



#2018-114 903 North Shore – Variation Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	October 3, 2018
<u>Request:</u>	To encroach 7.8 feet into the average 51.3-foot front yard setback (lake side) to construct an addition with second story and projecting balcony.
<u>Location:</u>	903 North Shore
<u>Acreage:</u>	Approximately 7,500 square feet
<u>Existing Zoning:</u>	R-2 Single Family
<u>Surrounding Properties:</u>	North: W Watershed South: Crystal Lake East: R-2 Single Family West: R-2 Single Family
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The property is an existing single family home.
- In 2012, the previous homeowner received a variation tied to a specific set of house plans, which allowed a garage along the street over 600 square feet, a yard abutting a street setback of 52 feet, and a front yard setback of 35 feet. This homeowner completed the work on the garage.
- The current homeowner does not want to build the previously approved plans and is proposing their own changes to the home. This requires the current owner to apply for new variations for their proposed alterations.

Development Analysis:

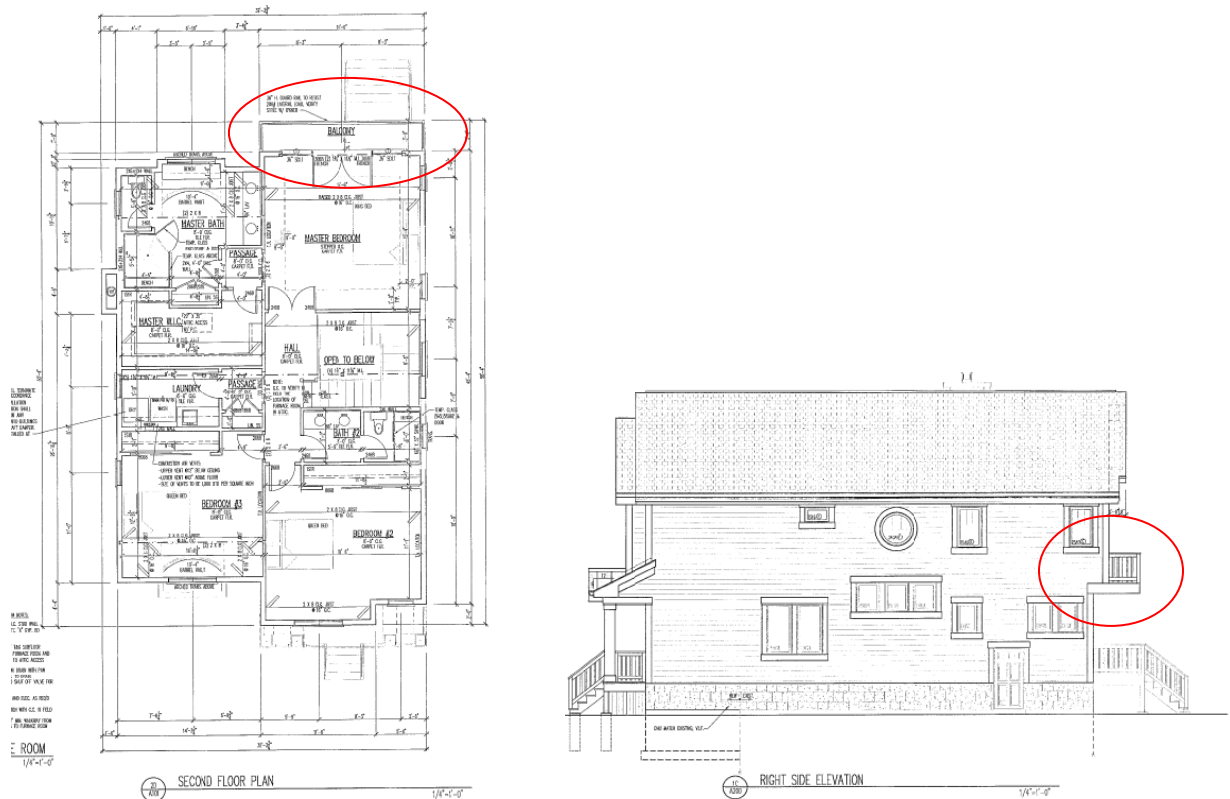
General

- **Request:** Variation to allow the construction of a second story and balcony on the lake side, which encroaches into the averaged front yard setback
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- **Zoning:** The site is zoned R-2 Single Family. This property is used as a single-family home.

Project Analysis:

SITE PLAN

- The existing home has a partial second story, which would be increased to a full second story with the proposed construction. There is also a proposed addition and front porch on the street side of the house, neither of which are in the setback. On the lake side of the home there is a proposed projecting balcony from the master bedroom towards the lake.



- A portion of the second story and the balcony are within the required averaged front yard setback (lake side). The average front yard setback is generated using the existing setback of the homes within 400 feet, typically 200 feet on either side of the property in question.
- The setback was determined to be 51.3 feet. The house is currently setback approximately 46 feet.
- The previous owner constructed a paver patio with seat wall. The petitioner is required to provide an updated plat of survey with the new patio illustrated.
- The photo below shows the existing layout of the home and the patio.



ELEVATIONS

- The changes to the façade will bring a much needed improvement to the character of the neighborhood.
- The new elevations will comply with the Design Standards.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Housing – Single Family Housing

Goal: Promote strong neighborhoods by preserving their character and historical significance and ensuring that they are well serviced by a variety of community facilities and services.

This can be accomplished with the following supporting action:

Supporting Action: Encourage quality subdivision design.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3 Density and Dimensional Standards to allow a 7.8-foot projection into the 51.3-foot front yard setback

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be

applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Foster, received 09/12/18)
 - B. Plat of Survey (Vanderstappen, dated 06/19/12, received 09/12/18)
 - C. Architectural Plans (ALA Architects, 05/24/18, received 09/12/18)
2. The petitioner must provide an accurate plat of survey showing all current improvements on the property.
3. The total site improvements cannot exceed 50% impervious surface coverage of the lot.
4. The petitioner shall address all of the review comments and requirements of Community Development Department.

PLN-2018-00114 FOSTER – 903 NORTH SHORE DR



PLN-2018-00114
RECEIVED
SEP 12 2018
BY:

Application for Simplified Residential Variation

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

I. Applicant

Matthew R Foster and Britanee Worley-Foster
Name
903 N. Shore Dr.
Street
Crystal Lake IL, 60014
City State Zip Code
847-924-3437 Retsof2382@att.net
Telephone Number Fax Number E-mail address

II. Owner of Property (if different)

Name

Address Telephone Number

III. Project Data

1. a. Location/Address: 903 N. Shore Dr Crystal Lake IL 60014
b. PIN #: 19-06-107-002

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):
DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:
The lot is a nonconforming lot and the current lakeside Average setback is within the existing structure.
This has created a hardship concerning the ability to remodel and add an addition to the subject property.

IS THE HARDSHIP SELF-CREATED?
No.

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

Yes

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

No- It will be another improved home along the lake

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUSBTANTIALY INCREASE THE DANGER OF FIRE; OT ENDANGER PUBLIC SAFETY?

No

3. List any previous variations that are approved for this property: Variations were approved on Ordinance No. 6775 File No. 440

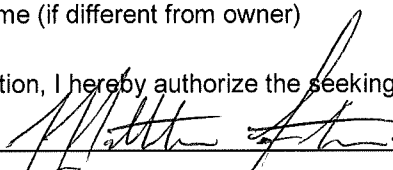
IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

MATTHEW FOSTER



9-12-2018

Bridanne Wolley-Foster
OWNER: Print and Sign name



Date 9-12-18

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE
BEFORE THE PLANNING AND
ZONING COMMISSION OF THE
CITY OF CRYSTAL LAKE,
MCHEMRY COUNTY, ILLINOIS

IN THE MATTER OF THE
APPLICATION OF
Matthew Foster

LEGAL NOTICE

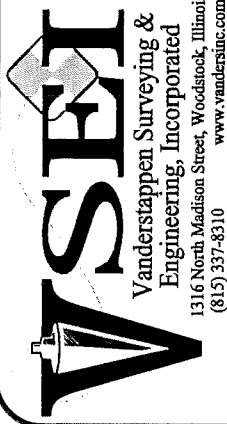
Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application from Matt Foster for approval of a variation relating to the following real estate known as 903 North Shore, Crystal Lake, Illinois 60014, PIN: 19-06-107-002.

This application is filed for the purposes of seeking a Simplified Residential Zoning Variation from Article 3 Density and Dimensional Standards to allow the remodeling of a home, which includes second story projections that encroach 7.8 feet into the required 51.3-foot averaged front yard, as well as any other variations that may be necessary to allow the plans as presented. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:30 p.m. on Wednesday, October 3, 2018, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
on September 14, 2018)1580878



PLAT OF SURVEY

Lot 26 in Block 2 in Clow's Crystal Lake Park, being a Subdivision of part of Lot 2 of the Northeast Quarter of Section 1, Township 43 North, of Range 7, East of the Third Principal Meridian, and of the West half of Lot 2 of the Northwest Quarter of Section 6, in Township 43 North, of Range 8, East of the Third Principal Meridian, according to the Plat thereof, recorded September 6, 1894 in Book 1 of Plats, on page 54, in McHenry County, Illinois.

NORTH SHORE DRIVE



LEGEND	
●	FOUND IRON BAR
○	UTILITY POLE
○	FOUND IRON PIPE
⊙	CLEAN-OUT
⊗	SET MAG NAIL
⊠	GAS METER
⊕	SANITARY MANHOLE
⊖	FIRE HYDRANT
⊗	WATER VALVE
⊕	WATER SHUT-OFF
⊖	ELECTRIC METER
⊗	LIGHT
⊕	TREE
(M)	MEASURED
(D)	DEED
(R)	RECORD

CLIENT: SCOTT & LORI WATKINS
 DRAWN BY: MJV CHECKED BY: WJV
 SCALE: 1"=20' SEC. 06 T. 43 R. 08 E.
 BASIS OF BEARING: ASSUMED
 P.I.N.: 19-06-107-002
 JOB NO.: 120294 I.D. TPB
 FIELDWORK COMP.: 6/19/12 BK. 93 PG. 65
 ALL DISTANCES SHOWN IN FEET AND DECIMAL REF.
 PARTS THEREOF CORRECTED TO 68° F.

PROJECT BENCHMARK
 STATION "MCH176-2A" ELEV=907.25 NAVD88
 MCHENRY COUNTY GEODETIC CONTROL
 STATION #6932

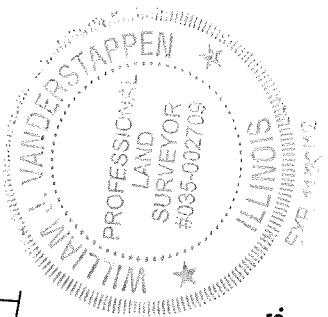
NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.
 • No distance should be assumed by scaling.
 • No underground improvements have been located unless shown and noted.
 • No representation as to ownership, use, or possession should be hereon implied.
 • This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.
 Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

STATE OF ILLINOIS)
 COUNTY OF McHENRY) S.S.

In my professional opinion and based on my observations, I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of said survey. This professional service conforms to the current Illinois minimum standards for a boundary survey.

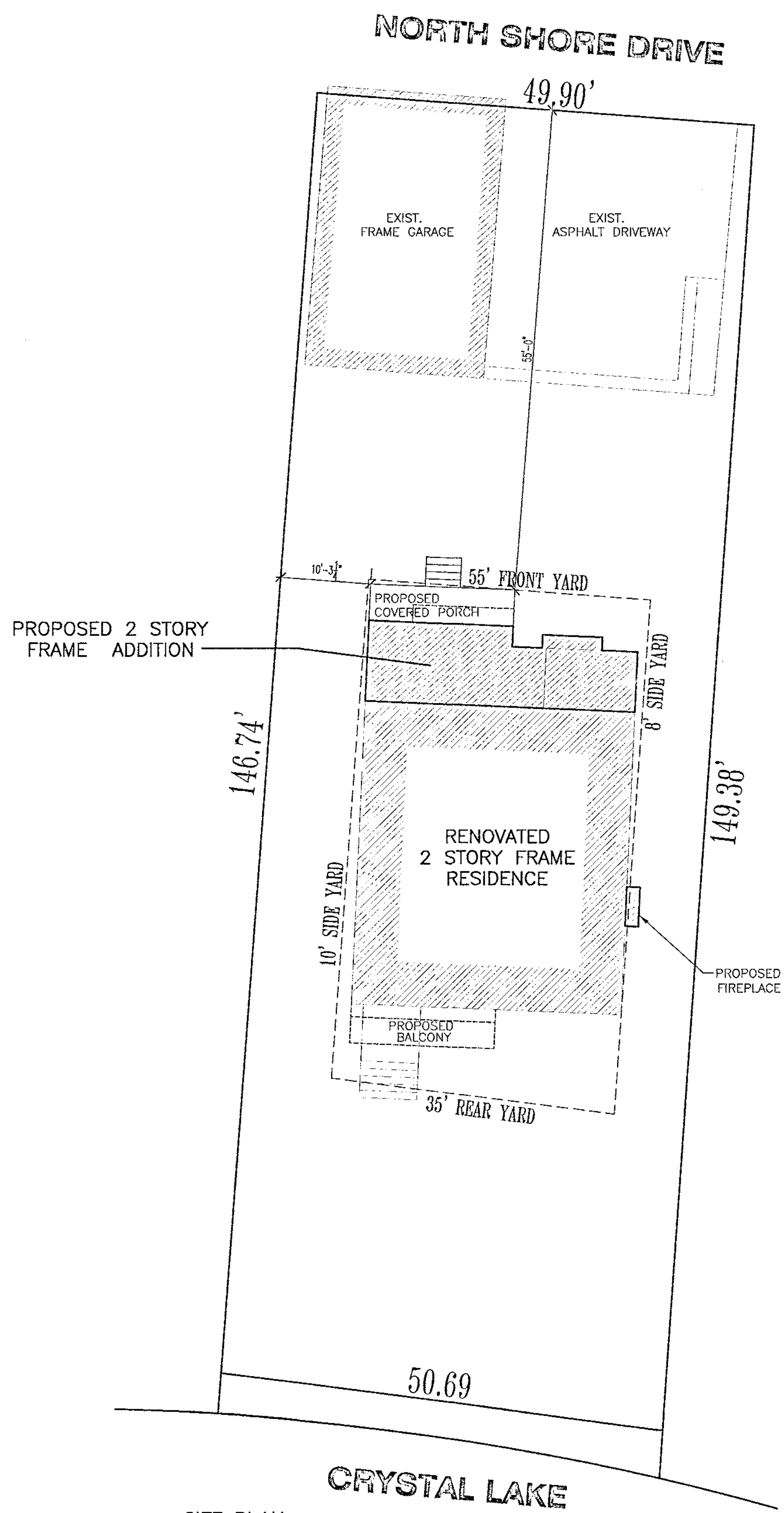
Dated at Woodstock,
 McHenry County, Illinois 6/22, A.D., 2012.
 Vanderstappen Surveying & Engineering, Inc.
 Design Firm No. 184-002792

By: *William J. Vanderstappen*
 Professional Land Surveyor No. 2709



FOSTER RESIDENCE

903 NORTH SHORE DRIVE CRYSTAL LAKE, IL



DRAWING INDEX	
A000	SITE PLAN, DRAWING INDEX, GENERAL NOTES
A100	FOUNDATION PLAN, FIRST FLOOR DEMOLITION PLAN, SECOND FLOOR DEMOLITION PLAN, DECK DETAILS
A101	FIRST FLOOR PLAN, SECOND FLOOR PLAN
A200	FRONT ELEVATION, REAR ELEVATION, LEFT SIDE ELEVATION, RIGHT SIDE ELEVATION
A300	ROOF PLAN & STRUCTURAL NOTES, CONSTRUCTION SPECIFICATIONS, ATTIC VENT SCHEDULE, WALL SECTION
A301	WASTE & SUPPLY DIAGRAM, LIGHT & VENT SCHEDULE, WALL SECTION
E101	FIRST FLOOR ELECTRICAL PLAN, SECOND FLOOR ELECTRICAL PLAN

IECC - INTERNATIONAL ENERGY CONSERVATION CODE
 THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE 2006 INTERNATIONAL ENERGY CONSERVATION CODE AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.
 THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIBED METHOD AS ALLOWED FOR IN IECC, CHAPTER 11, "ADMINISTRATION" (FOUR(1)) IECC SCOPE AND APPLICATION ABSTRACT - RESIDENTIAL, SECTION 11.0, "MEETING OR EXCEEDING ALL APPLICABLE REQUIREMENTS AND SPECIFICATIONS REQUIRED BY THE CODE."
 AS SPECIFIED BY THE CODE, OTHER THAN THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE ALTERNATIVE" OR "RESOCCO" TO EVALUATE THE ENVELOPE, THE PRESCRIBED METHOD EXCEEDS ALL APPLICABLE REQUIREMENTS REQUIRED BY THE CODE AND IS SPECIFICALLY ALLOWED FOR AS A REPLACEMENT FOR THE "SIMULATED PERFORMANCE ALTERNATIVE" OR "RESOCCO".
 THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE 2006 IECC CODE AND ARE NOT INTENDED TO RESTRICT THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME.

IF YOU DON'T READ ANY OTHER NOTES - READ THIS ONE !!!
NOTE TO BIDDERS & CONTRACTORS:
 THESE PLANS HAVE BEEN PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THIS APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT, FOR APPROVAL PRIOR TO BEGINNING WORK.
 THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK, ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION, NOT ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL FINISHES OR COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR DISCIPLINE AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

PLAN & ELEVATION SYMBOLS

5 SHELF	1 SHED & 1 ROD	SPRINKLER HEAD
GAS INDOOR	WATER HOODUP	FROST PROOF HOSE BIB
SHOWER HEAD FAUCET	SHOWER RAIN HEAD	FLOOR DRAIN
PRE-FAB FIREPLACE FLUE	MASONRY FIREPLACE FLUE	REBAR
CEILING DETAIL DIAGRAM	NOOK POINT	ROOF PITCH
SECTION / VIEW MARKER	ELEVATION MARKER	REVISION MARKER

WINDOW & DOOR NOTES
 EXAMPLE WINDOW: 2555 = 2'-5" X 5'-5" (1) - EGRESS WINDOW (2) - TINTED GLASS
 EXAMPLE DOOR: 2468 = 2'-4" X 6'-8" (1) - FIXED WINDOW

ELECTRICAL SYMBOLS:

SINGLE OUTLET (1)	SWITCHED DUPLEX OUTLET (2)	TELEVISION JACK
DUPLEX OUTLET (2)	SWITCH	TELEPHONE JACK
QUAD. OUTLET (4)	DOOR ACTIVATED SWITCH	HORN JACK
FLUORESCENT LIGHT FIXTURE	EXHAUST FAN (VENTED TO EXTERIOR)	
RECESSIBLE CAN LIGHT	UNDER CABINET LIGHT	
DIRECTIONAL RECESSED CAN LT.	UNDER CABINET LED LIGHT STRIP	
SURFACE MOUNTED LED CAN LIGHT	EXTERIOR COMB LIGHT FIXTURE	
WALL MOUNTED LIGHT FIXTURE	CERAMIC MOUNTED FAN/LIGHT	
EXTERIOR FLOOD LIGHT	110V SMOKE DETECTOR W/ BATTERY BACKUP	
A/C HARD WIRE W/ BATTERY BACKUP	W/BATTERY BACKUP RING ON DEDICATED CIRCUIT	

WALL TYPES

NEW FRAME WALL	NEW FOUNDATION WALL & FOOTING
BRICKMASONRY OR CASTED CONCRETE	DEPRESSED FOUNDATION WALL
BRICK WALL ABOVE	TR. SILL PLATE @ FDN. WALL

NOTE TO CONTRACTORS
 ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY IMMEDIATELY OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.
 ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

CODE CONFORMANCE

- 2006 INTERNATIONAL RESIDENTIAL CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2006 INTERNATIONAL FUEL GAS CODE
- 2006 INTERNATIONAL ENERGY CONSERVATION CODE
- 2006 INTERNATIONAL FIRE CODE
- 2006 NATIONAL FIRE ALARMS CODE
- 2014 ILLINOIS PLUMBING CODE
- CITY OF CRYSTAL LAKE CODE OF ORDINANCES

ARCHITECT'S CERTIFICATION

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications to the best of my knowledge and belief in compliance with applicable laws, codes and ordinances.

ALA ARCHITECTS & PLANNERS, INC.
 2600 Babson Road at Rt. 176
 Crystal Lake, Illinois 60014
 Telephone: 815-708-5200
 Fax: 815-708-5201

RECEIVED
 SEP 10 2010

DESIGN LOADING VALUES

ROOF	30 PSF LIVE LOAD	WALLS	20 PSF WIND FOR 0-20 FT. HEIGHT
CORING	20 PSF LIVE LOAD		25 PSF WIND FOR 21-29 FT. HEIGHT
FLOOR	60 PSF LIVE FOR EXTERIOR BALCONY		30 PSF WIND FOR 30 FT. AND ABOVE
	40 PSF LIVE FOR FLOORS, DECKS, STAIRS		3000 PSF ASSUMED UNIFORM ASSIGNED
	30 PSF LIVE FOR BEDROOMS		COWNER/CONTRACTOR RESPONSIBLE TO VERIFY

FOUNDATION NOTES:

- SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT OF FOUNDATION WALLS
- ALL FOUNDATION WALLS OVER 8" TALL TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
- ALL FOUNDATION WALLS WITH BRICK ABOVE TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
- VERIFY THICKNESS OF ALL FOUNDATION WALLS TO CONFORM WITH THICKNESS REQUIRED FOR EXISTING WALL FINISHES SHOWN ON ELEVATIONS (BRICK OR FRAME)
- ALL EXTERIOR WALKOUT OR ENGLISH BASEMENT FRAME WALLS 6" (2x6 W/ 1/2" SHEATHING)
- STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS AND 3500 PSI FOR CONCRETE FLAT WORK AND EXTERIOR CONDITIONS
- ALL PORCHES, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3000 PSI AND BETWEEN 5x8 & 7x8 AIR ENCASED
- FOUNDATION HEIGHT TO BE AT SUCH A LEVEL SO NEW TOP OF FINISHED FLOOR MATCHES EXISTING TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED
- PROVIDE SAW CUTS BY EXISTING FOUNDATION TO PROVIDE FOR ADEQUATE ACCESS EITHER TO NEW GRAVEL, SPACE OR BASEMENT, PER PLANS AND LOCAL CODES.
- PROVIDE SAW CUTS IN EXISTING FOUNDATION FOR HVAC ACCESS TO NEW ADDITION AS NOTED.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE VERIFICATION OF EXISTING STRENGTH AND DEPTH OF EXISTING FOUNDATION AND FOOTING.

WINDOW NOTES:

- VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- WALKOUT BASEMENT CLOSET OR WALKOUT WINDOWS 6'-8" A.F.F. OR TO MATCH EXISTING
- TOP OF WINDOWS IN REMODELED AREAS OF ADDITIONS TO MATCH EXISTING
- ALL WINDOWS ARE DESIGNATED BY ROOFING SYSTEM, SLOPE IN FEET AND INCHES
 EXAMPLE: 2555 = 2'-5" X 5'-5" TO BE MET WITHIN 2" OR CLOSER
- PROVIDE (2) X 12'S ABOVE ALL NEW WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- VERIFY ALL EXISTING HEADERS WHICH REMAIN SHALL BE INCREASED AS A RESULT OF THE REMODELING TO BE MIN. (2) X 12 UNLESS OTHERWISE NOTED.
- NEW WINDOW STYLE AND TYPE TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- WHEN PROVIDING A NEW DOOR, PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF DOOR, WITHIN 18" OF FLOOR, IN TWO/SHOWER ENCLOSURES, AND IN STAIR WELLS

STRUCTURAL NOTES:

- DOOR, JOIST UNLESS ALL BEAMS, PARALLEL PARTITIONS, WHICH BEAMS AND POINT LOADS
- ALL INTERIOR PARTITIONS 3/4" UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS 4x8 (2x4 W/ 1/2" SHEATHING & 1" AIR SPACE & 4" BRICK VENEER)
- ALL EXTERIOR WALLS 6" (2x6 W/ 1/2" SHEATHING)
- ALL EXTERIOR BRICK WALLS 8" (2x8 W/ 1/2" SHEATHING) AND 1" AIR SPACE & 4" BRICK VENEER
- ALL EXTERIOR DOWNSPUTTERS ARE TO EXTERIOR OF WALL CEILING OR BRICK
- PROVIDE 6" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE OPENINGS UP TO 6" WIDE WITH BRICK ABOVE
- PROVIDE 6" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE OPENINGS FROM 6" TO 16" WIDE WITH BRICK ABOVE
- PROVIDE 7" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE 16" & 16" WIDE OVERHEAD DOORS WITH MORE THAN 2' OF BRICK ABOVE
- PROVIDE 9" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE 16" & 16" WIDE OVERHEAD DOORS WITH MORE THAN 2' OF BRICK ABOVE
- STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS AND SIMS FOR A COMPLETE INSTALLATION.
- PRE-ENGINEERED FRAME BEAMS TO BE CONNECTED WITH:
 7/8" BOLTS @ 20" O.C. AND (1) @ EACH END
- ALL STEEL BEAMS, LINTELS & COLUMN PLATES SHALL BE GHP-PRIMED
- WALLS SHALL BE BRACED AT EACH END AND 20' O.C. MAX.
- ALL JOISTS, STUDS & RAFTERS TO BE SPT #1 (CANADIAN) UNLESS OTHERWISE NOTED
- ALL 2 X 10 FLOOR JOISTS OVER 16'-0" TO BE 16' #1 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (GRADE PINE FIBER STANDARD)
- ALL 2 X 12 FLOOR JOISTS OVER 16'-0" IN LENGTH TO BE 16' #1 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (GRADE PINE FIBER STANDARD)
- ALL HEADERS TO BE (2) 2X 8'S #1 (CANADIAN) UNLESS OTHERWISE NOTED
- THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED MEMBERS SHALL BE APPROVED BY THE MANUFACTURER.
- PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOISTS AT THE TIME OF INSPECTIONS.
- PRE-ENGINEERED FLOOR JOIST TO BE BY "TRUSJOIST" MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS.
- PRE-ENGINEERED FLOOR JOIST SUPPLIER SHALL PROVIDE JOIST LAYOUT FROM MANUFACTURER PRIOR TO FRAMING.
- (2) X 4 IN INTERIOR PARTITIONS W/ DEL. JST. BELOW UNLESS OTHERWISE NOTED
- (2) X 4 IN INTERIOR PARTITIONS W/ DEL. JST. BELOW UNLESS OTHERWISE NOTED
- POINT LOAD FROM ABOVE W/ DEL. JST. BELOW UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS OVER 10' TALL TO BE 2x4 @ 16" O.C. STUD WALLS
- ADD 2 X 4 HORIZONTAL BRACING SAME WITH AS STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 10' IN HEIGHT, FASTEN EXTERIOR SHEATHING TO BRACING AND TO STUDS.
- HEIGHT OF 3/8" HALF WALLS IN ALL CONDITIONS.

STAIR NOTES

- STAIRS SHALL HAVE MAXIMUM 75% RISE HEIGHTS & MINIMUM 10" TREAD DEPTHS
- GUARDRAILS SHALL HAVE SPACING SUCH THAT THEY WILL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE
- PROVIDE A MINIMUM OF 6" CLEAR HEADROOM FOR STAIRS IN ALL CONDITIONS. PROVIDE FULL LENGTH CONTINUOUS HANDRAIL 36" IN HEIGHT AT ALL STAIR RUNS WITH 4 OR MORE RISERS. RAIL ENDS TO BE RETURNED OR TERMINATE IN NEXT POST

ELECTRICAL NOTES

- WHEN REMODELING OR ADDING A KITCHEN, ALL OUTLETS MAXIMUM 40" O.C., AND 60" FROM SINKS, COUNTERTOPS OR ACCORDING TO LAUNDRY ROOM. ALL OUTLETS WITHIN 22" OF SINK TO BE GFI
- WHEN REMODELING OR ADDING A GARAGE, ALL OUTLETS IN GARAGE TO BE GFI
- ALL EXISTING ELECTRICAL COMPONENTS WHICH ARE EFFECTED BY THE REMODELING OR ADDITION ARE TO BE ADJUSTED, UPDATED, MOVED OR MODIFIED AS NEEDED TO CONFORM TO CURRENT LOCAL AND NATIONAL ELECTRICAL CODES.
- WHEN MODIFYING AN EXISTING RESIDENCE:
 (ALTERATIONS, REPAIRS OR MODIFICATIONS) THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR A NEW BUILDING ON EACH LEVEL AND WITHIN 15'-0" ON EACH BEDROOM AS ACCORDING TO LOCAL CODE. (SEE PLANS)
 MAXIMUM OF 12'-0" BETWEEN TYPICAL ROOM OUTLETS UNLESS OTHERWISE NOTED
- VERIFY THAT NO RENEWAL ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET.
- ALL NEW ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING
- ALL OUTLETS SHALL BE ARC FAULT PROTECTED
- ALL 15 & 20 AMP OUTLETS SHALL BE TRAPPER RESISTANT
- ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN
- RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 6" IN FRONT OF THE TOP SHELF AND SURFACE MOUNTED INCANDESCENT FIXTURES IN WALK-IN CLOSETS SHALL BE AT LEAST 12" IN FRONT OF TOP SHELF AND SHALL BE FULLY ENCLOSED WITH A GLASS SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN
- PROVIDE 3 SEPARATE 20 AMP CIRCUITS FOR THE REFRIGERATOR, MICROWAVE AND DISPOSAL/DISHWASHER
- PROVIDE 30" DEEP x 30" WIDE x 6'-6" HIGH CLEAR AREA IN FRONT OF ELECTRICAL PANEL
- 200 AMP SERVICE UP TO 1000 SF.
- 400 AMP SERVICE OVER 1000 SF.

PLUMBING NOTES

- PROVIDE GAS SHUTOFF VALVES TO ALL GAS APPLIANCES AND FIREPLACES
- ALL FURNISHING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES
- TO BE IN A MINIMUM WALL OF 2x6 STUDS
- ALL WATER LINES TO A SECOND FLOOR TO HAVE 1/2" AIR CHAMBERS
- ABOVE GROUND WASTE - SCHEDULE 40 PVC, 1120 SERIES
- BELOW GROUND WASTE - SCH 40 PVC OR CAST IRON
- ABOVE GROUND WATER - TYPE L COPPER, NO LEAD SOLDER
- BELOW GROUND WATER - TYPE L COPPER
- COLORLED PRIMER AND STACK TEST REQUIRED ON ALL PVC PIPING
- PURGE AIR OR WATER PRESSURE TEST REQUIRED ON WATER PIPING
- UNDERGROUND SANITARY SHALL BE 4" MIN.

HVAC NOTES:

- HVAC CONTRACTOR TO VERIFY EXISTING HVAC SYSTEM TO BE CAPABLE OF PROVIDING ADEQUATE AIR FLOW TO NEW ADDITION, UPDATE, REPLACE, ADD TO OR MOVE AS NOTED
- HVAC CONTRACTOR TO VERIFY LOCATION OF HVAC IN FIELD.
- WHEN PROVIDING AN ATTIC FURNACE, PROVIDE A SMOKE DETECTOR AN OVERFLOW PAN WITH A DRAIN AND AUTO SHUT OFF VALVE (TOP DRAIN BACK UP) ALONG WITH ANY OTHER REQUIREMENTS MIGHT BE NEEDED TO SAFELY LOCK AND UNLOCK BUILDING CODES
- DUCT JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT.
- DUCTS SHALL BE SUPPORTED AT 10'-0" INTERVALS MIN.

FINISHES

- ALL INTERIOR AND EXTERIOR FINISHES INCLUDING BUT NOT LIMITED TO MOULDING, DOORS, WINDOWS, SINKS, ROOFING, ETC. ARE TO MATCH EXISTING UNLESS OTHERWISE NOTED.

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SITE PLAN
 GENERAL NOTES
 DRAWING INDEX

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Job Number: 18070
 Sheet Number: A000
 File Name: 18070A000

HOUSE/DECK CONNECTION
STANDARD BASEMENT OR CRAWLSPACE

RAIL @ BALUSTER DETAIL
FLUSH BEAM

RAIL @ 4 X 4 SUPPORTS
FLUSH BEAM

1A EXTERIOR DECK DETAILS

NOTE:
SEE PLANS FOR SIZES OF STRUCTURAL AND DECORATIVE
MEMBERS OF THE EXTERIOR DECK DETAILS SHOWN.

1/2"=1'-0"

NOTE:
ALL DIMENSIONS OF EXISTING WALLS &
EXISTING SPACES TO BE VERIFIED IN
FIELD BY G.C. PRIOR TO ORDERING OF
ANY/ALL MATERIALS & PRIOR TO
CONSTRUCTION.

NOTE:
ALL ELECTRIC SWITCHES, FIXTURES &
OUTLETS TO BE INSTALLED AS SHOWN.
RE-USE & TIE-INTO EXISTING AS MUCH
AS POSSIBLE, VERIFY IN FIELD.

NOTE:
FIELD VERIFY LOCATION OF ELEC. &
GAS METER RELOCATE AS REQ'D.

NOTE:
SUPPORT OR REMOVE ABOVE
STRUCTURE PRIOR TO ANY DEMOLITION.

NOTE:
VERIFY EXISTING DRAIN TILE -
TIED INTO NEW OR PROVIDE NEW.

NOTE:
VERIFY FOOTINGS TO SIT ON
UNDISTURBED SOIL MIN. 4" BELOW
FINISHED GRADE.

NOTE:
TOP OF FIN. TO BE AT SUCH AN
ELEVATION TO ALLOW FIN. FLOOR TO
MATCH EXISTING.

NOTE:
VERIFY EXISTING RADON REDUCTION
SYSTEM MEETS STATE ADOPTED CODES.

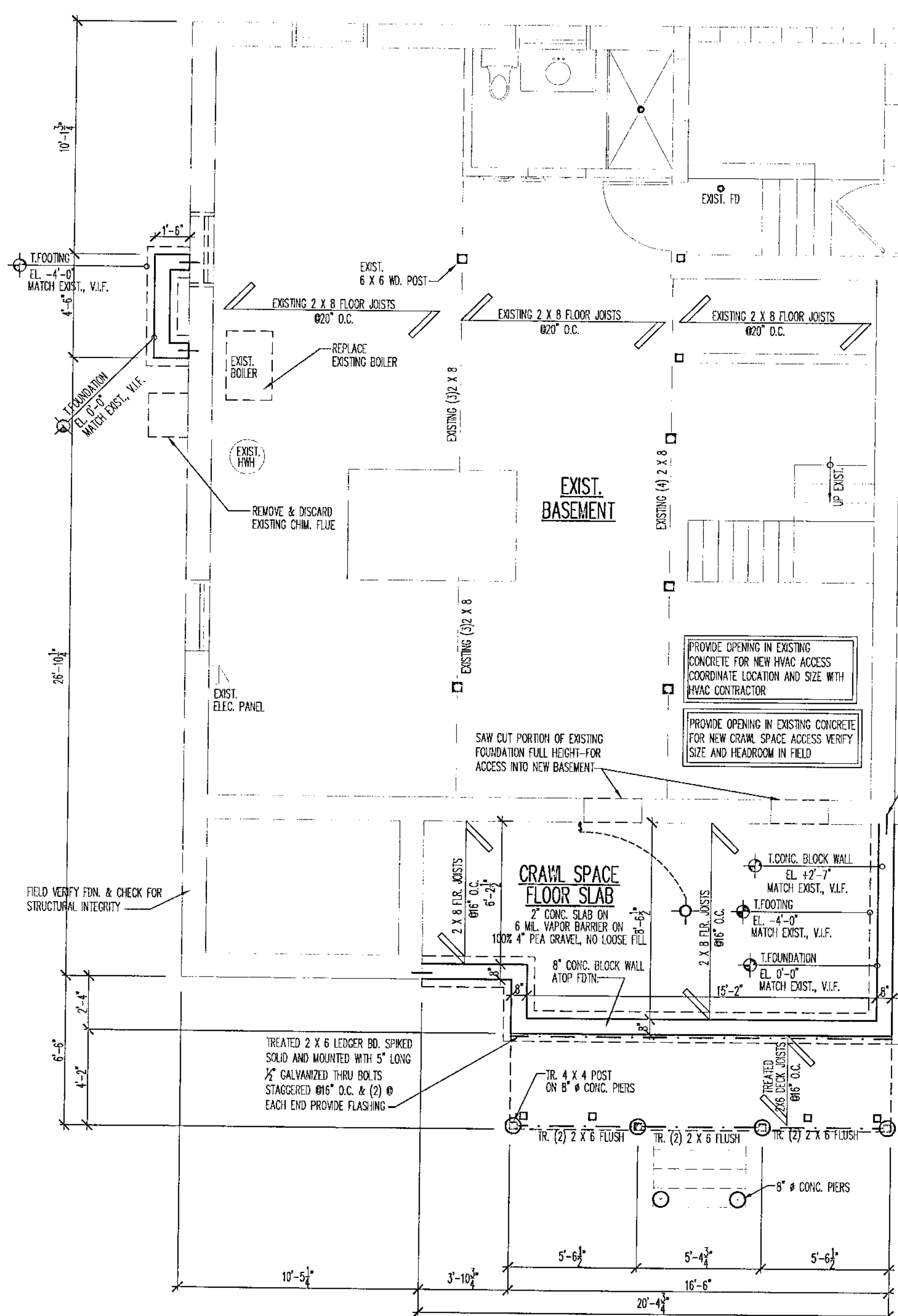
PROVIDE OPENING IN EXISTING
CONCRETE FOR NEW HVAC ACCESS.
COORDINATE LOCATION AND SIZE WITH
HVAC CONTRACTOR.

PROVIDE OPENING IN EXISTING
CONCRETE FOR NEW HVAC ACCESS.
COORDINATE LOCATION AND SIZE WITH
HVAC CONTRACTOR.

(2) #5 VERT. REBAR (DOWEL
INTO EXIST. (TYP. @ ALL
FDNL CONNECTIONS)

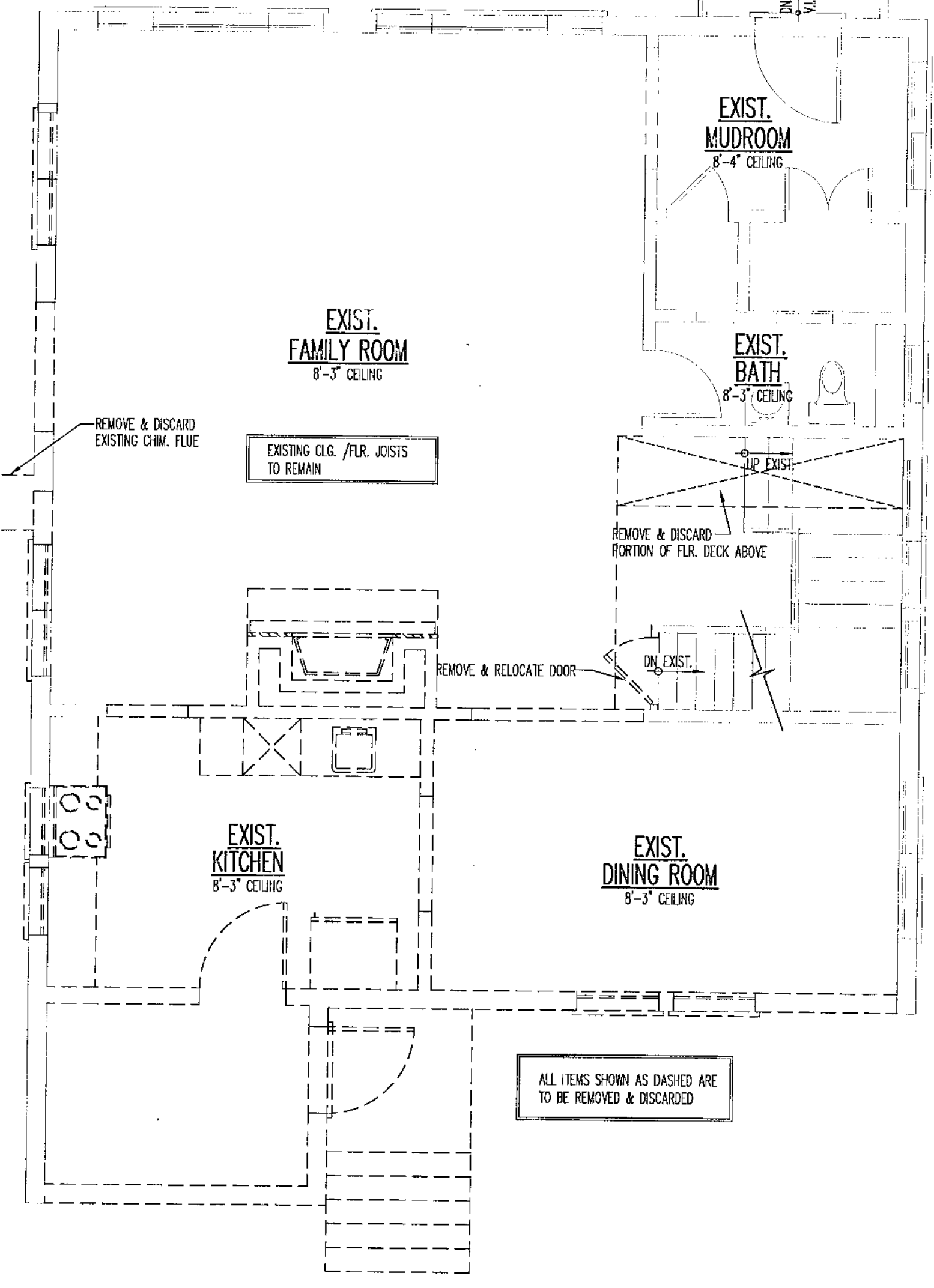
DECK CONSTRUCTION

CONCRETE PIERS PER PLAN, MIN. 42" BELOW FINISHED GRADE W/
TOP OF PIER EXTENDING MIN. 6" ABOVE FINISHED GRADE.
TREATED 4 X 4 W/2 POST FASTENED TO CONC. PIER WITH METAL
POST ANCHOR (TYP. (AS SHOWN)). ALL DECK FRAMING MEMBERS
TO BE PRESSURE TREATED WOOD. RAIL OF 2 X 2 BALUSTERS 65"
O.C. W/2 X 5 VERT AND HORIZ. AT TOP FOR RAIL WITH 4 X 4
POSTS SPACES AS REQUIRED TO PROVIDE 200# LATERAL LOAD
RESISTANCE. 36" HIGH RAILS REQUIRED ON ALL DECKS WITH
MORE THAN 30" ABOVE FINISHED GRADE. PROVIDE (1) SET OF
STAIRS TO GRADE-LOCATION TO BE VERIFIED BY OWNER. STAIR
OF MAX. 7-3/4" RISERS AND MIN. 10" TREADS (AS SPECIFIED IN
STAIR NOTES PAGE A200) MIN. 36" HIGH RAIL CONSTRUCTED AS
ABOVE ON EACH SIDE OF 36" MIN. RISE STAIR RUN AND A CONC.
PIER @ BOTTOM OF EACH STRINGER AND A MIN. 36" X 36" CONC.
STOOP AT BOTTOM OF EACH STAIR 5/4 X 6 DECKING WITH
SPACING PER MANUFACTURER OVER ENTIRE DECK.



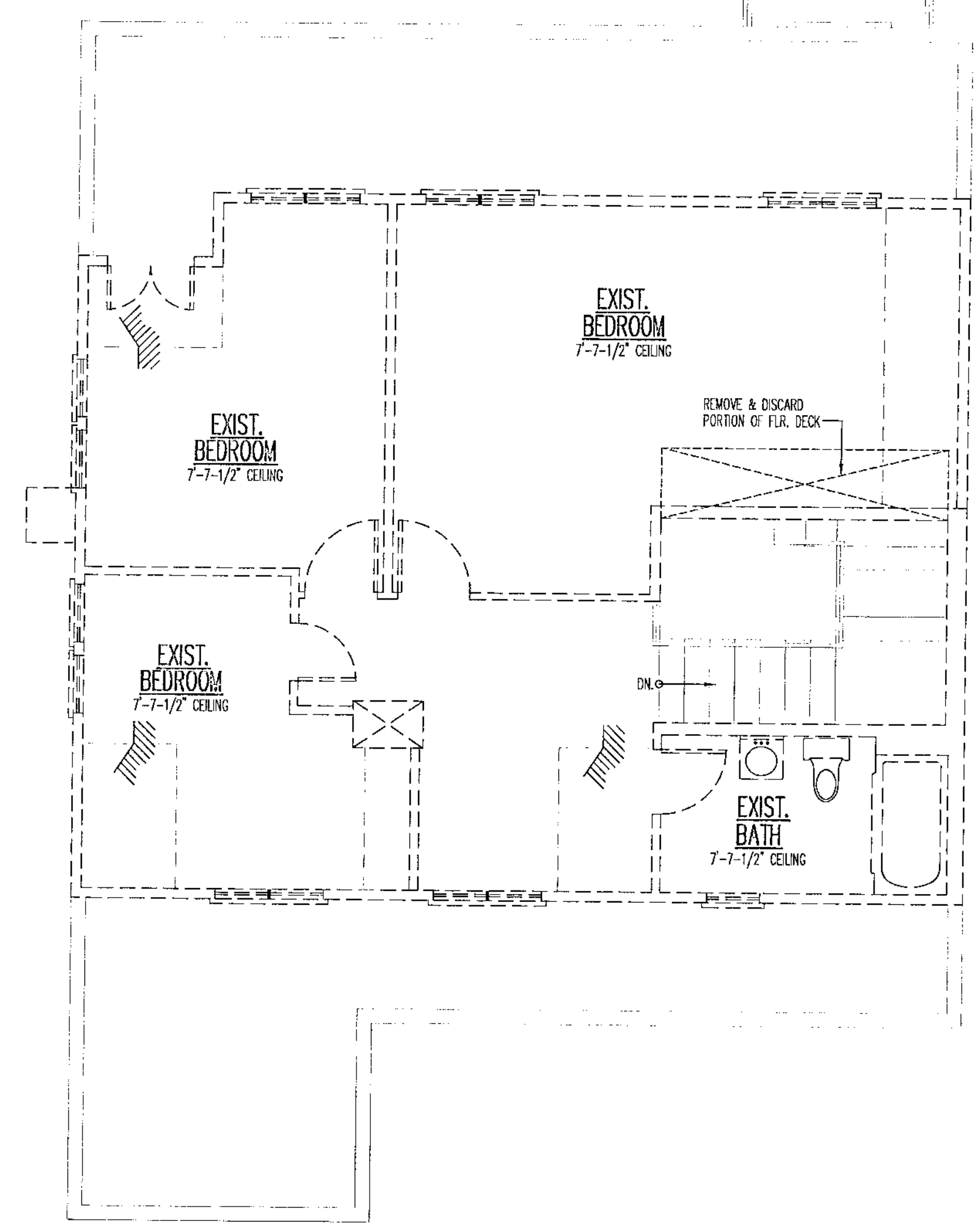
1D FOUNDATION PLAN

1/4"=1'-0"



3D FIRST FLOOR DEMOLITION PLAN

1/4"=1'-0"



5D SECOND FLOOR DEMOLITION PLAN

1/4"=1'-0"

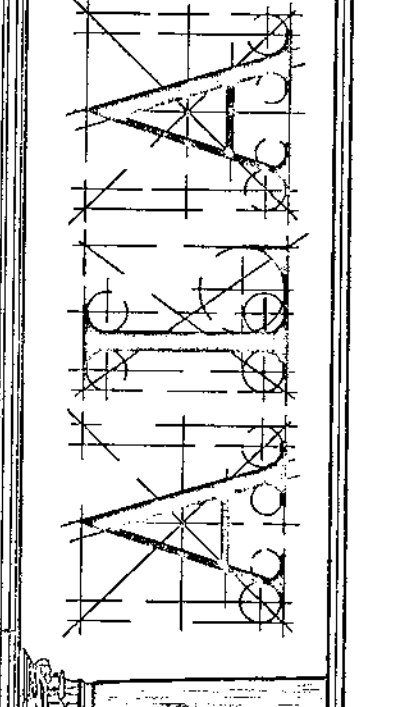
SYMBOLS:
 - - - - - EXISTING FRAME WALL
 - - - - - WALL/ITEMS TO BE REMOVED

REVISIONS	NO.	DATE	DESCRIPTION
1	1	02-17-18	CONCEPTUAL DESIGN
2	2	02-21-18	PRELIMINARY DESIGN
3	3	02-21-18	DESIGN DEVELOPMENT
4	4	02-21-18	RELEASE FOR BID
5	5	02-21-18	FINAL REVIEW
			RELEASE FOR PERMIT
			REVISION

DESIGN STAGE
 CONCEPTUAL DESIGN
 PRELIMINARY DESIGN
 DESIGN DEVELOPMENT
 RELEASE FOR BID
 FINAL REVIEW
 RELEASE FOR PERMIT
 REVISION

FOUNDATION PLAN
 FIRST FLOOR DEMOLITION PLAN
 SECOND FLOOR DEMOLITION PLAN
 DECK DETAILS

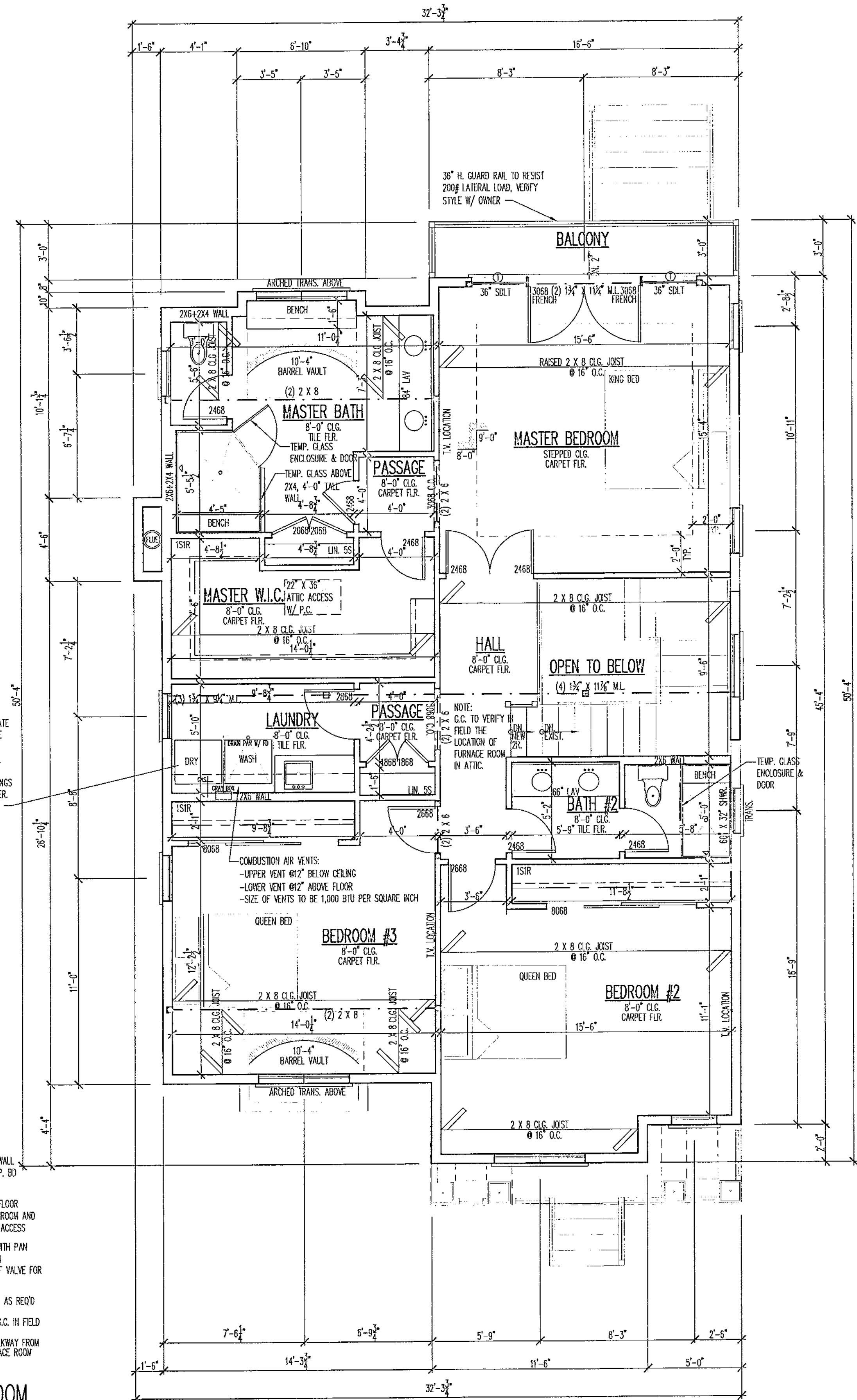
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Job Number:
18070

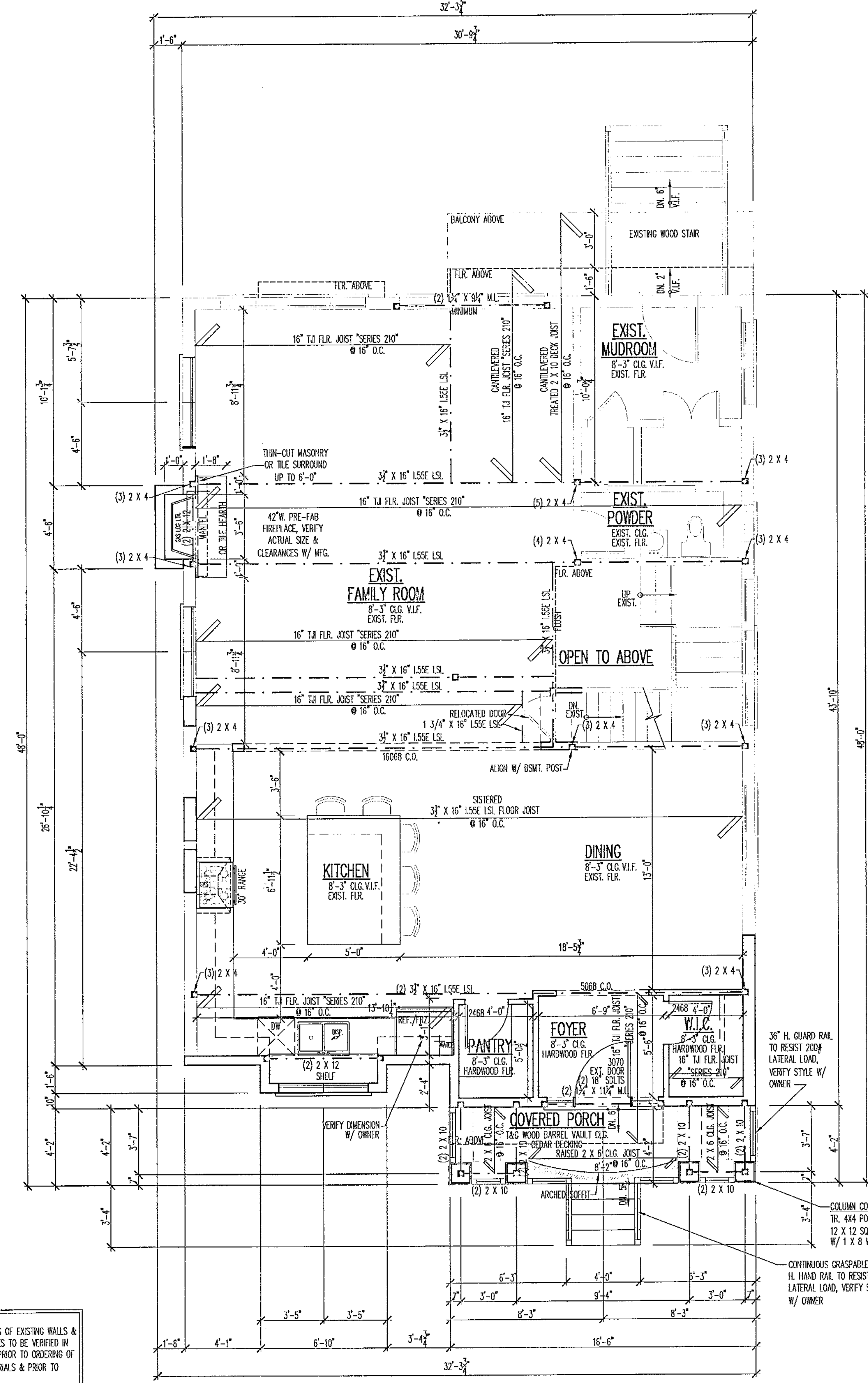
Sheet Number:
A100

File Name:
18070100



20 SECOND FLOOR PLAN

1/4"=1'-0"

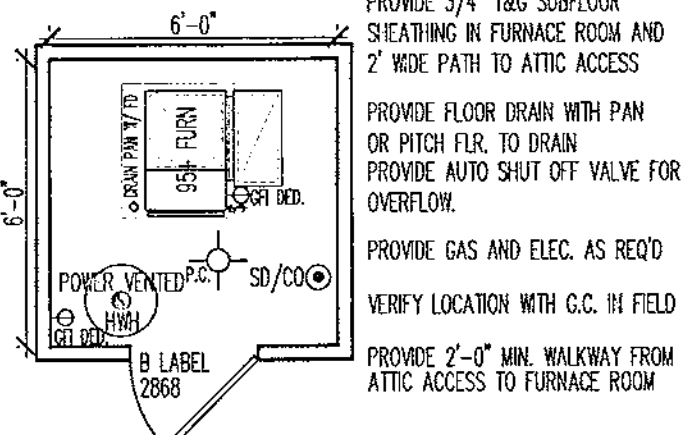


50 FIRST FLOOR PLAN

1/4"=1'-0"

DRYER EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE TERMINATION SHALL NOT BE LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS AND SHALL HAVE A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE TERMINATION.

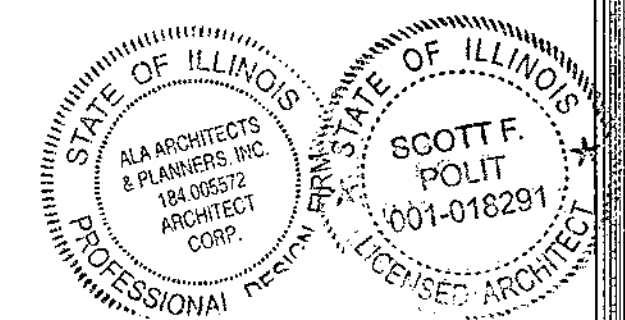
FURNACE ROOM NOTES:
 2 X 4 @ 16" O.C. STUD WALL WITH 5/8" TYP. "X" CIP. BD ON INTERIOR.
 PROVIDE 3/4" I&G SUBFLOOR SHEATHING IN FURNACE ROOM AND 2" WIDE PATH TO ATTIC ACCESS.
 PROVIDE FLOOR DRAIN WITH PAN OR PATCH FLR. TO DRAIN PROVIDE AUTO SHUT OFF VALVE FOR OVERFLOW.
 PROVIDE GAS AND ELEC. AS REQ'D VERIFY LOCATION WITH C.C. IN FIELD.
 PROVIDE 2'-0" MIN. WALKWAY FROM ATTIC ACCESS TO FURNACE ROOM.



1E ATTIC FURNACE ROOM
1/4"=1'-0"

NOTE:
 ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY C.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.

ALA SQUARE FOOTAGE	
FIRST FLOOR (EXISTING)	1139
FIRST FLOOR (PROPOSED)	179
SECOND FLOOR (PROPOSED)	1273
RESIDENCE TOTAL	1452
COVERED PORCH	69



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FIRST FLOOR PLAN
 SECOND FLOOR PLAN
 FURNACE ROOM

CONCEPTUAL DESIGN	04-17-18 BA
PRELIMINARY DESIGN	04-20-18 BA
DESIGN DEVELOPMENT	04-20-18 BA
RELEASE FOR BID	05-24-18 BA
PERMITS FOR PERMIT	
REVISION	

Job Number: 18070
 Sheet Number: A101

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ELEVATION NOTES

- DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

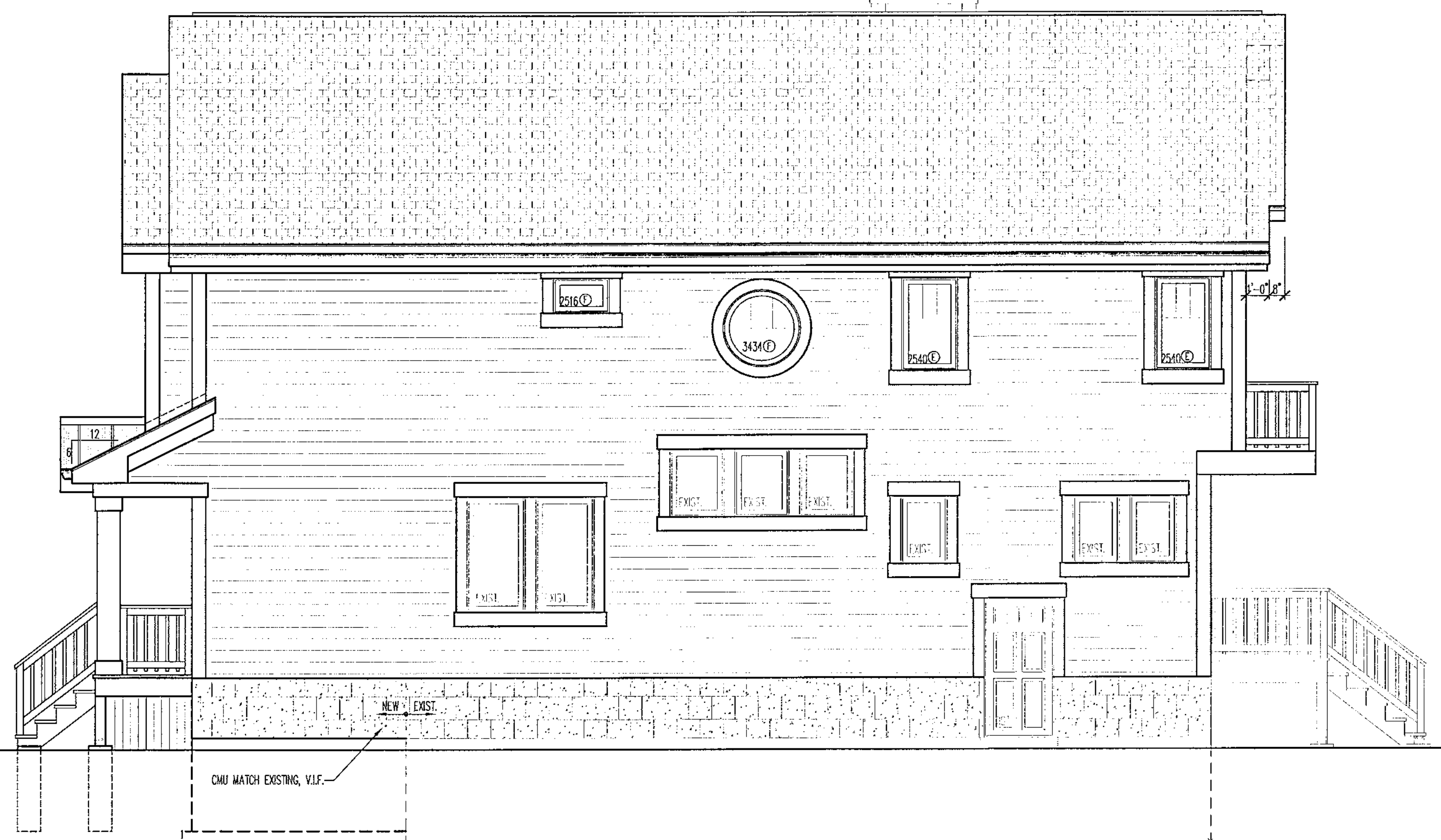
WINDOW NOTES

- TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING
- TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR
- FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
- EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
- PROVIDE 2X2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
- PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090 WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
- ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55

REMODELING & ADDITION NOTES

- WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
- ALL NEW FASCIA, FRIEZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
- VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

CONCEPTUAL DESIGN	10-17-18 BA
PRELIMINARY DESIGN	12-05-18 BA
DESIGN DEVELOPMENT	02-09-19 BA
RELEASE FOR BID	03-14-19 BA
PERMIT FOR PERMIT	
REVISION	



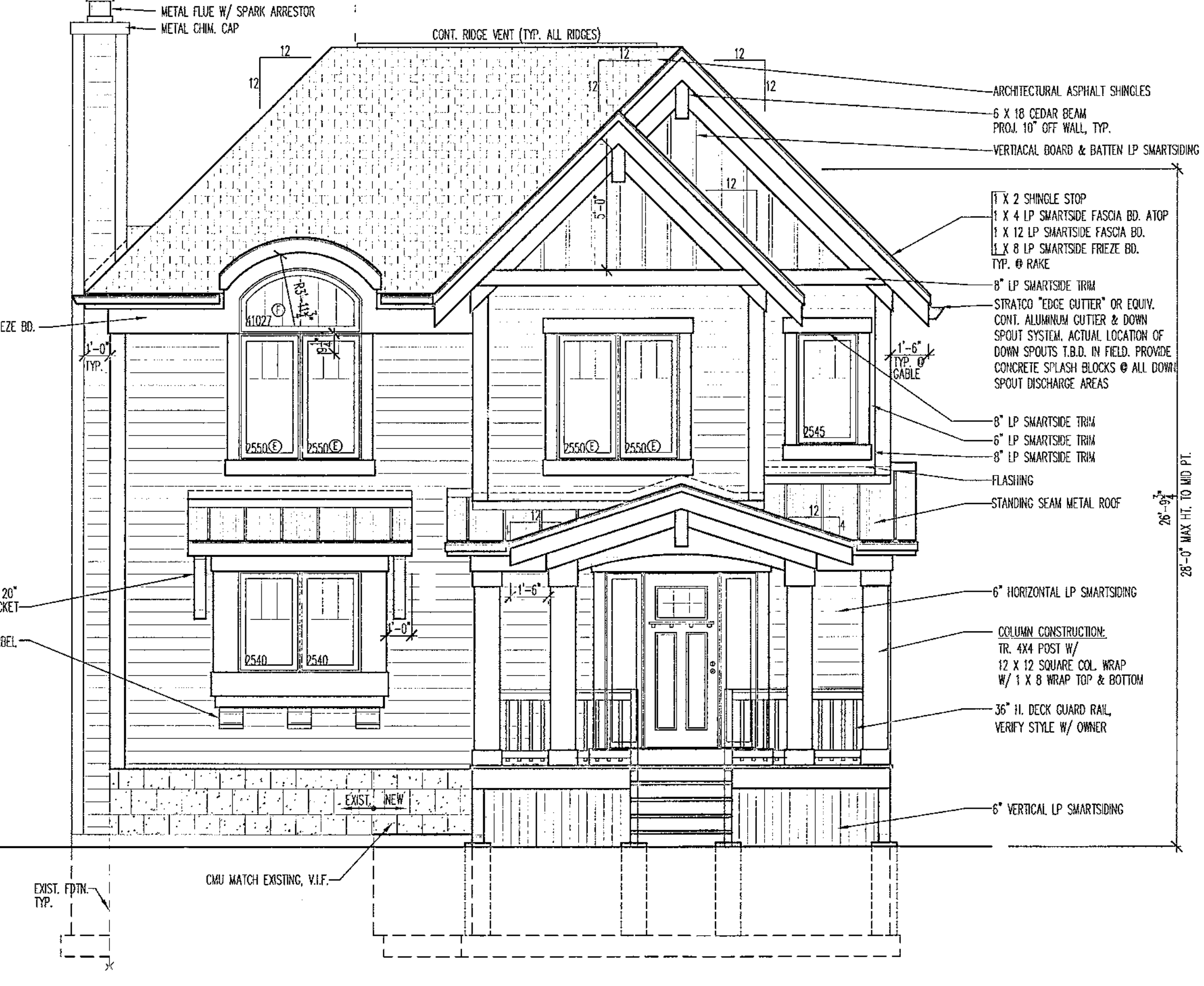
1C RIGHT SIDE ELEVATION
A200 1/4"=1'-0"



4C REAR ELEVATION
A200 1/4"=1'-0"



1E LEFT SIDE ELEVATION
A200 1/4"=1'-0"



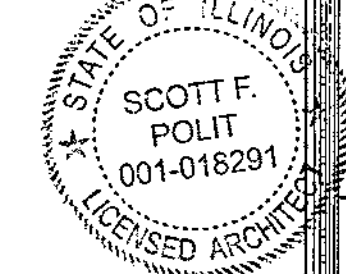
4E FRONT ELEVATION
A200 1/4"=1'-0"

- CHIMNEY HT.-2'-0" @ 10'-0"
- METAL FLUE W/ SPARK ARRESTOR
- METAL CHIM. CAP
- CONT. RIDGE VENT (TYP. ALL RIDGES)
- ARCHITECTURAL ASPHALT SHINGLES
- 5 X 18 CEDAR BEAM PROJ. 10" OFF WALL, TYP.
- VERTICAL BOARD & BATTEN LP SMARTSIDING
- 1" X 2 SHINGLE STOP
- 1" X 4 LP SMARTSIDE FASCIA BD. ATOP
- 1" X 12 LP SMARTSIDE FASCIA BD.
- 1" X 8 LP SMARTSIDE FRIEZE BD. TYP. @ RAKE
- 8" LP SMARTSIDE TRIM
- STRATCO "EDGE CUTTER" OR EQUIV. CONT. ALUMINUM GUTTER & DOWN SPOUT SYSTEM. ACTUAL LOCATION OF DOWN SPOUTS T.B.O. IN FIELD. PROMOTE CONCRETE SLASH-BLOCKS @ ALL DOWN SPOUT DISCHARGE AREAS
- 8" LP SMARTSIDE TRIM
- 6" LP SMARTSIDE TRIM
- 8" LP SMARTSIDE TRIM
- FLASHING
- STANDING SEAM METAL ROOF
- 28'-3" MAX. HT. TO 10' FT.
- 6" HORIZONTAL LP SMARTSIDING
- COLUMN CONSTRUCTION: TR. 4X4 POST W/ 12 X 12 SQUARE COL. WRAP W/ 1 X 8 WRAP TOP & BOTTOM
- 36" H. DECK CHAIR RAIL, VERIFY STYLE W/ OWNER
- 6" VERTICAL LP SMARTSIDING
- 6" X 30" X 20" CEDAR BRACKET
- CEDAR CORBEL
- 1" X 12 CEDAR FRIEZE BD. TYP. @ EAVES
- METAL ROOF
- 1" X 2 SHINGLE STOP
- 1" X 8 LP SMARTSIDE FASCIA BD.
- 1" X 12 CEDAR FRIEZE BD. TYP.

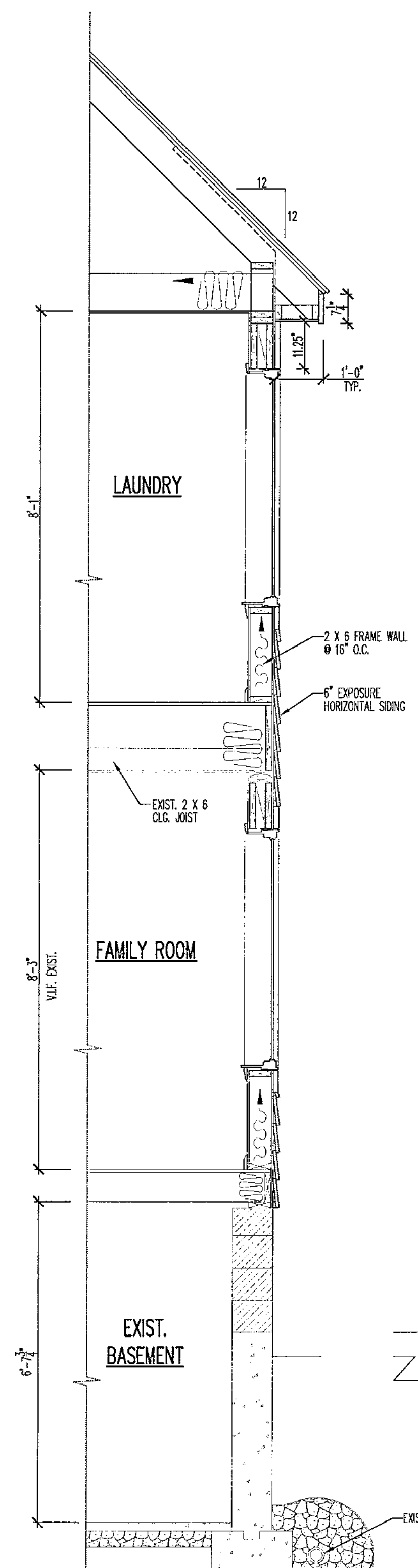
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FRONT ELEVATION
REAR ELEVATION
LEFT SIDE ELEVATION
RIGHT SIDE ELEVATION

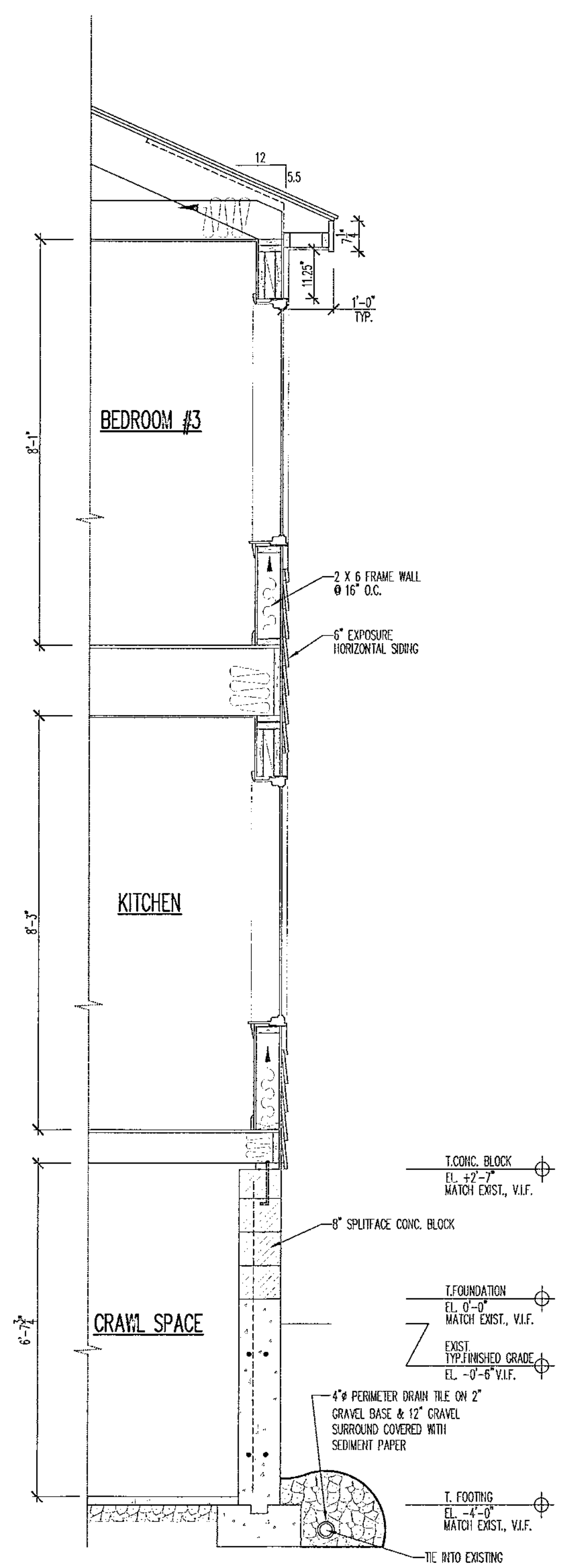
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Job Number: 18070
Sheet Number: A200
Date: 10/02/20



1E WALL SECTION
1/2"=1'-0"



3E WALL SECTION
1/2"=1'-0"

CONSTRUCTION SPECIFICATIONS:

TYPICAL ROOF CONSTRUCTION:
 ROOF VENTS PER ELEVATIONS
 ARCHITECT GRADE ASPHALT SHINGLES (MATCH EXISTING) OVER BUILDING FELT
 ICE BARRIER FROM EAVES EDGE TO MIN. 2'-0"
 FAST INTERIOR FACE OF EXTERIOR WALL
 1/2" EXT. GRADE PLYWOOD SHEATHING
 (SEE ROOF PLAN FOR ROOF STRUCTURE)
 (R-49) BATT INSULATION W/ VAPOR BARRIER IN ATTICS W/
 MIN. (R-38) AT EAVES (CLOSED CELL SPRAY FOAM AS REQ'D)
 (R-30) BATT INSULATION W/ VAPOR BARRIER IN VAULTS
 1 X FASCIA PER ELEVATIONS
 ALUM. OR 3/8" CEDAR FACED PLYWOOD SOFFIT W/CONT. VENTS (MATCH EXISTING)
 1 X FRIEZE BD. PER ELEVATIONS (MATCH EXISTING)
 1" AIR Baffles
 1/2" GYP. BD. AT CEILING

TYPICAL EXTERIOR FRAME WALL CONSTRUCTION:
 SIDING PER ELEVATIONS (MATCH EXISTING)
 TYPX OR EQUIV. HOUSE WRAP
 1/2" CONTINUOUS PLYWOOD SHEATHING
 2 X 6 STUDS @16" O.C. PER PLAN
 5-1/2" (R-21) BATT INSULATION W/ VAPOR BARRIER
 1/2" GYP. BD.

TYPICAL FLOOR CONSTRUCTION:
 FLOORING PER PLANS
 3/4" TAG PLYWOOD SUBFLOOR GLUED AND NAILED (TYP)
 FLOOR JOISTS PER PLANS, BLOCKING/BRIDGING @7'-0" O.C. W/ DIMENSIONAL LUMBER
 SEE STRUCTURAL NOTES ON FLOORS
 9-1/2" (R-30) BATT INSULATION W/ VAPOR BARRIER AT PERIMETER,
 CANTILEVERED FLOORS & OVER UNLEAVED SPACES
 1/2" GYP. BD. AT FIRST FLOOR CEILING

TYPICAL FOUNDATION WALL SILL PLATE CONSTRUCTION:
 TR. 2 X 6 SILL PLATE SET IN SILL SEALER
 1/2" DIA. X 10' L. ANCHOR BOLTS EMBEDDED 7" MIN. @8' O.C. MAX. AND 1" MAX.
 FROM ENDS OF PLATE SECTIONS (MIN. 2 BOLTS PER SECTION)

CONCRETE WALLS 8'-0" TALL OR LESS WITH FRAME WALL ABOVE:
 8" CONC. WALL W/2#4 REBARS TOP AND BOTTOM
 AND (2) #4 REBARS AT MIDDLE OF WALLS OVER 15'-0" IN LENGTH OR OVER 9'-0" TALL
 8" X 16" CONC. FOOTING W/ 2 X 4 KEYWAY
 ASPHALTIC DAMPROOFING
 2.5" (R-15) CONTINUOUS INSULATION @ INTERIOR OR EXTERIOR
 PROVIDE PROTECTIVE COVERING ON EXPOSED AREAS AND FLASHING @ EXTERIOR

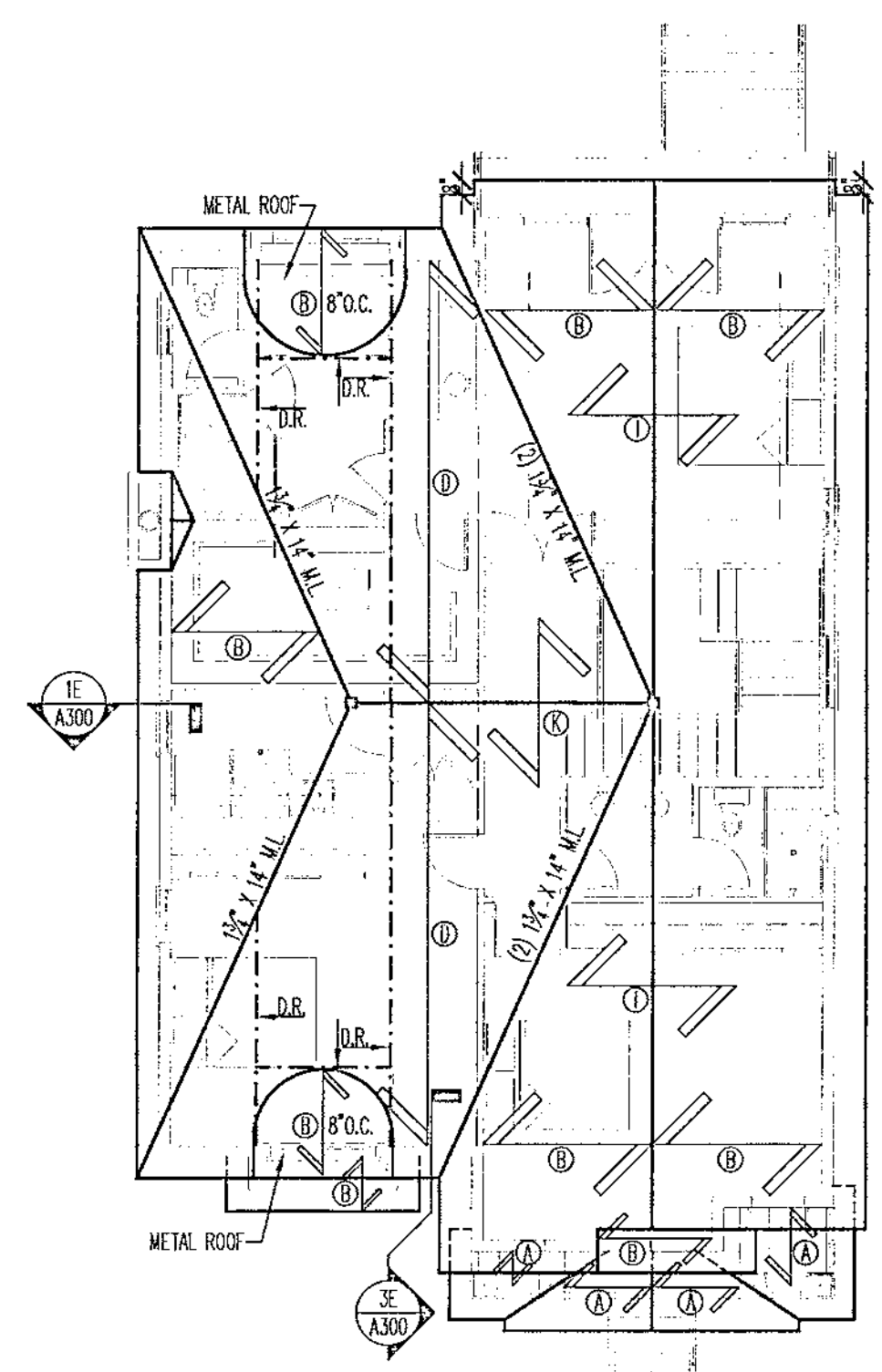
DRAIN TILE:
 4" PERIMETER DRAIN TILE ON 2" GRAVEL BASE
 & 12" GRAVEL SURROUND COVERED WITH
 SEDIMENT PAPER

ROOF STRUCTURAL SPECIFICATIONS		NOTES
Ⓐ = 2 X 6 RAFTERS @16" O.C.	Ⓔ = 2 X 4 COLLAR TIES @16" O.C.	ALL EAVES AND RAKES 1'-0" UNLESS OTHERWISE NOTED ALL RIDGE, HIP AND VALLEY BBS. TO BE THE FULL DEPTH OF THE CUT END OF THE RAFTER UNLESS OTHERWISE NOTED FIN DOWN RAFTERS AS REQ'D IN VAULTED CEILING AREAS TO ALLOW FOR FIXATION AS SPECIFIED IN THE BUILDING SECTION SPECS, PAGE A300. ADD BLOCKING @ RAFTER BEARING TO MAINTAIN OVERHANG PROFILE THROUGHOUT UNLESS OTHERWISE NOTED PROVIDE ARCHITECT WITH INDIVIDUAL ROOF TRUSS DRAWINGS AND A ROOF TRUSS LAYOUT PLAN SHOWING ANY EXTERIOR POINT LOADS INFORMATION CAUSED BY TRUSSES WHICH ARE STAMPED AND SIGNED BY A LICENSED ENGINEER FOR ALL PRE-ENGINEERED TRUSSES FOR APPROVAL PRIOR TO FABRICATION. PROVIDE SIMPSON 1/2LSA HURRICANE CLIPS @ EACH RAFTER
Ⓑ = 2 X 8 RAFTERS @16" O.C.	Ⓕ = 2 X 6 COLLAR TIES @16" O.C.	
Ⓒ = 2 X 10 RAFTERS @16" O.C.	Ⓖ = 2 X 8 COLLAR TIES @16" O.C.	
Ⓓ = 2 X 12 RAFTERS @16" O.C.	Ⓗ = CEILING JOISTS PER FLOOR PLANS	
Ⓚ = 2 X 6 CEILING JOISTS @16" O.C.	Ⓛ = PRE-ENGINEERED ROOF TRUSSES @24" O.C.	
Ⓛ = 2 X 8 CEILING JOISTS @16" O.C.	Ⓜ = PRE-ENGINEERED DOSSOR TRUSSES OR MODIFIED	
Ⓜ = 2 X 10 CEILING JOISTS @16" O.C.	Ⓨ = CEILING TRUSSES @24" O.C. (SEE PLANS FOR CEILING)	
Ⓨ = 2 X 12 CEILING JOISTS @16" O.C.	Ⓩ = PRE-ENGINEERED ATTIC TRUSSES @24" O.C.	
W.L. = 1 3/4" 1.9E MICROSLAM LVL	O.B. = OVER BUILD	
T.S. = 1 3/4" 1.5CE THERMSTRAND LSL	D.R. = DOUBLE RAFTER	
E.T. = (3/20) RAIL UP POST - BRACE	E.R. = EXTENDED RIDGE	
EACH DIRECTION FOR MAXIMUM ON BRACED	E.V. = EXTENDED VALLEY	
HEIGHT OF 10'-0"	U.B. = UNDER BUILD	
	E.H. = EXTENDED HIP	

4C ROOF PLAN & STRUCTURAL NOTES
1/8"=1'-0"

ATTIC	ATTIC AREA	ATTIC VENT SCHEDULE				ACT. VENT VALUES CORR. SOFFIT VENT =10 S.I. / 1 FT. RIDGE VENTS =20 S.I. / 1 FT. CAN VENTS =100 S.I. / VENT
		REQUIRED VENT		ACTUAL VENT		
		INTAKE @ SOFFIT	EXHAUST @ ROOF	INTAKE @ SOFFIT	EXHAUST @ ROOF	
		AREA (S.I.) / 300	AREA (S.I.) / 300	SOFFIT VENTS	RIDGE VENTS	CAN VENTS
UPPER	1550 S.F./22316' S.I.	744 S.I.	744 S.I.	75 FT. 750 S.I.	38 FT. 760 S.I.	CAN(S)----- S.I.
LOWER	79 S.F./11403' S.I.	38 S.I.	38 S.I.	4 FT. 40 S.I.	2 FT. 40 S.I.	CAN(S)----- S.I.

5C ATTIC VENT SCHEDULE
NO SCALE

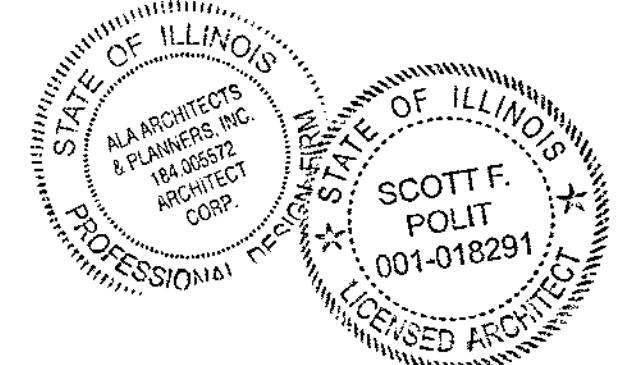


REVISIONS	NO.	DATE	DESCRIPTION
	1	04-17-14	CONCEPTUAL DESIGN
	2	05-01-14	PRELIMINARY DESIGN
	3	05-14-14	DESIGN DEVELOPMENT
	4	05-21-14	RELEASE FOR BID
	5	06-24-14	FINAL SET FOR PERMIT
	6	07-15-14	REVISION

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ROOF PLAN & STRUCTURAL NOTES
 CONSTRUCTION SPECIFICATIONS
 WALL SECTION

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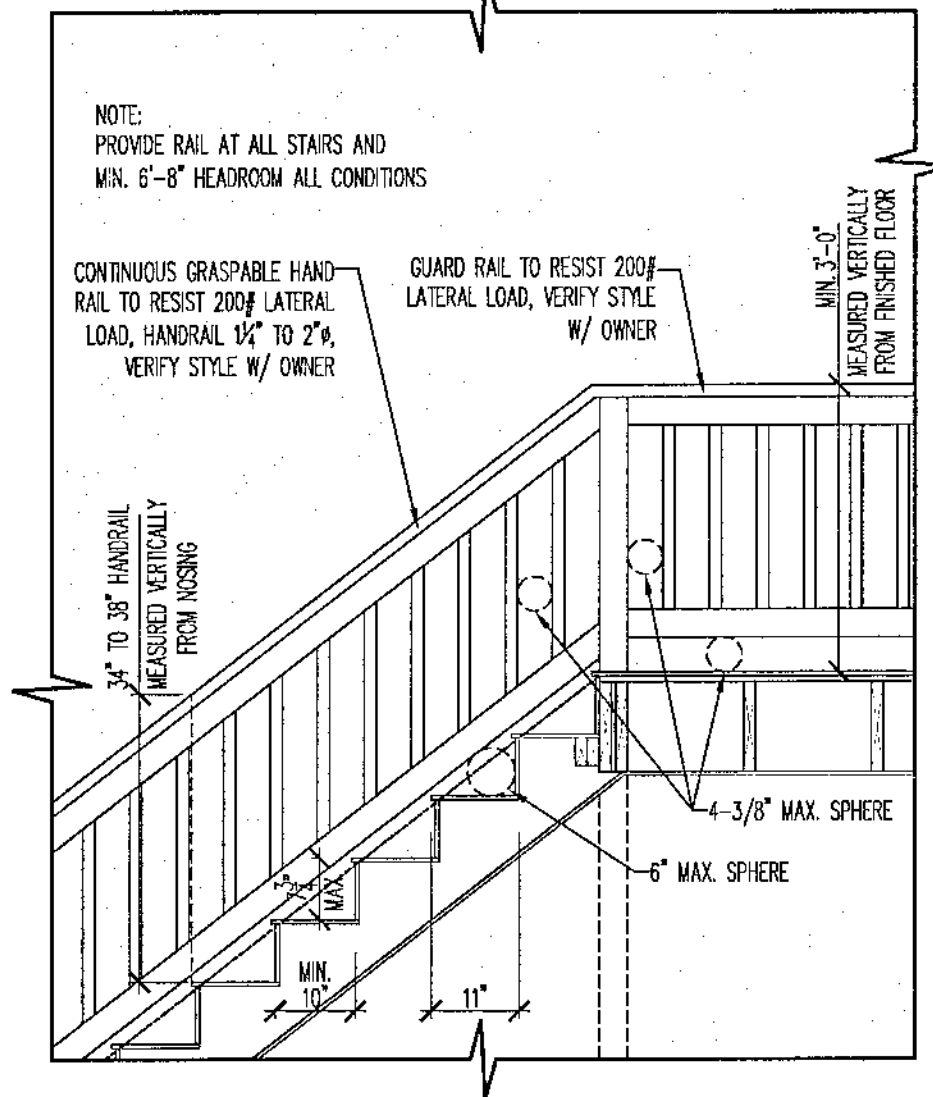
Job Number: 18070
 Sheet Number: A300
 P/E Name: 18070300

LIGHT AND VENT SCHEDULE						
ROOM	SQ. FT.	REQ. LT.	ACT. LT.	REQ. VT.	ACT. VT.	ACT. CFM.
KITCHEN / DINING	433	34.64	35.00	17.32	32.20	---
FAMILY ROOM	479	38.32	73.6	19.16	72.00	---
MASTER BEDROOM	238	19.04	72.54	9.52	50.22	---
BEDROOM #2	201	16.08	18.40	8.04	18.00	---
BEDROOM #3	181	14.48	27.60	7.24	27.00	---
MASTER BATH	127	---	---	---	---	150
MASTER BATH WATER CLOSET	17	---	---	---	---	25
BATH #2	30	---	---	---	---	50
BATH #2 WATER CLOSET	28	---	---	---	---	50

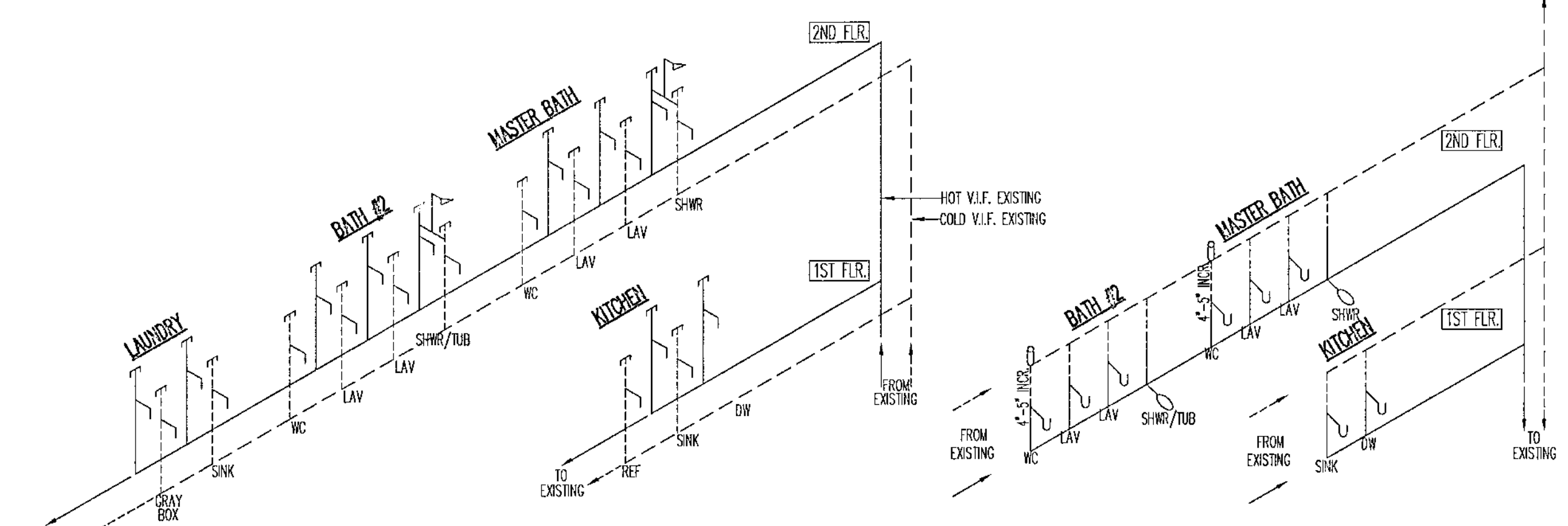
1B A301 LIGHT & VENT SCHEDULE NO SCALE

NOTE:
THE DETAILS AND SECTIONS SHOWN ARE FOR REFERENCE ONLY. PROVIDED TO AID IN THE CONSTRUCTION IN STANDARD AND OPTIONAL CONDITIONS. SEE PLANS FOR SPECIFICS AND ACTUAL CONSTRUCTION DETAILS.

NOTE:
ACTUAL STAIR LAYOUT PER PLANS. DIAGRAM SHOWS GUARDRAIL, HANDRAIL, HEADROOM, ETC. SPECIFICATIONS NOT FOR STAIR RUN CONSTRUCTION. SEE STAIR NOTES ON PAGE A000 FOR ACTUAL TREAD AND RISER REQUIREMENTS PER LOCAL & NATIONAL CODES. INSTALL THIRD STRINGER IF TREADS ARE MORE THAN 3'-0" WIDE.

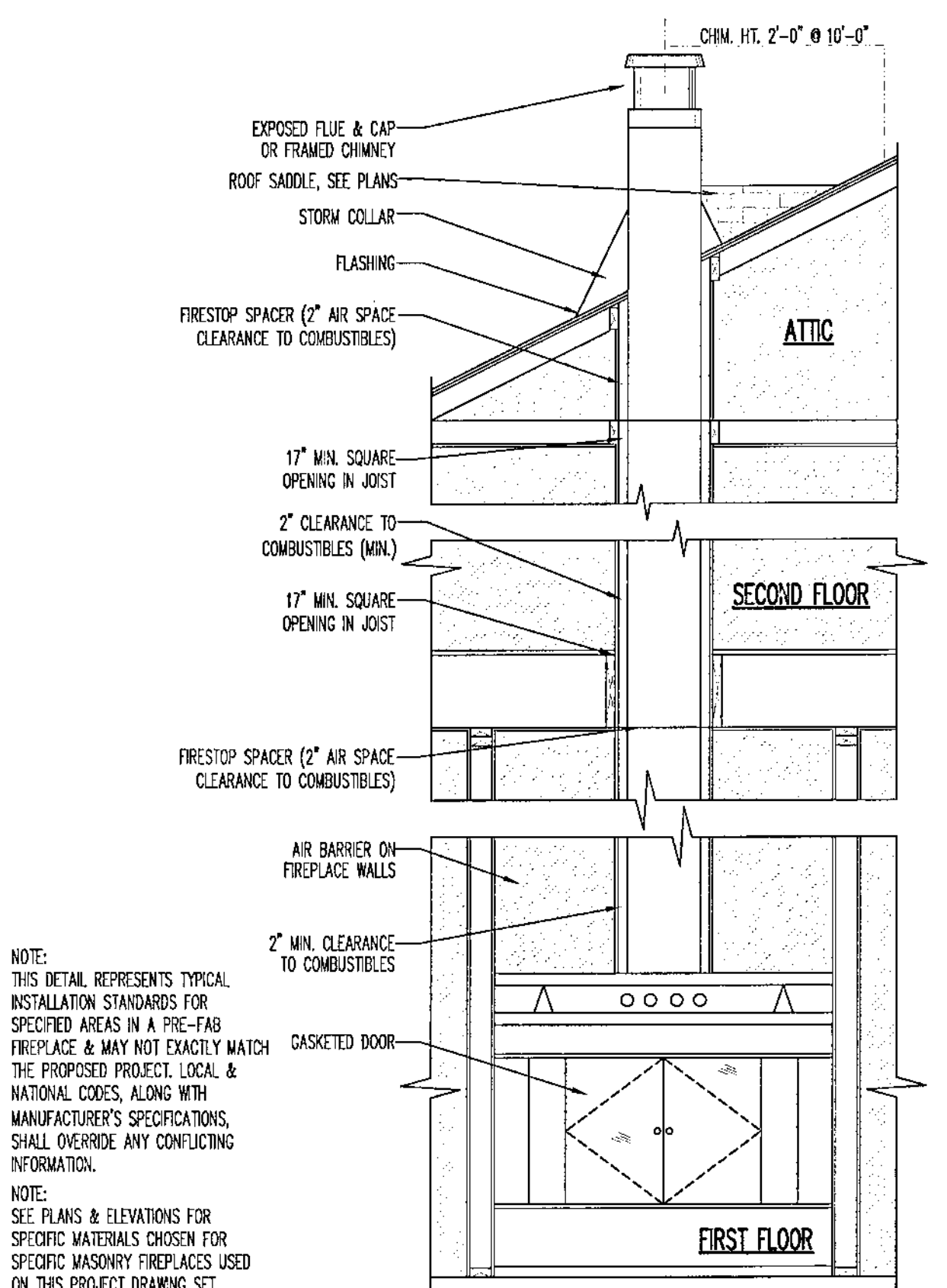


3B A301 TYPICAL STAIR & RAIL DETAIL 1/2"=1'-0"



- SUPPLY**
- NOTE: PROVIDE 24" AIR CHAMBERS AT ALL FIXTURES & RISERS, VALVE ALL FIXTURES, EQUIPMENT & APPLIANCES, HORIZONTAL & VERTICAL RUNS - 3/4"
- MIN. SUPPLY SIZES & FLOW RATES:
- DISHWASHER 1/2" 3.0 G.P.M.
 - BATHUBS & SHOWERS 1/2" 3.0 G.P.M.
 - KITCHEN SINK 1/2" 3.0 G.P.M.
 - LAVATORIES 1/2" 3.0 G.P.M.
 - WATER CLOSETS 1/2" 3.0 G.P.M.
 - SILL COCKS 1/2" 3.0 G.P.M.
- WASTE**
- NOTE: ALL UNDERGROUND WASTE LINES TO BE 4" MIN.
- MIN. TRAP SIZES:
- SHOWER 2"
 - BATHUBS & SHOWERS 1-1/2"
 - KITCHEN SINK 1-1/2"
 - LAVATORIES 1-1/4"
 - WATER CLOSETS 3"
 - LAUNDRY WASH TUB 2"
 - 2" FLOOR DRAIN 2"
 - 3" FLOOR DRAIN 3"

5B A301 WASTE & SUPPLY DIAGRAMS NO SCALE



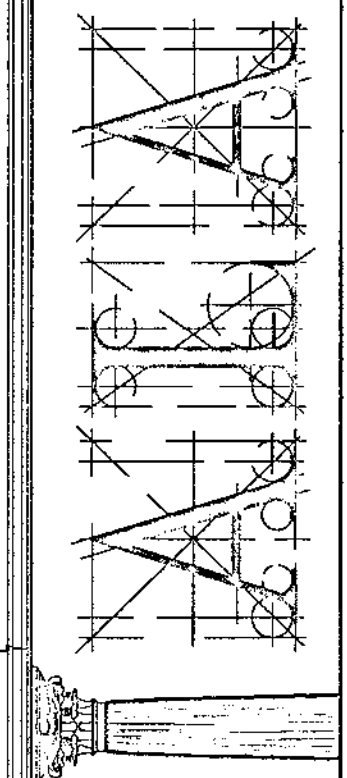
4E A301 TYPICAL PRE-FAB. FIREPLACE & FLUE SECTION 1/2"=1'-0"

REVISIONS	NO.	DATE	DESCRIPTION
1	04-17-18	AM	CONCEPTUAL DESIGN
2	05-01-18	AM	DESIGN DEVELOPMENT
3	05-01-18	AM	RELEASE FOR BID
4	05-24-18	AM	PERMIT FOR PERMIT
5			REVISION

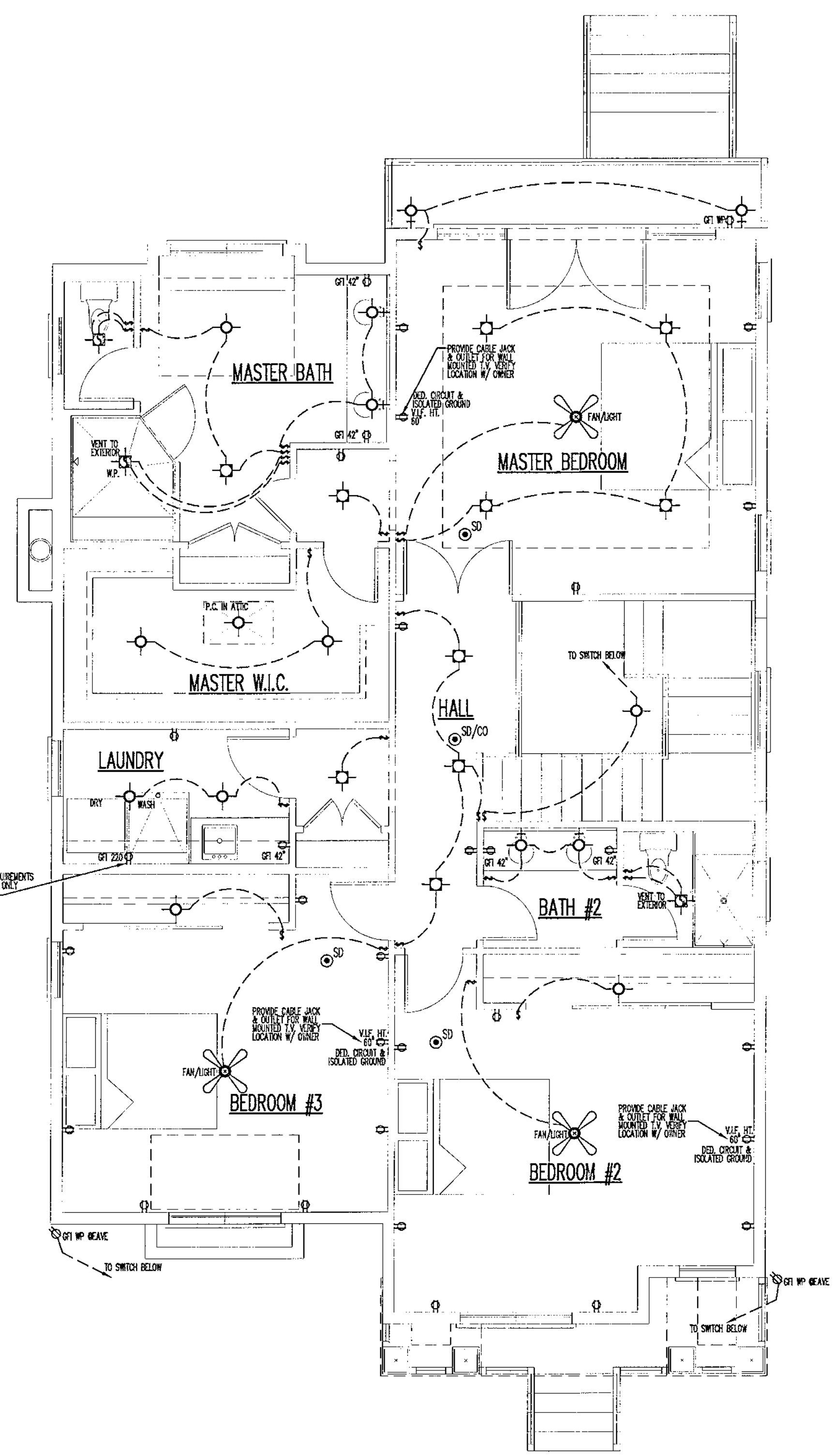
FOSTER RESIDENCE
905 N. SHORE DRIVE
CRYSTAL LAKE, IL

WASTE & SUPPLY DIAGRAM
LIGHT & VENT SCHEDULE
TYPICAL PRE-FAB FIREPLACE DETAIL
STAIR & RAIL DETAIL

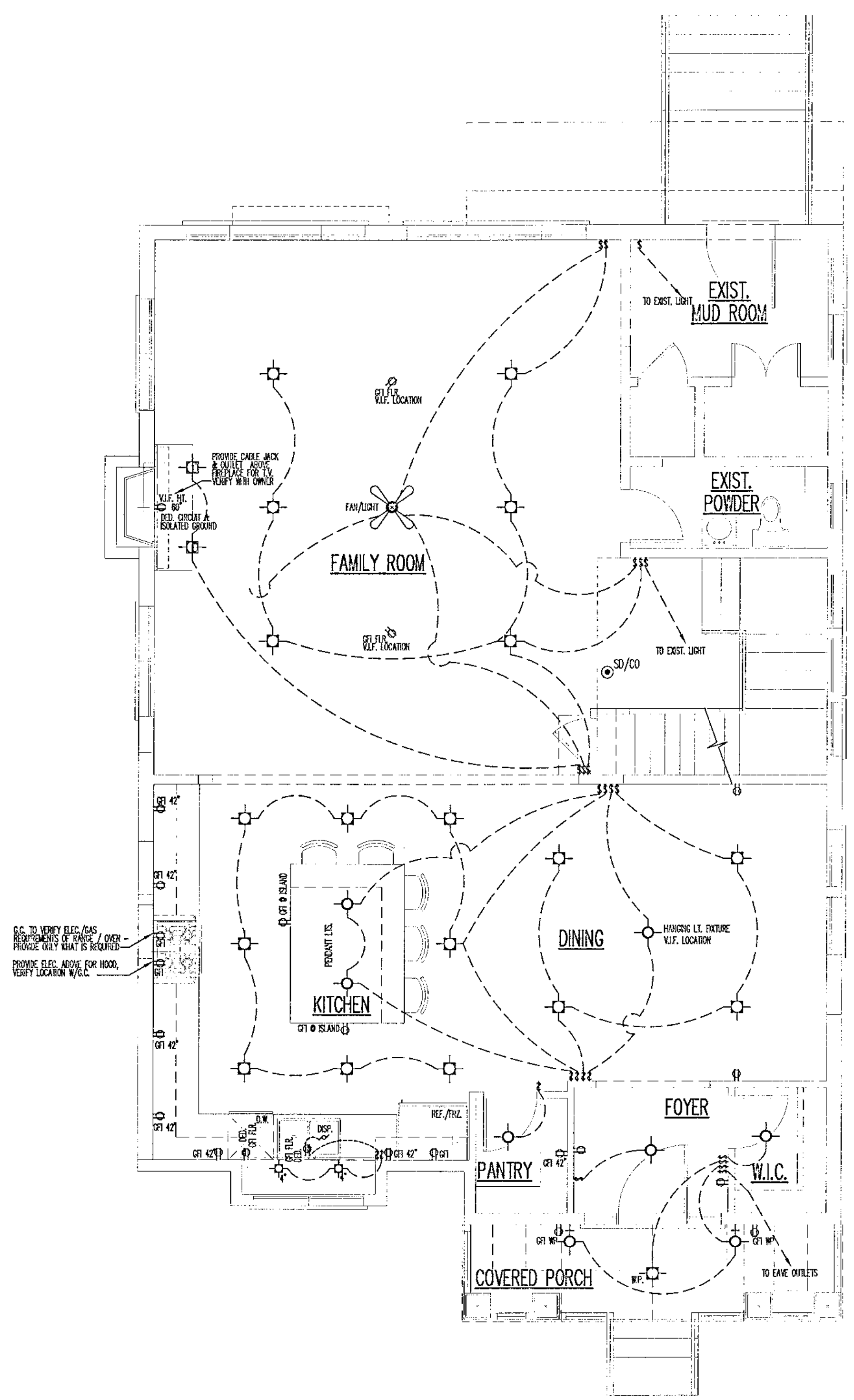
Architects & Planners, Inc.
2800 Debrah Room at Rt. 175
Crystal Lake, Illinois 60014
Telephone: 815-768-9200 Fax: 815-768-9201



Job Number: 18070
Sheet Number: A301
Date: 18070301



20 SECOND FLOOR ELECTRICAL PLAN
1/4"=1'-0"



50 FIRST FLOOR ELECTRICAL PLAN
1/4"=1'-0"

SYMBOLS:

○ SINGLE OUTLET (1)	⊕ SWITCHED DUPLEX OUTLET (2)	○ TELEVISION JACK
⊕ DUPLEX OUTLET (2)	⊕ SWITCH	○ TELEPHONE JACK
⊕ QUAD. OUTLET (4)	⊕ DOOR ACTIVATED SWITCH	⊕ HORN JACK
⊕ EXHAUST FAN, VENTED TO EXTERIOR	⊕ A/C HARD WIRED CARBON MONOXIDE DETECTOR w/BATTERY BACKUP	⊕ AUDIO SYSTEM OUTLET JACK
⊕ EXHAUST FAN/LIGHT, VENTED TO EXTERIOR	⊕ 110V SMOKE DETECTOR W/BATTERY BACKUP RUN ON DEDICATED CIRCUIT	
⊕ BIDIIRECTIONAL RECESSED CAN L.L.	⊕ EXTERIOR SPOT L.L. WITH MOTION DET.	
⊕ RECESSED CAN LIGHT	⊕ FAN/LIGHT CEILING MOUNTED FIXTURE	
⊕ LAMP w/ POST		
⊕ UNDER CABINET LED LIGHT STRIP		
⊕ WALL MOUNTED LIGHT FIXTURE		
⊕ CEILING MOUNTED LIGHT FIXTURE		
⊕ SURFACE MOUNTED LED CAN LIGHT		
⊕ FLUORESCENT LIGHT FIXTURE		

NOTE: PROVIDE PHOTO CELL CIRCUIT FOR ALL EXTERIOR LIGHTS (POWER ON @ NIGHT, POWER OFF @ DAY) ALSO PROVIDE MANUAL SWITCH AS SHOWN.

NOTE: ALL ELECTRIC SWITCHES, DIMMERS & OUTLETS TO BE INSTALLED AS SHOWN. RE-LOC. & RE-WIRE EXISTING AS MUCH AS POSSIBLE. MEET IN FIELD.

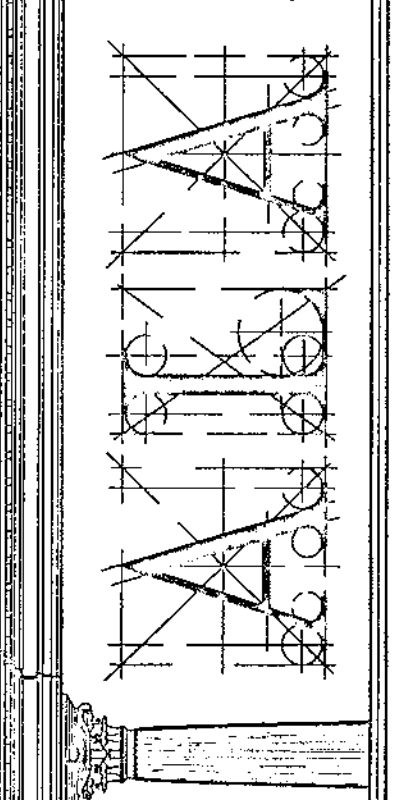
DESIGN STAGE

CONCEPTUAL DESIGN	04-17-18 BA
PRELIMINARY DESIGN	05-01-18 BA
DESIGN DEVELOPMENT	05-01-18 BA
PERMIT SET	05-01-18 BA
RELEASE FOR E.D.	05-01-18 BA
RELEASE FOR PERMIT	05-01-18 BA
REVISION	

FOSTER RESIDENCE
903 N. SHORE DRIVE
CRYSTAL LAKE, IL

FIRST FLOOR ELECTRICAL PLAN
SECOND FLOOR ELECTRICAL PLAN

Architects & Planners, Inc.
2400 N. State St. Ste. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201



Job Number: 18070
Sheet Number: E101
Date: 10/07/2018



AN ORDINANCE GRANTING A SPECIAL USE PERMIT AND VARIATION
AT 903 NORTH SHORE DRIVE

WHEREAS, pursuant to the terms of a Petition (File #2012-22) before the Crystal Lake Planning and Zoning Commission, the Petitioner has requested the issuance of a Special Use Permit to allow a detached accessory structure greater than 600 square feet to allow the garage to be approximately 660 square feet; Variation from Article 7, Nonconformities, to allow a front yard (lakeside) setback of 35 feet instead of the required 52.23 feet; Variation from Article 7, Nonconformities, to allow a corner side yard (street side) setback of 52 feet instead of the required 57.05 feet; Variation from Article 7, Nonconformities and Article 4-600 Accessory Structures and Uses to allow a zero lot-line setback along North Shore Drive; Variation from Article 7, Nonconformities, to allow the existing nonconformities to expand for the property located at 903 North Shore Drive; and

WHEREAS, it is in the best interests of the CITY OF CRYSTAL LAKE that the Special Use Permit and Variation be issued as requested in said Petition.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

Section I: That a Special Use Permit to allow a detached accessory structure greater than 600 square feet to allow the garage to be approximately 660 square feet; Variation from Article 7, Nonconformities, to allow a front yard (lakeside) setback of 35 feet instead of the required 52.23 feet; Variation from Article 7, Nonconformities, to allow a corner side yard (street side) setback of 52 feet instead of the required 57.05 feet; Variation from Article 7, Nonconformities and Article 4-600 Accessory Structures and Uses to allow a zero lot-line setback along North Shore Drive; Variation from Article 7, Nonconformities, to allow the existing nonconformities to expand be issued for the property commonly known as 903 North Shore Drive, Crystal Lake, Illinois.

Section II: Said Special Use and Variation are issued with the following conditions:

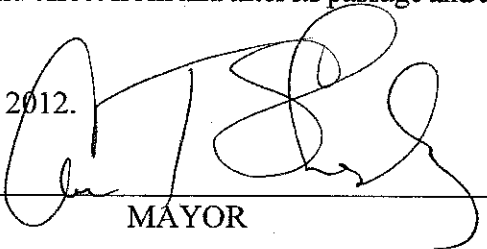
1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application – received 3-26-12
 - B. Plat of Survey, dated 5-11-11, received 3-26-12
 - C. Plan Set, ALA, dated 10-12-11, received 3-26-12
2. The following variations are hereby granted:

- A. Variation from Article 7, Nonconformities, to allow a front yard (lakeside) setback of 35 feet instead of the required 52.23 feet;
 - B. Variation from Article 7, Nonconformities, to allow a corner side yard (street side) setback of 52 feet instead of the required 57.05 feet;
 - C. Variation from Article 7, Nonconformities, to allow the existing nonconformities to expand.
3. A Special Use Permit to allow a detached accessory structure greater than 600 square feet to allow the garage to be approximately 660 square feet;
 4. A variation to allow a zero lot-line setback for the garage is not granted. If the garage is destroyed or needs to be rebuilt, it must meet the requirements of the Ordinance at the time of construction.
 5. The deck along the lakeside shall not be screened-in or enclosed in any way nor shall a roof be installed over it.
 6. No variations from the maximum height for the principal or accessory structure are granted. No variations for a 3rd story shall be granted with this approval.
 7. Data indicating the proposed maximum building and impervious lot coverage is not provided. The proposed plans are allowed as presented.
 8. The petitioner shall address all of the review comments and requirements of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

Section III: That the City Clerk be and is hereby directed to amend the official zoning map of the City of Crystal Lake and all pertinent records of the City of Crystal Lake to show the issuance of a Special Use Permit in accordance with the provisions of this Ordinance, as provided by law.

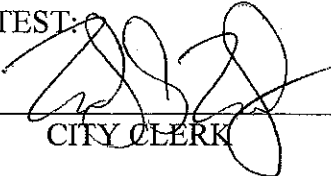
Section IV: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

DATED at Crystal Lake, Illinois, this 1st day of May, 2012.



 MAYOR

ATTEST:



 CITY CLERK

Published in pamphlet form by the authority of the Mayor and City Council of the City of Crystal Lake.