



#2018-02 165 First Street - Preliminary PUD Intro Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	June 20, 2018 public introduction meeting for July 18, 2018 public hearing
<u>Requests:</u>	<ol style="list-style-type: none">1. Comprehensive Land Use Plan Amendment from Commerce to Central Urban Residential.2. Preliminary/Final Planned Unit Development for a residential duplex.3. Planned Unit Development Variation from Appendix A-400(C) to allow two driveways on a lot less than 70 feet in width (66 feet existing).
<u>Location:</u>	165 First Street
<u>Acreage:</u>	8689.57 square feet
<u>Zoning:</u>	B-4 Mixed-Use Business
<u>Surrounding Properties:</u>	North: R-3B (Multi-Family Residential) South: B-4 (Mixed-Use Business) East: R-3B (Multi-Family Residential) West: R-3B (Multi-Family Residential)
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3798)

Overview

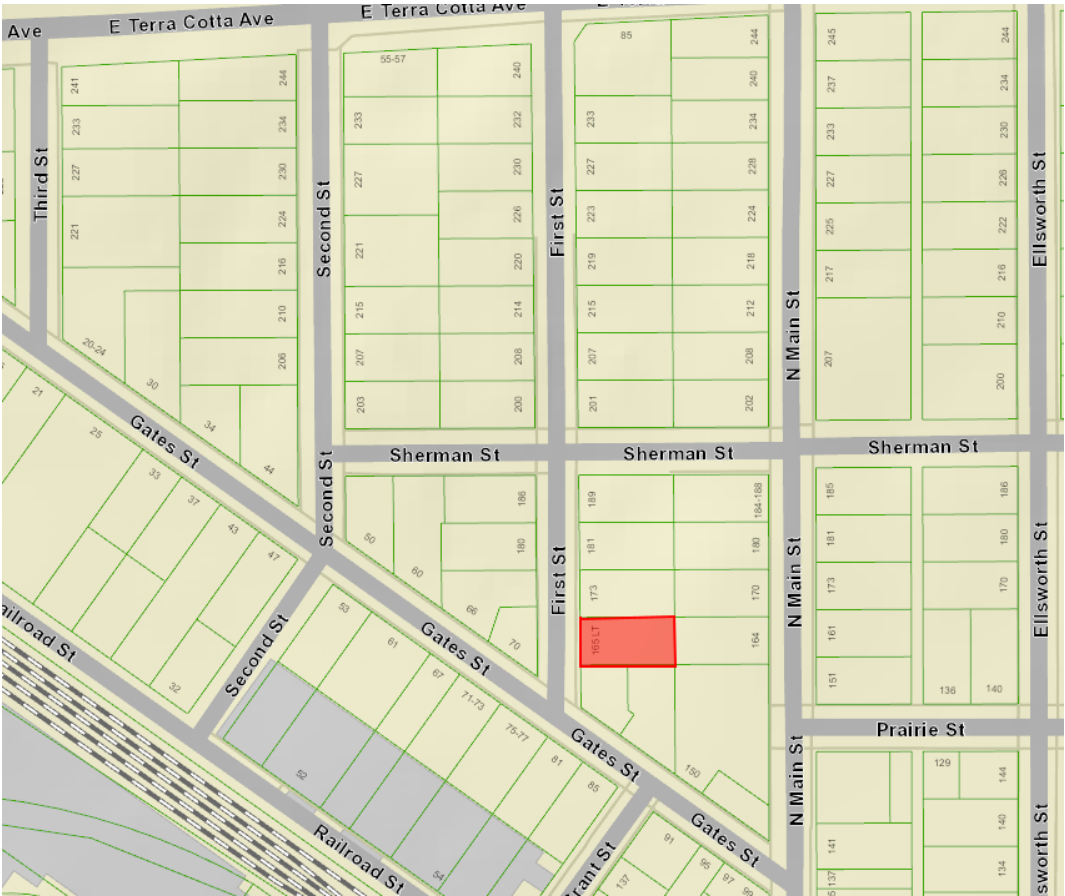
The petitioner is proposing a residential duplex at the subject property. The duplex is designed to complement the existing structures along First Street. The proposal also includes detached garages located at the rear of the property.

The residential development in the B-4 zoning district requires Planned Unit Development approval. The proposal includes two driveways, which would require a variation from the driveway standards to allow two access points on a lot less than 70 feet in width, the lot is 66 feet in width.

Public Hearing

The Preliminary/Final Planned Unit Development and variation request will be before the Planning and Zoning Commission for a public hearing, review, and recommendation at the July 18th meeting.

2018-02 Kourtis – 165LT First St



SIGNED COPY

City of Crystal Lake Development Application

Office Use Only

File # _____

2018 02

Project Title: LOT 7 FIRST STREET, CRYSTAL LAKE, IL 60014

Action Requested

Annexation

Comprehensive Plan Amendment

Conceptual PUD Review

Final PUD

Final PUD Amendment

Final Plat of Subdivision

Preliminary PUD

Preliminary Plat of Subdivision

Rezoning

Special Use Permit

Variation

Other

RECEIVED
JAN 03 2018

Petitioner Information

Name: PETE KOURTIS

Address: 1661 W. CASTAWAY LANE

HOFFMAN ESTATES, IL 60195

Phone: 847-804-4113

Fax: 847-991-3077

E-mail: PKK1965@YAHOO.COM

Owner Information (if different)

Name: _____

Address: _____

Phone: _____

Fax: _____

E-mail: _____

Property Information

Project Description: DEVELOP A DUPLEX MULTI-FAMILY UNIT BUILDING ON PROPERTY

Project Address/Location: 1st St Lot 7, Crystal Lake, IL 60014 165LT FIRST ST.

PIN Number(s): 14-32-431-015

Development Team

Please include address, phone, fax and e-mail

Developer: PETE KOURTIS 1661 W. CASTAWAY LN, HOFFMAN EST. IL 60165 PH: 847-804-4113, FX: 847-991-3077

Architect: JAMES R BYRNES 6803 W. HILLSIDE RD, CRYSTAL LAKE, IL PH: 815-477-7717, FX: 815-893-4578

Attorney: JOHN SKOUBIS 1300 W Higgins Rd. Suite 209, Park Ridge, IL 60068 PH: 847-696-0900

Engineer: CALDWELL ENGINEERING LTD. 1316 N MADISON ST. WOODSTOCK, IL 60098 PH: 815-502-5504. FX: 815-482-5232

Landscape Architect: _____

Planner: _____

Surveyor: VLSI INC. 1316 N. MADISON ST. WOODSTOCK, IL 60098 PH: 815-337-8310 FX: 815-502-5516

Other: _____

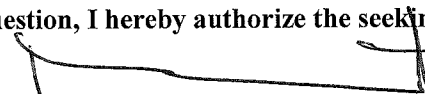
Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

PETE KOURTIS



12.20.2017

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



SHEET SCHEDULE	
NO.	SHEET CONTENTS
1	FRONT ELEVATION LEFT SIDE ELEVATION
2	REAR ELEVATION RIGHT SIDE ELEVATIONS
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	FOUNDATION PLAN TYPICAL WALL SECTION
6	ELECTRICAL PLANS

Sheet Number:
1

Date: 1-17-18
Issued for Permit:
Cloud:
Plan No.:

No.	Date:	Revision
1		
2		
3		

Exterior Views
Duplex Residence
Lot-7 First Street
Crystal Lake, Illinois

Peter Kourtis
pkk1965@yahoo.com
Phone: (847) 804-4113

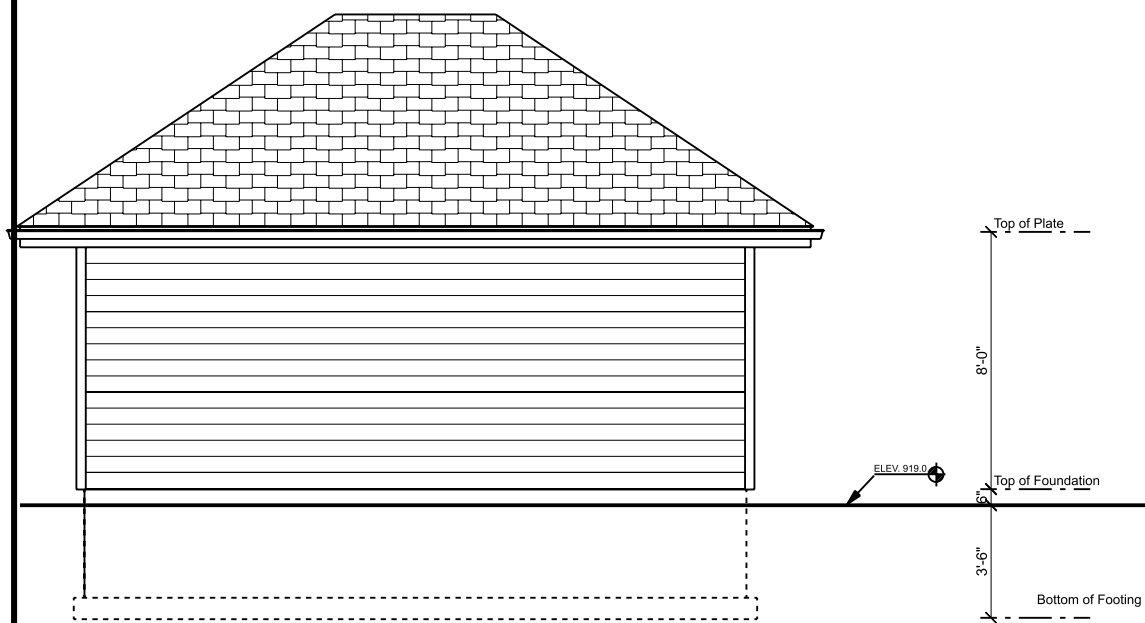
Copyright, 2017 James R. Byrnes, Architect
James R. Byrnes, Architect N.C.A.R.B.
www.Byrnesarchitect.com
6803 West Hillside Road Crystal Lake, Illinois 60012
Phone: 815/477-7717 Email: jim@byrnesarchitect.com



First Street Duplex
Front Elevation



Rear Elevation



Left Side Elevation

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Peter Kourtis
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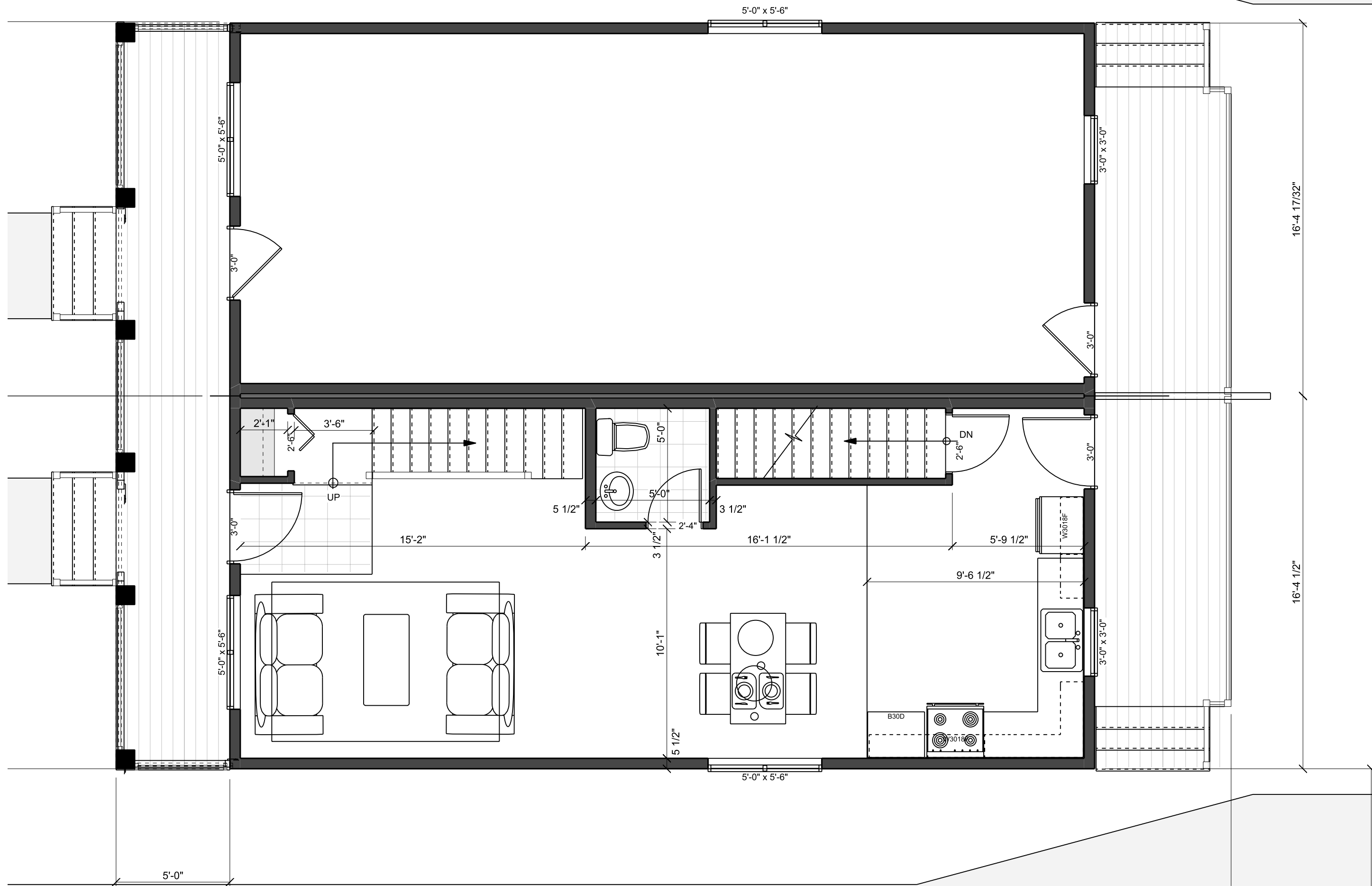
Elevations
Duplex Residence
Lot-7 First Street
Crystal Lake, Illinois

No.	Date:	Revision
1		
2		
3		

Date: 1-17-18
Issued for Permit:
Cloud:
Plan No:

Sheet Number:

2



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1048 sf
977
2025 sf

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www.byrnesarchitect.com
6803 West Hillside Road Crystal Lake, Illinois 60012
Phone: 815/477-7717 Email: jim@byrnesarchitect.com

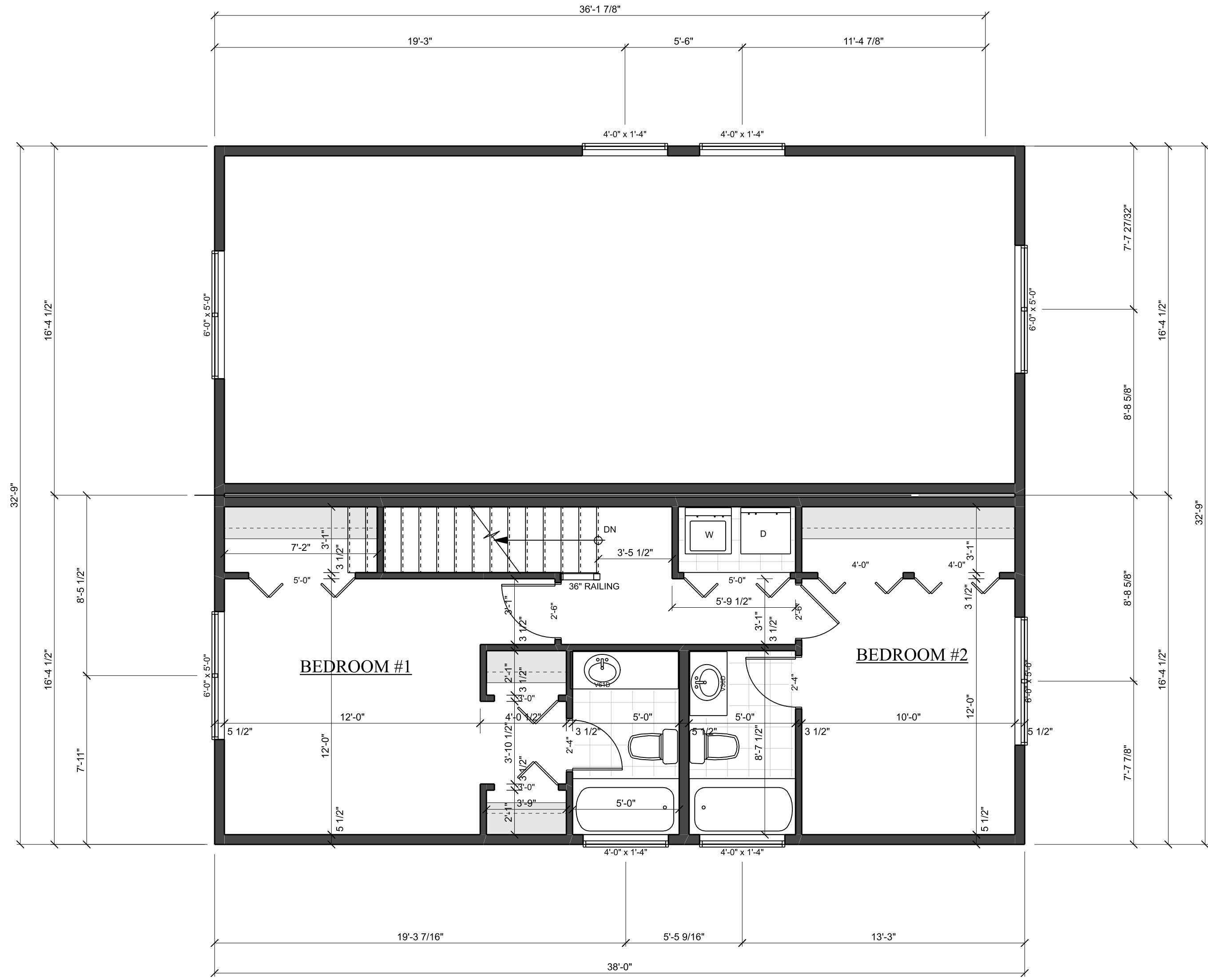
Peter Kourtis
pkk1965@yahoo.com
Phone: (847) 804-4113

First Floor Plan
Duplex Residence
Lot-7 First Street
Crystal Lake, Illinois

No.	Date:	Revision
1		
2		
3		

Date: 1-17-18
Issued for Permit:
Client:
Plan No:

Sheet Number:
3



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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James R. Byrnes, Architect N.C.A.R.B.
www.byrnesarchitect.com
 6803 West Hillside Road Crystal Lake, Illinois 60012
 Phone: 815-477-7117 Email: jrm@byrnesarchitect.com

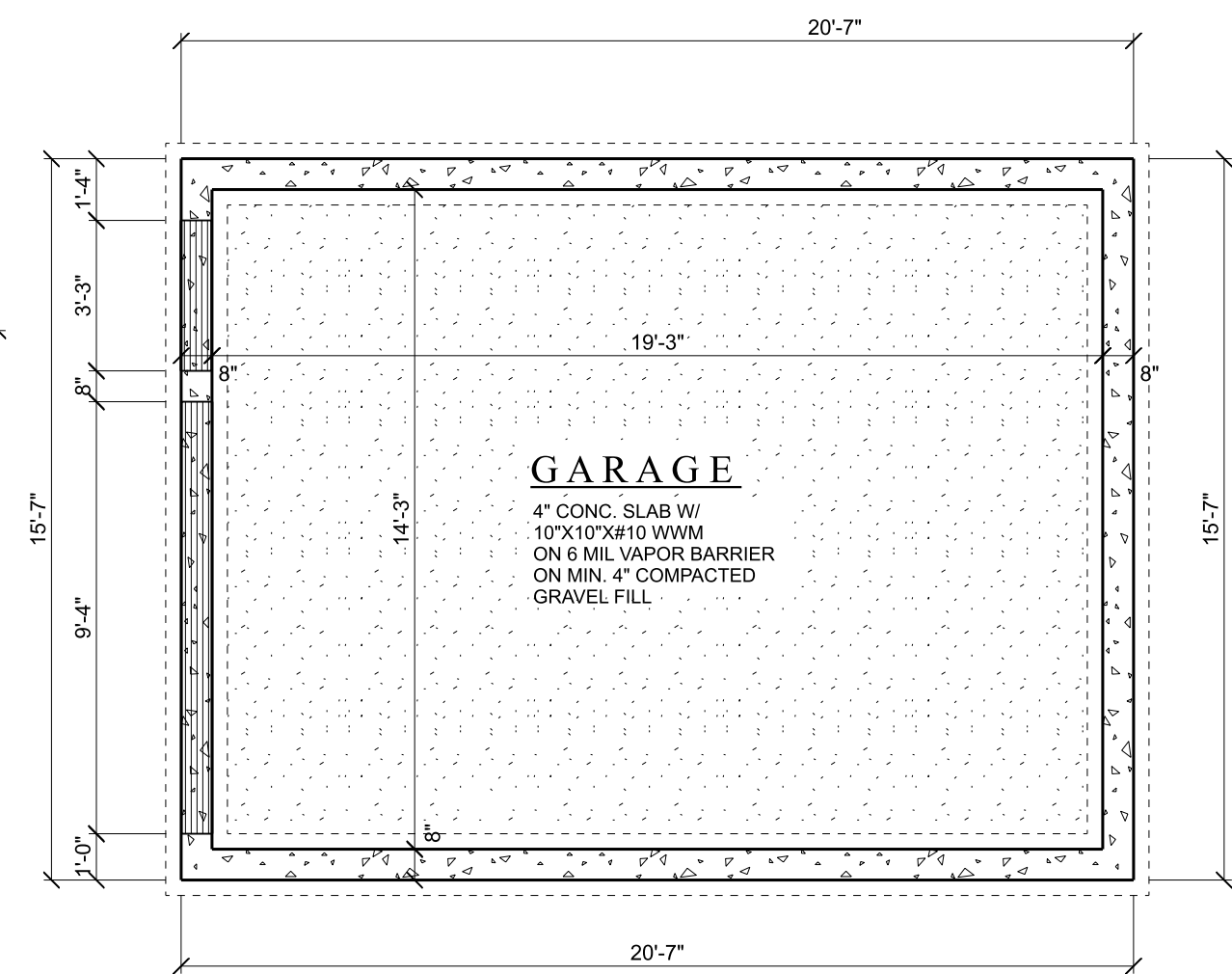
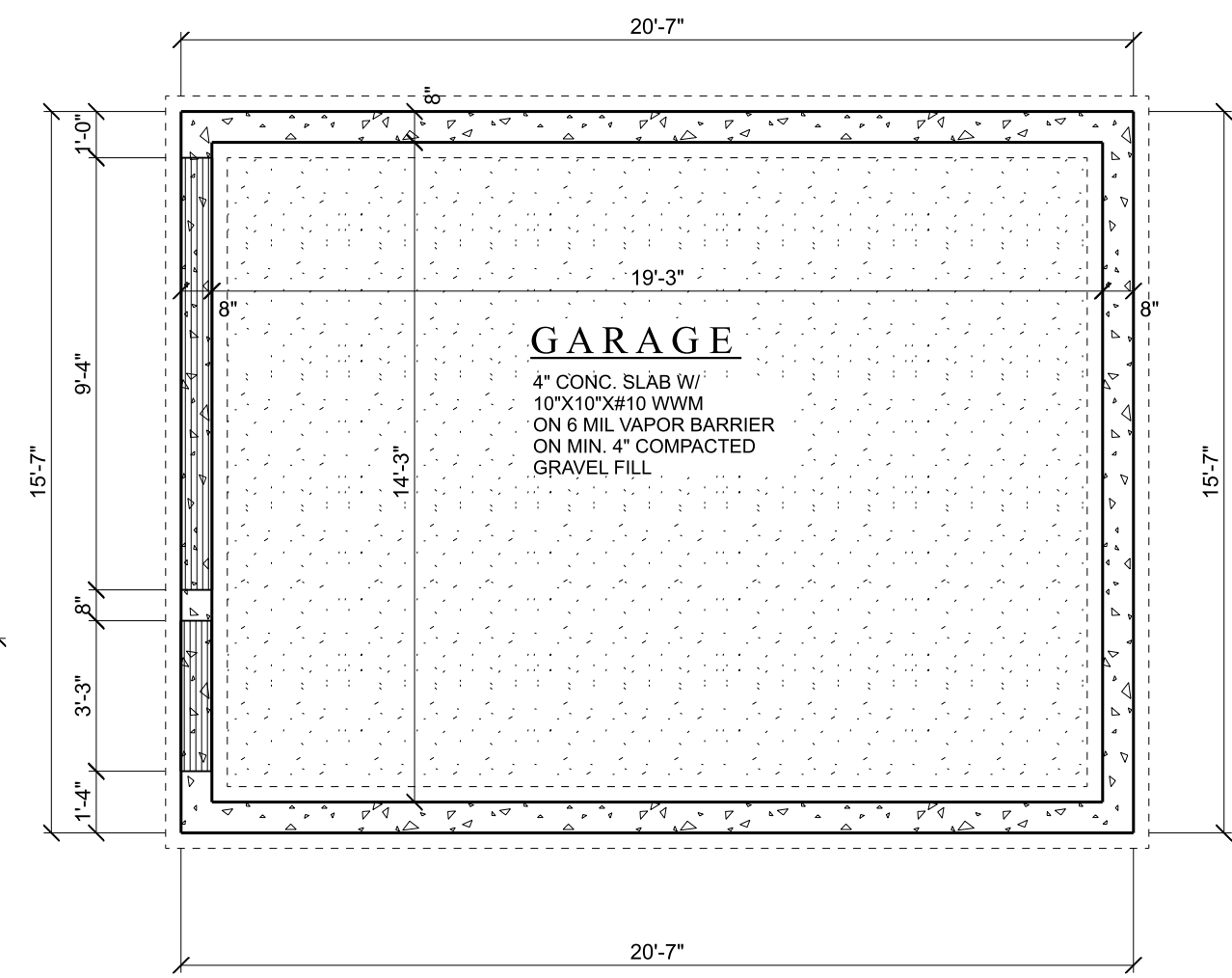
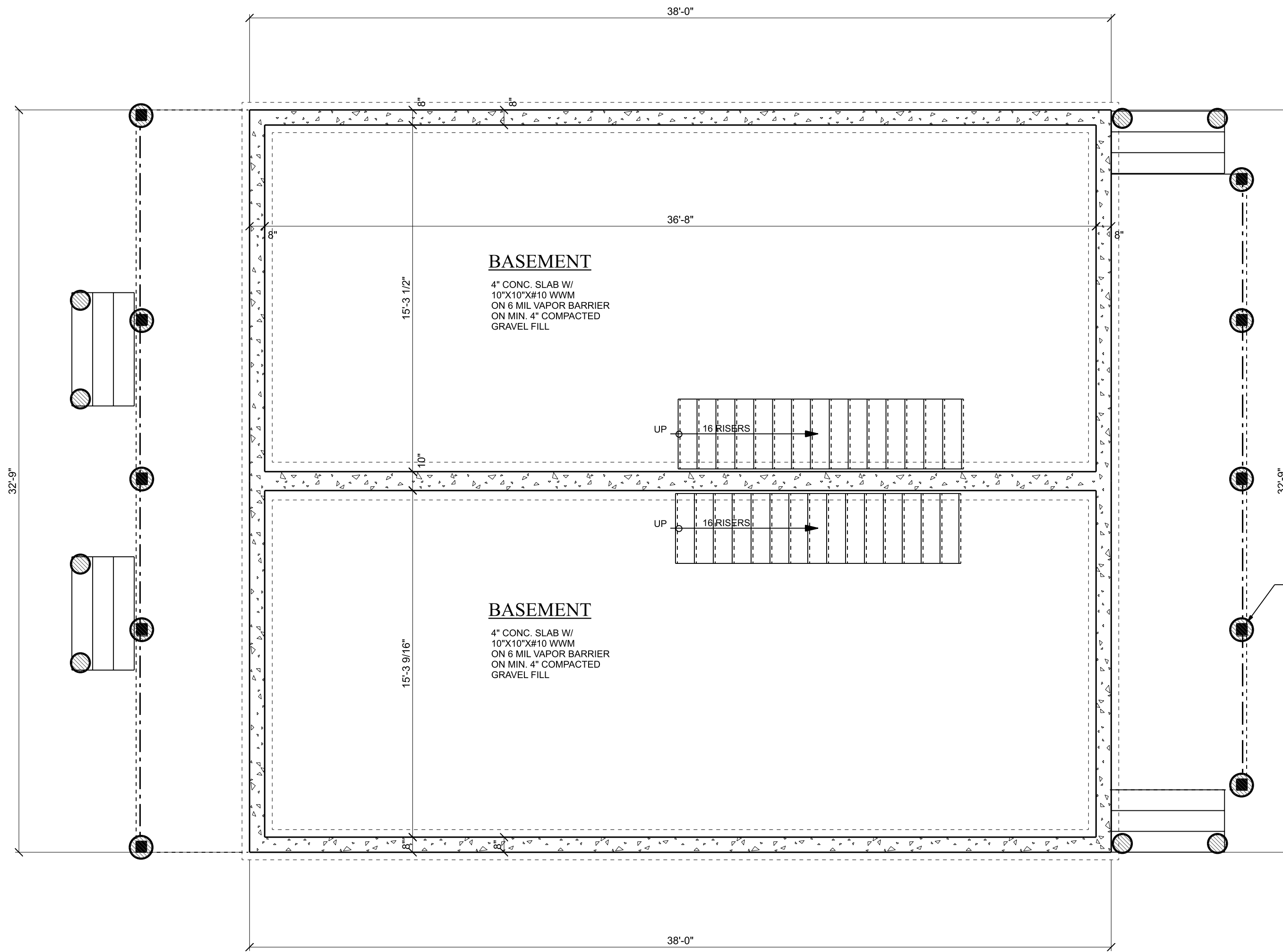
Peter Kourtis
 pkk1965@yahoo.com
 Phone: (847) 804-4113

Second Floor Plan
Duplex Residence
 Lot-7 First Street
 Crystal Lake, Illinois

No.	Date:	Revision
1		
2		
3		

Date: 1-17-18
 Issued for Permit:
 Cloud:
 Plan No:

Sheet Number:
4



6X6 TREATED POST
ANCHOR TO 12" RND.
CONC PIER MIN. 42"
BELOW FIN. GRADE

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

Copyright, 2017 James R. Byrnes, Architect

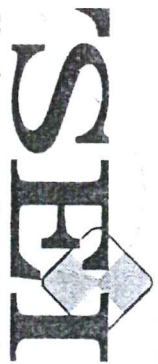
James R. Byrnes, Architect N.C.A.R.B.
www.byrnesarchitect.com
6803 West Hillside Road Crystal Lake, Illinois 60012
Phone: 815/477-7717 Email: jim@byrnesarchitect.com

Peter Kourtis
pkk1965@yahoo.com
Phone: (847) 804-4113

Foundation Plan
Duplex Residence
Lot-7 First Street
Crystal Lake, Illinois

No.	Date:	Revision
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2		
3		

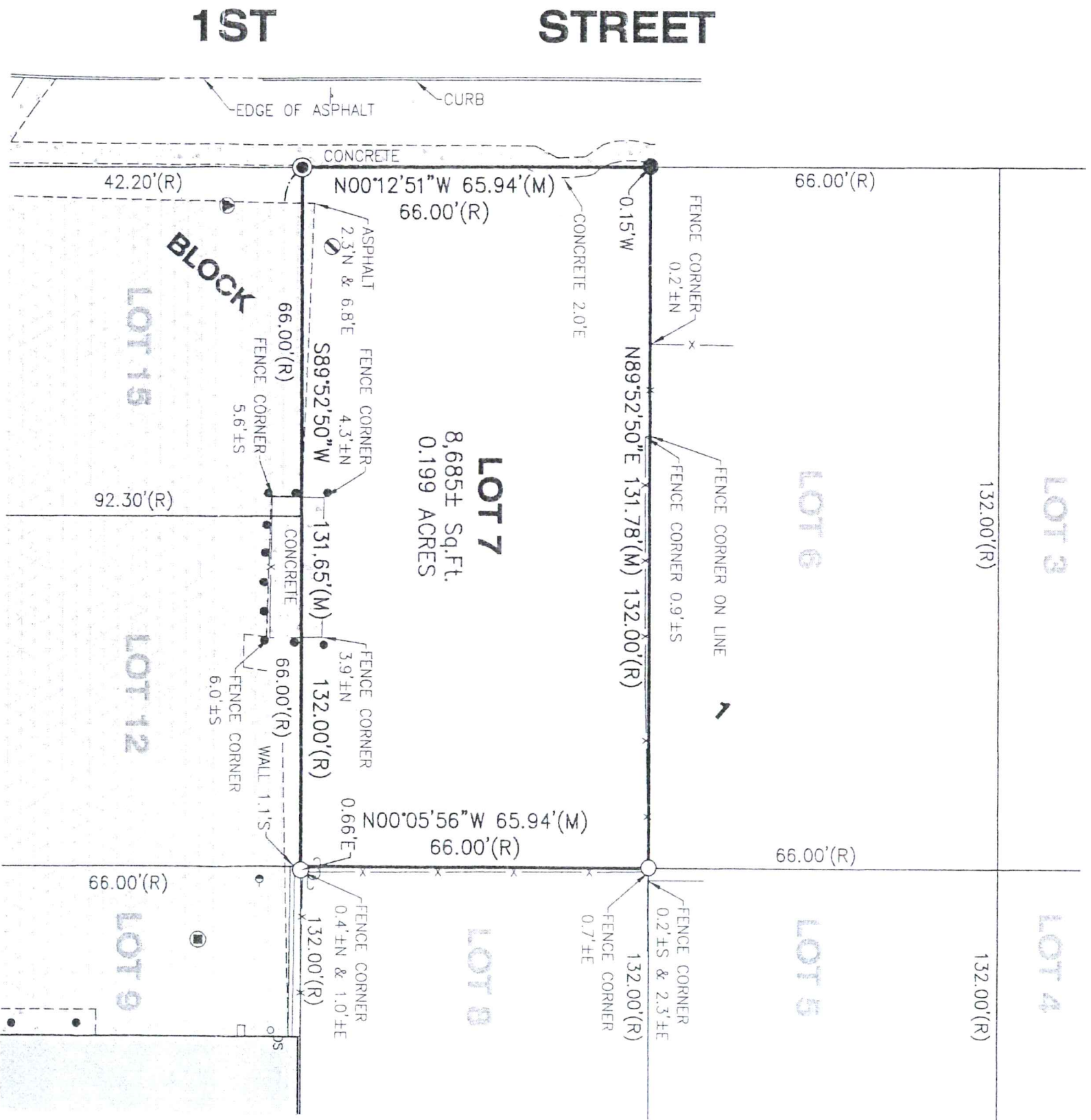
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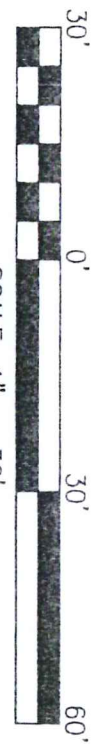
Vanderstappen Surveying & Engineering, Incorporated
16 North Madison Street, Woodstock, Illinois
615) 337-8310
www.vanderstapen.com

PLAT OF SURVEY

Lot 7 in Block 1 in the Original Plat of Nunda, being a Subdivision of part of the East Half of the Southeast Quarter of Section 32, Township 44 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof recorded August 13, 1858, in Book 43 of Deeds, page 296, in McHenry County, Illinois.



LEGEND	
•	BOLLARD
◐	CATCH BASIN
•	DOWN GUY
o DS	DOWN SPOUT
●	FOUND IRON BAR
○	FOUND IRON PIPE
⊗	MANHOLE
⊥	SIGN
⊕	STORM MANHOLE
⊖	UTILITY POLE

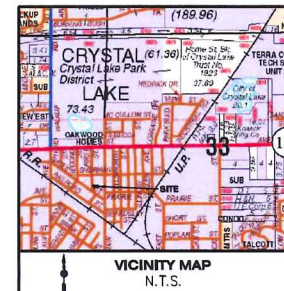


STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.



PROPOSED IMPROVEMENTS FOR 1 ST STREET TOWNHOMES CRYSTAL LAKE, IL

PROPERTY LOCATED AT:
1ST STREET



SITE INFORMATION		
	50 FT.	ACRES
TOTAL SITE AREA	8,685	0.20
EXISTING IMPERVIOUS AREA	20	0.00
PROPOSED IMPERVIOUS		
BUILDING	2,500	0.06
CONCRETE	20	0.00
ASPHALT	810	0.02
TOTAL PROP. IMPERVIOUS AREA	3,330	0.08
EXIST IMPERVIOUS TO BE REMOVED	20	0.00
NET IMPERVIOUS AREA ADDED	3,310	0.08
TOTAL SITE IMPERVIOUS AREA AFTER CONSTRUCTION	3,330	0.08
TOTAL DISTURBED (PROJECT AREA)	8,149	0.19

INDEX OF SHEETS	
C1	COVER SHEET / DEMO PLAN
C2	SITE, GRADING & EROSION CONTROL PLAN
C4	NOTES & DETAILS

CLIENT:
TRUE NORTH PROPS, INC
CONTACT:
GEORGE BEMUCJIC
PH: (847) 909-3838

EXPIRES 11-30-2015
DESIGN FIRM NO. 197-029292

GENERAL NOTES:

- TOPOGRAPHY & SURVEY BASED ON SURVEY DONE BY VANDERSTAPPEN SURVEYING AND ENGINEERING ON 1/22/2015. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY VANDERSTAPPEN SURVEYING AND ENGINEERING AND THE CLIENT OF ANY DIFFERING CONDITIONS.
- DRAIN TILE SYSTEMS DISTURBED DURING DEVELOPMENT MUST BE RECONNECTED BY THOSE RESPONSIBLE FOR THEIR DISTURBANCE UNLESS THE APPROVED ENGINEERING PLANS INDICATE HOW THE DRAIN TILE SYSTEM IS TO BE CONNECTED TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM. ALL ABANDONED DRAIN TILES SHALL BE REMOVED IN THEIR ENTIRETY.

CONTRACTOR NOTES:

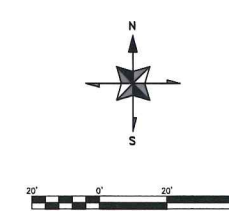
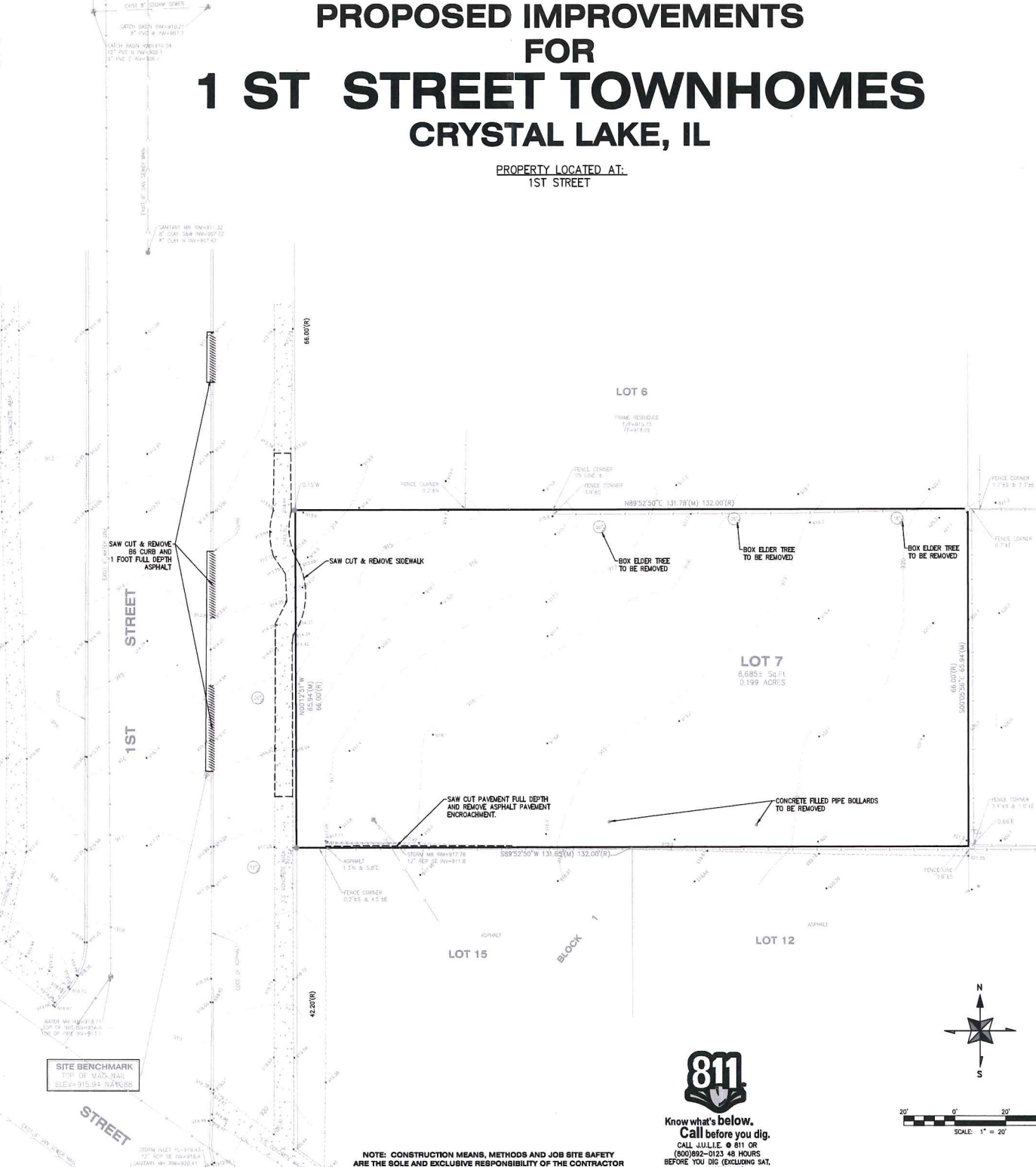
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWERS, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR, UPON COMPLETION OF PROJECT, SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH THE OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SITE CUT & FILL TO ATTAIN FINISH GRADES AS INDICATED ON THESE DRAWINGS. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ANY TOPSOIL REQUIRED IN ADDITION TO THAT ON SITE.

EXISTING UTILITIES NOTE:

- WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BINDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE GRAZED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL SEEDING IS PERFORMED.
- PROPERTIES AND CHANNELS ADJOINING THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
- SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE.
- ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- IF DEMATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT TRAP, SEDIMENT BASIN, OR OTHER APPROPRIATE MEASURES).
- ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
- A STABILIZED MAT OF APPROPRIATE UNDERLAIN WITH FILTER CLOTH (OR OTHER APPROPRIATE MEASURES) SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION-SITE OF A MAJOR DEVELOPMENT TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA. ANY SEDIMENT OR SOIL READING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATION WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A FLOOD-PRONE AREA OR A DESIGNATED BUFFER PROTECTING WATERS OF THE UNITED STATES OR ISOLATED WATERS OF LAKE COUNTY.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE RECEPTACLES FOR THE DEPOSITION OF ALL CONSTRUCTION MATERIAL DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE DUMPING, DEPOSITING, DISPOSING, THROWING, DISCARDING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT SITE, CHANNEL, WATERS OF THE U.S. OR ISOLATED WATERS OF LAKE COUNTY. THE CONTRACTOR SHALL MAINTAIN THE DEVELOPMENT SITE FREE OF CONSTRUCTION MATERIAL DEBRIS.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN AN EFFECTIVE WORKING CONDITION.
- THE CONTRACTOR SHALL USE STRAW BALS TO STABILIZE SEEDED AREAS.



Know what's below.
Call before you dig.
CALL J.U.L.L.I.E. @ 811 OR
1800892-0123 48 HOURS
BEFORE YOU DIG (EXCLUDING SAT,
SUN & HOLIDAYS)

NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY ARE THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

REVISIONS	DATE	NO.	DESCRIPTION

TRUE NORTH PROPERTIES
1ST STREET TOWNHOMES
CRYSTAL LAKE, IL
COVER PAGE



Designed By	RAK
Drawn By	BTE
Checked By	MJC
Date	4/21/2015
Job Number	150027
Sheet Number	C1

DRAFT - NOT FOR CONSTRUCTION

SITE IMPROVEMENTS FOR DUPLIX RESIDENCE CRYSTAL LAKE, IL

PROPERTY LOCATED AT:
165 AND 167 FIRST STREET

GENERAL NOTES:

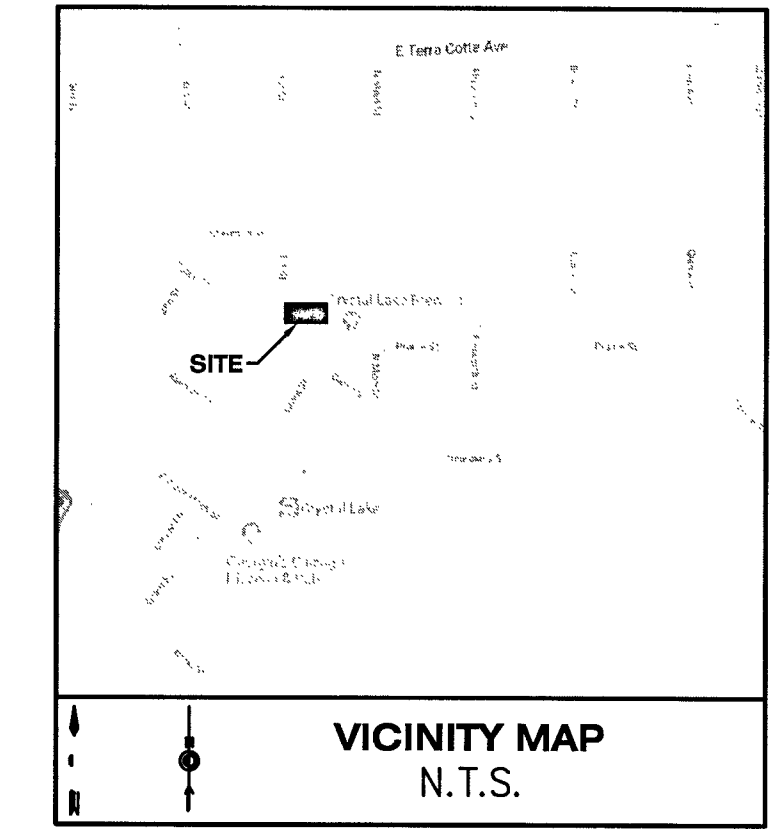
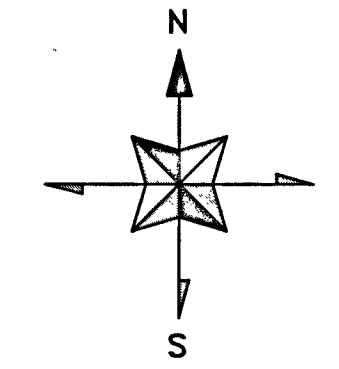
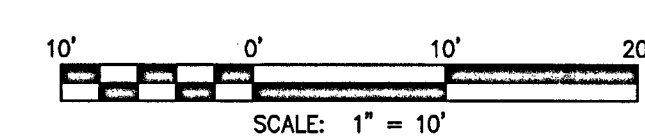
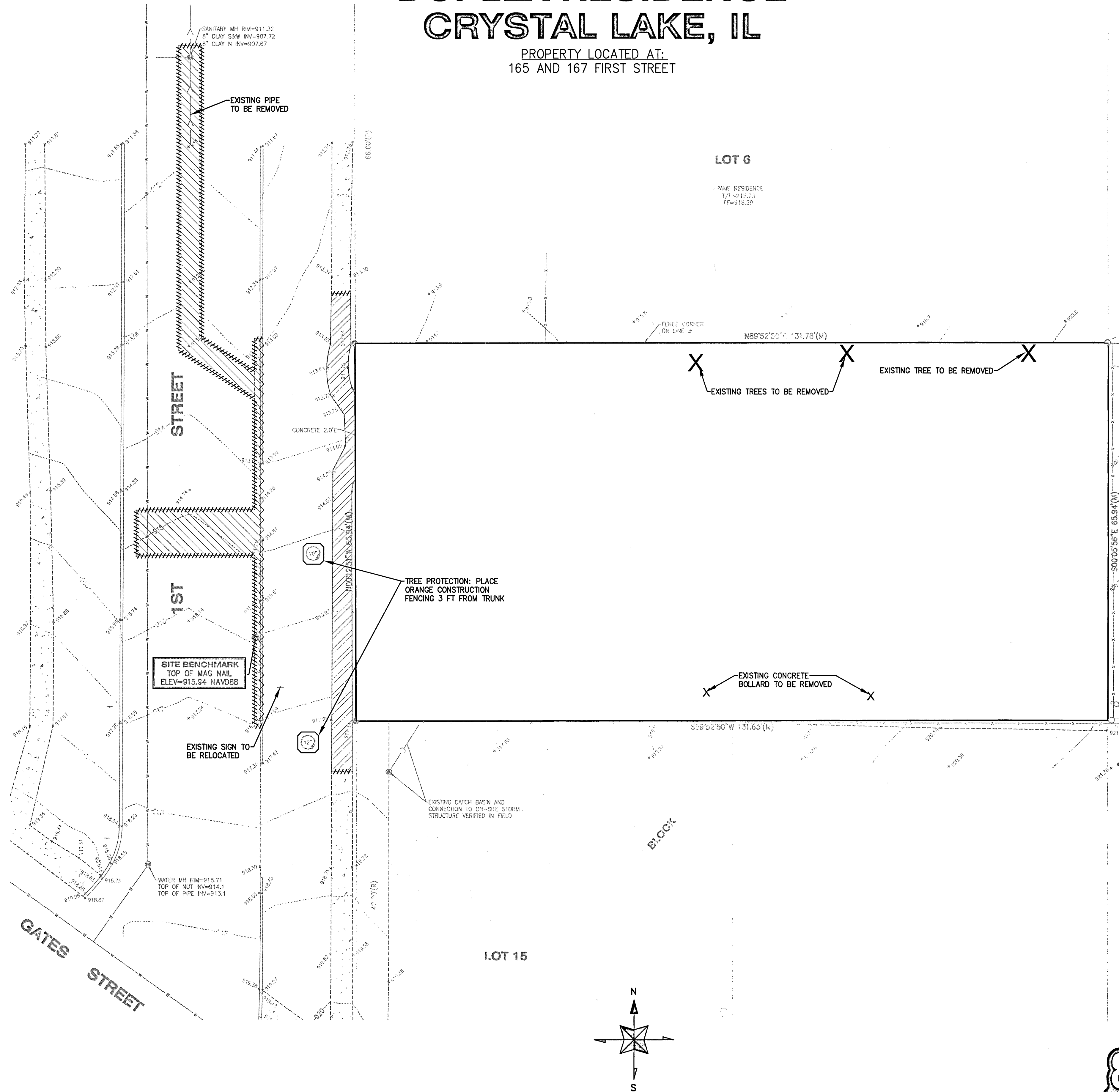
1. TOPOGRAPHY & SURVEY BASED ON SURVEY DONE BY VANDERSTAPPEN LAND SURVEYING INC. (VLSI), JOB NUMBER 150027, ON 01/22/2015. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY CALDWELL ENGINEERING LTD. AND THE CLIENT OF ANY DIFFERING CONDITIONS.
 2. THE STORM WATER DISCHARGE POINT HAS BEEN RELOCATED SUCH THAT STORM WATER DISCHARGES DIRECTLY EAST OF THE SIDEWALK AT THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. THIS REDESIGN WAS UNDERTAKEN PER THE DIRECTION OF THE CITY OF CRYSTAL LAKE. HOWEVER, AS A RESULT OF THE REDESIGN OF OUR ORIGINAL PLANS, IT IS OUR PROFESSIONAL OPINION THAT A POTENTIAL HAZARD WILL BE CREATED IN WINTER WEATHER AS STORMWATER IS DIRECTED ACROSS THE SIDEWALK.
- CONTRACTOR NOTES:**
1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
 2. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
 3. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
 4. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
 5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR OWNER.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
 7. THE CONTRACTOR, UPON COMPLETION OF PROJECT, SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH THE OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS.
 8. CONTRACTOR IS RESPONSIBLE FOR ALL SITE CUT & FILL TO ATTAIN FINISH GRADES AS INDICATED ON THESE DRAWINGS. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ANY TOPSOIL REQUIRED IN ADDITION TO THAT ON SITE.

EXISTING UTILITIES NOTE:

1. WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

LEGEND			
EX	PRO	EX	PRO
⊗	CATCH BASIN	⊙	DOWN GUY
⊕	FIRE HYDRANT	⊖	MAILBOX
△	FLARED-END SECTION	⊞	GAS METER
⊞	INLET	⊞	ELECTRIC METER
⊙	SANITARY MANHOLE	⊙	SEPTIC LID
⊙	STORM MANHOLE	⊙	TELEPHONE RISER
⊕	UTILITY POLE	⊕	LIGHT POLE
⊕	VALVE VAULT	⊕	TRANSFORMER
⊕	WATER SHUT-OFF	⊕	CABLE TV RISER
⊕	WATER VALVE	⊕	ELECTRIC RISER
⊕	SOIL BORING	⊕	WELL
⊕	OVERLAND FLOW ROUTE	⊕	SEWER CLEANOUT
---	FENCE	---	SF
---	STORM LINE	---	
---	CULVERT	---	
---	SANITARY LINE	---	
---	WATER LINE	---	
X 893.2	SPOT ELEVATION	*893.20 TO *892.70 EP	
---	OVERLAND FLOW	---	

LEGEND	
	CONCRETE TO BE REMOVED FULL DEPTH
	ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
	2" GRIND ASPHALT
	CURB, STORM SEWER AND WALL TO BE REMOVED
	SAW CUT FULL DEPTH
X	TO BE REMOVED



SITE INFORMATION		
	SQ. FT.	ACRES
TOTAL SITE AREA	8,685	0.20
EXISTING IMPERVIOUS AREA	20	0.00
IMPERVIOUS AREA TO BE REMOVED	20	0.00
PROPOSED IMPERVIOUS AREA	4,668	0.11
NET IMPERVIOUS ADDED	4,668	0.11
TOTAL SITE IMPERVIOUS AFTER CONSTRUCTION	4,688	0.11
TOTAL DISTURBED (PROJECT AREA)	7700	0.18

CONTACT: PETER KOURTIS
PH: 847-804-4113

SITE BENCHMARK
TOP OF MAG NAIL
ELEV=915.94 NAVD88

PROJECT BENCHMARK
STATION "CRYSTAL LAKE-2A"
ELEV=928.36 NAVD88
MCHENRY COUNTY GEODETIC CONTROL STATION #6934

SHEET INDEX	
C1	COVER PAGE & DEMOLITION PLAN
C2	GEOMETRIC & CRYSTAL LAKE NOTES
C3	GRADING, UTILITY & SOIL EROSION CONTROL PLAN
C4	SPECIFICATION NOTES & DETAILS
C5	DETAILS

RECEIVED
MAY 22 2010
BY:



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CALL J.U.L.I.E. @ 811 OR
(800)892-0123 48 HOURS
BEFORE YOU DIG (EXCLUDING SAT,
SUN, & HOLIDAYS)



NO.	DATE	REVISIONS	PREL. CITY COMMENTS
1	05/21/2010		

DUPLIX RESIDENCE
165 AND 167 FIRST STREET
CRYSTAL LAKE, IL
COVER PAGE & DEMOLITION PLAN

FOR PERMIT SUBMITAL

CELTID
 Caldwell Engineering Ltd.
 1316 North Madison Street, Woodstock, Illinois
 (815) 502-5800 www.caldwellengineering.com

Designed By	MJC
Drawn By	SAH
Checked By	MJC
Date	02/05/2010
Job Number	CE170053
Sheet Number	C1

M:\2010\05\21\2010\165-167-1st-Street-Duplex-Cover-1-Block-02/05/2010-10-47 PM

NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY ARE THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02a

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

1. The Contractor shall coordinate with City Staff and all Contractors prior to commencing any grading or utility work on the project. A schedule meeting with the Community Development Department is required.

2. All utility work shall be in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office. The Contractor shall coordinate with the City Engineer's Office for all utility work.

3. All utility work shall be in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office. The Contractor shall coordinate with the City Engineer's Office for all utility work.

4. All utility work shall be in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office. The Contractor shall coordinate with the City Engineer's Office for all utility work.

REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02b

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

TOPSOIL STOCKPILE

- Location of any on-site stockpiles shall be identified on the construction plans and shall be located on the perimeter of the site.
- Topsoil stockpiles shall be covered with a minimum 6" layer of straw or hay or other erosion control measures to prevent wind erosion and sediment transport.
- Topsoil stockpiles shall be covered with a minimum 6" layer of straw or hay or other erosion control measures to prevent wind erosion and sediment transport.
- If a stockpile is to remain for more than 180 days, the contractor shall install a silt fence around the perimeter of the stockpile in accordance with Section 916 of the City Code.

UNDESIRABLE UTILITY

- The Contractor shall identify and locate all utility lines (sanitary sewer, storm sewer, water, gas, electric, telecommunications, etc.) prior to construction.
- All utility lines shall be located and identified (provide D=ID to the City Engineer's Office).
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REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02c

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

SANITARY SEWER

- Sanitary sewer lines shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
- All sanitary sewer lines shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
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REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02d

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

WATER MAIN

- Water main shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
- All water main lines shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
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REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02a

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

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REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02b

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

TOPSOIL STOCKPILE

- Location of any on-site stockpiles shall be identified on the construction plans and shall be located on the perimeter of the site.
- Topsoil stockpiles shall be covered with a minimum 6" layer of straw or hay or other erosion control measures to prevent wind erosion and sediment transport.
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REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02c

DATE: 05/23/18

DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

SANITARY SEWER

- Sanitary sewer lines shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
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REVISIONS: PER CITY COMMENTS

DATE	NO.
05/21/2018	1

REVISED: 1. 05/22/2018

DRAWING NAME: STANDARD NOTES AND SPECIFICATIONS

DRAWING NUMBER: GE-02d

DATE: 05/23/18

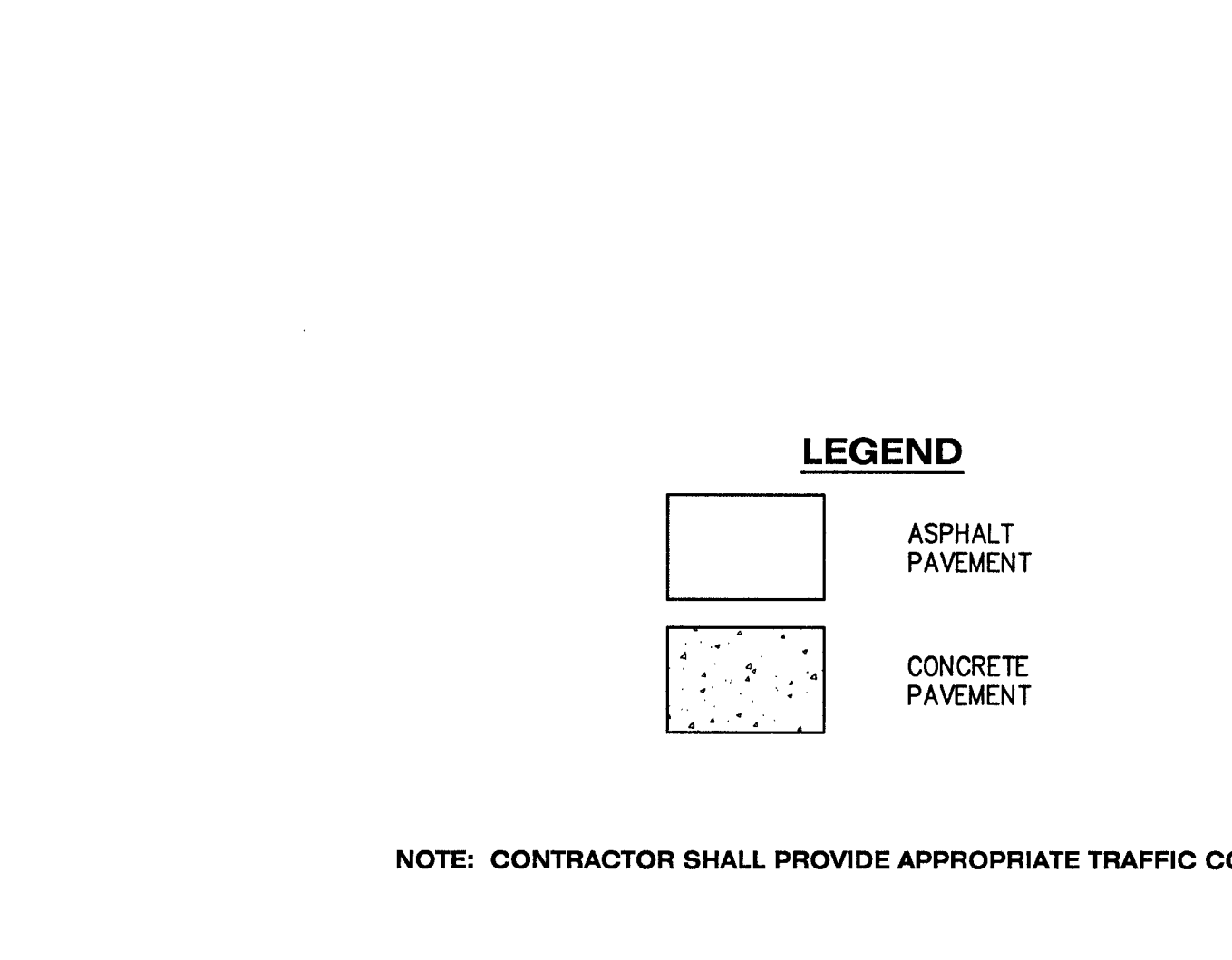
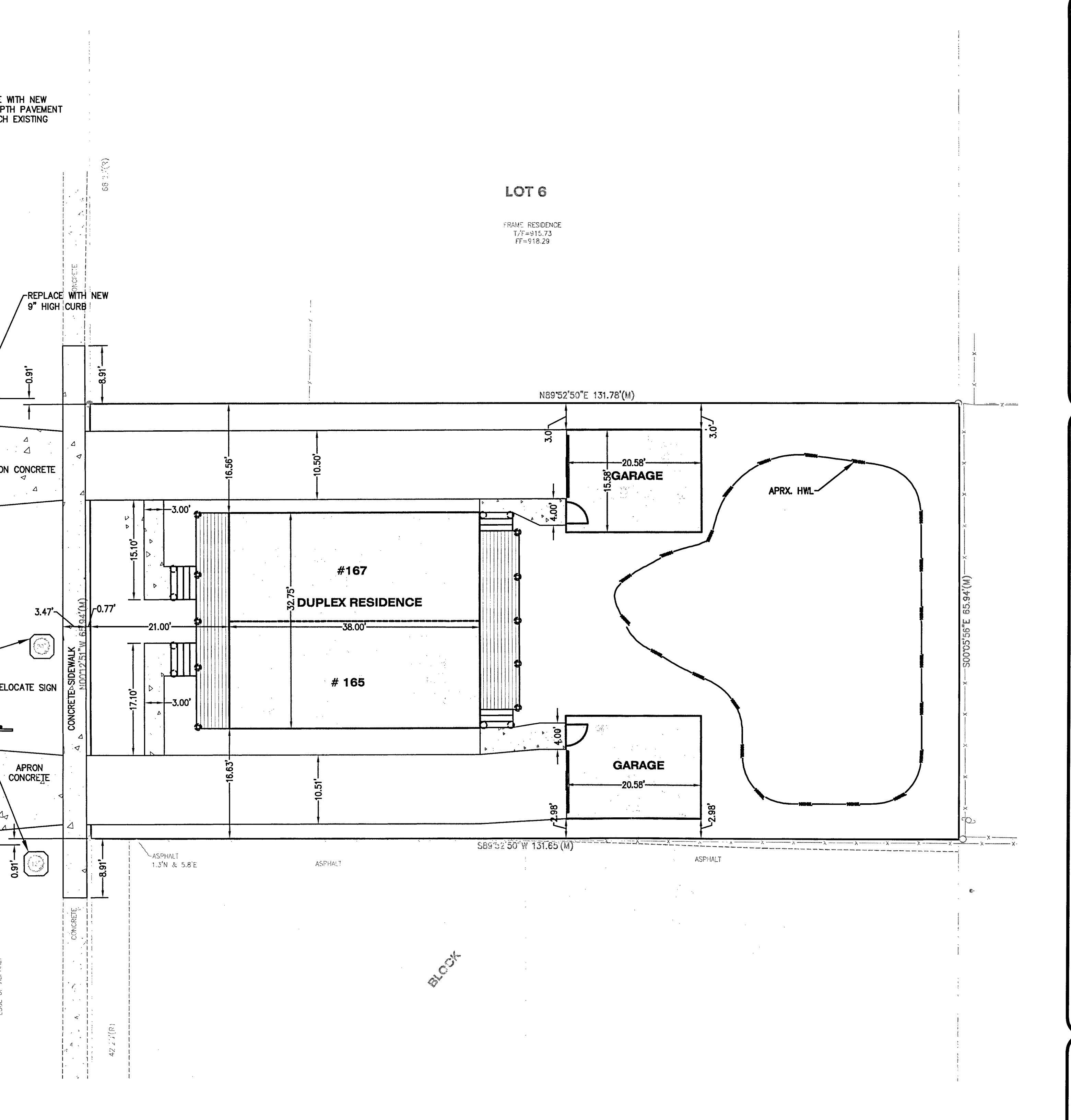
DRAWN BY: DD

CHECKED BY: AW

CITY OF CRYSTAL LAKE

WATER MAIN

- Water main shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
- All water main lines shall be installed in accordance with the City of Crystal Lake Public Works Ordinance and the City Engineer's Office.
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LEGEND

[Pattern]	ASPHALT PAVEMENT
[Pattern]	CONCRETE PAVEMENT

NOTES:

- FOR BUILDING LAYOUT AND DIMENSIONS SEE THE ARCHITECTURAL PLAN.
- A 3/4" INCH FIBER EXPANSION JOINT SHALL BE INSTALLED WHEN THE CURB ABUTS A SIDEWALK OR EXISTING CURB, CONCRETE PAVEMENT/SIDEWALK ABUTS A BUILDING OR CONCRETE PAVEMENT/SIDEWALK ABUTS EXISTING SIDEWALK.

NOTE: CONTRACTOR SHALL PROVIDE APPROPRIATE TRAFFIC CONTROL.

SCALE: 1" = 10'

DUPLEX RESIDENCE
165 AND 167 FIRST STREET
CRYSTAL LAKE, IL

GEOMETRIC & CRYSTAL LAKE NOTES

CELTD
Caldwell Engineering, Ltd.
1316 North Madison Street, Woodstock, Illinois
(815) 502-3304 www.caldwellengineering.com

Designed By: MJC
Drawn By: SAH
Checked By: MJC
Date: 02/05/2018
Job Number: CE170053
Sheet Number: C2

FOR PERMIT SUBMITTAL

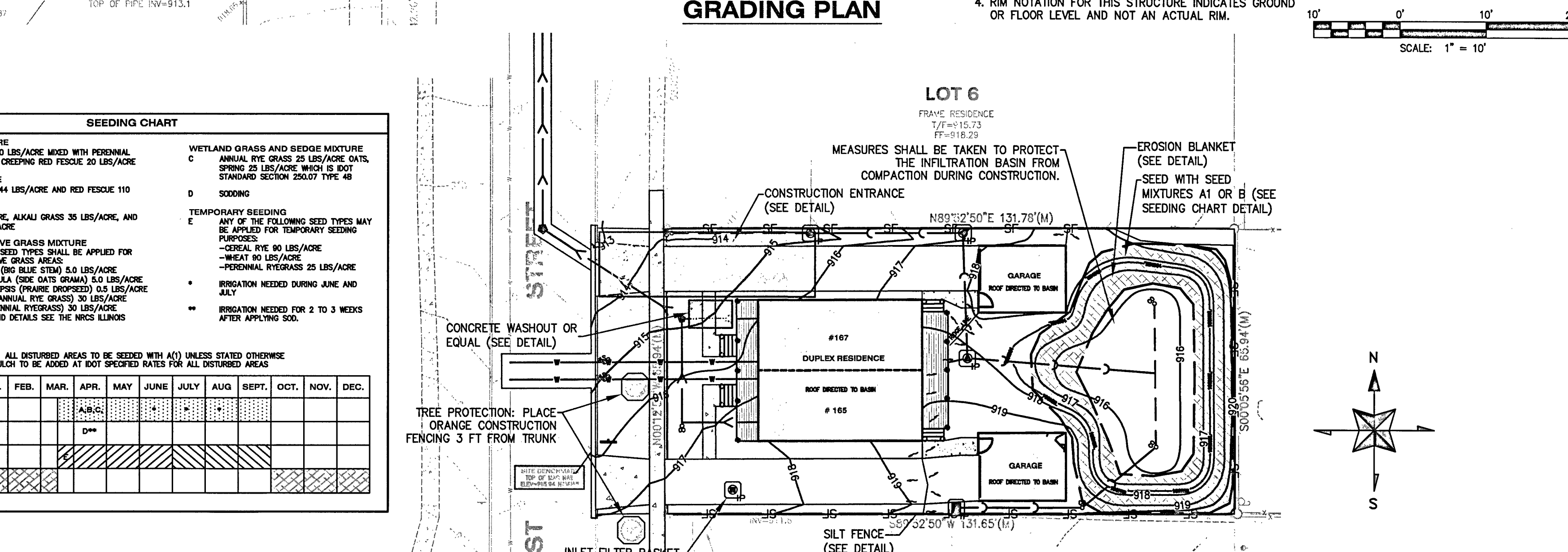
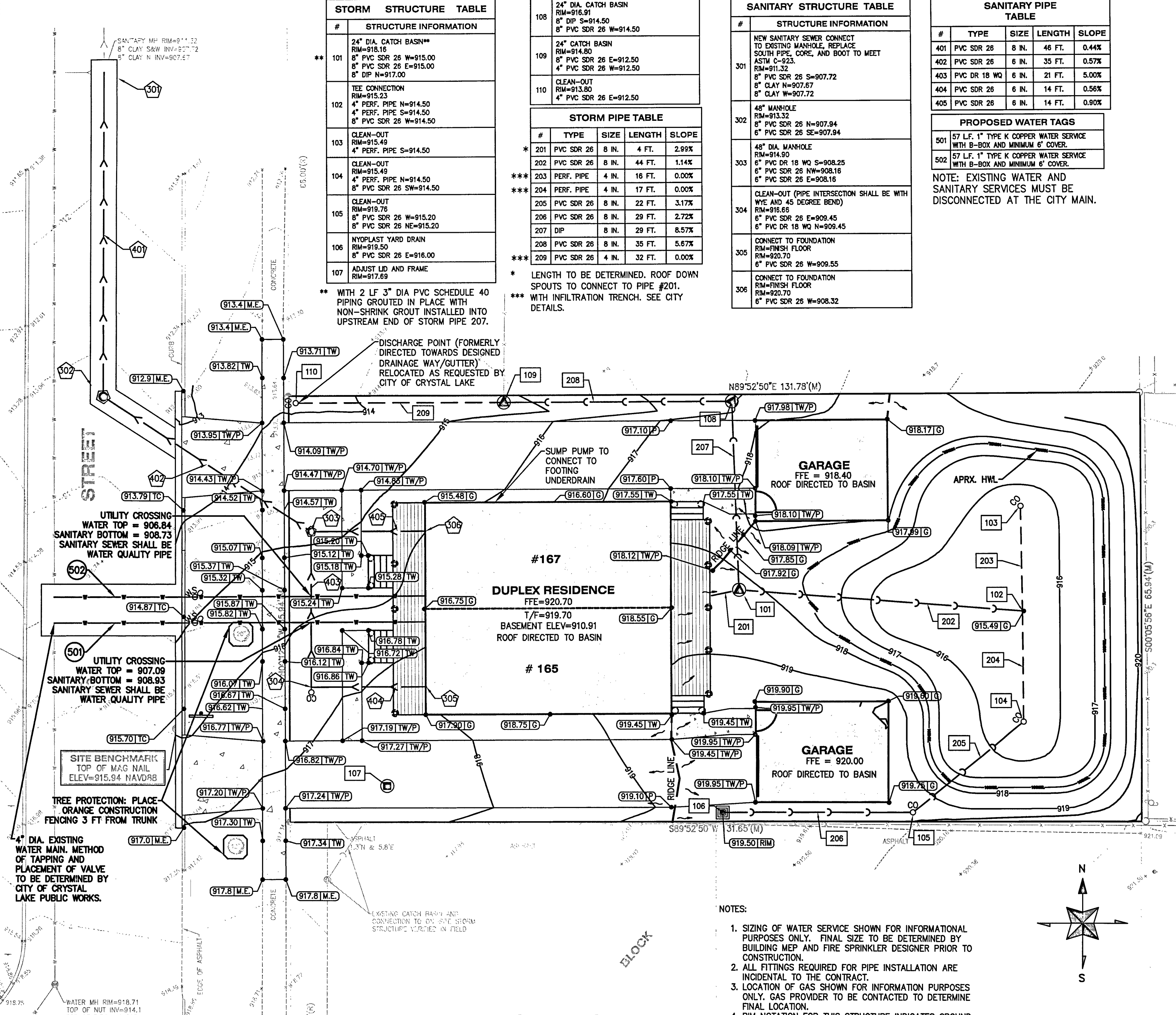
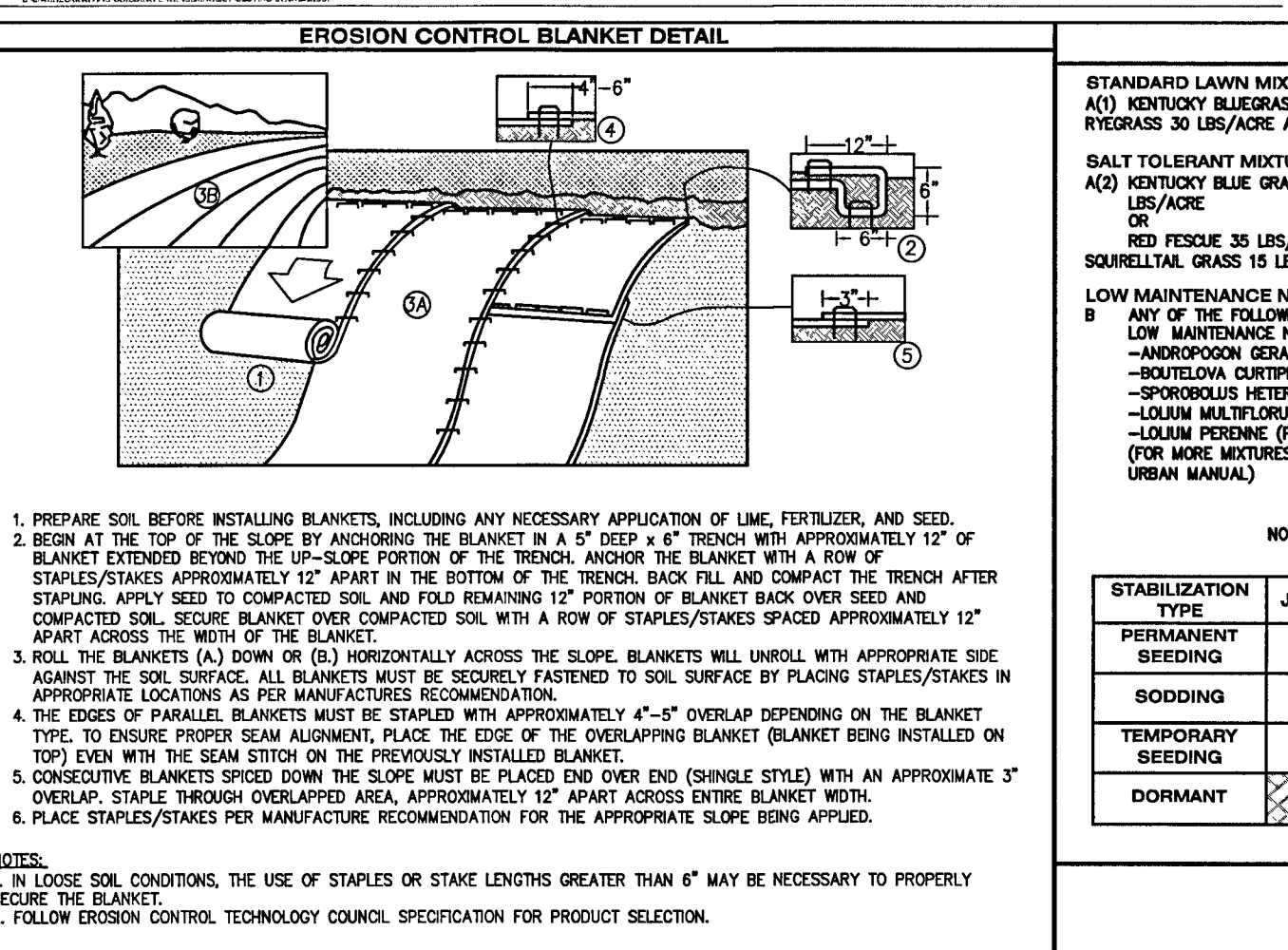
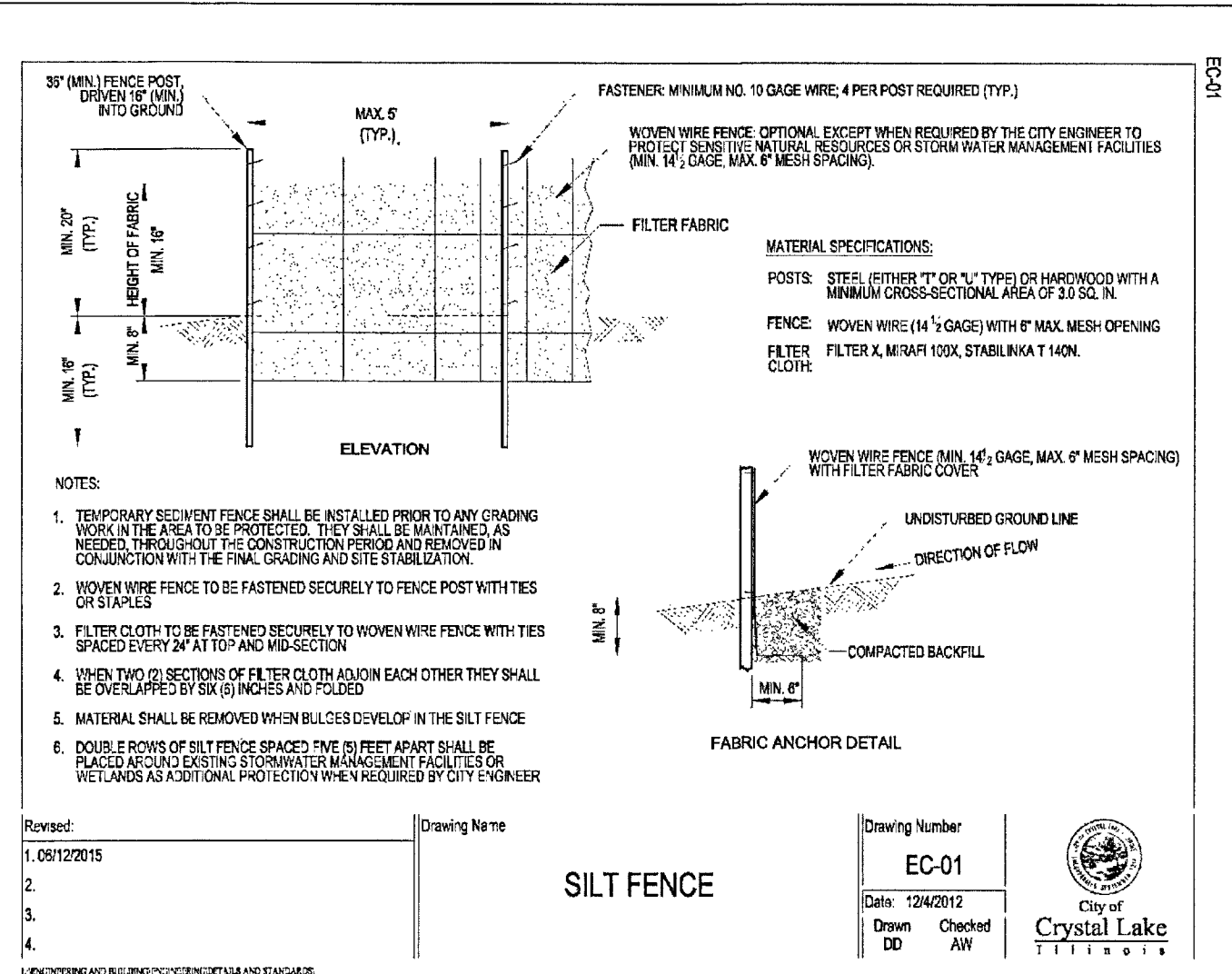
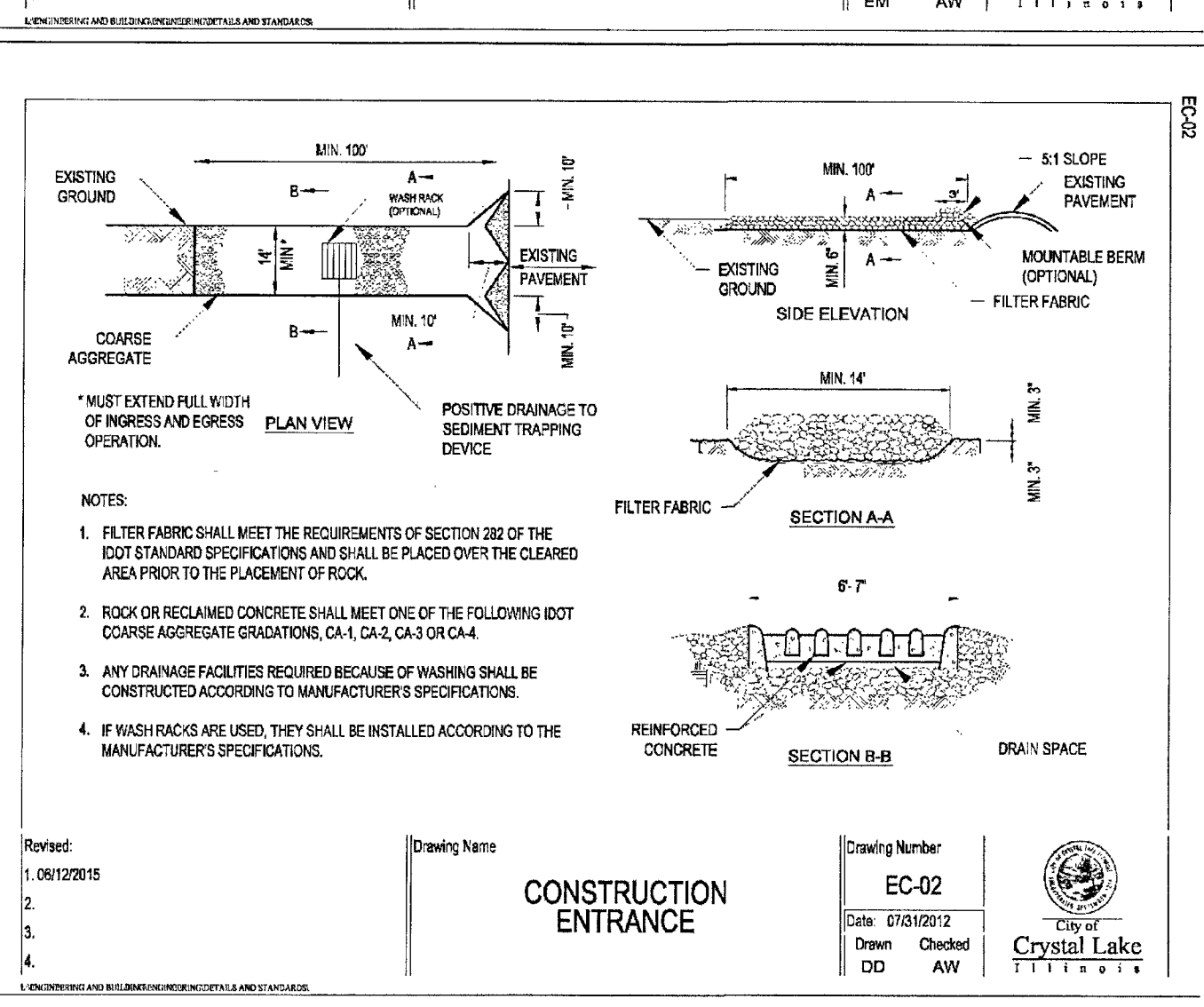
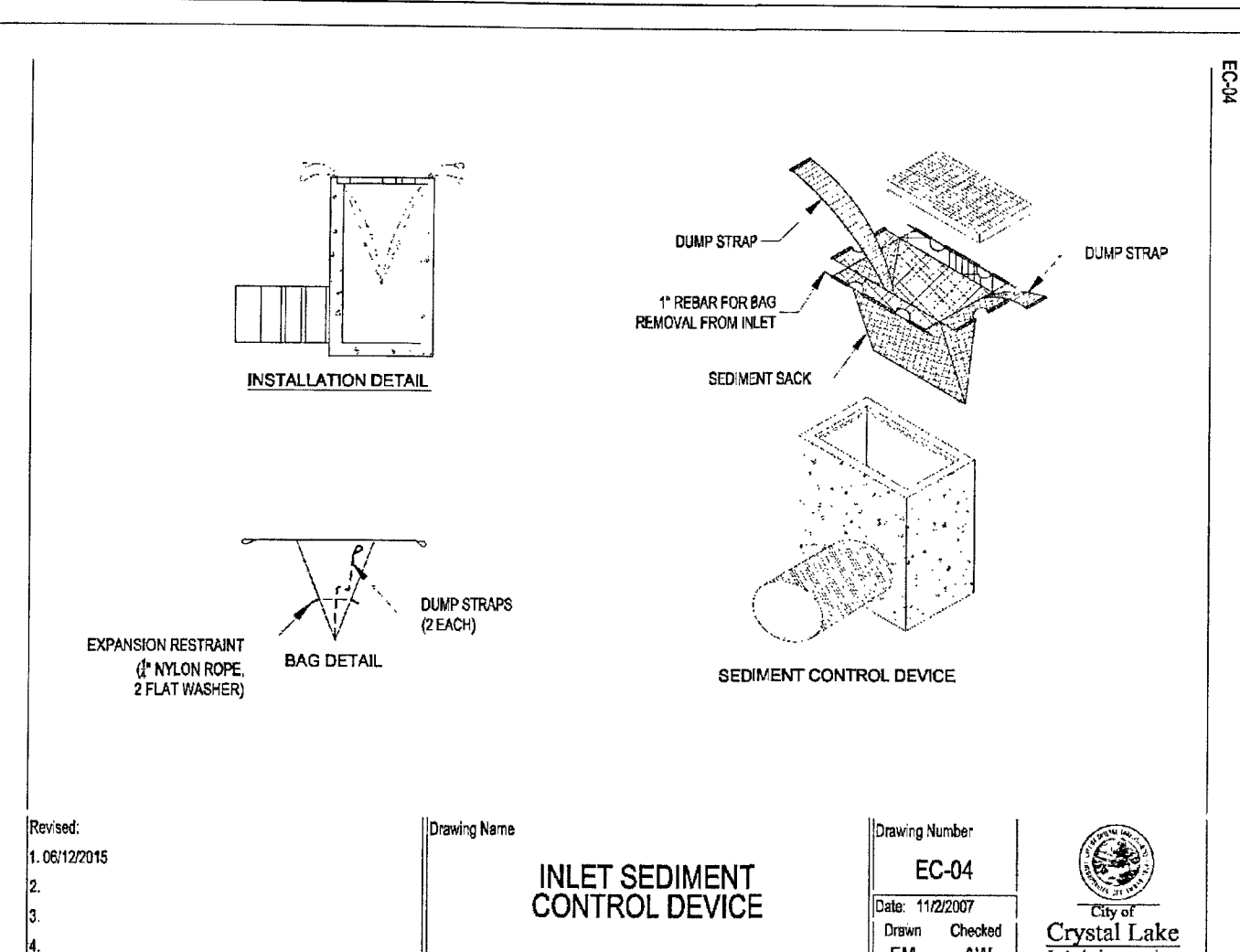
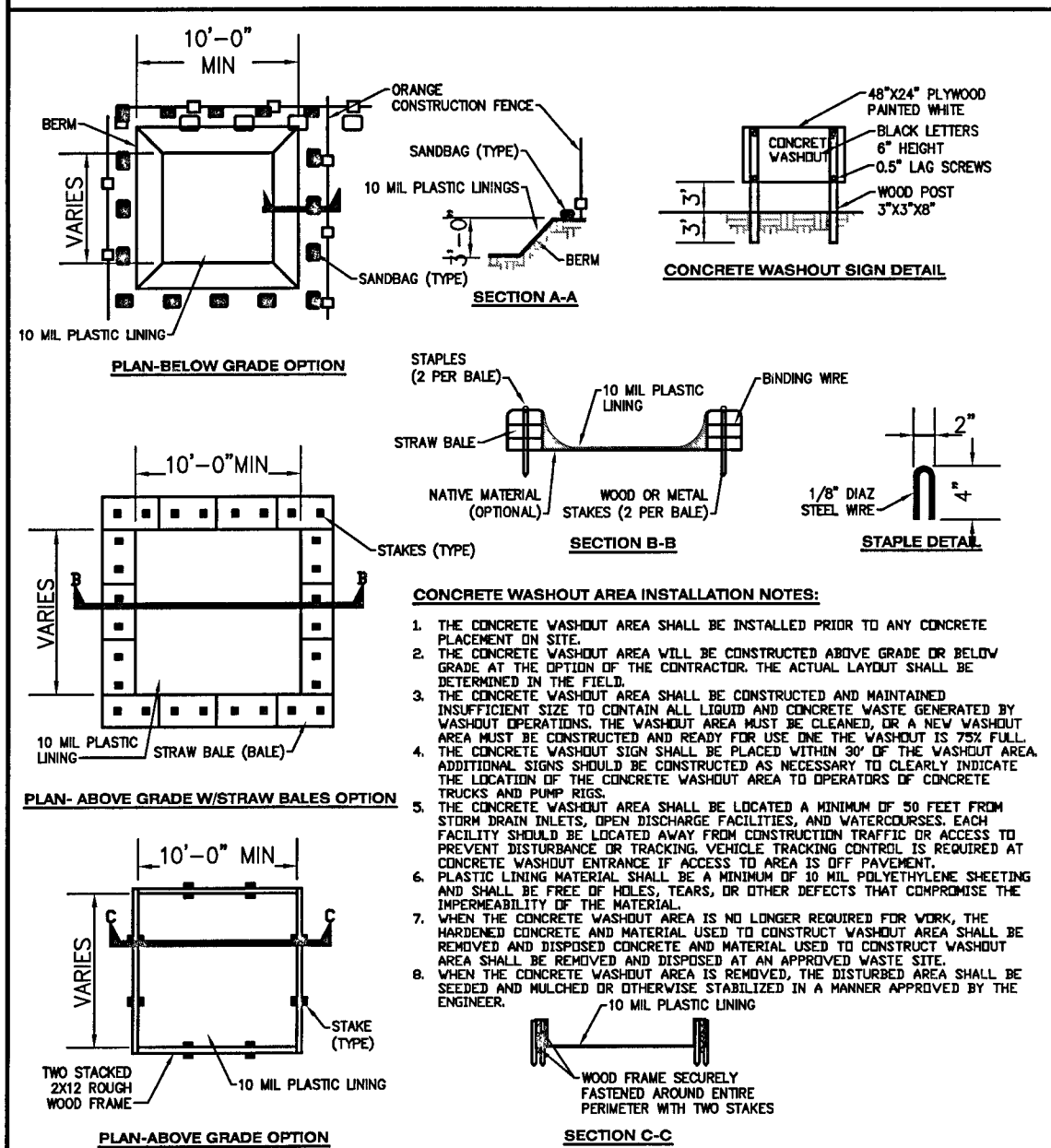
SOIL EROSION AND SEDIMENT CONTROL NOTES:

- CONTROL MEASURES SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ILLINOIS URBAN MANUAL (WWW.AISWCD.ORG/IUM) UNLESS STATED OTHERWISE.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE DISTURBED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL STABILIZATION IS ACHIEVED.
- SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, DEVELOPMENT SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- STABILIZATION BY SEEDING SHALL INCLUDE TOPSOIL PLACEMENT AND FERTILIZATION, AS NECESSARY.
- NATIVE SEED MIXTURES SHALL INCLUDE RAPID-GROWING ANNUAL GRASSES OR SMALL GRASS TO PROVIDE INITIAL, TEMPORARY SOIL STABILIZATION.
- OFFSITE PROPERTY SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT CONCRETE DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL, AS NECESSARY TO PREVENT EROSION.
- SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF TRIBUTARY AREAS.
- STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT LATER THAN 14 CALENDAR DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED BELOW:
- WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE; AND
- IN AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD MAY BE USED.
- DISTURBANCE OF STEEP SLOPES SHALL BE MINIMIZED. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH STAKED IN PLACE SOO, EROSION CONTROL BLANKET IN COMBINATION WITH SEEDING, OR AN EQUIVALENT CONTROL MEASURE. PERIMETER CONTROL MEASURES SHALL BE PROVIDED DOWN-SLOPE AND PERPENDICULAR TO THE FLOW OF RUNOFF FROM DISTURBED AREAS, WHERE THE TRIBUTARY AREA IS GREATER THAN 5,000 SQUARE FEET, AND WHERE RUNOFF WILL FLOW IN A SHEET FLOW MANNER. PERIMETER EROSION CONTROL SHALL ALSO BE PROVIDED AT THE BASE OF SOIL STOCKPILES.
- THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION DOWN-SLOPE FROM DISTURBED AREAS. INLET PROTECTION THAT REDUCES SEDIMENT LOADING, WHILE ALLOWING RUNOFF TO ENTER THE INLET SHALL BE REQUIRED FOR ALL STORM SEWERS, CHECK DAMS, OR AN EQUIVALENT CONTROL MEASURE. SHALL BE REQUIRED FOR ALL CHANNELS. FILTER FABRIC INLET PROTECTION AND STRAW BALE DITCH CHECKS ARE NOT ACCEPTABLE CONTROL MEASURES.
- IF DEWATERING SERVICES ARE USED, DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT TRAP OR AN EQUIVALENT CONTROL MEASURE). THE ENFORCEMENT OFFICER SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OF THE DEVELOPMENT SITE IS ACHIEVED OR AFTER THE TEMPORARY MEASURE IS NO LONGER NECESSARY. TRAPPED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
- STOCKPILED SOIL AND MATERIALS SHALL BE REMOVED FROM FLOOD HAZARD AREAS AT THE END OF EACH WORK DAY. SOIL AND MATERIALS STOCKPILED IN ILMC OR BUFFER AREAS SHALL BE PLACED ON TIGHTLY MAINTAINED OR AN EQUIVALENT CONTROL MEASURE.
- EFFECTIVE CONTROL MEASURES SHALL BE UTILIZED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE DEVELOPMENT SITE. AT A MINIMUM, CONTROL MEASURES SHALL BE IMPLEMENTED IN ORDER TO:
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER; AND
 - MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, VEHICLE FLUIDS, AND OTHER MATERIALS PRESENT ON THE DEVELOPMENT SITE TO PRECIPITATION AND TO STORMWATER.
- ADEQUATE RECEPTACLES SHALL BE PROVIDED FOR THE DEPOSITING OF ALL CONSTRUCTION MATERIAL DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE APPLICANT SHALL NOT CAUSE OR PERMIT THE DUMPING, DEPOSITING, DROPPING, THROWING, DISCARDING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT SITE, CHANNEL, OR ILMC. THE DEVELOPMENT SITE SHALL BE MAINTAINED FREE OF CONSTRUCTION MATERIAL DEBRIS.
- THE ENFORCEMENT OFFICER MAY REQUIRE ADDITIONAL OR ALTERNATE SOIL EROSION AND SEDIMENT CONTROL MEASURES, BASED ON DEVELOPMENT SITE SPECIFIC CONSIDERATIONS AND THE EFFECTIVENESS OF THE INSTALLED CONTROL MEASURES.

DRAIN TILE NOTES:

- DRAIN TILES DISTURBED DURING REGULATED DEVELOPMENT SHALL BE RECONNECTED BY THOSE RESPONSIBLE FOR THEIR DISTURBANCE, UNLESS THE DEVELOPMENT PLANS SPECIFY ABANDONMENT OF THE DRAIN TILES.
- ALL ABANDONED DRAIN TILES WITHIN DISTURBED AREAS SHALL BE REMOVED IN THEIR ENTIRETY.
- DRAIN TILES WITHIN UNDISTURBED AREAS SHALL BE RECONNECTED TO THE EXISTING DRAIN TILE, BYPASSING AROUND THE DEVELOPMENT SITE OR INTERCEPTED AND CONNECTED TO THE STORMWATER MANAGEMENT SYSTEM FOR THE DEVELOPMENT SITE. THE SIZE OF THE REPLACED OR BYPASSING DRAIN TILE SHALL BE EQUIVALENT TO THE EXISTING DRAIN TILE.

CONCRETE WASHOUT AREA



STORM STRUCTURE TABLE

#	STRUCTURE INFORMATION
101	24" DIA. CATCH BASIN** RM=918.16 8" DIP S=0.450 8" PVC SDR 26 W=915.00 8" PVC SDR 26 E=915.00 8" DIP N=917.00
102	TEE CONNECTION RM=915.23 4" PERF. PIPE N=914.50 4" PERF. PIPE S=914.50 8" PVC SDR 26 W=914.50
103	CLEAN-OUT RM=915.49 4" PERF. PIPE S=914.50
104	CLEAN-OUT RM=915.49 4" PERF. PIPE N=914.50 4" PERF. PIPE S=914.50 8" PVC SDR 26 W=914.50
105	CLEAN-OUT RM=915.76 8" PVC SDR 26 W=915.20 8" PVC SDR 26 NE=915.20
106	NYLOPLAST YARD DRAIN RM=915.50 8" PVC SDR 26 E=916.00
107	ADJUST LD AND FRAME RM=917.69

STORM PIPE TABLE

#	TYPE	SIZE	LENGTH	SLOPE
201	PVC SDR 26	8 IN.	4 FT.	2.99%
202	PVC SDR 26	8 IN.	44 FT.	1.14%
203	PERF. PIPE	4 IN.	16 FT.	0.00%
204	PERF. PIPE	4 IN.	17 FT.	0.00%
205	PVC SDR 26	8 IN.	22 FT.	3.17%
206	PVC SDR 26	8 IN.	29 FT.	2.72%
207	DIP	8 IN.	29 FT.	8.57%
208	PVC SDR 26	8 IN.	35 FT.	5.87%
209	PVC SDR 26	4 IN.	32 FT.	0.00%

SANITARY STRUCTURE TABLE

#	STRUCTURE INFORMATION
301	NEW SANITARY SEWER CONNECT TO EXISTING MANHOLE. REPLACE SOUTH PIPE, CORE, AND BOOT TO MEET ASTM C-923. RM=911.32 8" PVC SDR 26 S=907.72 8" CLAY N=907.72 8" CLAY W=907.72
302	48" MANHOLE RM=915.32 8" PVC SDR 26 N=907.94 8" PVC SDR 26 SE=907.94
303	48" DIA. MANHOLE RM=914.90 8" PVC DR 18 WQ S=908.25 8" PVC SDR 26 NW=908.16 8" PVC SDR 26 E=908.16
304	CLEAN-OUT (PIPE INTERSECTION SHALL BE WITH 90° AND 45 DEGREE BEND) RM=918.65 8" PVC SDR 26 E=909.45 8" PVC DR 18 WQ N=909.45
305	CONNECT TO FOUNDATION RM=920.70 8" PVC SDR 26 W=909.55
306	CONNECT TO FOUNDATION RM=920.70 8" PVC SDR 26 W=908.32

SANITARY PIPE TABLE

#	TYPE	SIZE	LENGTH	SLOPE
401	PVC SDR 26	8 IN.	46 FT.	0.44%
402	PVC SDR 18 WQ	8 IN.	35 FT.	0.57%
403	PVC DR 18 WQ	8 IN.	21 FT.	5.00%
404	PVC SDR 26	6 IN.	14 FT.	0.56%
405	PVC SDR 26	6 IN.	14 FT.	0.90%

PROPOSED WATER TAGS

501	57 LF. 1" TYPE K COPPER WATER SERVICE WITH B-BOX AND MINIMUM 6" COVER.
502	57 LF. 1" TYPE K COPPER WATER SERVICE WITH B-BOX AND MINIMUM 6" COVER.

NOTE: EXISTING WATER AND SANITARY SERVICES MUST BE DISCONNECTED AT THE CITY MAIN.

REVISIONS PER CITY COMMENTS

NO.	DATE	DESCRIPTION
1	05/21/2018	

DATE: 05/21/2018

DESIGNED BY: MJC
DRAWN BY: SAH
CHECKED BY: MJC
DATE: 02/05/2018
JOB NUMBER: CE170053
SHEET NUMBER: C3

CEITD Caldwell Engineering, Ltd. (815) 502-5854 www.caldwellengineering.com

FOR PERMIT SUBMITAL

\\LDS\2017\CE170053\South - 1st Street Duplex.dwg, Date Plotted: 05/21/2018 10:47 AM, Plot Style: 170053.ctb, User: jls, Plot Device: HP DesignJet 5000 Series