



#2018-08
**Woodlore Estates –Final PUD Amendment &
Preliminary Plat of Subdivision**
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	February 21, 2018
<u>Requests:</u>	Final PUD Amendment to allow changes to the master plan and Preliminary Plat of Subdivision for Woodlore Estates (formerly Preston Pines).
<u>Location:</u>	East of Route 31, north of Route 176 and south of Half Mile Road
<u>Acreage:</u>	Approximately 266.29 acres
<u>Zoning:</u>	RE PUD – Estate Residential Planned Unit Development R-1 PUD – Single-Family Residential Planned Unit Development R-3B PUD – Multi-Family Residential Planned Unit Development
<u>Surrounding Properties:</u>	North: (B, OSR) Prairie Grove South: (B-2 PUD) General Commercial Planned Unit Development East: (E-1, E-3) Prairie Grove West: (O PUD) Office PUD & (A-1, E-3) McHenry County
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3615)

Background:

- **Existing Use:** The subject property currently sits vacant with a portion of the public improvements installed for Preston Pines Units 1 and 2.
- **Previous Approvals:** The Preston Pines development received Final PUD approval for this site. The formerly approved site plan included 275 single-family homes and 184 townhomes. The petitioner had initiated the previously approved PUD with the installation of public utilities and roadways; therefore, the current proposal would require a PUD Amendment.

Development Analysis:

LAND USE/ZONING

- The site is currently zoned R-1 Single-Family Residential to the north, RE Residential Estate in the center and R-3B Multi-Family Residential along the south end of the property.

The property is a Planned Unit Development and was approved with a reduction in the zoning district standards to allow an enhanced site plan.

- Similar to the previously approved development, the petitioner is requesting variations in conjunction with the Planned Unit Development Amendment.
- The UDO sets the purpose of zoning districts, the following are the purposes for the RE and R-1 zoning districts:
 - General: These districts are the City's primary single-family detached residential districts. They permit a wide range of residential living styles and encourage a variety of housing types.
 - Character: These districts allow a low to moderate density of development. They are characterized by a balance between the landscape and built environment with on-site landscaping and tree-lined streets that shelter the buildings. Open space and low impervious surface ratios characterize the built environment.
 - Uses: These districts are planned for residential neighborhoods, with a range of housing types to meet all residential needs. Complementary uses such as certain civic and open uses are permitted, but are subject to restrictions set forth in this Ordinance to preserve the residential nature of these districts.
- The proposed development provides a variety of single-family housing types by including single-family detached homes and senior ranch homes.
- The proposed development provides a balance between the landscape and built environment by including landscape buffers, preserved woodland outlots and residential lots with tree-lined streets.

PRELIMINARY PLAT

LOTS

- The proposed plat includes 319 single-family lots, 105 age-targeted single-family lots and 68 townhome lots.
- There are 16 single-family RE lots in Preston Pines Unit 1, these lots will remain.
- The remaining 303 single-family lots meet the R-1 zoning district dimensional standards.
- There are 59 townhome units in Preston Pines Unit 2, these lots will remain.
- The remaining 9 townhome units are oriented towards Cimmeron Circle, a minor change from Preston Pines Unit 2.
- The 105 age-targeted lots are located in the RE and R-3B zoning districts.
- There are 24 outlots proposed. The clubhouse is located in outlot 906.

Comparison of Developments			
	Preston Pines (approved in 2006-2008)	Woodlore Estates	Difference
Development	459 dwelling units	492 dwelling units	+ 33 dwelling units
Single Family	275	319	+44 homes
Lot size	10,000-20,000	10,000-19,000 (R-1 sized lots) 16 lots at 20,000-32,891 (RE sized lots)	
Senior Single Family	None	105	+105 homes
Townhomes	184	68	-116 units
Open Space	~63ac	~104ac	+41ac

STREETS

- The right-of-ways are 60 feet and meet the local street UDO requirements, except Brighton Circle around The Fountains, where the right-of-way is reduced to 42 feet.
- A variation is requested for centerline radius on select streets. The proposed curve radius is 100 feet, the UDO requirement is 150 feet. 50-foot curve radii were previously granted for Preston Pines.
- No variations are being requested for street slopes. Street slope variations were previously granted for Preston Pines which could have made snow plowing and street maintenance difficult.
- No parking restrictions are proposed for the curves that do not meet the 150-foot curve radius.

SITE LAYOUT

- The proposed lots are reduced in square footage, but there is an increase square footage of open space being preserved.
- The open space within the development will aid in the transition of the grades of the lots. It will also allow for the rear of the majority of the lots to not directly abut another lot, creating additional privacy for homeowners.
- The revised site plan includes a 50-foot greenway buffer around the development. This buffer helps maintain the estate-like feel of the neighborhood and preserves the trees between this development and the homes in unincorporated McHenry County and Prairie Grove.
- Wider lots are also proposed along the edge of the development that abuts the neighboring estate homes.
- A 100-foot buffer around the wetland area to the north will aid in conserving the quality of the existing wetlands.

LANDSCAPE PLAN/TREE PRESERVATION PLAN

- The preliminary landscape plan illustrates the required street trees, landscaping buffers and preserved natural areas.
- A significant amount of mature specimen trees currently exist on this site. The proposed plans have been designed to conserve several groves of mature trees of the highest quality within the park and open areas.
- Wetlands will be preserved which were planned to be disturbed in the Preston Pines plan.
- The plan calls for the creation of management plans for each outlot based on the site conditions. The outlots may include prairie plantings, protected wetlands and/or preserved woodlands.
- In the preserved natural areas the petitioner is proposing removing invasive plants such as Buckthorn and Honeysuckle. In these areas plantings would include native species that create a top, middle and understory.
- Outlots that will be created after mass grading will be replanted with prairie grasses and a mixture of trees and shrubs.
- The stormwater detention areas will have naturalized basin plantings.

ELEVATIONS

SINGLE-FAMILY

- There are 9 home plans. One with a side-loading garage and two ranch plans.
- The single-family homes meet the UDO design standards.
- The petitioner worked with staff to add band boarding on side and rear elevations, 5” window trim where shutters are not used, dormers, changes in siding styles, more predominate columns on the entry features/front porches and craftsman style trim on “G” models.

AGE-TARGETED SINGLE-FAMILY

- There are 8 home plans. After receiving feedback at the conceptual review, the petitioner added two home plans that would have a second floor. The addition of the two-story models will add diversity to the age-targeted neighborhood.
- Gables and front porches were added to the housing plans after receiving feedback at the conceptual review.
- All home models are accented with brick on the front façade.
- Hip roof lines were added to a number of models.

CLUBHOUSE

- The clubhouse is a prairie/craftsman’s style building.
- The clubhouse features brick, a variety of window sizes and a covered entry.

TOWNHOME

- The townhome models feature a rear-loading feature. The front of the townhomes will face the public street and access to the garages are through shared driveways.
- All townhome models have covered porches and windows with shutters.
- There are five models that have a brick front façade.
- The brick models flank the ends of the townhome pods and the brick wraps two-feet around the edge of the buildings.

TRAFFIC STUDY

- There are three access points to the proposed development: River Birch/Route 31, Brighton/Route 31 and Carpathian/Route 176.
- The existing roadway connection at Purdue Plaza will remain. A barricade is currently in use on the Nunda Township portion of the road.
- Carpathian should meet River Birch to eliminate traffic passing through the age-targeted residential area.
- The Carpathian/Route 176 connection will be completed during the first phase of construction.
- The developer should contribute their fair share of funding for the installation of a future signal at River Birch and Route 31.

GROWTH MANAGEMENT

- The petitioner has requested a variation from the growth management schedule. The UDO allows for 15% of the residential units to be constructed per calendar year. The petitioner is requesting to allow for 20% of the residential units to be constructed per calendar year.
- The following criteria should be considered for approving an increase in the number of units that can be built annually:
 - (i) Advance dedication of school and park sites and advance payment of school, park and other impact fees;
 - (ii) Payment for installation of road impact improvements or fees applicable by law;
 - (iii) Smaller subdivisions which encourage in-filling within an established part of the community;
 - (iv) Completion of major and collector road networks and critical linkages in the street systems;
The petitioner will construct major roadways in the first phase.
 - (v) Fulfill a need for various unit types and income levels such as low and moderate-income housing;

The age-targeted single-family homes provide a new housing type.

- (vi) Provisions which satisfy needed public facilities;
- (vii) Innovative architectural design, quality of exterior materials and creative use of landscaping;
- (viii) Other criteria or extraordinary amenities, not listed above, which may meet the development goals of the City.

Findings of Fact:

FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow changes to the approved master plan, including the elevations, site plan and landscape plan and a re-subdivision of Preston Pines Unit 3-6. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

Planned Unit Development Variation

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variations from the UDO:

1. Article 3-200 RE zoning district dimensional standards. Single-family lots meet the R-1 zoning district dimensional standards. Lots 17-43, 53-64, 67-108 require a variation from the RE zoning district dimensional standards.
2. Article 3-200 RE and R-3B zoning district dimensional standards. Age-targeted single-family lots require variations from the dimensional standards. The age-targeted single-family lots have the following proposed standards:
 - a. Minimum lot area: 6,050 square feet

- b. Minimum lot width: 55 feet
 - c. Minimum front yard setback: 20 feet
 - d. Minimum interior side yard setback: 5 feet
 - e. Minimum combined side yard setback: 10 feet
 - f. Minimum rear yard setback: 25 feet
 - g. Minimum yard abutting a street setback: 20 feet
3. Article 4-100 Street Standards. The centerline radius of the following streets do not meet the City's required minimum of 150 feet:
- a. Honey Locust Drive on sheet 2, 100 feet
 - b. Carpathian Drive on sheet 2, 100 feet
 - c. Black Cherry Drive on sheet 2, 100 feet
 - d. Purdue Plaza on sheet 4, 100 feet
 - e. Ardmoor Drive on sheet 4, 100 feet
 - f. Glengary Circle on sheet 4, 100 feet
 - g. Glengary Circle on sheet 5, 100 feet
 - h. Williamsbury Drive on sheet 7, 90 feet *This radius must be 100 feet.*
 - i. Buckeye Circle on sheet 12, two locations, 100 feet
4. Article 4-100 Street Standards. Cul-de-sacs length to allow a maximum length of 550 feet, a 50-foot variation.
5. Article 4-500 Growth Management. To allow a maximum of 20% of the total number of residential units to be constructed per calendar year, a variation of 5%.
6. Article 4-1000 Signs. One freestanding sign is allowed per multi-family residential complex entrance. Two additional freestanding signs are illustrated in the single-family residential portion, requiring a variation of two signs.

The re-subdivision of the former Preston Pines has been designed to more effectively accommodate the drastic grade changes on the site. The reduction in lot size allows for additional landscape buffers and open space within the development. The addition of age-targeted single-family lots allows for a new housing type for the City of Crystal Lake.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

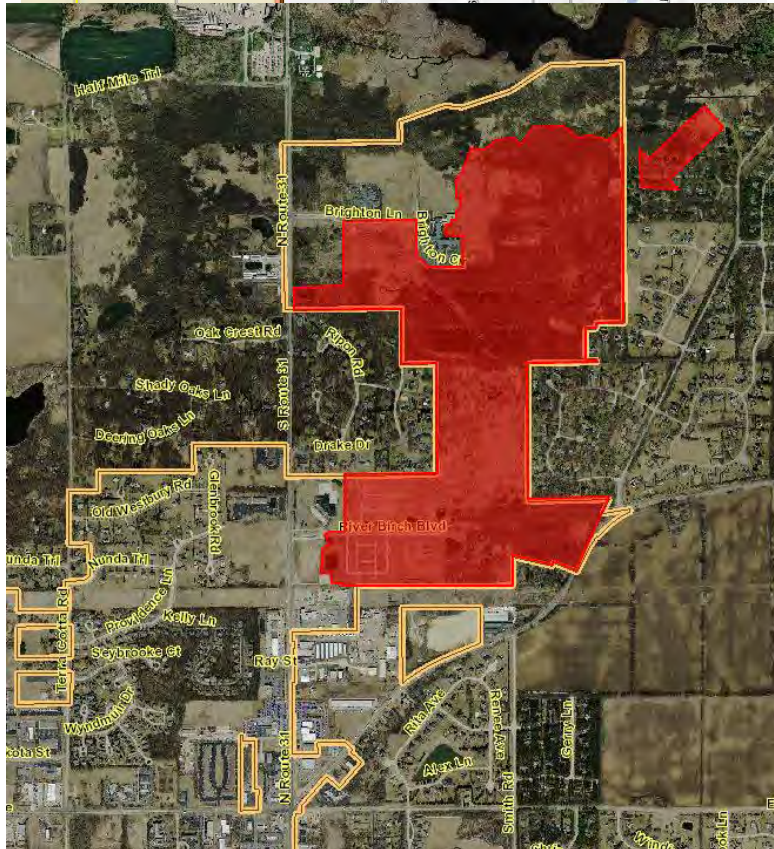
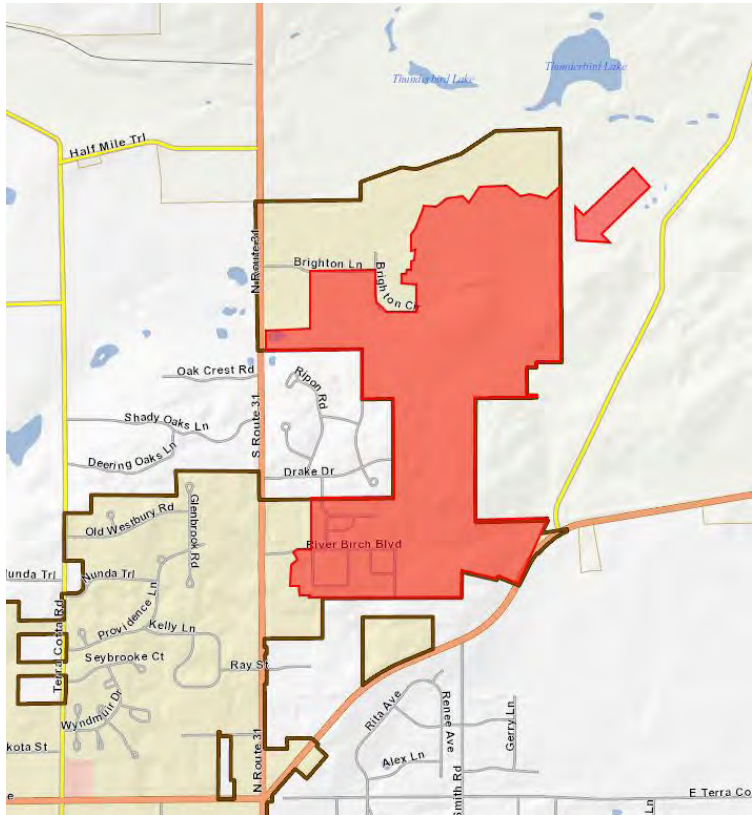
Recommended Conditions:

If a motion is made to recommend approval of the petitioner's request, the following conditions are recommended:

1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (CalAtlantic, dated 02/06/18, received 02/06/18)
 - B. Elevations (CalAtlantic, dated 01/26/18, received 01/30/18)
 - C. Color Palette (CalAtlantic, dated 08/18/17, received 02/08/18)
 - D. Clubhouse Front Elevation (CalAtlantic, received 02/14/18)
 - E. Site Plan (Gary R Weber Associates, dated 01/26/18, received 01/30/18)
 - F. Preliminary Plat of Subdivision (Mackie Consultants, dated 01/26/18, received 01/30/18)
 - G. Preliminary Engineering (Mackie Consultants, dated 01/26/18, received 01/30/18)
 - H. Wetland Delineation Report (Midwest Ecological, dated 01/23/17, received 01/30/18)
 - I. Preliminary Stormwater Management Report (Mackie Consultants, dated 01/26/18, received 01/30/18)
 - J. Preliminary Landscape/Tree Preservation Plan (Gary R Weber Associates, dated 01/26/18, received 01/30/18)
 - K. Fire Truck Turning Radius Exhibit (Mackie Consultants, dated 01/25/18, received 01/30/18)
 - L. Phasing Exhibit (Mackie Consultants, dated 01/26/18, received 01/30/18)
 - M. Traffic Study (CivilTech, dated 01/26/18, received 01/26/18)
2. All conditions of approval from Preston Pines Unit 1 & 2 (ordinance number 6150) are still valid, except those revised by this approval.
3. Elevations:
 - A. Single-Family home models must include the following enhancements:
 - (i) Prodid midpoint gable brackets or upsize the brackets on at least 4 home plans;
 - (ii) On at least 4 home plans replace the gable vents with decorative windows on D & E elevations;
 - (iii) Where possible, add band boarding to the front elevation on D & E models;
 - (iv) Add one additional mandatory window to the left side elevation of each home plan.
 - B. The end units of Townhome pods 6, 8 and 13 that face River Birch Boulevard must have brick on the side façade.
 - C. All housing types are to be constructed with premium vinyl siding and installed properly in order to allow for movement during temperature changes.
4. Rich color choices, such as "Russet Red", "English Wedgewood" blue, "Portsmouth Blue" and "Lakeshore Fern" green are to be added to the single-family color palette.
5. The single-family portion of the development must meet the following Anti-Monotony provisions:
 - A. No two homes which are within 2 lots side by side or face front to front shall have the same identical elevation. This does not apply to a back to back situation.

- B. No two homes having lots which border in any way (without regard to streets and parks) shall have the same identical color scheme. This includes identical trim, siding and masonry color selection.
 - C. No two homes with identical elevations shall be allowed to have the same identical exterior color scheme, if located within 250 feet of each other.
 - D. None of the lots on a cul-de-sac shall have the same model and elevation on it.
6. The age-targeted single-family portion of the development must meet the following Anti-Monotony provisions:
- A. No two homes which are within 2 lots side by side or face front to front shall have the same identical elevation. This does not apply to a back to back situation.
 - B. No two homes having lots which border in any way (without regard to streets and parks) shall have the same identical color scheme. This includes identical trim, siding and masonry color selection.
 - C. No two homes with identical elevations shall be allowed to have the same identical exterior color scheme, if located within 200 feet of each other.
 - D. None of the lots on a cul-de-sac shall have the same model and elevation on it.
7. Landscape Plan.
- A. Work with city staff to finalize the landscape/tree preservation plan.
 - B. The outlots should have a conservation easement dedicated and a correlating maintenance plan.
 - C. Provide a detail for the landscaping around the clubhouse.
8. Public Improvements.
- A. Carpathian Drive must be constructed during Phase I.
 - B. Work with city staff on a direct connection of Carpathian Drive and River Birch Boulevard.
 - C. Work with city staff to finalize road names.
 - D. Work with city staff to ensure Brighton Lane meets city standards for public dedication.
 - E. Lift Station #22 and the forcemain along Route 31 require improvements in relation to the development, work with city staff to complete the required improvements.
9. The petitioner hereby agrees to pay their proportionate fair share of the roadway improvements for the potential future traffic signal at the River Birch Boulevard and Route 31 intersection.
10. Submit a Final Plat of Subdivision to meet all of the recommended conditions.
11. Three freestanding signs are illustrated on the site plan. The signs can be up to 4 feet in height and 16 square feet in area. The signs must be monument signs with a minimum base width of 80% of the sign width.
12. The petitioner shall address all of the review comments and requirements of the Fire Rescue, Police, Public Works, and Community Development Departments in addition to those of the City's stormwater and traffic consultants.

2018-08 Woodlore Estates PIQ



CITY OF CRYSTAL LAKE DEVELOPMENT APPLICATION

Office Use Only
File # _____

PROJECT TITLE: Woodlore Estates Project

Action Requested:

Annexation	X	Preliminary PUD
Comprehensive Plan Amendment	X	Preliminary Plat of Subdivision
Conceptual PUD Review		Rezoning
Final PUD		Special Use Permit
X Final PUD Amendment		Variation
Final Plat of Subdivision		Other:

PETITIONER:

Name: CalAtlantic Group, Inc.
Successor by merger to The Ryland Group, Inc.

OWNER (IF DIFFERENT):

Name:

Attn: Scott Guerard

Address: 1141 East Main Street, Suite 108
East Dundee, IL 60118

Address:

Phone: 224-293-3132

Phone:

Fax: 224-293-3101

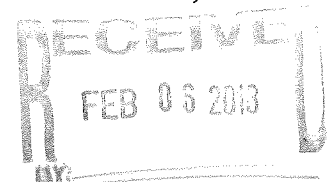
Email: Scott.Guerard@calatl.com

Property Information:

Project Description: The Applicant is proposing the construction of 317 single-family units, 68 multi-family townhome units, and 104 additional single-family units with deed restrictions for senior housing on a parcel of approximately 310 acres and comprised of approximately 56 PINs.

Project Address/Location: The project area is located east of IL Route 31, north of Route 176, and west of Barreville Road.

PIN Number(s): please see attached **Exhibit A**, Legal Description and PINs



Development

phone, fax, and e-mail

Please include address.

Developer: CalAtlantic Group, Inc., 1141 East Main Street, Suite 108, East Dundee, IL 60118

Architect: Calatlatic Group, Inc.

Attorney: Lisa M. Waggoner, 4 N. Walkup Ave., Crystal Lake, Illinois 60014; 815 477 0830;
(FAX) 815 477 0834; lwaggoner@waggonerlawfirm.com

Engineer: Mackie Consultants LLC, Rosemont, IL, amartini@mackieconsult.com, 847-696
1400 and Gewalt Hamilton Associates, Inc., 625 Forest Edge Drive, Vernon Hills, IL 60061; ph:
847-478-9700; kbelgrave@gha-engineers.com

Landscape Architect: Gary R. Weber Associates, Inc., 212 S. Main Street, Wheaton, IL 60187

Planner: Rich Olson; Gary R. Weber Associates, Inc., 212 S. Main Street, Wheaton, IL 60187

Surveyor: Mackie Consultants LLC, Rosemont, IL, Russell Ory, rory@mackieconsult.com

Signature

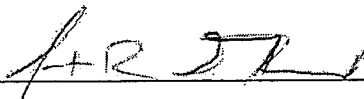
PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

CalAtlantic Group, Inc.
Successor by merger to The Ryland Group, Inc.
By:

Scott R. Guercard
OWNER: Print and Sign name



2/6/18
Date

NOTE: If the subject property is held in trust, the trust officer must sign this petition as owner.
In addition, the trust officer must provide a letter which names all beneficiaries of the trust.

Exhibit A to Planning Application

Legal Description

LOT 8, 9, 12, 13 AND 16 (EXCEPTING FROM LOT 13 AND 16 A TRACT OF LAND CONVEYED TO THE LAND CONSERVANCY OF MCHENRY COUNTY AS DESCRIBED BY DOCUMENT 2007R0083141) IN CANTERBURY PLACE BEING A SUBDIVISION OF PARTS OF SECTIONS 22, 23, 26 AND 27, ALL IN TOWNSHIP 44 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS, PER DOCUMENT 87R 004175,

AND ALSO,

LOT 1 THROUGH 6, INCLUSIVE, IN CANTERBURY PLACE FIRST RESUBDIVISION BEING A RESUBDIVISION OF PART OF LOT 16 IN CANTERBURY PLACE SUBDIVISION, A SUBDIVISION OF PART OF SECTIONS 22, 23, 26 AND 27, ALL IN TOWNSHIP 44 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS, PER DOCUMENT 88R 34789,

AND ALSO,

LOT 1 THROUGH 17, INCLUSIVE, OUTLOT 1, 3 AND 4 IN PRESTON PINES-UNIT 1 BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 44 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS, PER DOCUMENT 2007R0035876,

AND ALSO,

LOT 1 THROUGH 17, INCLUSIVE, OUTLOT 18, 19, 20 AND 43 IN PRESTON PINES-UNIT 2 BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 44 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS, PER DOCUMENT 2007R0046152.

14-26-101-009	14-27-453-003	14-27-457-007
14-26-101-010	14-27-453-004	14-27-457-008
14-27-202-002	14-27-454-001	14-27-476-007
14-27-203-002	14-27-455-001	14-27-476-008
14-27-203-003	14-27-455-002	14-27-476-009
14-27-226-008	14-27-455-003	14-27-476-010
14-27-226-011	14-27-455-004	14-27-476-011
14-27-226-013	14-27-456-002	14-27-477-001
14-27-276-010	14-27-456-003	14-27-477-002
14-27-276-011	14-27-456-004	14-27-478-001
14-27-276-012	14-27-456-005	14-27-478-002
14-27-276-013	14-27-456-006	14-27-478-003
14-27-276-014	14-27-456-007	14-27-478-004
14-27-276-015	14-27-456-008	14-27-479-001
14-27-452-001	14-27-457-001	14-27-479-002
14-27-452-002	14-27-457-002	14-27-479-003
14-27-452-003	14-27-457-003	14-27-479-004
14-27-452-004	14-27-457-004	14-27-479-005
14-27-453-001	14-27-457-005	14-27-479-006
14-27-453-002	14-27-457-006	

Addendum No. 1 to
City of Crystal Lake Development Application for Woodlore Estates

The Petitioner, Calatlantic Group, Inc. respectfully requests a variance of the provisions of the Crystal Lake Unified Development Ordinance, Section 4-500 D.1.e. Growth Management as applied to the proposed Woodlore Estates Planned Unit Development.

Specifically, the Petitioner would request a variance from the maximum number of units to be constructed in each calendar year from the ordinance maximum of 15% of the total number of residential units, to allow a maximum of 20% of the total number of residential units to be constructed in each calendar year.

In support of said request, the Petitioner submits that the proposed development satisfies several of the criteria for approving an increase in the number of units that can be built annually, as set forth in Section 4-500 D. 1. e. of the UDO, as will be more fully evidenced upon the review of the Petitioner's application documents.

THE WAGGONER LAW FIRM, P.C.

FOUR NORTH WALKUP AVENUE, CRYSTAL LAKE, ILLINOIS 60014
(815) 477-0830 FAX (815) 477-0834

DAVID L. WAGGONER
GREGORY L. WAGGONER
LISA M. WAGGONER

February 6, 2018

Via hand delivery

Ms. Kathryn Cowlin
City of Crystal Lake
100 W. Woodstock Street
Crystal Lake, IL 60014

Re: Application for Final PUD Amendment for CalAtlantic Group, Inc.
Project known as Woodlore Estates

Dear Katie:

With regard to the above application, I enclose the amended Application for a Final PUD Amendment/Preliminary PUD along with copies of the tax bills for each of the subject parcels as proof of ownership. Also enclosed is the original Affidavit of posting/mailing.

After your review of the enclosed materials, please let us know if you would like for us to submit multiple copies and we will do so.

Please contact me with your questions or comments. Thank you.

Very truly yours,



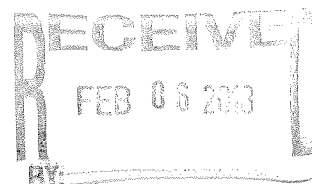
Lisa M. Waggoner

LMW/csa

Enclosures: As stated.

cc: Scott Guerard (via email)

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PUBLIC NOTICE
BEFORE THE PLANNING AND ZONING COMMISSION OF
THE CITY OF CRYSTAL LAKE
IN THE MATTER OF THE APPLICATION OF
CalAtlantic Group, Inc., as Owner

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of the CalAtlantic Group, Inc., as Owner, for approval of an Amendment to a Final Planned Unit Development Plan relating to the property consisting of approximately 310 vacant acres, located east of IL Route 31, north of the intersection of IL Routes 31 and 176, south and east of Brighton Lane and west of Barreville Road, all in Crystal Lake, Illinois, and having the following permanent index numbers:

- | | | |
|----------------|----------------|----------------|
| 14-26-101-009; | 14-26-101-010; | 14-27-202-002; |
| 14-27-203-002; | 14-27-203-003; | 14-27-226-008; |
| 14-27-226-011; | 14-27-226-013; | 14-27-276-010; |
| 14-27-276-011; | 14-27-276-012; | 14-27-276-013; |
| 14-27-276-014; | 14-27-276-015; | 14-27-452-001; |
| 14-27-452-002; | 14-27-452-003; | 14-27-452-004; |
| 14-27-453-001; | 14-27-453-002; | 14-27-453-003; |
| 14-27-453-004; | 14-27-454-001; | 14-27-455-001; |
| 14-27-455-002; | 14-27-455-003; | 14-27-455-004; |
| 14-27-456-002; | 14-27-456-003; | 14-27-456-004; |
| 14-27-456-005; | 14-27-456-006; | 14-27-456-007; |
| 14-27-456-008; | 14-27-457-001; | 14-27-457-002; |
| 14-27-457-003; | 14-27-457-004; | 14-27-457-005; |
| 14-27-457-006; | 14-27-457-007; | 14-27-457-008; |
| 14-27-476-007; | 14-27-476-008; | 14-27-476-009; |
| 14-27-476-010; | 14-27-476-011; | 14-27-477-001; |
| 14-27-477-002; | 14-27-478-001; | 14-27-478-002; |
| 14-27-478-003; | 14-27-478-004; | 14-27-479-001; |
| 14-27-479-002; | 14-27-479-003; | 14-27-479-004; |
| 14-27-479-005; | 14-27-479-006 | |

This application is filed for the purposes of seeking an Amendment to a Final Planned Unit Development Plan to allow the construction of single and multi-family homes as described in our application documents, with variations from Section 3-300 for the RE and R-3B dimensional standards and Section 4-100 Street Standards, as well as any other variations necessary to complete the project as presented, pursuant to Sections 4-500 and 9-200 of the Crystal Lake Unified Development Ordinance. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission regarding this request will be held at 7:30 p.m. on February 21, 2018, at the City of Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.
 Thomas Hayden, Chair
 Planning and Zoning Commission
 City of Crystal Lake

(Published in the Northwest Herald February 5, 2018) 1504124





TOWNHOME A

CHATHAM

FOXHALL

GEORGETOWN

FOXHALL

CHATHAM



TOWNHOME B

CHELSEA

AMHERST

DUNMORE

AMHERST

EASTON

WOODLORE

January 26, 2018

Received 1-30-18
2018-08



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

WOODLORE



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**ADAMS
WOODLORE ESTATES**

**2-15-2018
CA1624**



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**CHAGALL
WOODLORE ESTATES**



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**DAVINCI
WOODLORE ESTATES**



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

MATISSE
WOODLORE ESTATES

2-15-2018
CA1624



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**MONET
WOODLORE ESTATES**



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**PICASSO
WOODLORE ESTATES**



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**REMBRANDT
WOODLORE ESTATES**



ELEVATION F



SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

RIVERA
WOODLORE ESTATES



ELEVATION F

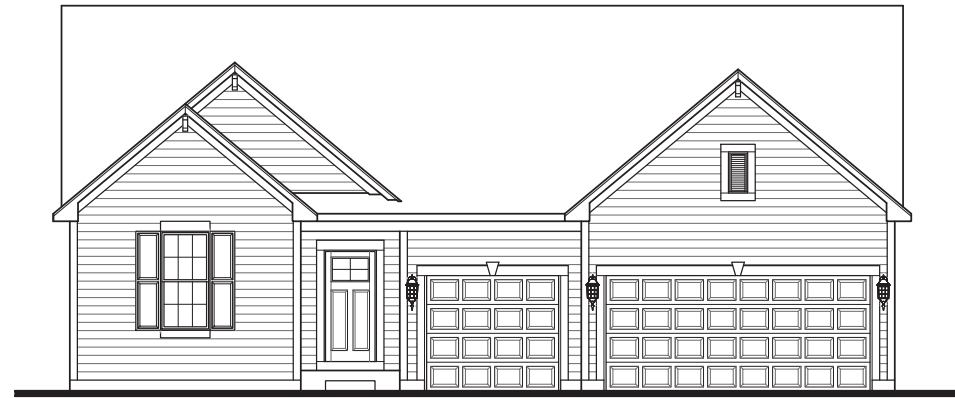


SIDE ELEVATION F

REAR ELEVATION F

SIDE ELEVATION F

**RENOIR
WOODLORE ESTATES**



Front Elevation D

Scale : 3/16"=1'-0"



Front Elevation E

Scale : 3/16"=1'-0"



Front Elevation F

Scale : 3/16"=1'-0"



Front Elevation G

Scale : 3/16"=1'-0"



Front Elevation H

Scale : 3/16"=1'-0"

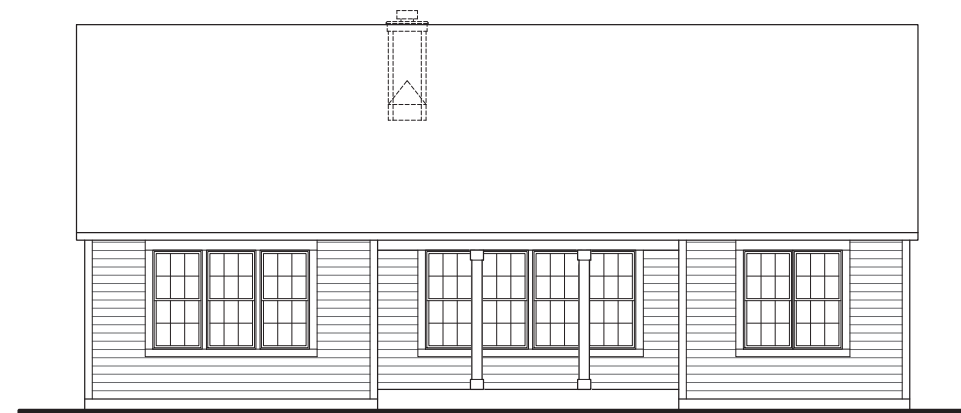
Plan 1 - 2145
Preliminary Character Elevations



Left Elevation D
Scale : 3/16"=1'-0"



Right Elevation D
Scale : 3/16"=1'-0"



Rear Elevation D
Scale : 3/16"=1'-0"

Plan 1 - 2145
Preliminary Character Elevations



Front Elevation D

Scale : 3/16"=1'-0"



Front Elevation E

Scale : 3/16"=1'-0"



Front Elevation F

Scale : 3/16"=1'-0"



Front Elevation G

Scale : 3/16"=1'-0"



Front Elevation H

Scale : 3/16"=1'-0"

Plan 2 - 2448
Preliminary Character Elevations



Left Elevation D
Scale : 3/16"=1'-0"



Right Elevation D
Scale : 3/16"=1'-0"



Rear Elevation D
Scale : 3/16"=1'-0"

Plan 2 - 2448
Preliminary Character Elevations



Front Elevation D

Scale : 3/16"=1'-0"



Front Elevation E

Scale : 3/16"=1'-0"



Front Elevation F

Scale : 3/16"=1'-0"



Front Elevation G

Scale : 3/16"=1'-0"



Front Elevation H

Scale : 3/16"=1'-0"

Plan 3 - 2530
Preliminary Character Elevations



Left Elevation D
Scale : 3/16"=1'-0"



Right Elevation D
Scale : 3/16"=1'-0"



Rear Elevation D
Scale : 3/16"=1'-0"

Plan 3 - 2530
Preliminary Character Elevations



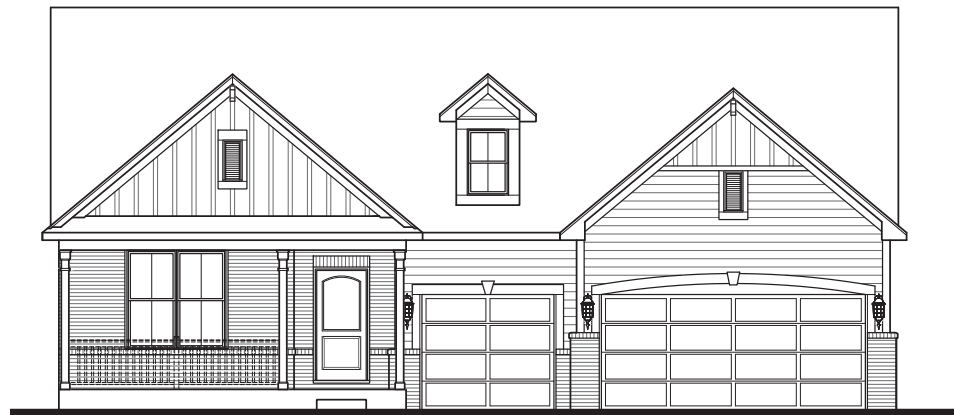
Front Elevation D

Scale : 3/16"=1'-0"



Front Elevation E

Scale : 3/16"=1'-0"



Front Elevation F

Scale : 3/16"=1'-0"



Front Elevation G

Scale : 3/16"=1'-0"



Front Elevation H

Scale : 3/16"=1'-0"

Plan 4 - 2365
Preliminary Character Elevations



Left Elevation D
Scale : 3/16"=1'-0"

Right Elevation D
Scale : 3/16"=1'-0"



Rear Elevation D
Scale : 3/16"=1'-0"

Plan 4 - 2365
Preliminary Character Elevations



Front Elevation D

Scale : 3/16"=1'-0"



Front Elevation E

Scale : 3/16"=1'-0"



Front Elevation F

Scale : 3/16"=1'-0"



Front Elevation G

Scale : 3/16"=1'-0"



Front Elevation H

Scale : 3/16"=1'-0"

Plan 5 - 2671
Preliminary Character Elevations



Left Elevation D

Scale : 3/16"=1'-0"



Right Elevation D

Scale : 3/16"=1'-0"



Rear Elevation D

Scale : 3/16"=1'-0"

Plan 5 - 2671
Preliminary Character Elevations



Front Elevation D

Scale : 3/16"=1'-0"



Front Elevation E

Scale : 3/16"=1'-0"



Front Elevation F

Scale : 3/16"=1'-0"



Front Elevation G

Scale : 3/16"=1'-0"



Front Elevation H

Scale : 3/16"=1'-0"

Plan 6 - 2872
Preliminary Character Elevations



Left Elevation D

Scale : 3/16"=1'-0"



Right Elevation D

Scale : 3/16"=1'-0"



Rear Elevation D

Scale : 3/16"=1'-0"

Plan 6 - 2872
Preliminary Character Elevations



Front Elevation D
Scale : 3/16"=1'-0"



Front Elevation E
Scale : 3/16"=1'-0"



Front Elevation F
Scale : 3/16"=1'-0"



Front Elevation G
Scale : 3/16"=1'-0"



Front Elevation H
Scale : 3/16"=1'-0"

Plan 7 - 2985
Preliminary Character Elevations