



#2019-81 Bohl Farm Final PUD Amendment – Five Below Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	June 5, 2019
<u>Request:</u>	Final Planned Unit Development Amendment to allow exterior changes to the building façade and signage including an additional variation for increased wall signage.
<u>Location:</u>	5460 Northwest Highway
<u>Acreage:</u>	Approximately 4 acres and 11,976 square foot tenant space
<u>Existing Zoning:</u>	B-2 PUD General Commercial
<u>Surrounding Properties:</u>	North: B-2 PUD General Commercial and M PUD Manufacturing South: B-2 and B-2 PUD General Commercial East: B-2 PUD General Commercial West: B-2 and B-2 PUD General Commercial
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- Bohl Farm Marketplace received Final Planned Unit Development approval in 1998. Throughout the years there have been several amendments to the shopping center with the most prominent being the change from Dominick's to three new tenants.
- The in-line Dress Barn space is available with the closing of all the Dress Barn stores.
- Five Below is moving from their free-standing outlot building to the inline space. This move requires amendments to the façade and signage to accommodate their corporate appearance.

Development Analysis:

Land Use/Zoning

- The site is zoned B-2 PUD General Commercial. This is the most appropriate zoning district for retail uses.
- The land use map shows the area as Commerce. This is an appropriate land use designation for retail development.

Building Elevations:

- The façade is currently masonry and EIFS. These materials will remain, but painted with the new color scheme.
- A portion of the knee wall would be removed and two full glass bays would be installed adjacent to the entry doors. The doorway would be relocated from the center of the canopy to the right hand side.
- New blue awnings would be installed on either side of the canopy.
- The changes to the exterior façade are minor and reflect the corporate image of Five Below.

Site:

- No changes are proposed to the site.

Signage:

- The UDO allows inline buildings to have 50 square feet of signage. This space did not qualify for any bonus signage. Dress Barn was approved to have 54 square feet of signage as part of the original PUD approval.
- The Five Below wall sign is 75.69 square feet.
- Five Below is also painting the EIFS behind the sign in blue, which counts as signage. The total wall signage for Five Below would be 316 square feet.

Floor Plan:

- Five Below would renovate the space taking the entire 11,976 square feet.

Findings of fact:

FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final Planned Unit Development to allow the changes to the exterior façade, site and signage. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. The proposed amendment enhances the character of the center and allows for a new and unique design for this specific tenant.

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variation from the UDO:

- A) Article 4-1000 Signs, to permit wall signage at 316 square feet.

The way signage is calculated, it includes painted areas like the blue background. Although the text portion of the sign area is only 75.69 square feet, the calculated signage is 316 square feet. The petitioner can request this variation as part of the PUD approval.

Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future homes. The following goals are applicable to this request:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Lane Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Economic Development – Grow the City’s Tax Base

Goal: Establish economic development practices that recruit new businesses and retain existing businesses and allow for the ease to redevelop vacant centers.

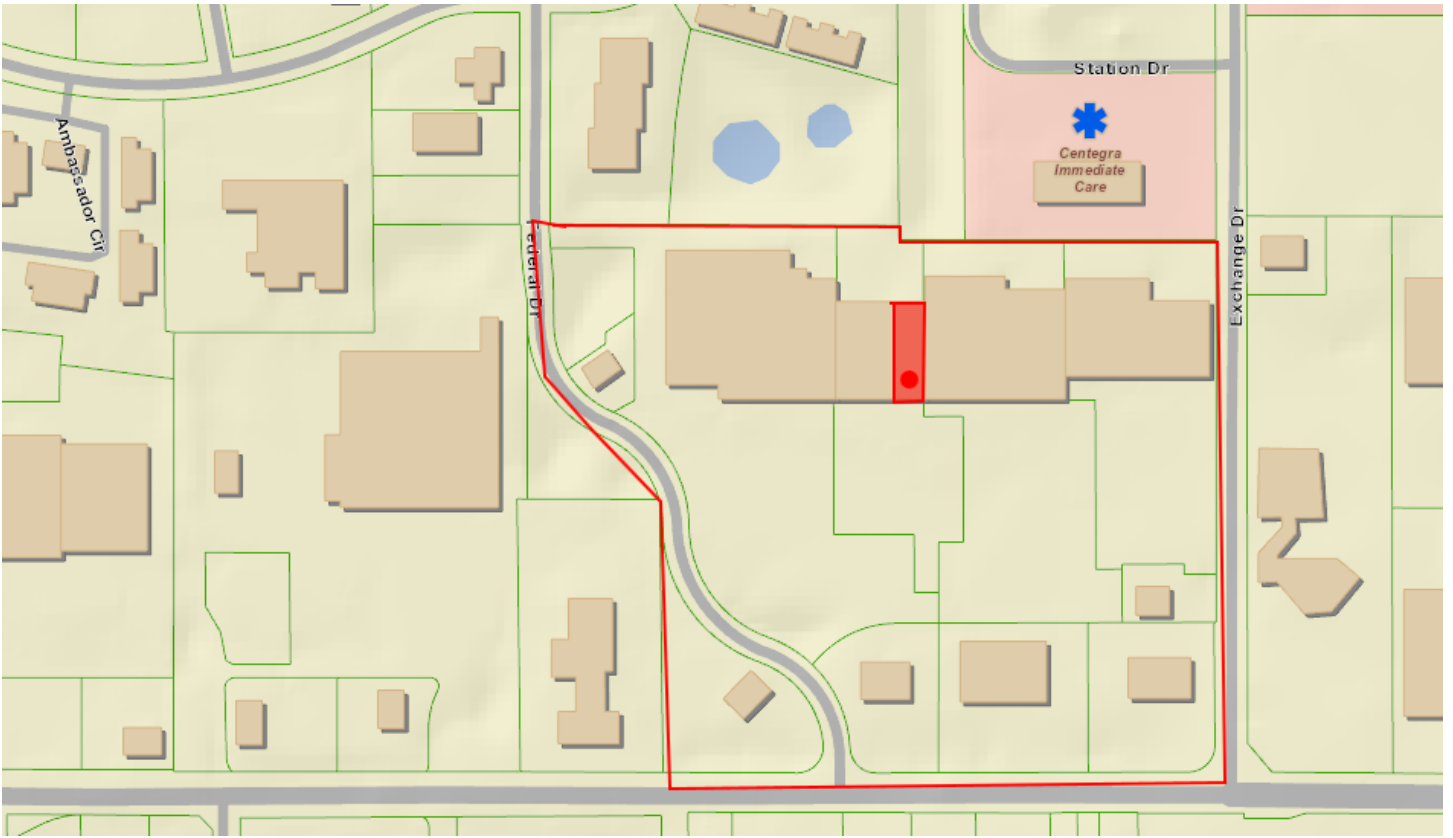
Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (IRC Retail Centers, received 05/13/19)
 - B. Narrative (PFDA Architects, dated 05/10/19, received 05/13/19)
 - C. Elevation, sheet A2 (PFDA Architects, dated 05/13/19, received 05/13/19)
 - D. Alteration Plan Sheet A1 (PFDA Architects, dated 05/02/19, received 05/13/19)

- E. Signage (Kieffer Starlite, dated 03/11/19, received 05/13/19)
 - F. Alta Survey (American Surveying & Mapping, dated 03/24/16, received 05/13/19)
2. The overall planned unit development approval and all subsequent amendments are still in effect unless modified by this ordinance.
 3. Work with staff to replace any dead or dying landscape in the center.
 4. The petitioner must address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments.

PLN-2019-00081 FIVE BELOW – 5460 NORTHWEST HWY.

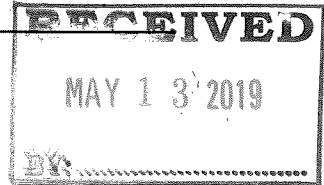


City of Crystal Lake Development Application

Office Use Only

File # PLN-2019-00081

Project Title: FIVE BELOW - IRC BOHL FARM, L.L.C.



Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input checked="" type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: JEFFREY BROWNELL - PFDA ARCHITECTS, INC.

Address: 2803 BUTTERFIELD ROAD, SUITE 340

OAK BROOK, IL 60523

Phone: 312.795.1245

Fax: 312.795.6123

E-mail: jbrownell@pfdainc.com

Owner Information (if different)

Name: PAM SULLINS - IRC RETAIL CENTERS

Address: 814 COMMERCE DRIVE, SUITE 300

OAK BROOK, IL 60523

Phone: 630.451.8559

Fax: 630.812.7999

E-mail: sullins@ircetailcenters.com

Property Information

Project Description: MINOR FACADE IMPROVEMENTS & SPACE RECONFIGURATION FOR FUTURE FIVE BELOW TENANT
IN FORMER DRESS BARN STORE. REMODEL INCLUDES A NEW STOREFRONT & ENTRY, NEW SIDEWALK, NEW TRASH ENCLOSURE
WITH CONCRETE PAD, NEW AWNINGS & A SIGN VARIANCE FOR FIVE BELOW TEXT & PROTOTYPE BLUE SIGN FRAME.

Project Address/Location: 5460 NORTHWEST HIGHWAY - FORMER DRESS BARN STORE,

BOHL FARM MARKETPLACE - CRYSTAL LAKE, IL 60014

PIN Number(s): 19-04-452-002

Development Team

Please include address, phone, fax and e-mail

Developer: IRC RETAIL CENTERS - PAM SULLINS

Architect: PFDA ARCHITECTS, INC. - JEFFREY BROWNELL

Attorney: N/A

Engineer: N/A

Landscape Architect: N/A

Planner: ELIZABETH MAXWELL

Surveyor: AMERICAN SURVEYING & MAPPING

Other: _____

Signatures

JEFFREY BROWNELL,		4/8/2019
PETITIONER: Print and Sign name (if different from owner)		Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

<i>Pam Sullins</i> representing IRC Retail Centers	4/8/2019
OWNER: Print and Sign name	Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE
BEFORE THE PLANNING
AND ZONING COMMISSION
OF THE CITY OF CRYSTAL
LAKE, MCHENRY COUNTY,
ILLINOIS

IN THE MATTER OF THE
PETITION OF
IRC Bohl Farm, LLC

LEGAL NOTICE

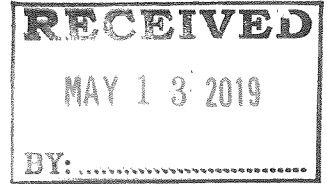
Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by PFDA Architects Inc. representing IRC Bohl Farm, LLC, for a Final Planned Unit Development Amendment, relating to the property at 5540 Northwest Highway in Crystal Lake, Illinois 60014. PINs: 19-04-452-002.

This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow exterior façade changes including new signage pursuant to Article 4 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday June 5, 2019, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning
Commission
City of Crystal Lake

(Published in the Northwest
Herald on May 17, 2019)
1662738



PUD Amendment Scope of work Narrative;

Former Dress Barn Retrofit

Bohl Farm Market Place Shopping Center

5460 Northwest Highway

Crystal Lake, IL 60014

Following is a Landlord scope of work construction narrative for the former in-line Dress Barn Store. The existing Building will be retrofitted in preparation for a new Five Below Tenant. This Landlord work will include a full Interior Demolition, new Entrances/ Exits, new Storefront, new Rear Service Doors, new Sidewalk at the Entrance, new Awnings, new Decorative Lighting, a new Trash Enclosure with a new Concrete Pad and minor modification of the Façade EIFS Sign Band, to incorporate the "Five Below" Text and Blue Sign Frame

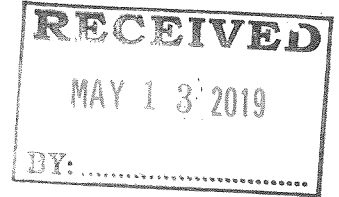
Existing Building;

The existing building is a one-story in-line Retail Facility formerly occupied by Dress Barn. The Dress Barn built-out and façade work was completed in 2000. The shell consists of masonry perimeter bearing walls on poured concrete foundations.

Proposed Exterior Alterations;

The existing front Façade will be modified to accommodate a new Five Below Sign and Blue Sign Box totaling about 316 SF. Also, all the existing EIFS at the Front Façade will be repainted which includes the EIFS at the existing Columns. Furthermore, new Awnings & new Decorative Lighting will be added thus allowing this Building to be more consistent with other Tenants in the Shopping Center. We will also be providing new Storefront and the existing Bulkhead will be removed to help create a more inviting Entrance.

The rear elevation will simply be repainted and include providing new Service Doors and a new Trash Enclosure.



PUD Amendment Scope of work Narrative;

**Former Dress Barn Retrofit
Bohl Farm Market Place Shopping Center
5460 Northwest Highway
Crystal Lake, IL 60014**

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OWNER:



IRC
RETAIL CENTERS
814 COMMERCE DRIVE
SUITE 300
OAK BROOK, IL 60523

PROJECT:

five
BEL^oW

LANDLORD SHELL
SCOPE
(SUITE 5460)

BOHL FARM
MARKETPLACE
5460 NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

SHEET TITLE:
EXTERIOR
ELEVATION
AND NOTES

NO.	DATE	DESCRIPTION
A1	05.13.19	ADDENDUM #1
	05.02.19	FOR BID AND PERMIT

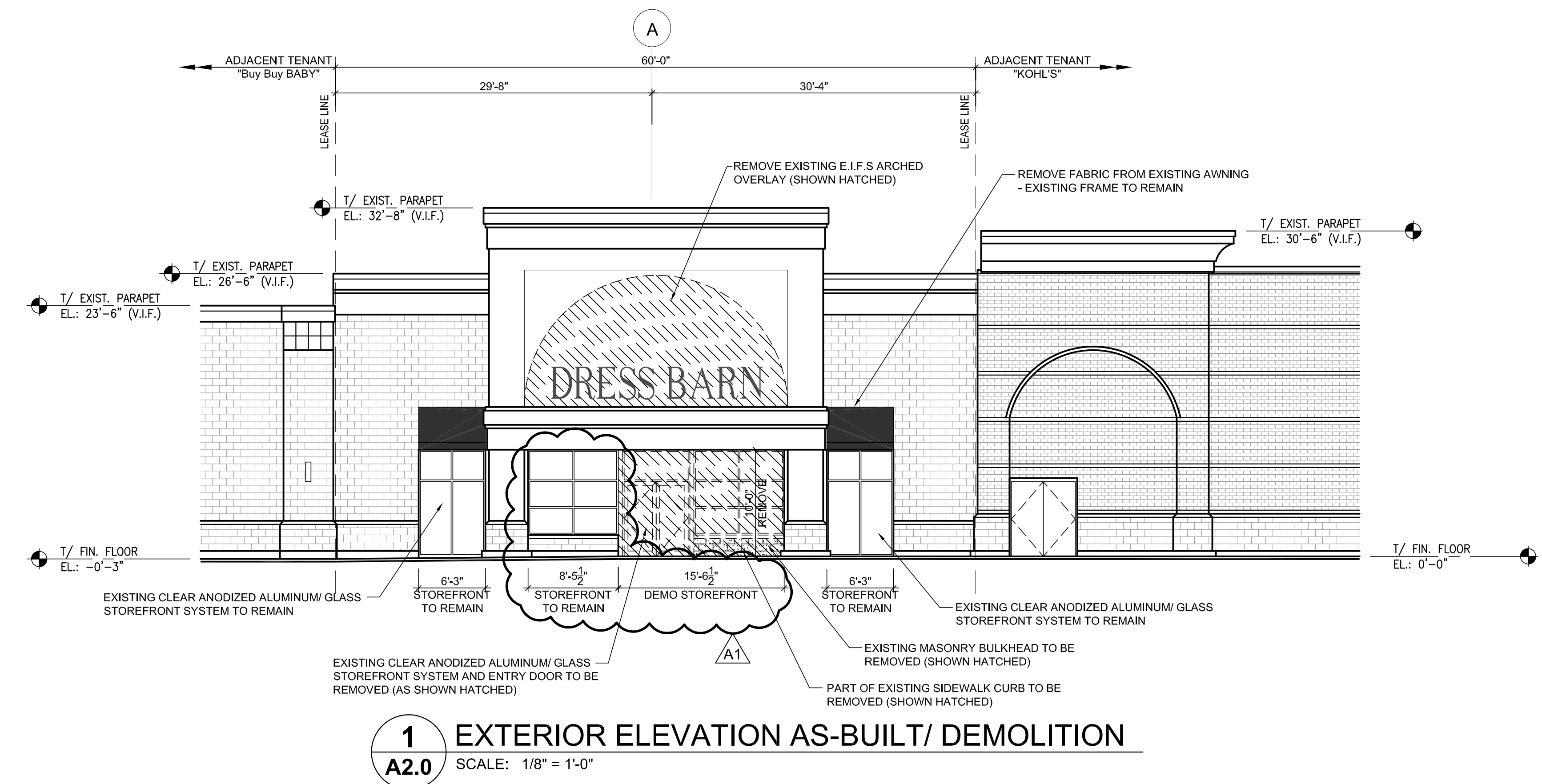
COPYRIGHT - PFDA, INCORPORATED
ALL DRAWN AND WRITTEN INFORMATION
APPEARING HEREIN SHALL NOT BE
DUPLICATED, DISCLOSED OR OTHERWISE
WITHOUT WRITTEN CONSENT.

DRAWN BY: _____ CHECKED BY: _____

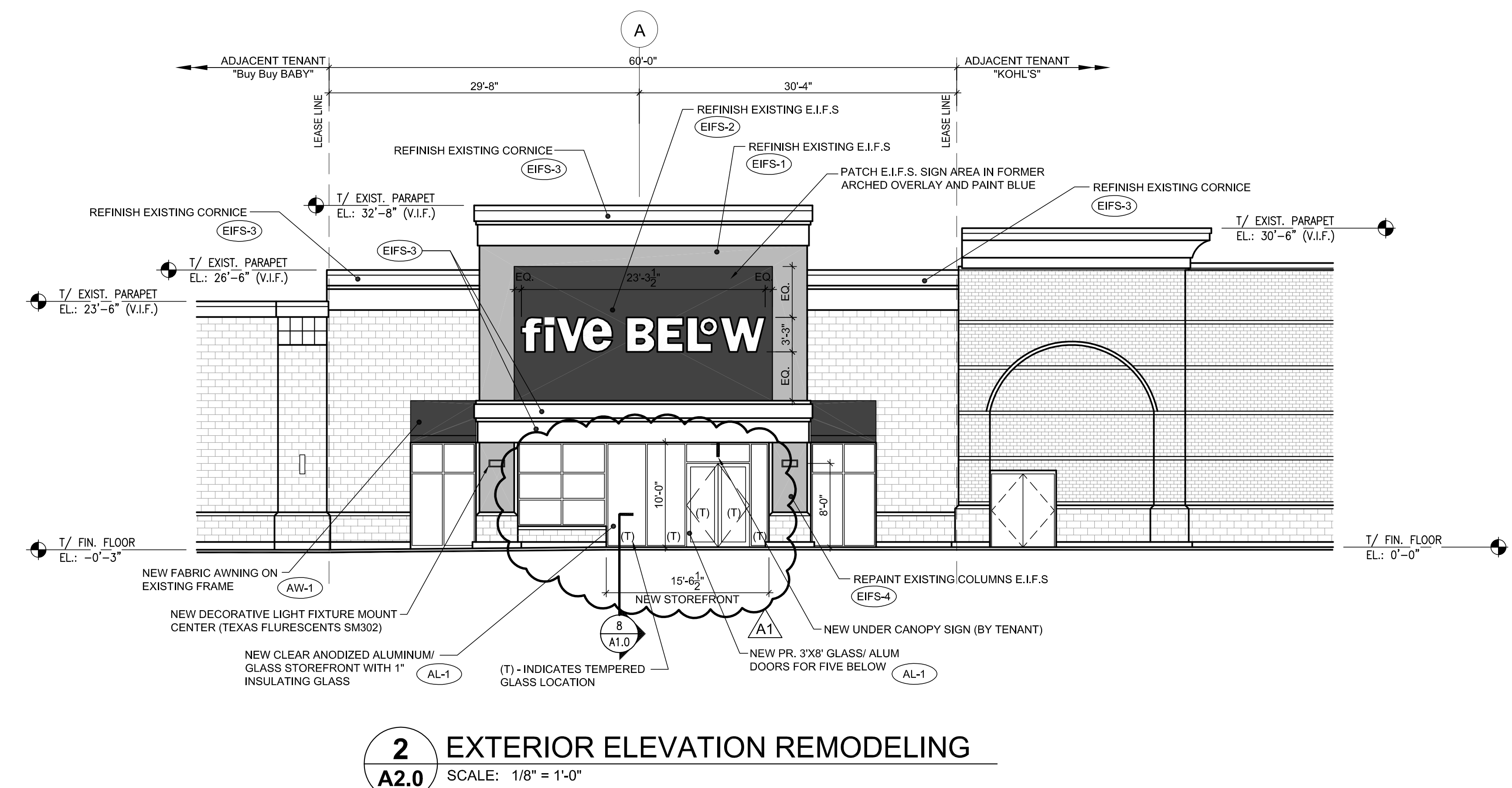
SHEET:

A2.0

JOB NO. 18119



1 EXTERIOR ELEVATION AS-BUILT/ DEMOLITION
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION REMODELING
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
DESIGNATION	MANUFACTURER	MATERIAL/COLOR/TEXTURE
(EIFS-1)	DRYVIT CORP.	EXTERIOR PAINT (FACADE) COLOR : #456 OYSTER SHELL
(EIFS-2)	DRYVIT CORP.	EXTERIOR INSULATION AND FINISH SYSTEM (ACCENT) COLOR : FIBE011021S (FIVE BELOW BLUE)
(EIFS-3)	DRYVIT CORP.	EXTERIOR PAINT (CORNICHE) COLOR : #310 CHINA WHITE
(EIFS-4)	DRYVIT CORP.	EXTERIOR PAINT (COLUMNS) COLOR : #113 AMARILLO WHITE
(AW-1)	SUNBRELLA	OPEN ENDED AWNING - SUNBRELLA FABRIC COLOR : ROYAL BLUE, STYLE #6017-0000
(AL-1)	KAWNEER	CLEAR ANODIZED ALUMINUM 1 3/4" X 4 1/2" TRIFAB 450 STOREFRONT SYSTEM WITH 1" INSUL. CLEAR GLASS (TO MATCH EXISTING) - TEMPERED AS REQUIRED

GENERAL NOTE:
GENERAL CONTRACTOR TO VERIFY W/ OWNER FOR ALL FINISHES, COLORS & MANUFACTURERS TO BE SUBMITTED FOR FINAL APPROVAL PRIOR TO WORK.



2803 BUTTERFIELD RD.
SUITE 340
OAK BROOK, IL 60523
TEL: (312) 795-1245
FAX: (312) 795-6123

OWNER:



IRC
RETAIL CENTERS
814 COMMERCE DRIVE
SUITE 300
OAK BROOK, IL 60523

PROJECT:

five BELOW
LANDLORD SHELL
SCOPE
(SUITE 5460)
BOHL FARM
MARKETPLACE
5460 NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

SHEET TITLE:
REMODELING
FLOOR PLAN, DETAILS
AND SCHEDULES

NO.	DATE	DESCRIPTION
05.02.18	FOR BID AND PERMIT	



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DRAWN BY: CHECKED BY:

SHEET:

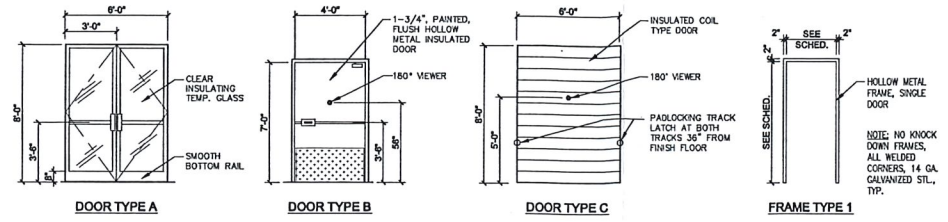
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JOB NO. 18119

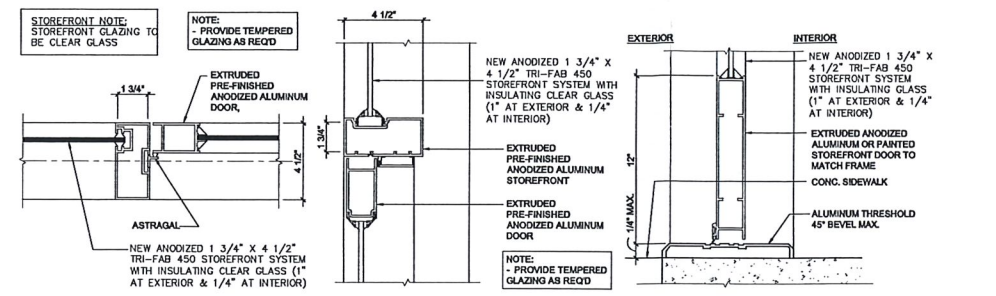


DOOR NO.	LOCATION	ROOM NAME	DOOR			FRAME			FINISHES		REMARKS
			TYPE	THICKNESS	MATERIAL	LABEL	DOOR SIZE	JAMB/HEAD	DOOR FINISH	HARDWARE SET	
1	STOREFRONT ENTRY		N/A		ALUM./GLASS	-	(2) 3'-0" x 8'-0"	2, 3 & 4 / A1.0	CLEAR ANODIZED	#1	ADJUST CLOSER FOR A 120 DEGREE ROTATION
2	EGRESS DOOR		1.3M"		H.M. (INSUL.)	-	4'-0" x 7'-0"	5 & 6 / A1.0	PAINT	#2	ADJUST CLOSER FOR A 120 DEGREE ROTATION, VIEWER
3	RECEIVING DOOR				STEEL (INSUL.)	-	6'-0" x 8'-0"		PAINT	#3	PADLOCK, VIEWER

DOOR SCHEDULE



DOOR AND DOOR FRAME TYPES



- 2 DOOR "A" JAMB SCALE: NONE
- 3 DOOR "A" HEAD SCALE: NONE
- 4 DOOR "A" SILL SCALE: NONE
- 5 DOOR "B" SILL SCALE: NONE
- 6 DOOR "B" HEAD SCALE: NONE

SET# 1 - ENTRY DOORS
CLOSER: NORTON #8501-H, OR APPROVED EQ. ADJUST MOUNTING POINTS FOR MIN. 120° ROTATION.
PULL: HAGER PULL #11E, 32D OR APPROVED EQUAL.
PUSH: HAGER PUSH #80S, 32D OR APPROVED EQUAL.
LOCK: 7 PIN BEST ACCEPTABLE CYLINDER W/ TEE TURN INSIDE & EXTERIOR CYLINDER GUARD, MAJOR MANUF. #0GL-260
FOOT: HOLD OPEN FOOT, HAGER 2700- US280. FINISH TO MATCH STOREFRONT.
WEATHERING: PER MANUF. SPECS, INCLUDING FLOOR SWEEPS.
CHAIN HOLD: HAGER - DOOR CHAIN - #300D-25 1" - US260
THRESHOLD: 8" STANDARD MILL FINISHED THRESHOLD.

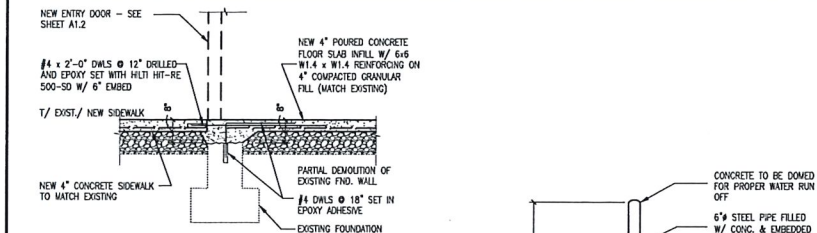
SET# 2 - EGRESSES DOOR
CLOSER: NORTON #8501-H, HINGE SIDE MTD, HOLD-OPEN OPERATION. (SET TO BE S.L.B. MAX OPENING FORCE) INCLUDE HOLD OPEN CLOSER, TYP. OF 1. ADJUST MOUNTING POINTS FOR MIN. 120° ROTATION.
HINGES: HAGER AB850, 1-1 PAIR STAINLESS STEEL MARKAR, ASSA ABL0Y HINGE #B1923, SUPPORT PIVOT, US2Q.
EXIT DEVICE: ALARM EXIT DEVICE DETEX #V404EBW, WITH RIBBER AS REQ'D, US2Q.
STOP: HAGER 270C IWB #438 FLOOR MTD. WITH RIBBER AS REQ'D, US280.
KICK PLATE: 40x24" 18 GA. KICK PLATE. INSTALL W/5.S. COUNTERSUNK SCREWS ON PUSH SIDE.
SILENCER: RESILIENT TYPE, REMOVABLE FOR REPLACEMENT, 3 EACH DOOR, MTD. IN FRAME.
SMOKE SEAL: YEMK07 #5880 (USE AT RATED DOORS ONLY)
FOOT: HOLD OPEN FOOT, HAGER 2700- US280
WEATHERING: ALUM./STEEL THRESHOLD COMPLETE WITH WEATHER-STRIPPING AND SMOKE GASKET. (EXTERIOR DOORS)
SECURITY: SECURITY ASTRAGAL, NATIONAL GUARD PRODUCTS #1395P FULL HT. OF DOOR, INSTALL W/ SECURITY SCREWS
VIEWER: 180 DEGREE VIEWER - HAGER 1755
CHAIN HOLD: HAGER DOOR CHAIN - #300D-25 1" - US260

SET# 3 - EXTERIOR ROLL-UP DOOR
MANUF.: COILING STEEL DOOR BY OVERHEAD DOOR - SERIES 825 24 GAUGE DOOR IN FACTORY GRAY BAKED ENAMEL
LOCK: (2) THROW BOLTS PER MANUF. PAD LOCK PROV. BY FB & INST. BY T.G.C. W/ BEST CORE.
OPERATION: MANUAL - CHAIN HOIST
SPECS: 3" STRUCTURAL STEEL DOOR ANGLE GUIDES WITH ALUMINUM BOTTOM BAR W/ BULB TYPE WEATHER SEAL.
WEATHERING: HOOD BAFFLE SHALL BE INSTALLED DIRECTLY TO THE INSIDE FACE OF THE MASONRY WALL & SILICONE CALKED AROUND THE ENTIRE PERIMETER. INSTALL AN EXTERIOR LINTEL BRUSH SEAL TO LINTEL. (WOOD BLOCKING SHALL NOT BE USED)

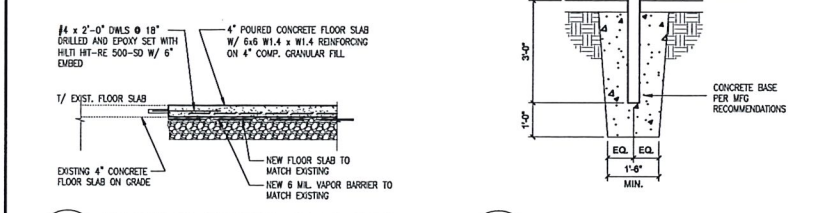
DOOR HARDWARE SPECS

- A. ALL HARDWARE LISTED BELOW SHALL BE SUPPLIED BY G.C., UNLESS OTHERWISE NOTED
- B. ALL HARDWARE SHALL HAVE SATIN CHROME FINISH, UNLESS OTHERWISE NOTED.
- C. OPENING SHALL BE MINIMUM OF 32" WIDE WHEN DOORS ARE AT A RIGHT ANGLE TO THE CLOSED POSITION.
- D. MAX EFFORT TO OPERATE DOOR SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 3 POUNDS FOR INTERIOR DOORS WITH A PULL OF PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATIONS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAX EFFORT TO OPERATE THE DOORWAY MAY BE INCREASED NOT TO EXCEED 14 POUNDS WITH CLOSURE.
- E. INTERIOR METAL DOORS SHALL BE 20 GA. ALL EXTERIOR DOORS SHALL BE 18 GA.
- F. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FINISHED FLOOR.

DOOR/HARDWARE NOTES

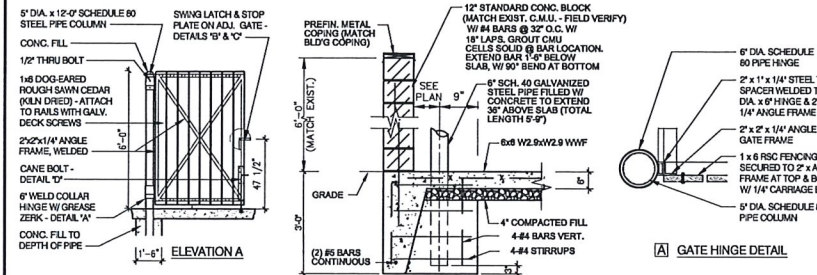


8 NEW SLAB APRON DTL.
SCALE: NONE

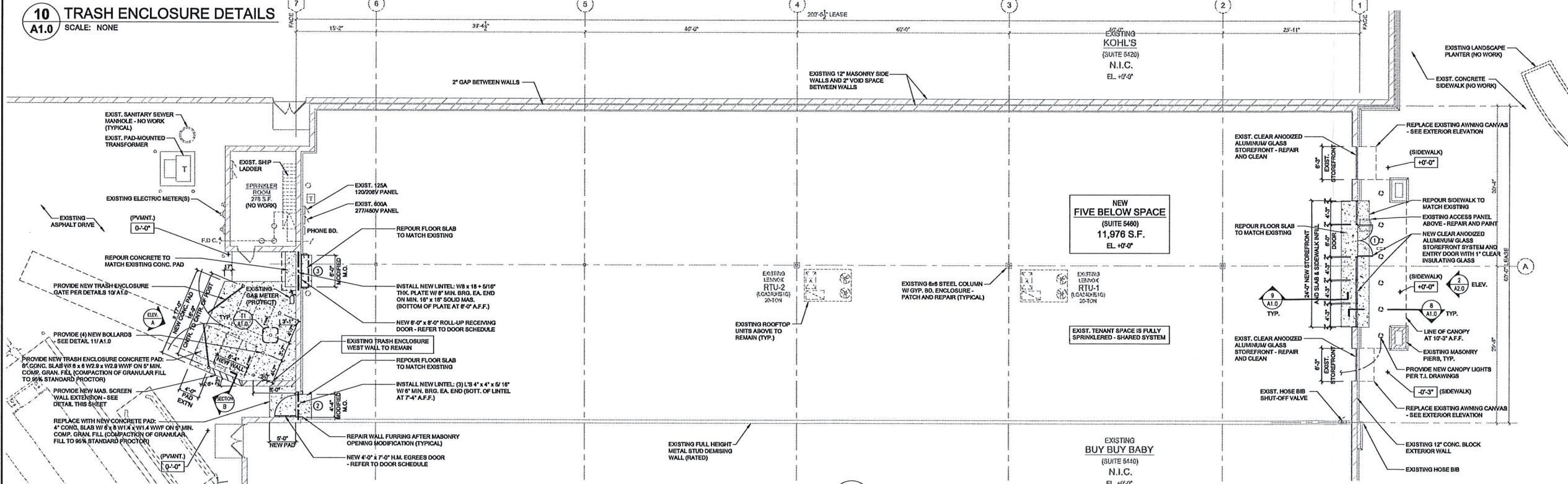


9 NEW TO EXIST. SLAB DTL.
SCALE: NONE

11 PIPE BOLLARD DETAIL
SCALE: NONE



10 TRASH ENCLOSURE DETAILS
SCALE: NONE



1 REMODELING FLOOR PLAN
SCALE: 1/8" = 1'-0"

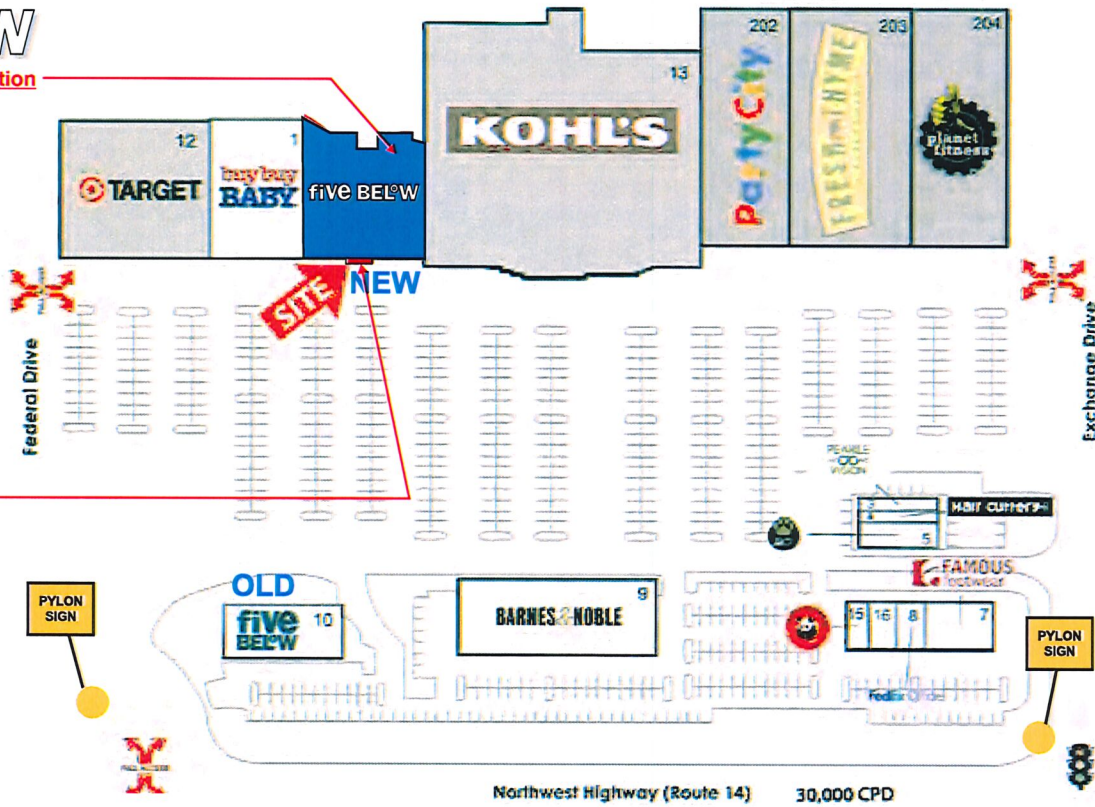
fiVE BELoW

SITE IDENTIFICATION
SITE PLAN

fiVE BELoW

Proposed NEW Store Location

Illuminated Letters on
Storefront Elevation



RECEIVED
 MAY 13 2019
 BY: _____

SITE PLAN



Kieffer | Starlite
 National Sign Manufacturers and Consultants
 Dallas/Ft. Worth | Chicago | Sheboygan | Charlotte

ACCOUNT: **FIVE BELOW**
 LOCATION: **Crystal Lake, IL (Relocation)**
 ACCT. REP: **LC** DESIGNER: **MAK**
 DATE: **3/11/19**
 COMPANION FILES



REVISIONS:	INITIALS & DATE:
▲	-
▲	-
▲	-
▲	-
▲	-
▲	-
▲	-
▲	-
▲	-
▲	-
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For Contact Information
 visit us at
www.kssigngroup.com

KS SITE PLAN



EXISTING STOREFRONT



FB PROPOSED STOREFRONT

Facade:

- LL to engineer new storefront glass to underside of existing soffit, 10'-0" high, w/ 4'-0" min panel width, no upper mullions
- LL to locate 8' tall storefront doors per tenant's final plans
- LL to install walkway lighting, 6'-0" min O.C., with additional door light
- LL to install decorative sconces per Five Below plans
- LL to procure and install fabric awnings on existing frame, Sunbrella Royal Blue 4'-0" proj.
- LL to reuse existing curb cut near storefront entry
- LL to provide unobstructed permanent access to sign mountable/electrical connection area
- LL to provide electrical to center of all applicable sign mountable areas

Signage:

- Primary Sign: 39" internally illuminated channel letters
- Temp Post and Panel: Construction sign placed near entrance
- Walkway sign: 1'-0" x 3'-0" UC Sign

Existing Finishes by LL:

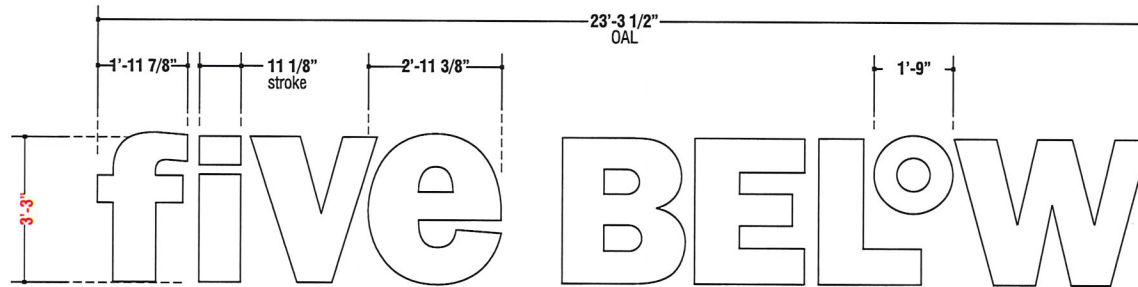
- Existing Facade: 3" Dryvit 456 Oyster Shell
- Existing Accent EIFS: 1" Dryvit FIBE011021S (Five Below Blue)
- Existing Cornice EIFS: 1" Dryvit 310 China White
- Existing Columns EIFS: 2" Dryvit 113 Amarillo White

Sign A	
Sign Type	39" Five Below Individual Channel Letters
Illumination	Internally Illuminated LED
Square Footage	75.69 TTL SQ FT
Reference DRWG. #B61022i for detailed specifications	

Sign B	
Sign	1' x 3' Undercanopy Sign
Sign Type	Exterior Sign
Illumination	Non-Illuminated
Reference DRWG. #B65543B for detailed specifications	

five BELOW

**SITE IDENTIFICATION
39" Illuminated Letters**



Letter Set Layout

Scale: 3/8" = 1'-0"

Square Feet: 75.69

GENERAL SPECIFICATIONS

Internally Illuminated Letter Set to be flush-mounted.

COLOR SPECIFICATIONS

Material/Paint Specifications

- P1 Painted Brushed Aluminum
Logotype Returns
- P2 White Acrylic
Faces

CHANNEL LETTERS - REMOTE

(A) ILLUMINATION	COLOR	WHITE
	TYPE	AGILITE
(B) POWER SUPPLY	TYPE	ADVANCE
(C) FACE	MATERIAL	ACRYLIC
	COLOR	WHITE
	VINYL	N/A
(D) RETAINER	TYPE	TRIM CAP
	COLOR	1"
(E) RETURN	MATERIAL	METALLIC SILVER
	COLOR	.040 x 5.5" COIL
	DEPTH	5"
(F) BACK	MATERIAL	.063 ALUMINUM
	COLOR	WHITE
(G) MOUNTING	TYPE	MECHANICAL
	FASTENER	1/4"-20NC THREADED ROD
(H) ELECTRICAL	TYPE	PASS THRU
	TYPE	-
(I) SWITCH	TYPE	DISCONNECT/TOGGLE
	LOCATION	BY ELECTRICIAN

* 2 WEAP HOLES PER LETTER REQUIRED (1/4" DIA.).
 * CALK REQUIRED.
 * UL LISTED PRODUCT
 * ALL ELECTRICAL OUTS LOCATED FOR RACEWAY OR REMOTE APPLICATION.

Kieffer | Starlite
National Sign Manufacturers and Consultants

ACCOUNT: FIVE BELOW	PRODUCTION PROCESSING	REVISIONS:	INITIALS & DATE:
LOCATION: Various	Kieffer Item #	▲ -	-
ACCT. REP: JG	DESIGNER: JRS	▲ -	-
DATE: 8/11/12		▲ -	-
COMPANION FILES		▲ -	-
		▲ -	-
		▲ -	-
		▲ -	-
		▲ -	-
		▲ -	-
		▲ -	-
		▲ -	-

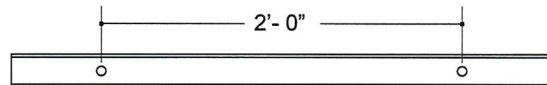
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B61022i

fiVE BELoW

SITE IDENTIFICATION
1' x 3' Under canopy Sign

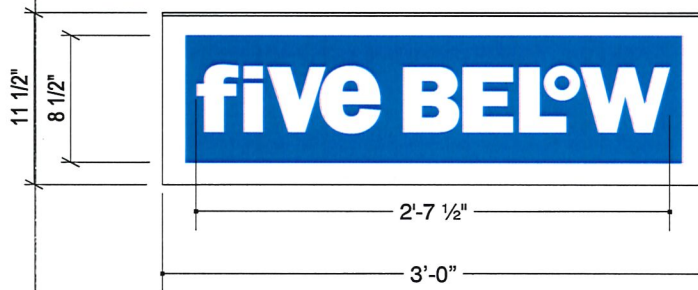


Top View



TYPICAL INSTALLATION

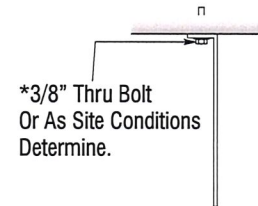
WALKWAY APPLICATION



D/F Under Canopy Sign

Scale: 1 1/2" = 1'-0"

.063 White pre-coat aluminum w/brake-formed 1" flange at top. 5/16" dia. holes drilled in flange.
3M vinyl logotype graphics applied 1st surface.
Mounting hardware to be provided by installer.



*3/8" Thru Bolt
Or As Site Conditions Determine.

* Use non-corrosive fasteners.

Side View

Scale: 1 1/2" = 1'-0"

COLOR SPECIFICATIONS

■ 3M #3630-167 Bright Blue



ACCOUNT: FIVE BELOW	PRODUCTION PROCESSING	REVISIONS:	INITIALS & DATE:
LOCATION: VARIOUS	Kieffer Item #	▲ Fastener note	MAK 1/2/18
ACCT. REP: LC	Job #	▲ -	-
DESIGNER: JRS	-001	▲ -	-
DATE: 7/22/15	-002	▲ -	-
COMPANION FILES	-003	▲ -	-
	-004	▲ -	-
	-005	▲ -	-



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B65543B

fiVE BELOw

SITE IDENTIFICATION
4' x 20' Temporary Banners



S/F Banner Layout

GENERAL SPECIFICATIONS

S/F Banner to be digitally printed.

COLOR SPECIFICATIONS

Vinyl Specifications

Ⓥ1 ■ To Match #3630-167 Bright Blue Background

Scale: 3/8" = 1'-0"

Square Feet: 80.00



A-Side

GENERAL SPECIFICATIONS

D/F Banner to be digitally printed.

'Week, Month, Day T.B.D.' to be left off manufacturing.
Vinyl to be added later by local installer.

COLOR SPECIFICATIONS

Vinyl Specifications

Ⓥ1 ■ To Match #3630-167 Bright Blue Background

Scale: 3/8" = 1'-0"

Square Feet: 80.00



B-Side

D/F Banner Layout



ACCOUNT: FIVE BELOW	PRODUCTION PROCESSING	REVISIONS:	INITIALS & DATE:
LOCATION: VARIOUS	Kieffer Item #	▲ -	-
ACCT. REP: LC	JOB #	▲ -	-
DESIGNER: JRS	-001	▲ -	-
DATE: 3/20/13	-002	▲ -	-
COMPANION FILES	-003	▲ -	-
	-004	▲ -	-
	-005	▲ -	-

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B64459



fiVE BELoW

SITE IDENTIFICATION Temporary Skid Sign



ACCOUNT: **FIVE BELOW**
 LOCATION: **VARIOUS**
 ACCT. REP: **LC** DESIGNER: **MAK**
 DATE: **3/28/13**
 COMPANION FILES



PRODUCTION PROCESSING

Kieffer Item #	Job #	Job #	Job #	Job #	Job #	Job #	Job #
-	-001	-002	-003	-004	-005	-	-

REVISIONS:

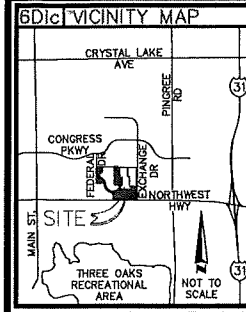
Location note	Location note	Location note	Location note	Location note	Location note	Location note	Location note
-	-	-	-	-	-	-	-

INITIALS & DATE:
MAK 1/2/18

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B64495



CONFORMANCE STATUS: LEGAL NONCONFORMING
ACCORDING TO KATHRYN COWLIN, PLANNER, "DUE TO THE AGE OF THE PROPERTY, THE EXISTING PARKING WOULD BE CONSIDERED LEGAL NONCONFORMING."
NONCONFORMING CHARACTERISTICS:
• BUILDING HEIGHT EXCEEDS THE MAXIMUM BY 8.4 FEET FOR THE 5460 NORTHWEST HIGHWAY BUILDING.
• OFF STREET PARKING IS DEFICIENT 79 SPACES.

NONCONFORMING CLAUSE: SECTION 7-300.6 NONCONFORMING USES AND STRUCTURES NONCONFORMING USE AND STRUCTURE REGULATIONS. ANY BUILDING OR STRUCTURE CONTAINING A NONCONFORMING USE OR ANY NONCONFORMING STRUCTURE SHALL BE SUBJECT TO THE FOLLOWING REGULATIONS.
1. IF ANY BUILDING OR STRUCTURE IS DESTROYED BY ANY MEANS TO AN EXTENT OF MORE THAN 50% OF THE REPLACEMENT VALUE BASED UPON PREVAILING COSTS OF THAT PORTION OF THE BUILDING OR STRUCTURE WHICH IS ABOVE THE AVERAGE GROUND ELEVATION, SUCH BUILDING OR STRUCTURE SHALL NOT BE REBUILT OR REOCCUPIED FOR ANY USE EXCEPT IN ACCORDANCE WITH THE REGULATIONS OF THE ZONING DISTRICT IN WHICH IT IS LOCATED. BURDEN OF PROOF OF COSTS SHALL BE UPON THE OWNER.
2. IF ANY BUILDING OR STRUCTURE IS DESTROYED BY ANY MEANS TO AN EXTENT LESS THAN 50% OF ITS REPLACEMENT VALUE BASED UPON PREVAILING COSTS, THE BUILDING MAY THEN BE RESTORED TO ITS ORIGINAL CONDITION AND THE OCCUPANCY OR USE OF SUCH BUILDING MAY BE CONTINUED AS IT EXISTED AT THE TIME OF SAID PARTIAL DESTRUCTION. BURDEN OF PROOF OF COSTS SHALL BE UPON THE OWNER.

SEE SHEET 2 OF 2 FOR SURVEY

6Bx | TITLE COMMITMENT INFORMATION
THE TITLE DESCRIPTION AND SCHEDULE B ITEMS HEREON ARE FROM:
FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO: 2010 999012477 HCF, HAWG AN EFFECTIVE DATE OF NOVEMBER 30, 2016.

6B1 | TITLE DESCRIPTION
PARCEL 1:
LOTS 2, 3, 6, 7, AND 8 AND OUTLOTS "A" AND "B" IN BOHL FARM MARKETPLACE, BEING A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 5, 1998 AS DOCUMENT NO. 98R35196, IN MCHEERY COUNTY, ILLINOIS.
PARCEL 2:
EASEMENTS FOR INGRESS AND EGRESS, PARKING, UTILITIES, CONSTRUCTION, MAINTENANCE, RECONSTRUCTION, AND SIGNS AS CREATED BY THE OPERATION AND EASEMENT AGREEMENT MADE BY AND AMONG DAYTON HUDSON CORPORATION, A MINNESOTA CORPORATION, KOHL'S DEPARTMENT STORES, INC., A DELAWARE CORPORATION, THE DOMINICK'S REALTY TRUST 1997, A DELAWARE BUSINESS TRUST, AND RYAN COMPANIES US, INC., A MINNESOTA CORPORATION, RECORDED JULY 9, 1998 AS DOCUMENT 98R35203, AND AS AMENDED BY FIRST AMENDMENT RECORDED AUGUST 11, 1998 AS DOCUMENT 98R35276, AND AS AMENDED BY SECOND AMENDMENT RECORDED JANUARY 21, 2000 AS DOCUMENT 2000R4050 AND AS AMENDED BY THIRD AMENDMENT RECORDED JULY 10, 2000 AS DOCUMENT 2000R36659 OVER AND ACROSS THE LAND DELINEATED ON THE SITE PLAN ATTACHED AS EXHIBIT "A" THEREOF.

THIS SURVEY DESCRIBES AND DEPICTS THE SAME LAND AS DESCRIBED IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

3 | FLOOD INFORMATION
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 170732 0335 J (WAP NO. 1711100335), WHICH BEARS AN EFFECTIVE DATE OF 11/16/2006, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

5C11 | SURVEYOR OBSERVED POSSIBLE ENCROACHMENTS
6 | BUILDING ENCROACHES INTO ADJACENT PROPERTY BY NO MORE THAN 0.3'.
7 | BUILDING ENCROACHES INTO ADJACENT PROPERTY BY NO MORE THAN 0.2'.
8 | ADJACENT BUILDING ENCROACHES INTO SUBJECT PROPERTY BY NO MORE THAN 0.3'.
9 | BUILDING ENCROACHES INTO 10' WIDE PUBLIC UTILITY EASEMENT BY NO MORE THAN 30.8'.
10 | BUILDING ENCROACHES INTO 30' WIDE PUBLIC UTILITY EASEMENT BY NO MORE THAN 20.1'.
11 | SIDEWALK ENCROACHES ADJACENT PROPERTY BY NO MORE THAN 1.6'.
12 | BUILDING ENCROACHES INTO PUBLIC UTILITY EASEMENT BY NO MORE THAN 98.6'.

6D1b | LEGEND AND ABBREVIATIONS
CONCRETE SURFACE
NO PARKING AREA
HANDICAP PARKING
ELECTRIC BOXES/STRUCTURES
ELECTRIC MANHOLE
UNKNOWN UTILITY HANDHOLE
LIGHT POLE
ELECTRIC METER
ELECTRIC TRANSFORMER
STORM MANHOLE
CATCH BASIN
GRATE TOP STORM INLET
FLARED END SECTION
SANITARY MANHOLE
FLAGPOLE
WATER MANHOLE
FIRE HYDRANT
WATER VALVE
WATER METER
MEASUREMENT POINT
MANHOLE (UNKNOWN)
UTILITY PULL BOX
TELEPHONE RISER
GAS METER
SIGN
BOLLARD
TRAFFIC SIGNAL POST
TRAFFIC SIGNAL HOUSING
RECOVERED MONUMENT AS NOTED
PARKING SPACE
CHAIN LINK FENCE

BUILDING HEIGHT NOTE:
BUILDING HEIGHT = 28' AND TWO STORES PER FLOOR IN FRONT OF BARNES AND NOBLE.

Table with 3 columns: ITEM, REQUIRED, OBSERVED. Row 1: MINIMUM LOT AREA (SQ.FT.), 20,000, 577,336. Row 2: MINIMUM FRONTAGE, N/S, 2370'. Row 3: MINIMUM LOT WIDTH, 100'. Row 4: MAX BUILDING COVERAGE, 50%, 16.8%. Row 5: MAX BUILDING HEIGHT, 36.4'. Row 6: MINIMUM SETBACKS: FRONT 30', SIDE 0', REAR 20'.

- 21 - MUNICIPAL UTILITY EASEMENT FOR SIDEWALK PURPOSES AS SHOWN ON THE PLAT OF BOHL FARM MARKETPLACE RECORDED JUNE 5, 1998 AS DOCUMENT 98R35196. (AFFECTS, AS SHOWN)
22 - STORMWATER RETENTION EASEMENT AS SHOWN ON THE PLAT OF BOHL FARM MARKETPLACE RECORDED JUNE 5, 1998 AS DOCUMENT NO. 98R35196. (AFFECTS LOTS 6, 7 AND 8) (AFFECTS, AS SHOWN)
23 - NOTE: OUTLOTS "A" AND "B" ARE DESIGNATED "DEFENTION" AND STORMWATER RETENTION EASEMENT (S.W.R.E.) AND OUTLOT "B" IS ALSO DESIGNATED FOR ROADWAY PURPOSES AS SHOWN ON THE PLAT OF BOHL FARM MARKETPLACE RECORDED JUNE 5, 1998 AS DOCUMENT 98R35196. (AFFECTS, AS SHOWN)
24 - EASEMENT IN FAVOR OF COMED, AUTHORIZED CABLE TV COMPANY, ILLINOIS BELL TELEPHONE COMPANY (AMERITECH) AND NICOR, AND ITS/ THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT AND THE PROVISIONS RELATING THERETO CONTAINED IN THE PLAT OF BOHL FARM MARKETPLACE RECORDED JUNE 5, 1998 AS DOCUMENT NO. 98R35196, IN, OVER, UNDER ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DOTTED LINES ON SAID PLAT AND MARKED "PUBLIC UTILITY EASEMENT" AND THE PROPERTY DESIGNATED AS "COMMON AREA OR AREAS". (AFFECTS, AS SHOWN)
25 - A PART OF THE ABOVE DOCUMENT AFFECTING LOT 6 WAS VACATED BY PLAT OF VACATION RECORDED DECEMBER 2, 1999 AS DOCUMENT 1999R0082449. (DOCUMENT NOT PROVIDED, COVER SHEET ONLY)
26 - MUNICIPAL UTILITY EASEMENT AS SHOWN ON THE PLAT OF DEDICATION RECORDED DECEMBER 2, 1999 AS DOCUMENT 1999R0082450. (AFFECTS A FIFTEEN FOOT WIDE NORTH-SOUTH STRIP IN LOT 6 AS DESCRIBED THEREON. DOCUMENT NOT PROVIDED, COVER SHEET ONLY)
27 - AGREEMENT BETWEEN KOHL'S DEPARTMENT STORES, INC. AND RYAN COMPANIES US, INC., RECORDED JANUARY 21, 2000 AS DOCUMENT 2000R4051. (AFFECTS, BLANKET IN NATURE OVER LOTS 6 & 8)
28 - TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS CONTAINED IN THE OPERATION AND EASEMENT AGREEMENT MADE BY AND AMONG DAYTON HUDSON CORPORATION, A MINNESOTA CORPORATION, KOHL'S DEPARTMENT STORES, INC., A DELAWARE CORPORATION, THE DOMINICK'S REALTY TRUST 1997, A DELAWARE BUSINESS TRUST, AND RYAN COMPANIES US, INC., A MINNESOTA CORPORATION, RECORDED JUNE 5, 1998 AS DOCUMENT 98R35203, AND AS AMENDED BY FIRST AMENDMENT RECORDED AUGUST 11, 1998 AS DOCUMENT 98R35276, AND AS AMENDED BY SECOND AMENDMENT RECORDED JANUARY 21, 2000 AS DOCUMENT 2000R4050 AND AS AMENDED BY THIRD AMENDMENT RECORDED JULY 10, 2000 AS DOCUMENT 2000R36659. (AFFECTS, BLANKET IN NATURE)
29 - NOTICE OF FIRE ALARM INSTALLED AND OWNED BY CHICAGO-METROPOLITAN FIRE PREVENTION COMPANY RECORDED AUGUST 1, 2012 AS DOCUMENT NUMBER 2012R-0014333. (AFFECTS, BLANKET IN NATURE)

6B | RECORDED SETBACKS/RESTRICTIONS
NONE PROVIDED TO THIS SURVEYOR.

- 19 - PUBLIC UTILITY EASEMENTS AS SHOWN ON THE PLAT OF BOHL FARM MARKETPLACE RECORDED JUNE 5, 1998 AS DOCUMENT 98R35196. (AFFECTS IRREGULARLY CONFIGURED STRIPS OF LAND ACROSS THE NORTHERLY PART OF LOT 2, ACROSS THE SOUTHERLY AND EASTERLY PARTS OF LOT 5, ACROSS THE SOUTHERLY, EASTERLY AND NORTHERLY PARTS OF LOT 6, ACROSS THE SOUTHERLY AND EASTERLY PARTS OF LOT 7, ACROSS THE SOUTHERLY AND EASTERLY PARTS OF LOT 8 AND ACROSS THE WESTERLY PART OF LOT "A" - REFER TO PLAT FOR EXACT LOCATION) (AFFECTS, AS SHOWN)
A PART OF THE ABOVE DOCUMENT AFFECTING LOT 6 WAS VACATED BY PLAT OF VACATION RECORDED DECEMBER 2, 1999 AS DOCUMENT 1999R0082449.
A PART OF THE ABOVE DOCUMENT AFFECTING LOT 6 WAS VACATED BY PLAT OF VACATION RECORDED JULY 10, 2000 AS DOCUMENT 2000R36659.
A PART OF THE ABOVE DOCUMENT AFFECTING LOT 6 WAS VACATED BY PLAT OF VACATION RECORDED JULY 10, 2000 AS DOCUMENT 2000R36652. (AFFECTS, AS SHOWN)
20 - MUNICIPAL UTILITY EASEMENTS AND PROMISONS RELATING THERETO AS SHOWN ON THE PLAT OF BOHL FARM MARKETPLACE RECORDED JUNE 5, 1998 AS DOCUMENT 98R35196. (AFFECTS IRREGULARLY CONFIGURED STRIPS OF LAND ACROSS THE NORTHERLY AND CENTRAL PARTS OF LOT 2, ACROSS THE EASTERLY AND SOUTHERLY PARTS OF LOT 3, ACROSS THE NORTHERLY, CENTRAL, EASTERLY AND SOUTHERLY PARTS OF LOT 5, ACROSS THE NORTHERLY, WESTERLY AND SOUTHERLY PARTS OF LOT 7, ACROSS THE NORTHERLY, WESTERLY AND SOUTHERLY PARTS OF LOT 8, ACROSS THE NORTHERLY PART OF LOT "A" AND ACROSS THE CENTRAL PART OF LOT "B" - REFER TO PLAT FOR EXACT LOCATION) (AFFECTS, AS SHOWN)
A PART OF THE ABOVE DOCUMENT AFFECTING LOT 6 WAS VACATED BY PLAT OF VACATION RECORDED DECEMBER 2, 1999 AS DOCUMENT 1999R0082451. (DOCUMENT NOT PROVIDED, COVER SHEET ONLY)

CONTINUED...

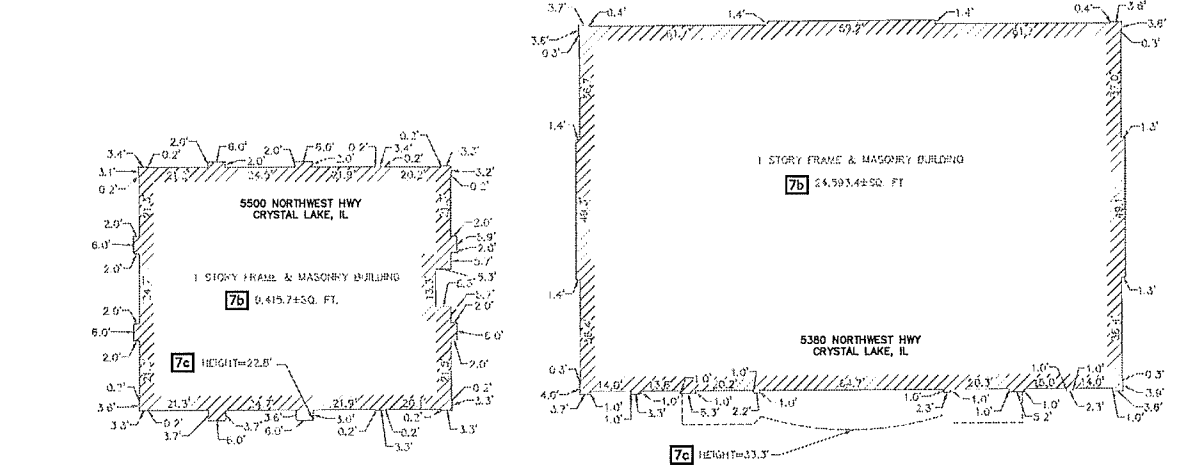


Table with 6 columns: NUMBER, RADIUS, LENGTH, DELTA, CHORD, CHORD BEARING. Curve data for Lot 8 showing curves C10 through C17.

Table with 6 columns: NUMBER, RADIUS, LENGTH, DELTA, CHORD, CHORD BEARING. Curve data for Lot 7 showing curves C1 through C9.

Table with 6 columns: NUMBER, RADIUS, LENGTH, DELTA, CHORD, CHORD BEARING. Curve data for Lot 6 showing curves C10 through C17.

Table with 6 columns: NUMBER, RADIUS, LENGTH, DELTA, CHORD, CHORD BEARING. Curve data for Lot 7 showing curves C1 through C9.

ALTA/ACSM LAND TITLE SURVEY IDENTIFICATION TABLE
Table mapping document numbers to content types: 2 TABLE A PROPERTY ADDRESS, 3 TABLE A FLOOD INFORMATION, 4 TABLE A LAND AREA, 5B111 ACCESS TO PROPERTY, 5C111 SURVEYOR OBSERVED POSSIBLE ENCROACHMENT, 6E1 SCHEDULE 'B' ITEMS, 6F CEMETERY NOTE, 6B RECORDED SETBACKS/RESTRICTIONS PROVIDED BY INSURED, 6B111 CONTIGUITY STATEMENT, 6B12 TITLE INFORMATION, 6B13 TITLE DESCRIPTION, 6B14 BEARING BASIS, 6D11 NORTH ARROW & SCALE, 6D12 LEGEND & ABBREVIATIONS, 6D13 VICINITY MAP, 6D14 TYPE OF SURVEY, 6D15 SURVEYOR'S CERTIFICATE, 7 TABLE A BUILDING AREA, 7C TABLE A BUILDING HEIGHT, 8 SURVEYOR'S NOTES, 9 TABLE A PARKING SPACES, 10 TABLE A ADJOINING OWNERS, 11 TABLE A INTERSECTING STREET, 12 TABLE A EARTH MOVING NOTE, 13 TABLE A DUMP, SUMP OR LANDFILL NOTE, 14 TABLE A ZONING INFORMATION, 15 OFFSITE EASEMENTS OR SERVICUTES.

CONTINUED...

20b | OFFSITE EASEMENTS OR SERVICUTES
OFFSITE EASEMENTS / SERVICUTES BENEFITING THE SURVEYED PROPERTY, ALONG WITH IMPROVEMENTS LOCATED WITHIN, AS DISCLOSED IN RECORD DOCUMENTS OR OBSERVED AT THE TIME OF THE SURVEY, ARE SHOWN.

Table with 6 columns: DATE, REVISIONS, TECH, FIELD, MS, DRAWING SCALE. Shows revision history for the drawing.

- 8 | SURVEYOR'S NOTES
1. NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND VISIBLE EVIDENCE OF UTILITIES ARE SHOWN.
2. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
3. THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2011 ALTA/ACSM SURVEY REQUIREMENTS.
4. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

4 | LAND AREA
Table with 3 columns: OUTLOT, SQUARE FEET, ACRES. Totals: 577,336.2 SQUARE FEET, 13.252± ACRES.

6B14 | BEARING BASIS
BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERN RIGHT OF WAY LINE OF NORTHWEST HIGHWAY, WHICH BEARS N89°47'44"E, PER DOCUMENT NO.: 98R35196.

5F | CEMETERY NOTE
THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.

9 | PARKING SPACES
REGULAR = 454 HANDICAP = 21 TOTAL = 475 LOADING DOCKS = 2

5B111 | ACCESS TO PROPERTY
THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO FEDERAL DRIVE & EXCHANGE DRIVE, BOTH DEDICATED PUBLIC STREETS OR HIGHWAYS.

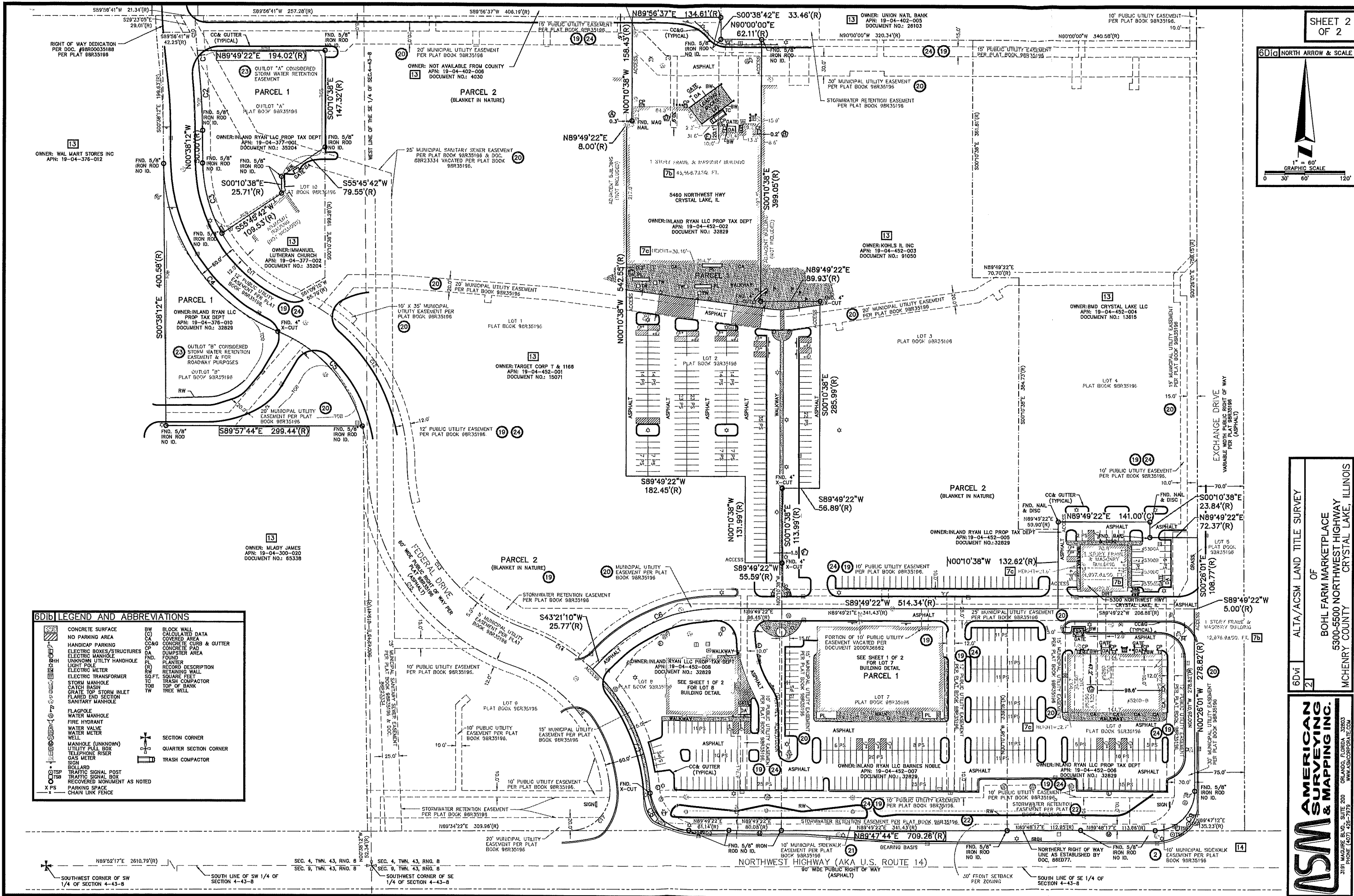
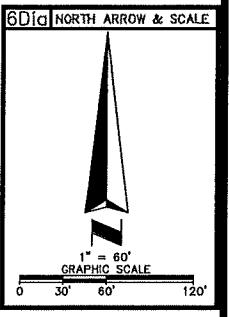
16 | EARTH MOVING NOTE
THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

18 | DUMP, SUMP OR LANDFILL NOTE
THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

6B111 | CONTIGUITY STATEMENT
THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE NOT CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.

7 | SURVEYOR'S CERTIFICATE
I, THE PRINCIPAL INSURANCE COMPANY OF AMERICA, ACTING SOLELY ON BEHALF OF AND IN CONNECTION WITH THE LIABILITIES FINANCIAL GROUP BANK, NATIONAL ASSOCIATION, AS COMPANY, SEPARATE ACCOUNT, PRAISE WELLS FINANCIAL GROUP BANK, NATIONAL ASSOCIATION, AS ADMINISTRATIVE AGENT, FOR THE BENEFIT OF LENDERS, ITS SUCCESSORS AND/OR ASSIGNS, AS TRUST INTEREST NATIONAL TITLE INSURANCE COMPANY, LAND MANAGEMENT TITLE INSURANCE MANAGEMENT L.P. OR ANY OF APOLLO'S AFFILIATES, AGENTS, ADVISORS, SUCCESSORS AND ASSIGNS, FIDELITY NATIONAL TITLE INSURANCE COMPANY, CHICAGO, ILLINOIS, THE INSURANCE COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY, INLAND BOHL FARM, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY; IRC BOHL FARM, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY.

Professional seal and signature block for WYNE SCHULTZ, Surveyor, No. 035-002834. Includes the date 4-12-18 and the company logo for ALTA/ACSM Surveying & Mapping Inc. with contact information: 3191 MAGUIRE BLVD., SUITE 200, ORLANDO, FL 32803, PHONE: (407) 426-7979.



6D1b LEGEND AND ABBREVIATIONS

	CONCRETE SURFACE		BLOCK WALL
	NO PARKING AREA		CALCULATED DATA
	HANDICAP PARKING		COVERED AREA
	ELECTRIC BOXES/STRUCTURES		CONCRETE CURB & GUTTER
	ELECTRIC MANHOLE		CONCRETE PAD
	UNKNOWN UTILITY HANDHOLE		DUMPSTER AREA
	LIGHT POLE		FOUND PLANTER
	ELECTRIC METER		RECORD DESCRIPTION
	ELECTRIC TRANSFORMER		RETAINING WALL
	STORM MANHOLE		SQ. FT.
	CATCH BASIN		TRASH COMPACTOR
	GRATE TOP STORM INLET		TOP OF BANK
	FLARED END SECTION		TREE WELL
	SANITARY MANHOLE		SECTION CORNER
	FLAGPOLE		QUARTER SECTION CORNER
	WATER MANHOLE		TRASH COMPACTOR
	FIRE HYDRANT		
	WATER VALVE		
	WATER METER		
	WELL		
	MANHOLE (UNKNOWN)		
	UTILITY PULL BOX		
	TELEPHONE RISER		
	GAS METER		
	SIGN		
	BOLLARD		
	TRAFFIC SIGNAL POST		
	TRAFFIC SIGNAL BOX		
	RECOVERED MONUMENT AS NOTED		
	PARKING SPACE		
	CHAIN LINK FENCE		

6D1c ALTA/ACSM LAND TITLE SURVEY
 OF
 BOHL FARM MARKETPLACE
 5300-NORTHWEST HIGHWAY
 CRYSTAL LAKE, ILLINOIS
 MCHENRY COUNTY

ASM
 AMERICAN SURVEYING & MAPPING INC.
 3151 MAGUIRE BLVD., SUITE 200
 ORLANDO, FLORIDA 32803
 PHONE (407) 426-7979
 WWW.ASMCORPORATE.COM

60' WIDE PUBLIC RIGHT OF WAY PER PLAT BOOK 98R35196
 FEDERAL DRIVE
 EXCHANGE DRIVE
 NORTHWEST HIGHWAY (AKA U.S. ROUTE 14)
 90' WIDE PUBLIC RIGHT OF WAY (ASPHALT)
 60' FRONT SETBACK PER ZONING
 SOUTH LINE OF SE 1/4 OF SECTION 4-43-B
 SOUTH LINE OF SW 1/4 OF SECTION 4-43-B
 SOUTH LINE OF SW 1/4 OF SECTION 4-43-B
 SOUTH LINE OF SE 1/4 OF SECTION 4-43-B