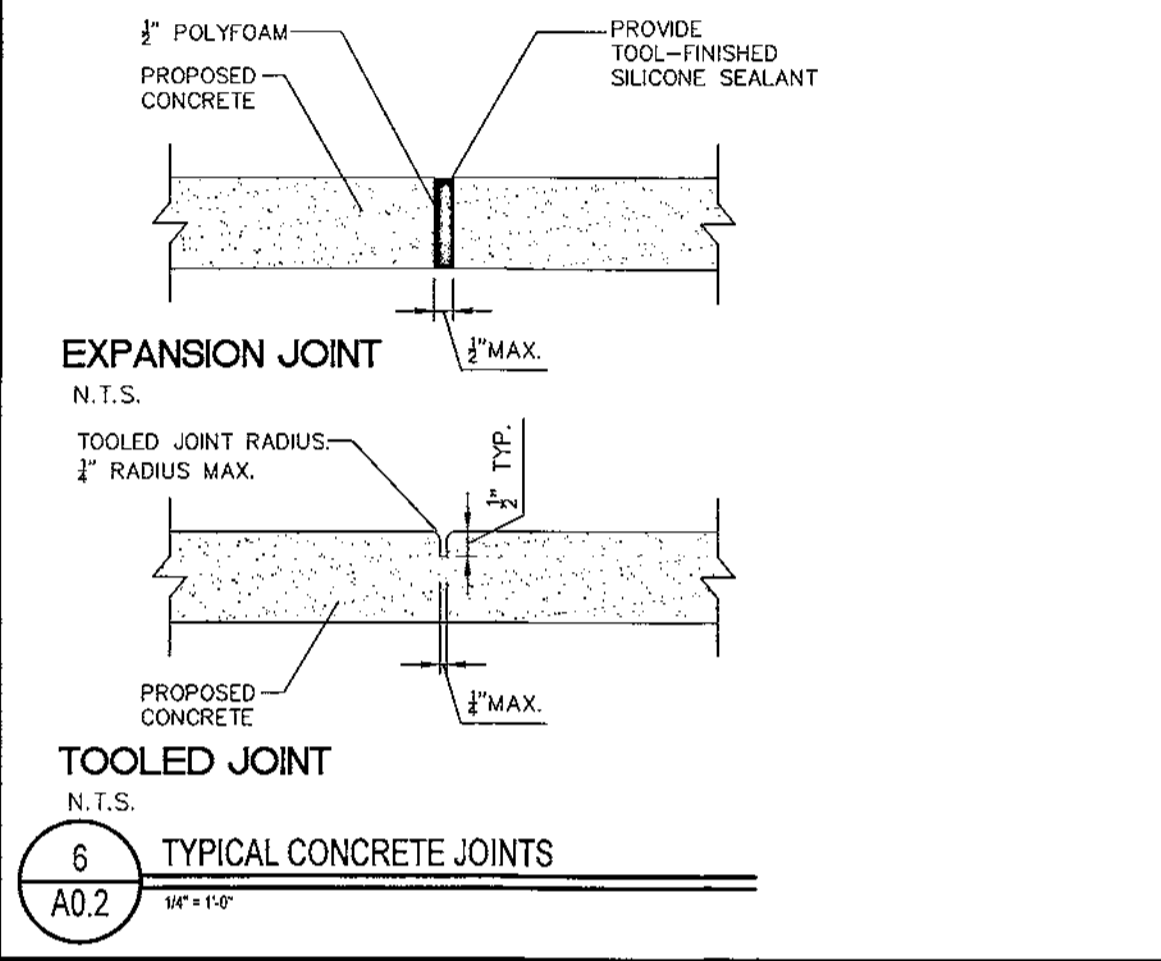
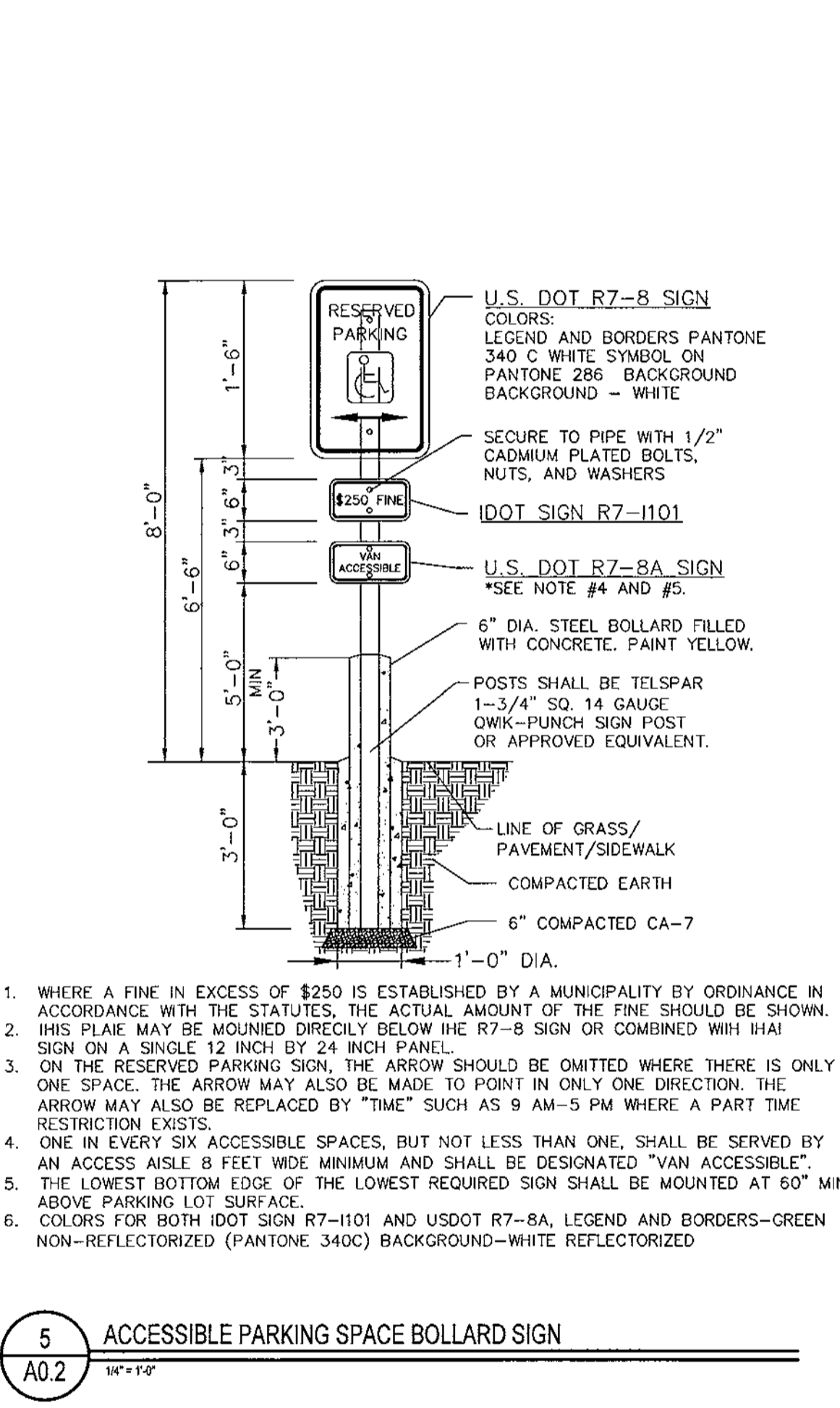
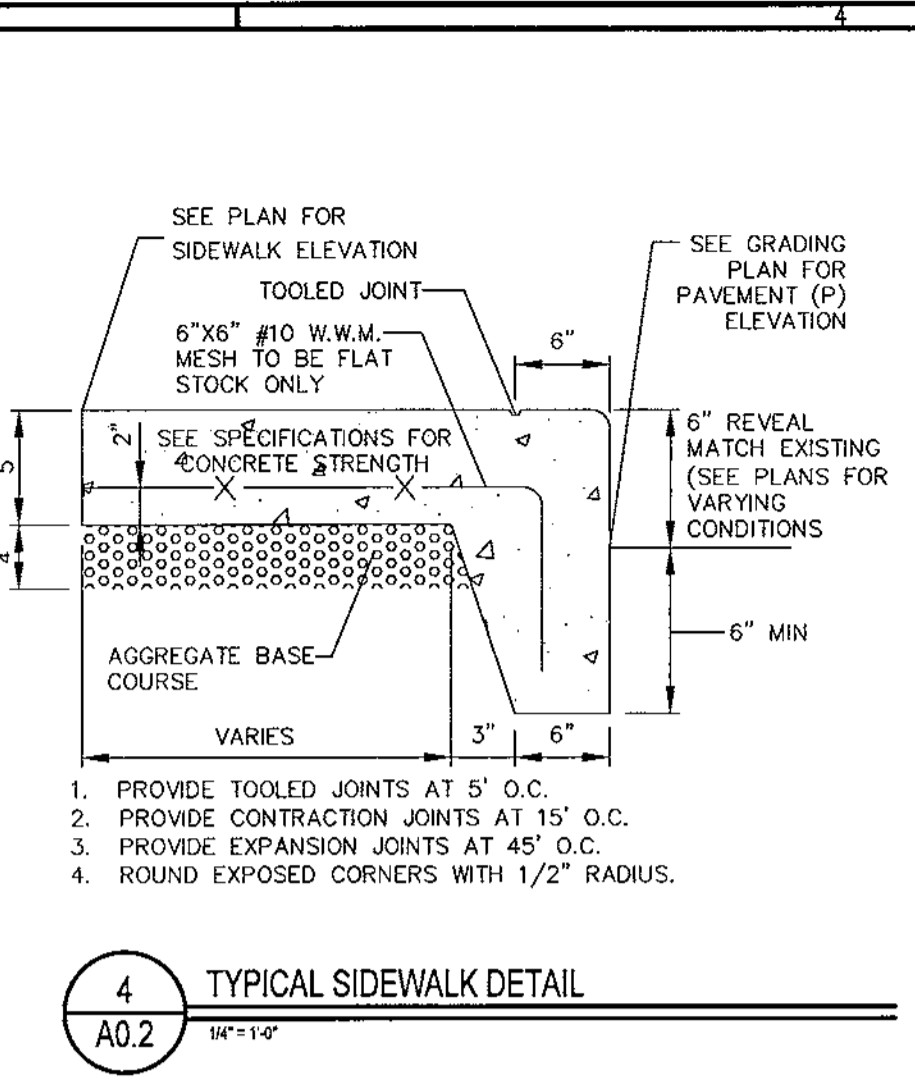
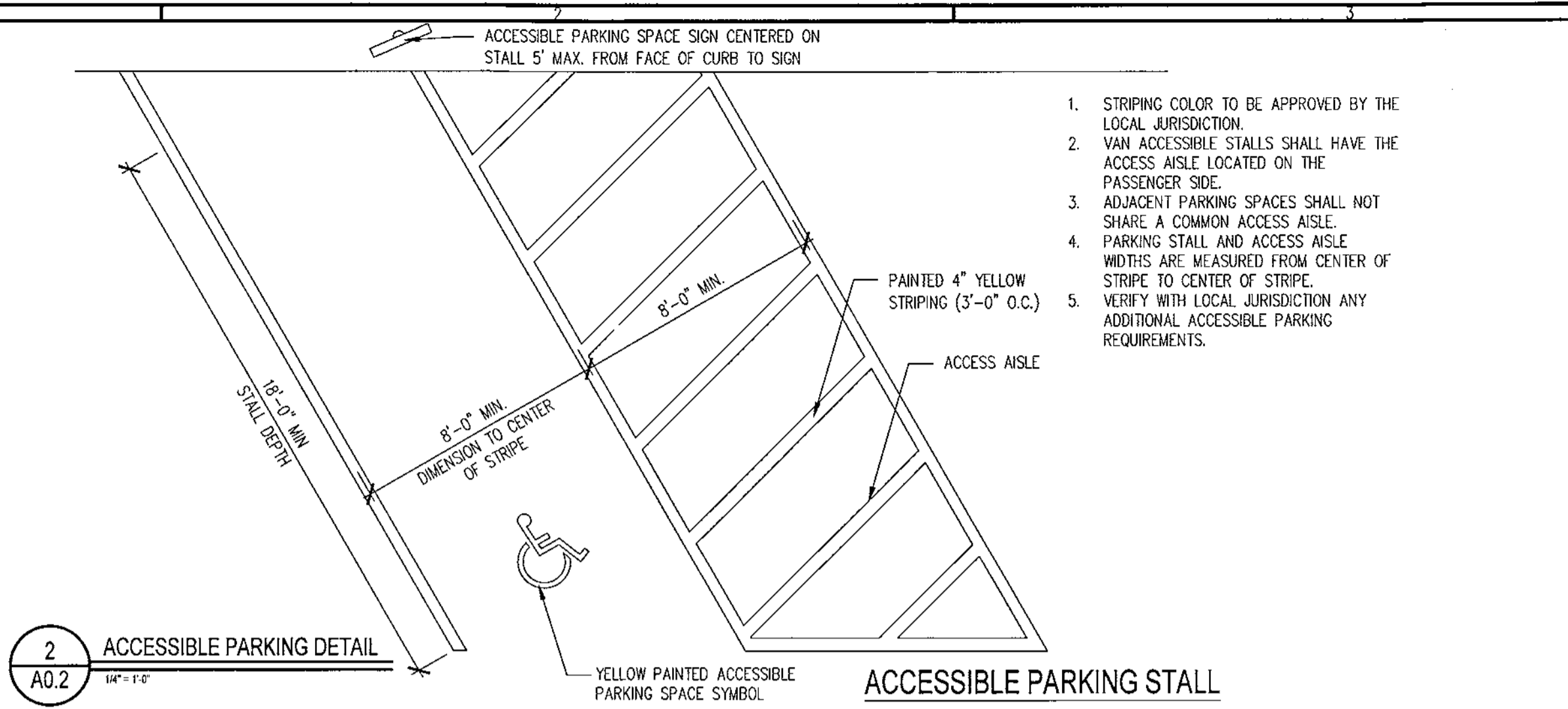
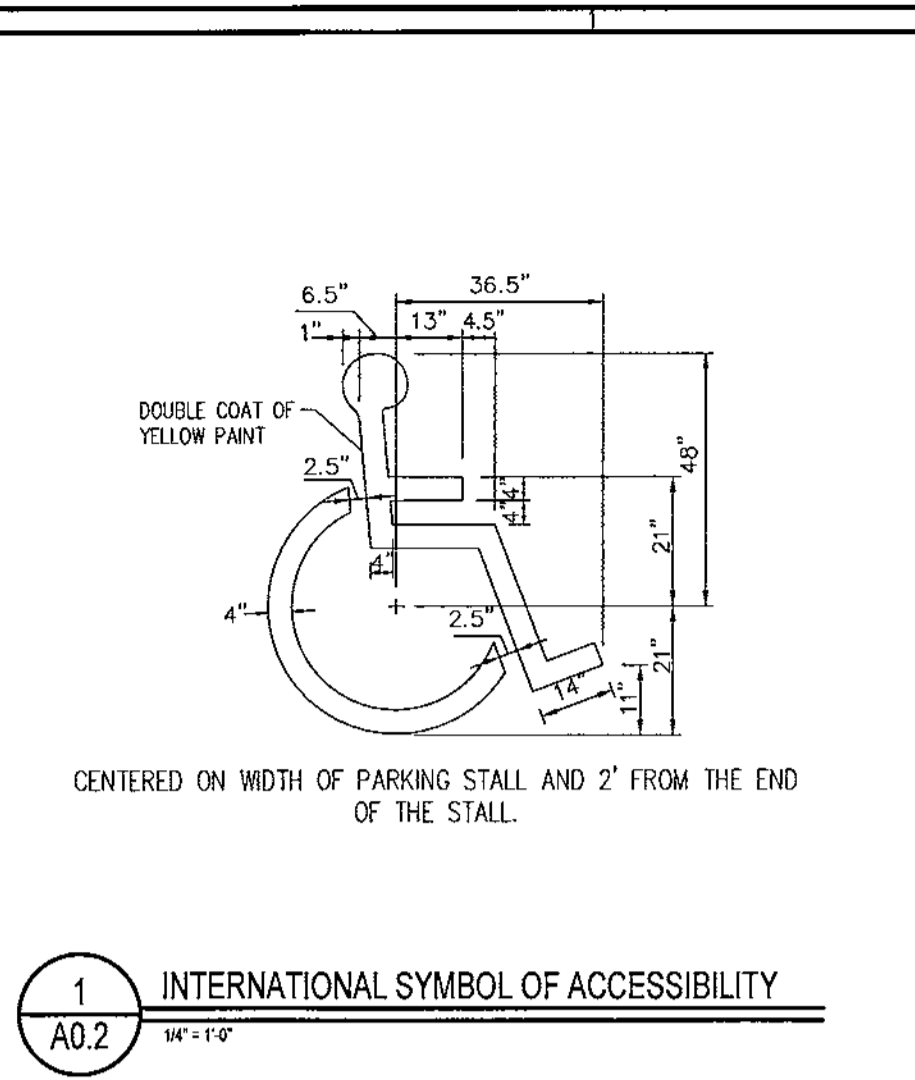
McDonald's USA, LLC
230 W. RTE 31
CRYSTAL LAKE, IL 60014

REVISIONS	DATE	DESCRIPTION
1	10/3/17	BRAND REVIEW
2	11/23/17	PERMIT REVIEW BID SET

STATE ID: 121204
NATIONAL #: 11558
PROJECT NUMBER: 17-635
DRAWN BY: JAM
CHECKED BY: CLL

SHEET TITLE:
**ARCHITECTURAL
SITE PLAN
& DETAILS**

SHEET NUMBER:
A0.1



PROJECT SPECIFICATIONS:

- CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE (IAC). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.
- THE CONTRACTOR SHALL INDEMNIFY ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
- PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE ARCHITECT AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.
- PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
- THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL J.U.L.I.E. FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123, 48 HOURS PRIOR TO DIGGING.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS. ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT BEFORE WORK PROGRESSES.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ARCHITECTURAL PLANS AS APPROVED BY THE MUNICIPALITY.
- ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE ARCHITECT IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE ARCHITECT.
- ANY RESTORATION BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- TRENCH BACKFILL MATERIAL (CA-6) IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
- CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- ALL EXISTING DRAIN LINES THAT ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
- RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
- THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF THE SYSTEM.
- GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT ANY DISCREPANCIES BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO EXISTING CONDITIONS.
- CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
- PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPE.

PAVEMENT

- ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; MANUAL FOR STRUCTURAL DESIGN OF PORTLAND CEMENT CONCRETE PAVEMENT, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; DESIGN MANUAL, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- ALL PAVED AREAS SHALL BE COMPACTED TO 95% STANDARD LABORATORY DENSITY, PER I.D.O.T. SECTION 301. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUB-GRADE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
- ALL CONCRETE TO BE MINIMUM 3500 PSI, SALT TOLERANT, 6 BAG MIX WITH A SPRAY ON SEALER.
- EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.
- BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40°F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45°F AND RISING.
- ALL PROPOSED PAVEMENT AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
- ALL PROPOSED PAVEMENT, CURBS, SIDEWALKS, RAMPS, ETC. WITHIN THE ACCESSIBLE STALLS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED PER THE ILLINOIS ACCESSIBILITY CODE (LATEST EDITION) WITH ZERO CONSTRUCTION TOLERANCE. MAXIMUM SLOPES AS DEFINED IN THE CODE SHALL NOT BE EXCEEDED. THESE MAXIMUM SLOPES INCLUDE, BUT ARE NOT LIMITED TO:
 - PARKING SPACES AND ACCESSIBLE STALLS SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2.00%) IN ALL DIRECTIONS.
 - AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A "RAMP" AND SHALL COMPLY WITH THE "RAMP" REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO, HAND RAILS.
 - NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50 (2.00%).
 - THE MAXIMUM SLOPE OF A "RAMP" IN NEW CONSTRUCTION SHALL BE 1:12 (8.33%), THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 INCHES.

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LICENSED ARCHITECT
 CAROL LINLE
 001-017764

ISSUED DATE: 11/29/17

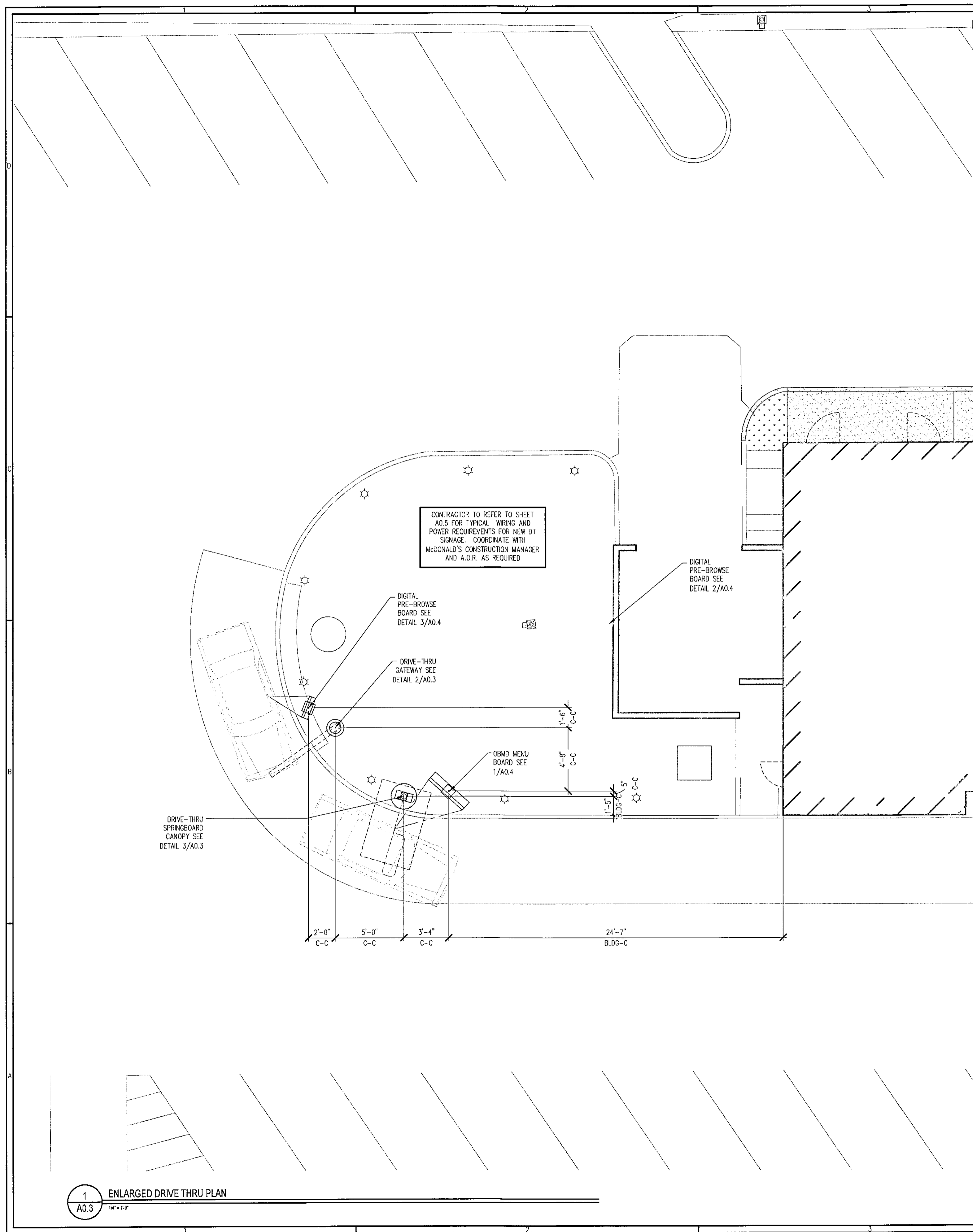
McDonald's USA, LLC
 230 W. RTE 31
 CRYSTAL LAKE, IL 60014

REVISIONS	DATE	DESCRIPTION	BY	CHKD
1	11/29/17	PERMIT REVIEW BID SET		

STATE ID: 121204
 NATIONAL #: 11558
 PROJECT NUMBER: 17-635
 DRAWN BY: JAM
 CHECKED BY: CLL

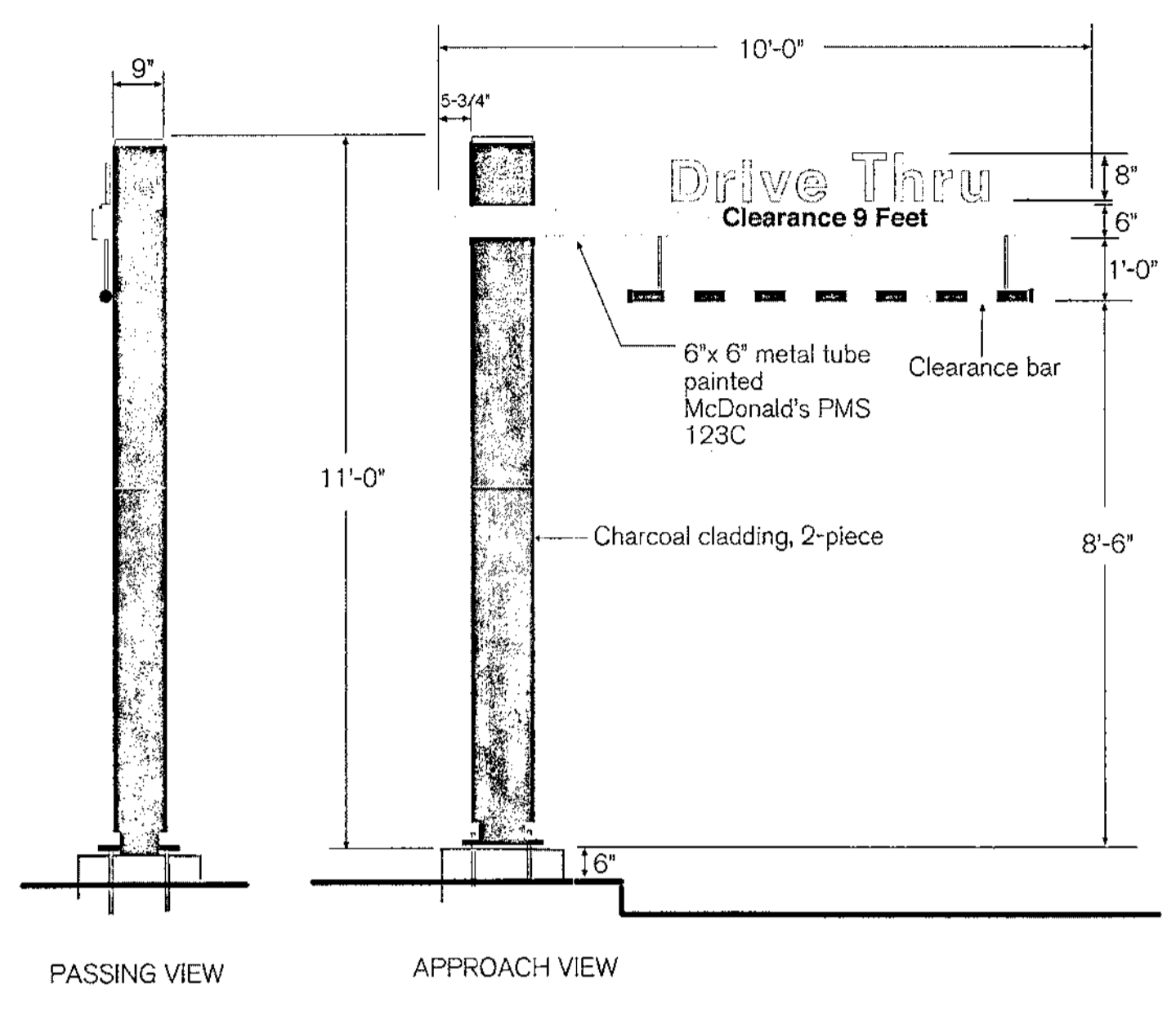
ARCHITECTURAL SITE DETAILS & NOTES

SHEET NUMBER:
A0.2



1 ENLARGED DRIVE THRU PLAN
A0.3 1/4" = 1'-0"

Welcome Point Gateway - Charcoal 2PC



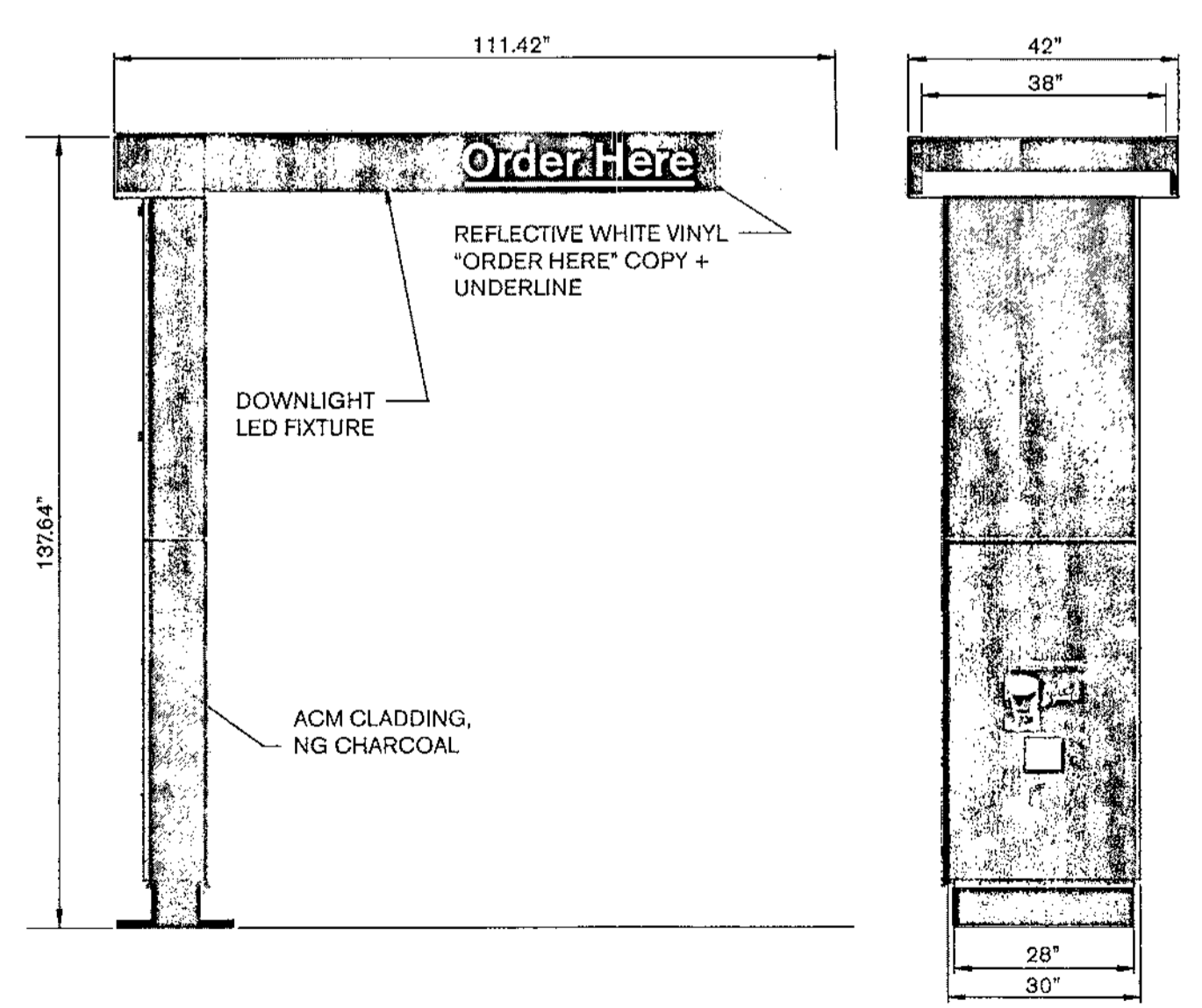
Illumination: N/A
Ship Weight: 790 lbs.
Other:

- Non-illuminated clearance sign with spring loaded break away clearance arm.
- Adjustable bang bar.

Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com

2 DRIVE-THRU CLEARBAR
A0.3 R.T.S.

Springboard Canopy /COD

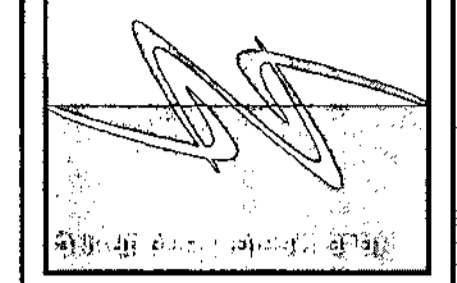


Illumination:
Electrical:
Ballast:
Ship Weight:
Other:

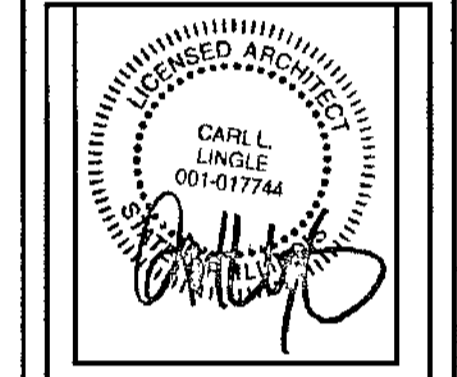
Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com

3 DRIVE-THRU SPRINGBOARD CANOPY
A0.3 R.T.S.

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ISSUED DATE: 11/28/17

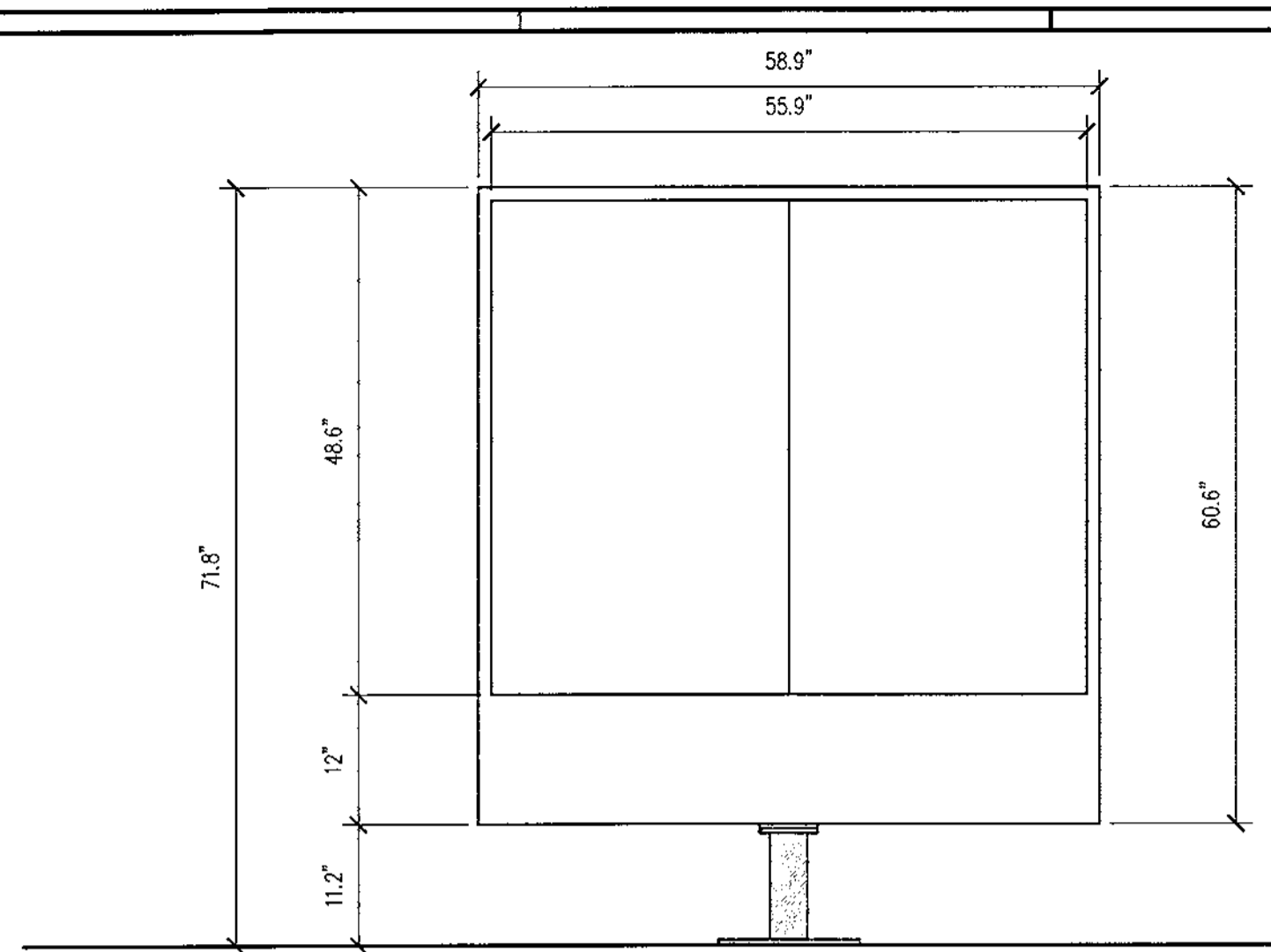
McDonald's USA, LLC
 230 W RTE 31
 CRYSTAL LAKE, IL 60014

REVISIONS #	DATE	DESCRIPTION
1	10/31/17	BRAND REVIEW
2	11/28/17	PERMIT REVIEW BID SET

STATE ID: 121204
 NATIONAL #: 11555
 PROJECT NUMBER: 17-635
 DRAWN BY: JMM
 CHECKED BY: CLL

SHEET TITLE:
ARCHITECTURAL SITE DETAILS

SHEET NUMBER:
A0.3



ELECTRICAL: FIRST CIRCUIT: 120/1/60, 15 AMP
SECOND CIRCUIT: 120/1/60, 10 AMP

SHIP WEIGHT: 1,200 LBS.

MEDIA PLAYER: STRATACACHE

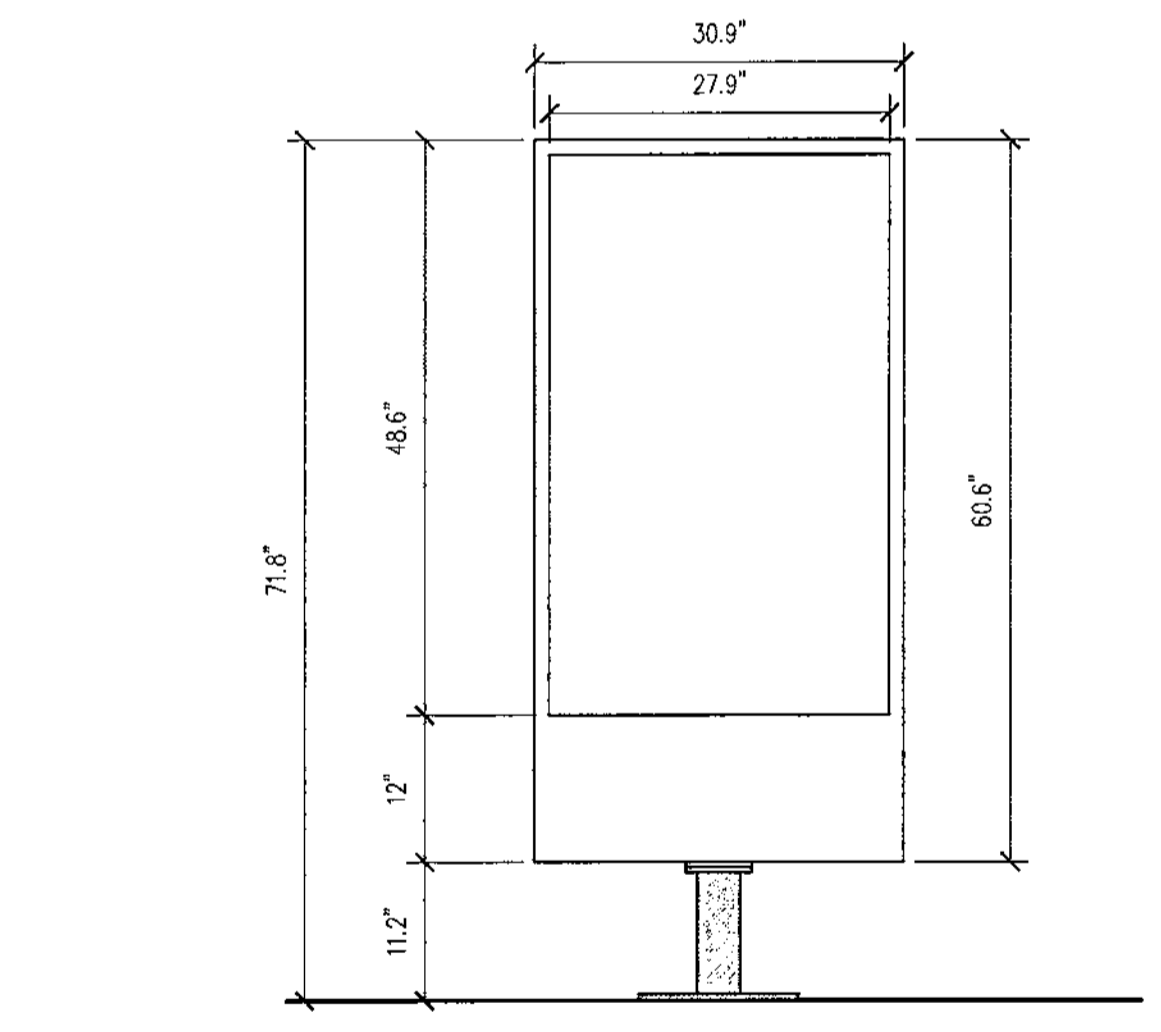
GENERAL NOTES:
-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2012
-ASCE 7-10
-AO 318-11
-ASC 350-10 & ASC 341-10
-AWS D1.1
-WIND SPEED 105 MPH (ULTIMATE WIND SPEED)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL- XXX #
-SHEAR- XXXX #
-MOMENT- XXXX #
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
-TOP 6\"/>

PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
-MINIMUM CONCRETE STRENGTH ($f'c=3,000$ PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
-AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3\"/>

-NUTS: ASTM A563A, HEAVY HEX
-WASHERS: ASTM F304 A35
-USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

CONCRETE:
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS

1 DIGITAL MENU BOARD
A0.4 SCALE: NONE



ELECTRICAL: FIRST CIRCUIT: 120/1/60, 15 AMP
SECOND CIRCUIT: 120/1/60, 10 AMP

SHIP WEIGHT: 350 LBS.

MEDIA PLAYER: STRATACACHE

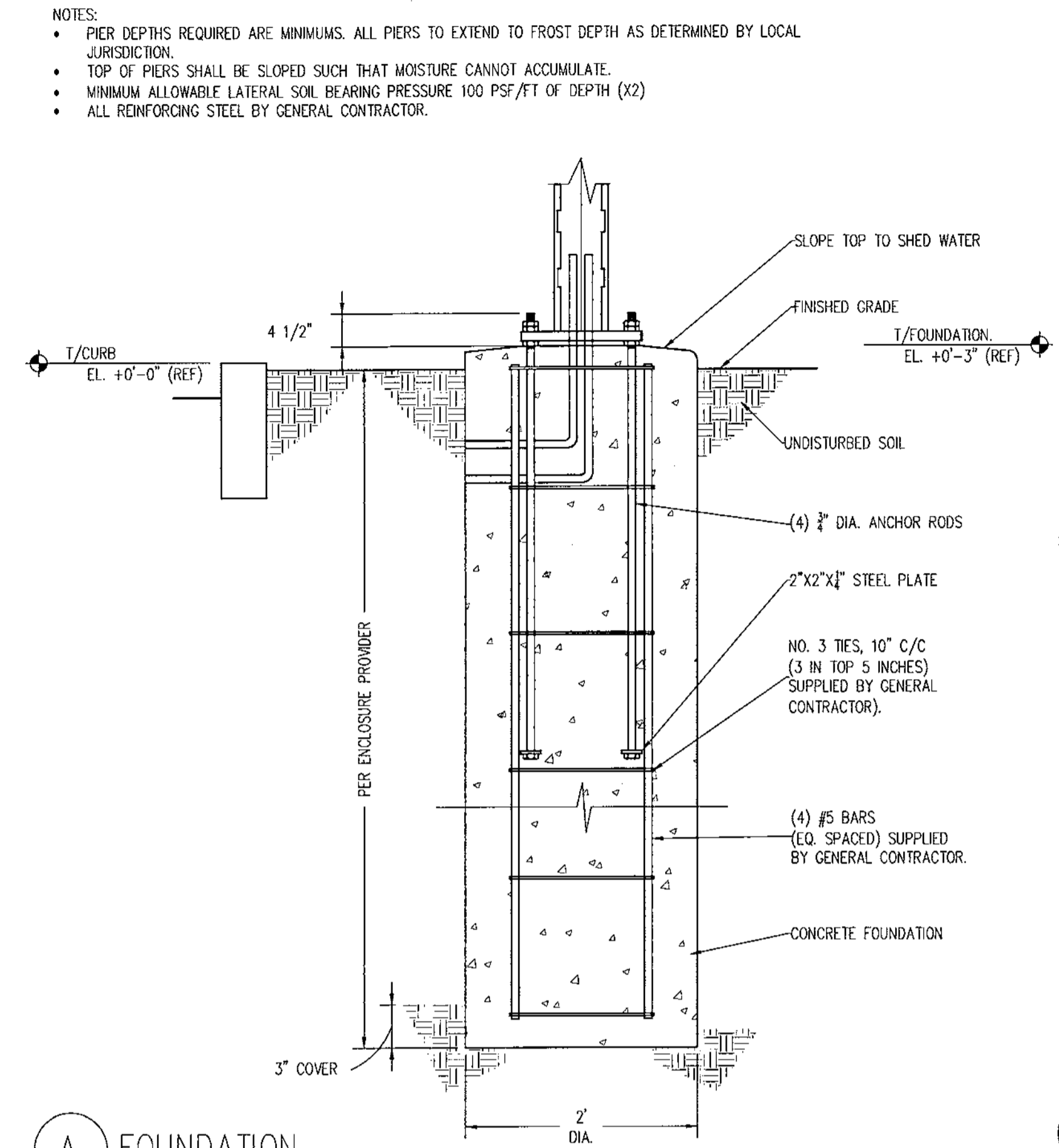
GENERAL NOTES:
-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2012
-ASCE 7-10
-AO 318-11
-ASC 350-10 & ASC 341-10
-AWS D1.1
-WIND SPEED 105 MPH (ULTIMATE WIND SPEED)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL- XXX #
-SHEAR- XXXX #
-MOMENT- XXXX #
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
-TOP 6\"/>

CONCRETE:
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
-MINIMUM CONCRETE STRENGTH ($f'c=3,000$ PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
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-FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3\"/>

AND THE NUT TACK WELDED PRIOR TO GALVANIZATION
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
-NUTS: ASTM A563A, HEAVY HEX
-WASHERS: ASTM F304 A35
-USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
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-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

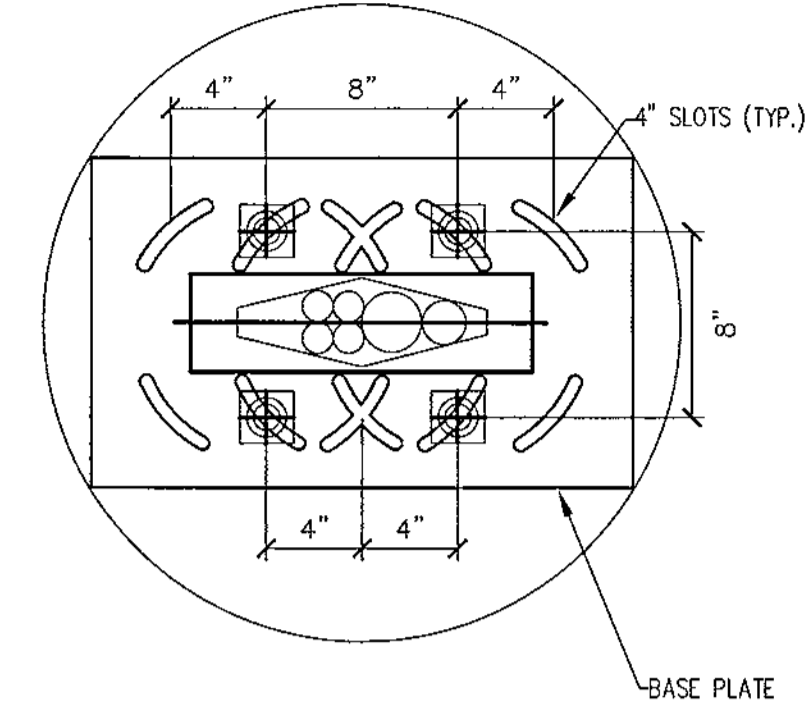
CONCRETE:
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS

2 DIGITAL PRE-BROWSE BOARD
A0.4 SCALE: NONE



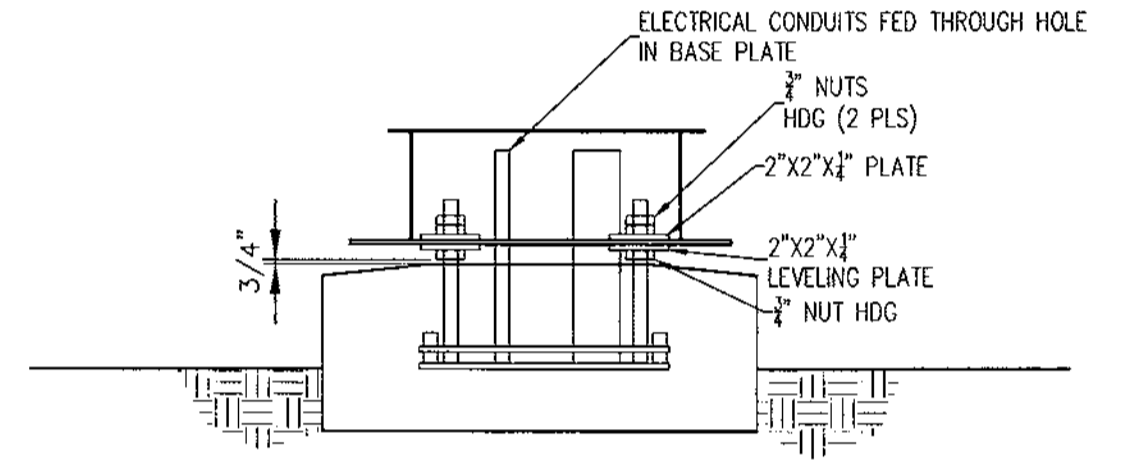
A FOUNDATION

NOTES:
• TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
• ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE ENCLOSURE MANUFACTURER

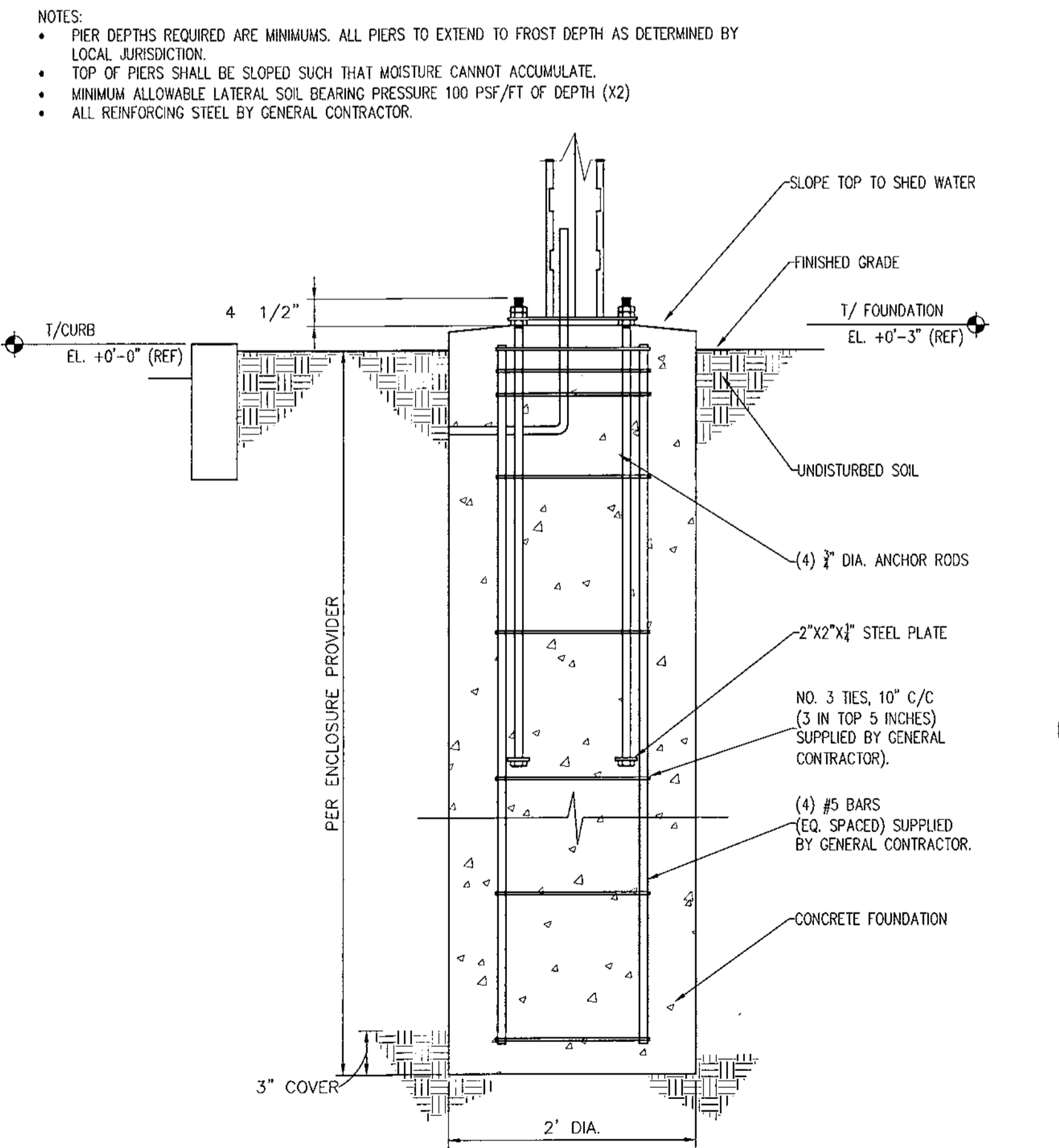


B ANCHOR BOLT PATTERN

NOTES:
• TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
• ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE ENCLOSURE MANUFACTURER
• DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

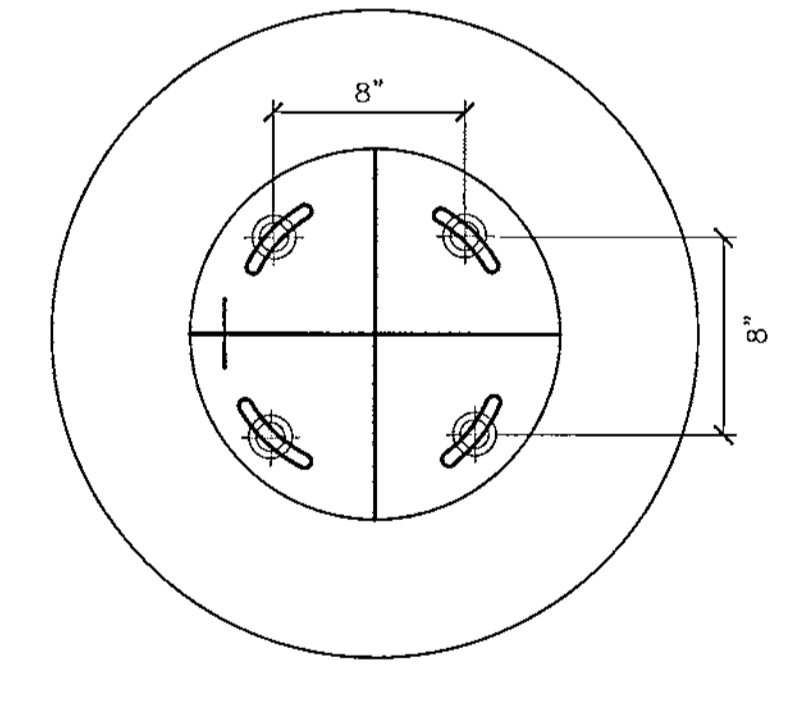


C CONNECTION DETAILS



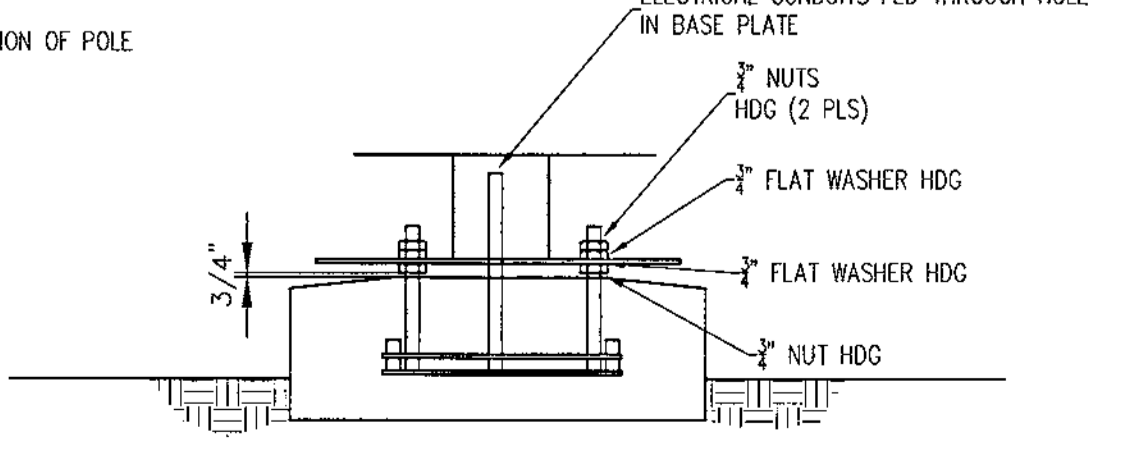
A FOUNDATION

NOTES:
• TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
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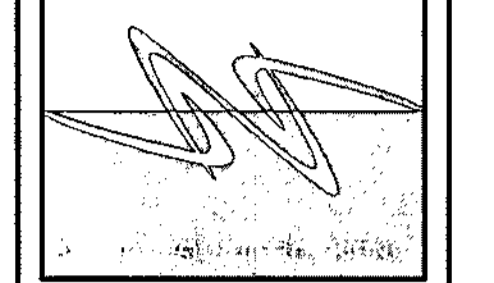
B ANCHOR BOLT PATTERN

NOTES:
• TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
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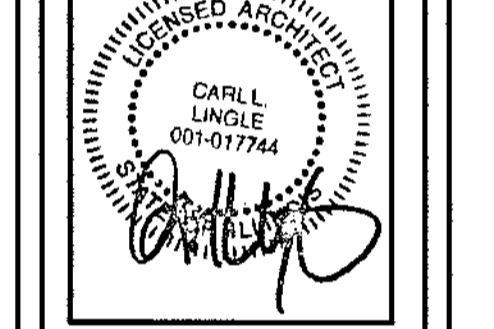


C CONNECTION DETAILS

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ISSUED DATE: 11/29/17

McDonald's USA, LLC
230 W. RTE 31
CRYSTAL LAKE, IL 60014

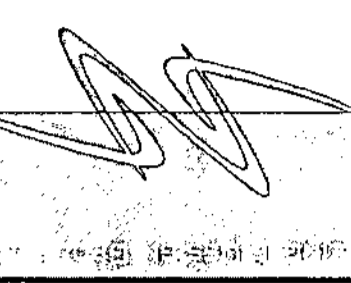
REV.	DATE	DESCRIPTION	BY	CHK
1	11/29/17	PERMIT REVIEW BID SET		

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NATIONAL #: 11550
PROJECT NUMBER: 17-635
DRAWN BY: JAM
CHECKED BY: CLL

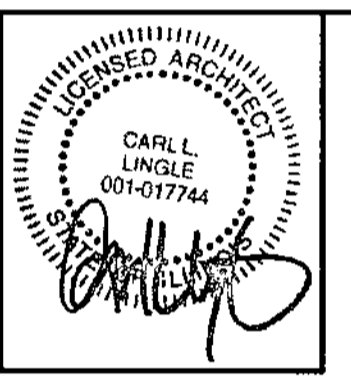
ARCHITECTURAL SITE DETAILS & NOTES

SHEET NUMBER:
A0.4

LINGLEDESIGNGROUP, INC
 158 WEST MAIN STREET
 LENA, IL 61048-1158
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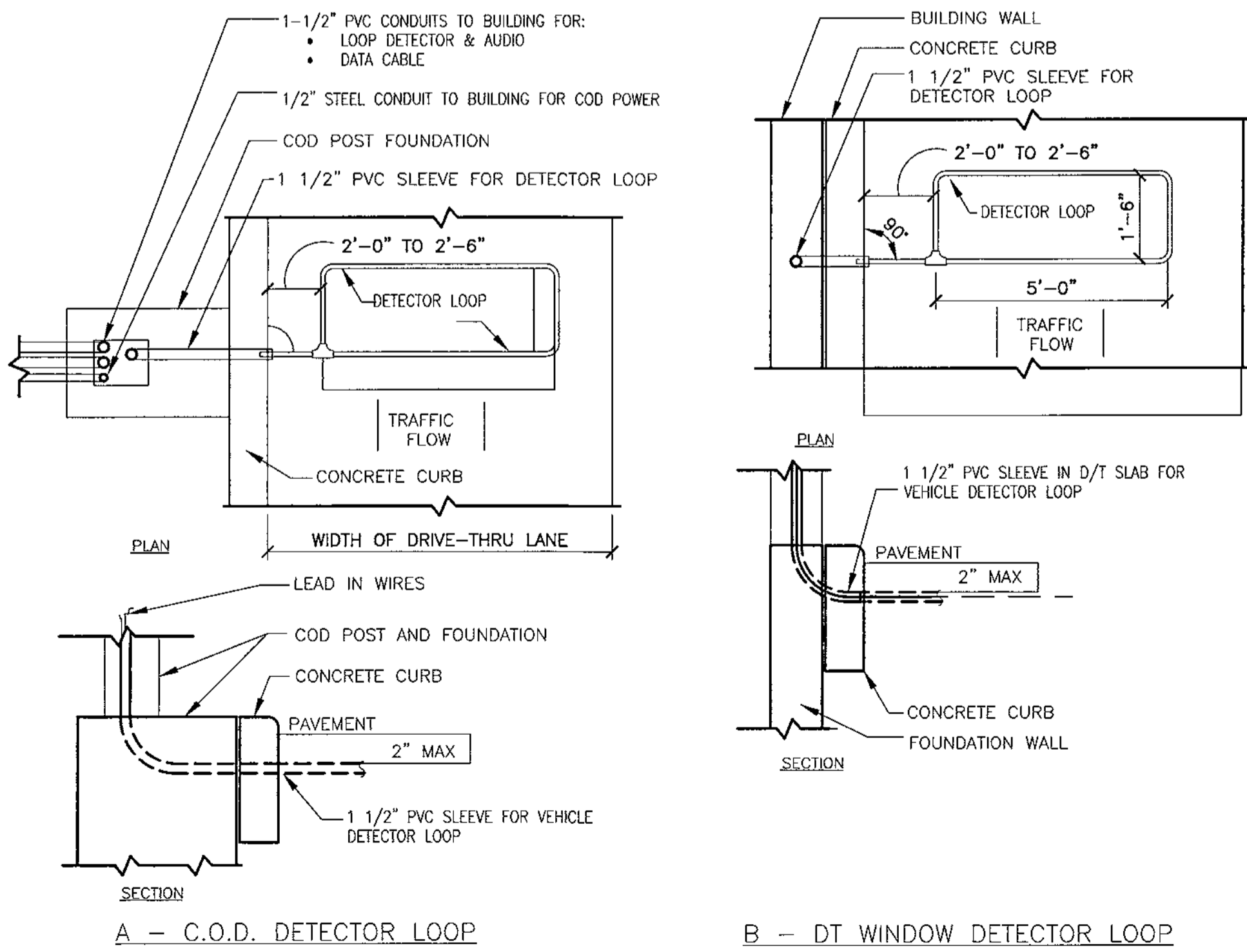
REVISION #	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED	PERMIT REVIEW BOB SET

STATE ID: 121204
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 CHECKED BY: CLL

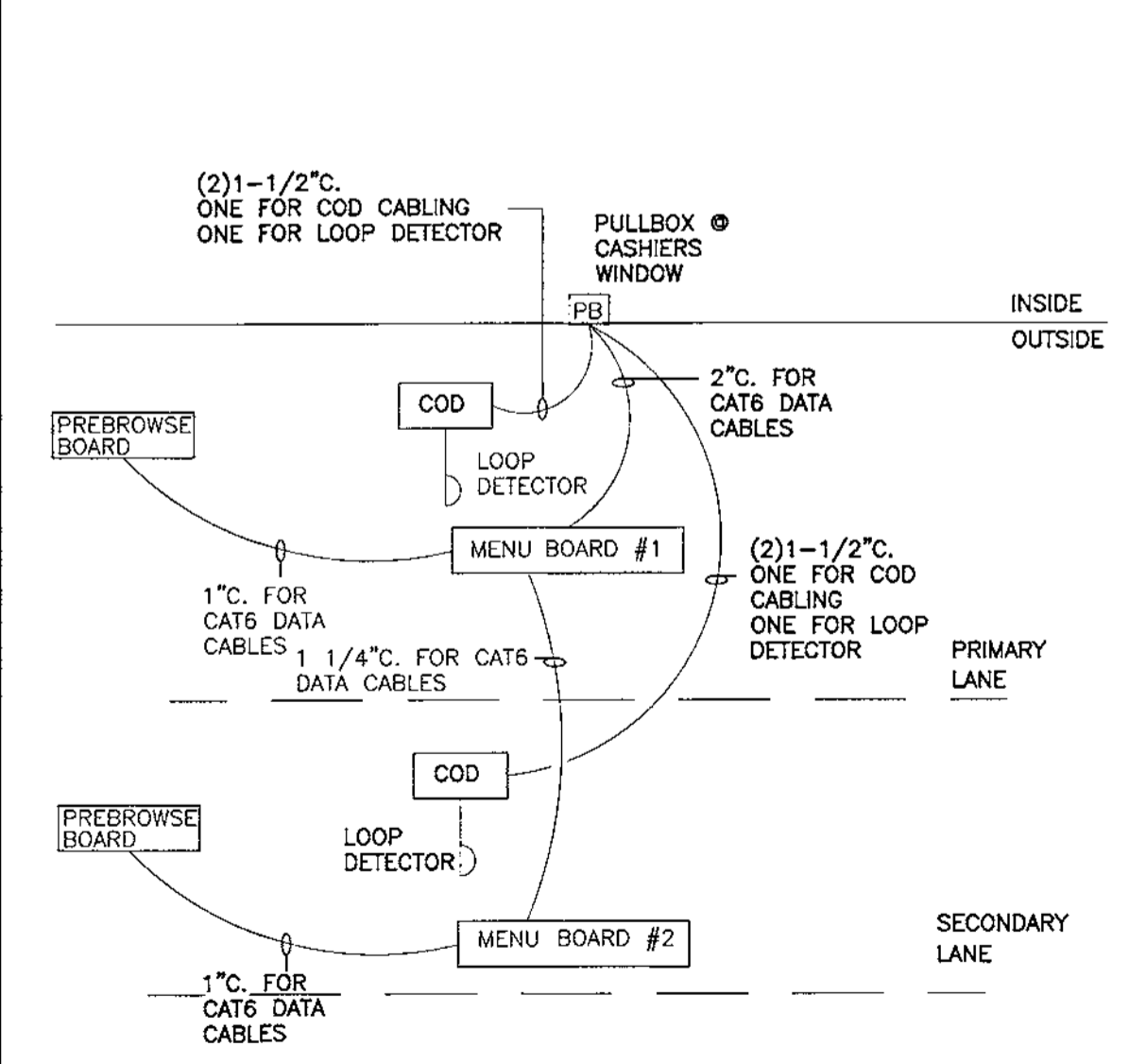
SHEET TITLE: D/T REFERENCE DETAILS

SHEET NUMBER: A0.5

- NOTES**
1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
 2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
 3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
 4. DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.
 3M: 1-800-328-0033
 HME: 1-800-848-4468
 5. DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
 6. DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.

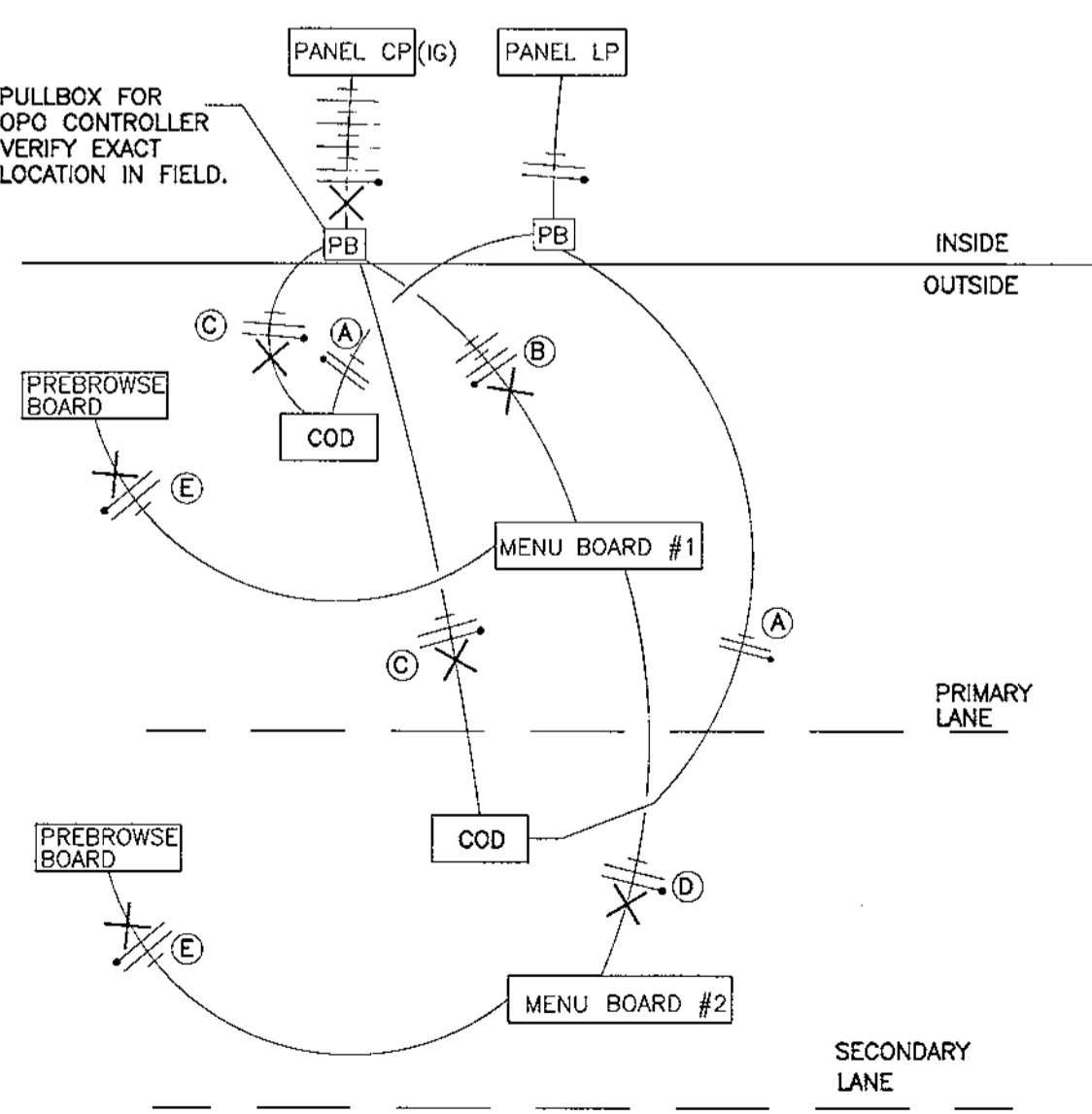


1 TYPICAL DETECTOR LOOP DETAILS
 A0.5 NTS



2 DT LOW VOLTAGE CONDUIT DIAGRAM
 A0.5 NTS

- NOTE:**
- VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
 - FOR EXISTING LOCATIONS:
 - VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
 - VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.
- 2#12 & 1#12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
 - #12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
 - 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
 - 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
 - 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO FOR PRESELL BOARDS AND MEDIA PLAYER.



3 DT POWER DIAGRAM
 A0.5 NTS