



**#2018-09**  
**El Patron Auto Service SUP**  
**Project Review for Planning and Zoning Commission**

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|                                       |   |
|---------------------------------------|---|
| <b><u>Meeting Date:</u></b>           | March 7, 2018   |
| <b><u>Request:</u></b>                | Special Use Permit to allow a major automotive repair use.  |
| <b><u>Location:</u></b>               | 4410 Northwest Highway  |
| <b><u>Existing Zoning:</u></b>        | B-2 PUD General Commercial  |
| <b><u>Surrounding Properties:</u></b> | North: B-2 PUD General Commercial & M Manufacturing<br>South: B-2 PUD General Commercial<br>East: B-2 PUD General Commercial<br>West: M PUD Manufacturing |
| <b><u>Staff Contact:</u></b>          | Kathryn Cowlin (815.356.3798)   |

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**Background:**

- The Car Care Center was annexed into the city in 1987 and the existing uses were allowed to continue.
- The unit was previously an automotive repair shop and was an existing use when the property was annexed, therefore, a special use permit was not acquired.
- As this is a new user they are required to comply with the current codes, which requires the Special Use Permit.
- UDO Requirements: Major automotive repair shops are permitted with the approval of a special use permit.

**Development Analysis:**

**General**

- Request: The petitioner is requesting a Special Use Permit for a major automotive repair use.
- The land use major automotive repair includes shops which perform work on transmissions, exhaust systems, body work, mechanical and electrical repair.
- The subject property is not located in a wellhead protection zone.
- All automotive repair work will be conducted indoors.

**Findings of Fact:**

The petitioner has requested a Special Use Permit to allow an EMC sign at the subject property. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 B of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.  
 *Meets*                       *Does not meet*
  
2. The use will not be detrimental to area property values.  
 *Meets*                       *Does not meet*
  
3. The use will comply with the zoning districts regulations.  
 *Meets*                       *Does not meet*
  
4. The use will not negatively impact traffic circulation.  
 *Meets*                       *Does not meet*
  
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.  
 *Meets*                       *Does not meet*
  
6. The use will not negatively impact the environment or be unsightly.  
 *Meets*                       *Does not meet*
  
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.  
 *Meets*                       *Does not meet*
  
8. The use will meet requirements of all regulating governmental agencies.  
 *Meets*                       *Does not meet*
  
9. The use will conform to any conditions approved as part of the issued Special Use Permit.  
 *Meets*                       *Does not meet*

10. The use will conform to the regulations established for specific special uses, where applicable.

*Meets*                       *Does not meet*

All major automotive repair uses must comply with the following standards:

1. Location of repair: All repairs shall be performed within a completely enclosed building.

*Meets*                       *Does not meet*

2. Licensed vehicles: All vehicles parked or stored on-site shall display a current license plate with a current registration.

*Meets*                       *Does not meet*

3. Odors and fumes: The use shall safely and appropriately vent all odors, gas and fumes and shall comply with all applicable federal, state and local regulations. Such vents shall be located a minimum of 10 feet above grade and shall be directed away from residential uses. All storage tanks shall be equipped with vapor-tight fittings to preclude the escape of gas vapors from the fill pipes.

*Meets*                       *Does not meet*

4. Outdoor vehicle storage: Vehicles to be stored outdoors must be contained on-site on a paved area. The outside storage area shall be screened with a minimum six feet tall solid wooden fence. In selected cases, an eight feet tall solid wooden fence may be required.

*Meets*                       *Does not meet*

5. Parts or junk vehicle storage: Outdoor storage of automotive parts or junk vehicles is prohibited.

*Meets*                       *Does not meet*

6. Fuel dispensing: Unattended, automated dispensing of gasoline or other engine fuel is prohibited.

*Meets*                       *Does not meet*

7. Fluid/Oil collection mats: Fluid/Oil collection mats are required by facilities in wellhead protection areas and within the Crystal Lake Watershed.

*Meets*                       *Does not meet*

**Recommended Conditions:**

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (Gonzalez, dated 02/05/18, received 02/06/18)
  - B. Floor Plan (received 02/06/18)
2. If any vehicles are leaking, pans shall be placed under the vehicles to trap any fluids.
3. No junk, debris or other miscellaneous auto parts shall be stored outside.
4. Vehicles waiting to be picked up can parked no longer than 7 calendar days after the repairs are completed.
5. The petitioner shall address all of the review comments and requirements of the Community Development Department.

2018-09 El Patron Auto Service – 4410 Northwest Hwy.



**City of Crystal Lake  
Development Application**

Office Use Only

File # 2018-09

Project Title: Auto Motive Shop // EL PATRON AUTO SERVICE INC

**Action Requested**

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                   | <input type="checkbox"/> Preliminary PUD                 |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review        | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Final PUD                    | <input checked="" type="checkbox"/> Special Use Permit   |
| <input type="checkbox"/> Final PUD Amendment          | <input type="checkbox"/> Variation                       |
| <input type="checkbox"/> Final Plat of Subdivision    | <input type="checkbox"/> Other                           |

**Petitioner Information**

Name: Manuel Gonzalez  
Address: 707 Regent Dr  
Crystal Lake, IL 60014  
Phone: 815-814-5742  
Fax: \_\_\_\_\_  
E-mail: Manuel.81@hotmail.com

**Owner Information (if different)**

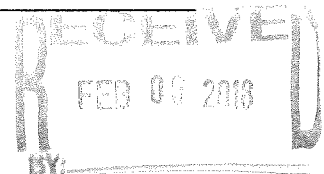
Name: John Argianas / Joyce Kusch (manager)  
Address: 2241 W. Howard St.  
Chicago, IL 60645  
Phone: 815-206-9229  
Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**Property Information**

Project Description: ITS going to be a Mechanic Shop  
were basically will be working with Engines,  
Transmissions, Exhaust System, Brakes & Diagnosing,  
Ext.

Project Address/Location: 4410 Northwest Hwy  
Unit A Crystal Lake, IL 60014

PIN Number(s): 19-10-200-042



**Development Team**

Please include address, phone, fax and e-mail

Developer: \_\_\_\_\_

Architect: \_\_\_\_\_

Attorney: \_\_\_\_\_

Engineer: \_\_\_\_\_

Landscape Architect: \_\_\_\_\_

Planner: \_\_\_\_\_

Surveyor: \_\_\_\_\_

Other: \_\_\_\_\_

**Signatures**

Manuel Gonzalez 2-5-18  
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Joyce Kusch Joyce Kusch 2-5-18  
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

**Public Notice**  
**BEFORE THE PLANNING AND**  
**ZONING COMMISSION**  
**OF THE CITY OF CRYSTAL LAKE,**  
**MCHENRY COUNTY, ILLINOIS**  
IN THE MATTER OF THE  
APPLICATION OF Manuel Gonzalez

**LEGAL NOTICE**

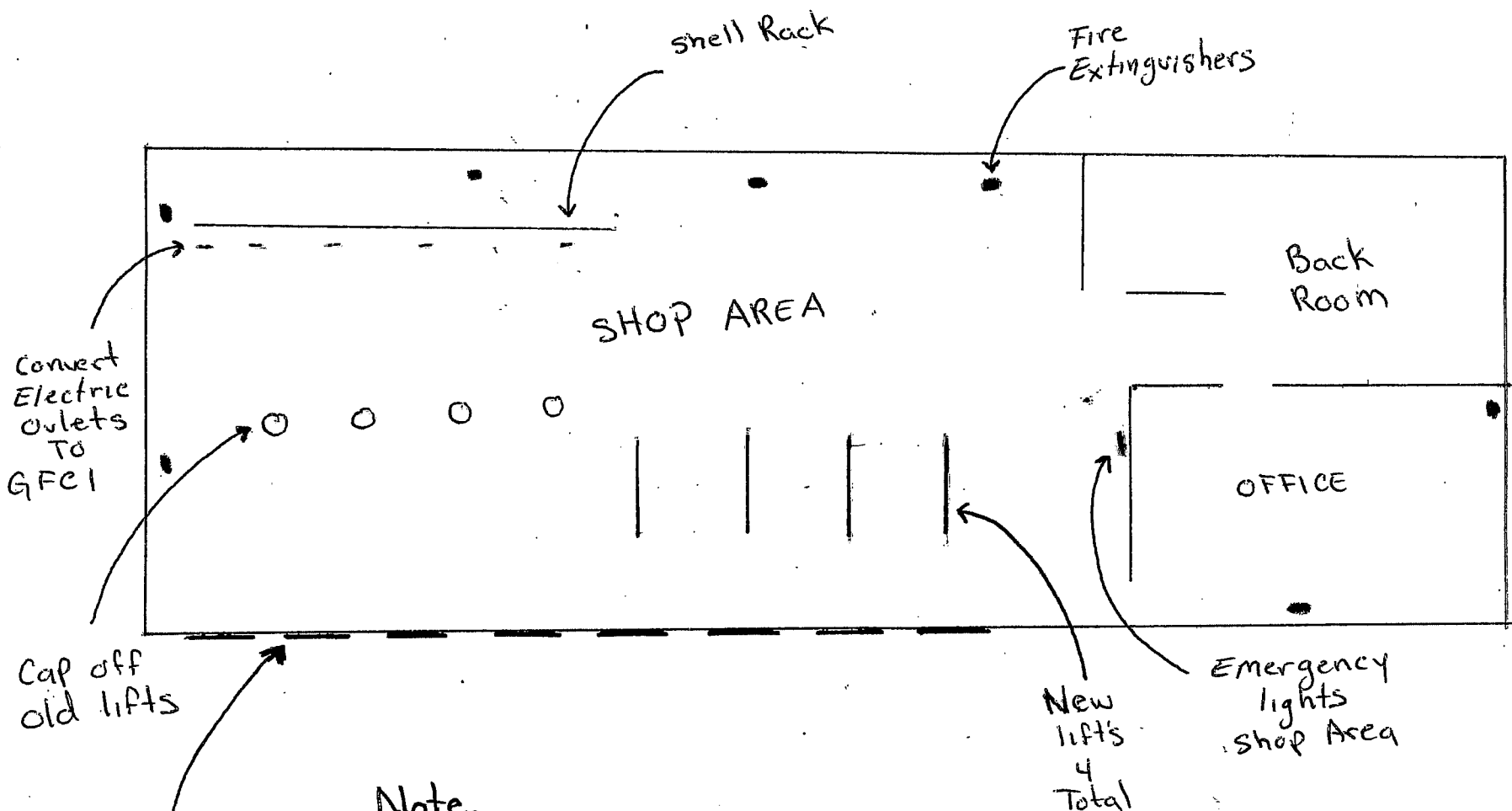
Notice is hereby given in compli-  
ance with the Unified Development  
Ordinance (UDO) of the City of  
Crystal Lake, Illinois, that a public

hearing will be held before the 2018 at the Crystal Lake City Hall,  
Planning and Zoning Commission 100 West Woodstock Street, at  
upon the application of Manuel which time and place any person  
Gonzalez for the following determining to be heard may be  
described real estate commonly present.  
known as 4410 Northwest High- Tom Hayden, Chairperson  
way, Unit A, Crystal Lake, Illinois Planning and Zoning Commission  
60014, PIN: 19-10-200-042. City of Crystal Lake

This application is filed for the  
purpose of seeking a Special Use (Published in the Northwest Herald  
Permit pursuant to Article 2-400 on February 16, 2018) 1507619  
(C), as well as any other variations  
as necessary to allow a Major  
Automotive Repair shop. Plans for  
this project can be viewed at the  
Crystal Lake Community Develop-  
ment Department at City Hall.

A public hearing before the Plan-  
ning and Zoning Commission for  
this request will be held at 7:30  
p.m. on Wednesday March 7,





Note.  
 Installing 4 lifts, Adding a  
 Emergency light, Capping off old lift  
 holes, Adding Fire Extinguishers + Tags,  
 Converting old Electrical Outlets to GFCI

RECEIVED  
 FEB 03 2018  
 BY \_\_\_\_\_

# ALTA / ACSM LAND TITLE SURVEY

## LEGAL

THE EAST 400 FEET (AS MEASURED AT RIGHT ANGLES TO THE CENTERLINE OF SANDS ROAD) OF THAT PART OF SECTIONS 1 AND 10, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, LING EASTERLY OF THE EASTERLY RIGHT OF WAY LINE OF STATE ROUTE 31, WESTERLY OF THE CENTERLINE OF SANDS ROAD, NORTHERLY OF THE NORTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 14 AS DEDICATED PER DOCUMENT NO. 144194, NORTHEASTERLY OF THE NORTHEASTERLY LINE OF THE CONNECTING FRAM FROM U.S. ROUTE 14 TO STATE ROUTE 31 AS DEDICATED PER DOCUMENT NO. 286687 AND SOUTHERLY OF THE SOUTHERLY RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY, EXCEPTING THEREFROM THAT PORTION DESCRIBED AS BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF SANDS ROAD AND SOUTHERLY RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILWAYS; THENCE SOUTH ALONG THE CENTERLINE OF SANDS ROAD, 208.00 FEET; THENCE WEST AT RIGHT ANGLES TO THE CENTERLINE OF SANDS ROAD, 250.00 FEET; THENCE NORTH ALONG A LINE OF 250.00 FEET WEST OF AND PARALLEL WITH THE CENTERLINE OF SANDS ROAD 425.07 FEET, MORE OR LESS, TO THE SOUTHERLY RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY; THENCE SOUTHEASTERLY ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID CHICAGO AND NORTHWESTERN RAILWAY, 278.54 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART OF THE LAND CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED SEPTEMBER 18, 1997 AS DOCUMENT NO. 97R45004, IN MCHEERY COUNTY, ILLINOIS.

- LEGEND**
- ⊙ STORM MANHOLE
  - INLET
  - ⊙ STORM SEWER
  - ⊙ SANITARY SEWER
  - ⊙ FIRE HYDRANT
  - ⊙ VALVE VALET
  - ⊙ VALVE BOX
  - ⊙ MAILBOX
  - ⊙ UTILITY POLE
  - ⊙ DOLLARD
  - ⊙ SIGN
  - ⊙ LIGHT POLE
  - ⊙ GUY WIRE
  - ⊙ UTILITY PEDALSTAL
  - ⊙ TRAFFIC SIGNAL VALET
  - ⊙ TRAFFIC SIGNAL
  - ⊙ LIGHT

**Engineering Enterprises, Inc.**  
 ONE CHERRY & LANE BLDG  
 310 North First Street  
 East Dundee, Illinois 60118  
 Phone: (847) 438-1079

SCALE: SEE BAR SCALE  
 CLIENT: E.F. Steins, Inc.  
 OWNER:  
 ATLAS: 18-10  
 JOB #: 82593 A

SCALING FROM REPRODUCTIONS IS NOT RECOMMENDED

STATE OF ILLINOIS  
 COUNTY OF KANE

ALTA/ACSM LAND TITLE SURVEY

TO: CHICAGO TITLE INSURANCE CO.  
 CRISTAL LAKE HOLDINGS, LLC  
 FIRST OF PAGE BANK

WE, ENGINEERING ENTERPRISES, INC. CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "STANDARD AND DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY SET FORTH AND ADOPTED BY ALTA, ACSM AND NPS IN 1996, AND IN LIEU THEREOF, I.L.C. 7-14.1, 14.1a, AND 14.1 OF TITLE 18, CHAPTER 1 AND PART 2 OF THE ACCURACY STANDARDS AS ADOPTED BY ALTA, ACSM AND NPS AS AN EFFECT ON THE DATE OF THIS CERTIFICATION. I HEREBY CERTIFY THAT THE PROFESSIONAL OVERSIGHTS RELATING FROM THE SURVEY RELEVANT TO THIS SURVEY DO NOT EXCEED THE ALLOWABLE PRACTICAL TOLERANCE.

DATE: OCTOBER 11, 2013

*Mark C. Weber*  
 PROFESSIONAL LAND SURVEYOR  
 PROFESSIONAL LICENSE NO. 1846000 LICENSE EXPIRES 09/30/17

