



**#2019-82**  
**Pingry Place – Final PUD Amendment**  
**Project Review for Planning and Zoning Commission**

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<b><u>Meeting Date:</u></b>	June 5, 2019
<b><u>Request:</u></b>	Planned Unit Development Amendment for to allow changes to the approved elevations and floor plans.
<b><u>Location:</u></b>	Woodstock Street and Grant Street
<b><u>Zoning:</u></b>	B-4 PUD – Mixed Use Business Planned Unit Development
<b><u>Surrounding Properties:</u></b>	North: B-4 – Mixed Use Business South: B-4 – Mixed Use Business East: B-4 – Mixed Use Business West: B-4 – Mixed Use Business
<b><u>Staff Contact:</u></b>	Kathryn Cowlin (815.356.3798)

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**Background:**

- The subject property received Final Planned Unit Development and Final Plat of Subdivision approval in 1992. The PUD approval was for 34 townhome units.
- The original developer constructed the first phase which consisted of 14 units. The exterior finish material (face brick) started to fail shortly after the construction was completed.
- In 1997, Builders Group Inc. proposed replacing the face brick with full brick. The City had no objection to this request. The work was never completed.
- The current property owners have been patching the existing face brick as it has failed.
- In 2018, the current HOA proposed stabilizing the existing face brick over the winter until the brick could be completely replaced with full brick in phases over a four year time span.
- In 2019, Metronomic purchased the remaining buildable lots. In an effort to improve the property and resolve the existing façade issue, the developer and the HOA are requesting a PUD Amendment to change the facades.

**Development Analysis:**

- **Request:** The petitioners are requesting a Final PUD Amendment to allow for changes to the approved elevations and floor plans.
- **Land Use:** The land use map shows the area as Mixed Use. This land use designation is appropriate for the area.
- **Zoning:** The site is zoned B-4 PUD. This is an appropriate zoning designation for the area.

## ELEVATIONS

- The proposed building materials are as follows:
  - Stacked stone base – Brookhaven (light colored stone)
  - James Hardie board horizontal siding – Night Gray
  - James Hardie board shake siding – Iron Gray
  - James Hardie board trim – Light Mist (light gray)
  - Metal balusters on the balconies
- The elevations will be accented with five inch window trim, gable brackets and chimneys. The new units will have chimneys to match the existing units.
- The sides of the new construction units will be accented with windows so there will not be any blank elevations.
- Due to the change from brick to stone on the elevations, the petitioner is proposing to remove the existing fencing and replace it with stone columns at the property corners with metal fencing to match the balconies.

## FLOOR PLANS – New Construction

- Minor changes are proposed for the floor plans for the new construction units. All units are three-bedroom and two and a half bathroom units.
- The proposed second floor has an open-concept design. The existing units have walls between the kitchen and dining room.
- The proposed third floor matches the existing units with a minor change to the layout of the master bedroom and bathroom.

## Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

### Land Use – Mixed Use

**Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.**

This can be accomplished with the following supporting action:

**Supporting Action:** Provide for a reasonable rate of residential growth especially infill growth and mixed-use development which take advantage of existing city services.

### Findings of fact:

## **FINAL PLANNED UNIT DEVELOPMENT AMENDMENT**

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow changes to the approved elevations and floor plans. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is

possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

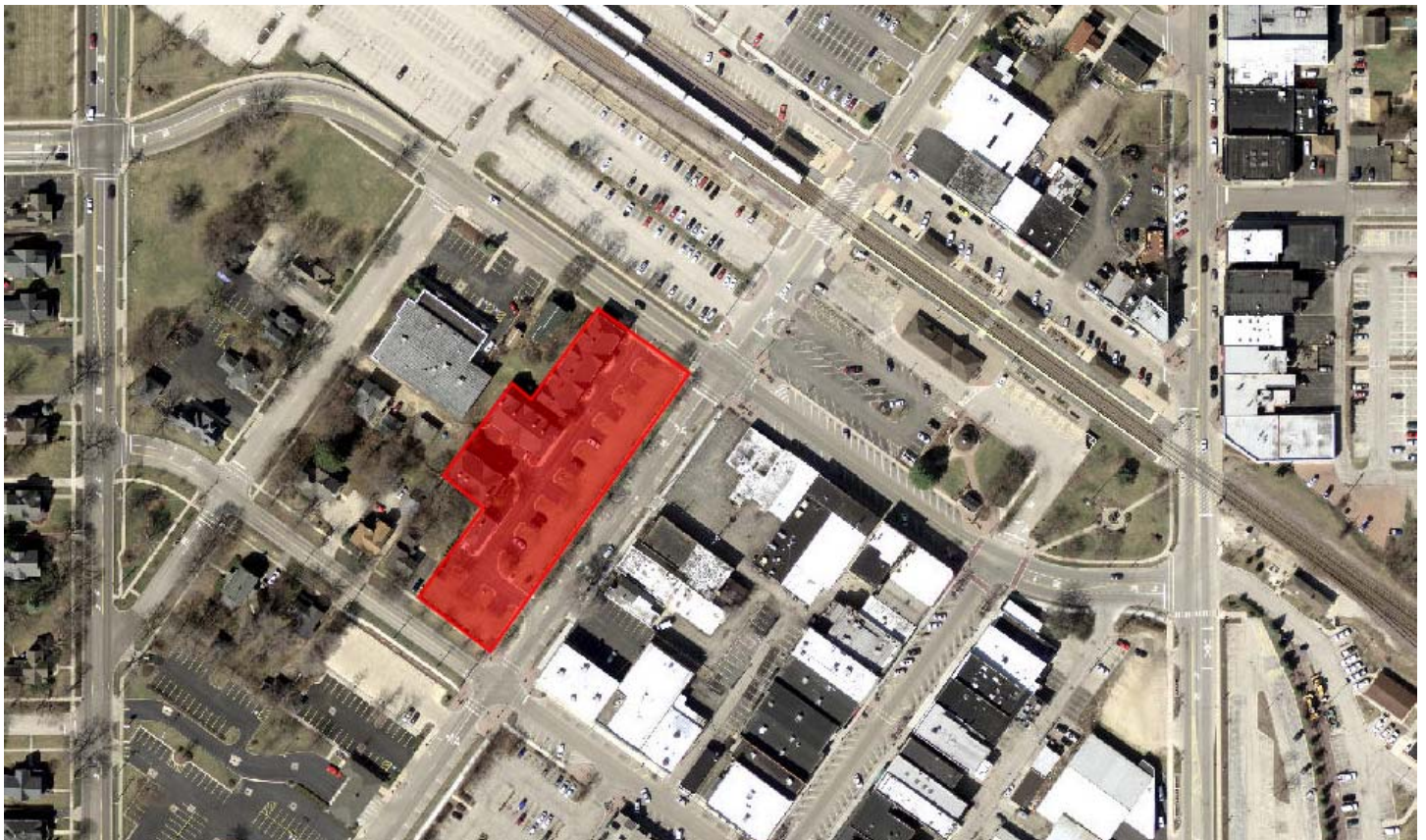
1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.  
 *Meets*             *Does not meet*
2. The use will not be detrimental to area property values.  
 *Meets*             *Does not meet*
3. The use will comply with the zoning districts regulations.  
 *Meets*             *Does not meet*
4. The use will not negatively impact traffic circulation.  
 *Meets*             *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.  
 *Meets*             *Does not meet*
6. The use will not negatively impact the environment or be unsightly.  
 *Meets*             *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.  
 *Meets*             *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.  
 *Meets*             *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.  
 *Meets*             *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.  
 *Meets*             *Does not meet*

**Recommended Conditions:**

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (Metronomic & Pingry Place Homeowner's Association, dated 05/13/19, received 05/14/19)
  - B. Color Rendering (Metronomic, received 05/13/19)
  - C. Architecture Plan Set (ALA, dated 05/09/19, received 05/14/19)
  - D. Plat of Survey (Vanderstappen, dated 03/12/19, received 05/14/19)
2. The exterior renovation to the existing 14 units must be completed by December 31, 2020.
3. Site landscaping must match the approved landscape plan, substituted plant species need to be approved by city staff.
4. All conditions of approval from ordinance 3526 are still valid, unless amended by this approval.
5. If revisions to the Covenants, Codes and Restrictions are proposed, submit a copy for city staff review.
6. The petitioner shall address all of the review comments and requirements of the Community Development and Fire Rescue Departments.

PLN-2019-00082 PINGRY PLACE TOWNHOUSES – FINAL PUD AMENDMENT



**City of Crystal Lake  
Development Application**

Office Use Only  
File # \_\_\_\_\_

Project Title: PINGRY PLACE TOWNHOUSES

**RECEIVED**  
MAY 14 2019  
BY: \_\_\_\_\_

**Action Requested**

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                     | <input type="checkbox"/> Preliminary PUD                 |
| <input type="checkbox"/> Comprehensive Plan Amendment   | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review          | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Final PUD                      | <input type="checkbox"/> Special Use Permit              |
| <input checked="" type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation                       |
| <input type="checkbox"/> Final Plat of Subdivision      | <input type="checkbox"/> Other                           |

**Petitioner Information**

DAVID HELMRICH  
Name: METRONOMIC, INC  
Address: 5186 NORTHWEST Hwy  
UNIT 121  
CRYSTAL LAKE 60014  
Phone: (779) 220-4769  
Fax: \_\_\_\_\_  
E-mail: dave@metronomic.com

**Owner Information (if different)**

Name: PINGRY PLACE HOMEOWNER'S ASSOC,  
70 NORTHWEST PROPERTY MGMT  
Address: 780 TEK DRIVE  
CRYSTAL LAKE, IL 60014  
Phone: 815 526 0407  
Fax: \_\_\_\_\_  
E-mail: NICOLES@NWPROP.COM

**Property Information**

Project Description: AMENDMENT TO ORIGINAL PUD# 3526-316 (APPROVED BY  
CITY OF CRYSTAL LAKE Aug 4, 1992) TO CHANGE EXTERIOR STRUCTURE DESIGN FOR  
EXISTING AND NEW UNITS AND TO CHANGE INTERIOR DESIGN OF 20 NEW STRUCTURES  
AS HEREIN SUBMITTED. EXISTING FENCES FACING BRINK & GRANT WILL BE  
REMOVED AND REPLACED AS HEREIN SUBMITTED.  
Project Address/Location: CORNER OF:  
BRINK STREET & GRANT STREET  
CRYSTAL LAKE, IL 60014  
PIN Number(s): SEE ATTACHMENT - A

**Development Team**

Please include address, phone, fax and e-mail

Developer: METRONOMIC, INC.

DAVID HEINRICH 630 253 8019  
dave@metronomic.com

Architect: ALA ARCHITECTS AND PLANNERS, INC.

CHRIS RUSSO 815 788 9200  
CRusso@alaarchitects.com

Lee lockwoodlaw@gmail.com

Attorney: LEE LOCKWOOD (815) 236-8986

Engineer: \_\_\_\_\_

Landscape Architect: \_\_\_\_\_

KCOWLIN@CRYSTALLAK.ORG

Planner: KATHERINE KATHRYN COWLIN


ART GRIEMER 815 337 8310

Surveyor: VANDERSTAPPEN artg@vandersinc.com

NORTHWEST PROPERTY MGMT nicolestefanie

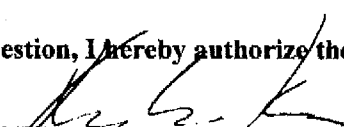
Other: NICOLE STEFANIC nikki@nwprop.com 815 459 9187

**Signatures**

DAVID M HEINRICH  5-13-19

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

KEVIN M. KOLBA  5-13-19

OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Attachement A - Pingry Place PUD Amendmenapplication

<b>Lots and PIN for properties in Pingry Place applying for PUD Amendment</b>	
<b>Lot</b>	<b>Parcel:</b>
1	14-32-478-046
2	14-32-478-045
3	14-32-478-044
4	14-32-478-043
5	14-32-478-042
6	14-32-478-041
7	14-32-478-040
8	14-32-478-039
9	14-32-478-038
10	14-32-478-037
11	14-32-478-036
12	14-32-478-035
13	14-32-478-034
14	14-32-478-033
15	14-32-478-032
16	14-32-478-031
17	14-32-478-030
18	14-32-478-029
19	14-32-478-028
20	14-32-478-027
21	14-32-478-026
22	14-32-478-025
23	14-32-478-024
24	14-32-478-023
25	14-32-478-022
26	14-32-478-021
27	14-32-478-020
28	14-32-478-019
29	14-32-478-017
30	14-32-478-016
31	14-32-478-015
32	14-32-478-014
33	14-32-478-013
34	14-32-478-012
35	14-32-478-018



**PUBLIC NOTICE  
BEFORE THE PLANNING  
AND ZONING COMMISSION  
OF THE CITY OF CRYSTAL  
LAKE, MCHENRY COUNTY,  
ILLINOIS**

IN THE MATTER OF THE  
PETITION OF  
Metronomic, Inc. &  
Pingry Place Homeowner's  
Association

**LEGAL NOTICE**

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Metronomic, Inc and the Pingry Place Homeowner's Association, for a Final Planned Unit Development Amendment, relating to the properties at 25-32 Bryant Court, 31-39 Petrick Lane and 81-109 Lesley Lane, Crystal Lake, Illinois 60014. PINs: 14-32-478-012, 14-32-478-013, 14-32-478-014, 14-32-478-015, 14-32-478-016, 14-32-478-017, 14-32-478-018, 14-32-478-019, 14-32-478-020, 14-32-478-021, 14-32-478-022, 14-32-478-023, 14-32-478-024, 14-32-478-025, 14-32-478-026, 14-32-478-027, 14-32-478-028, 14-32-478-029, 14-32-478-030, 14-32-478-031, 14-32-478-032, 14-32-478-033, 14-32-478-034, 14-32-478-035, 14-32-478-036, 14-32-478-037, 14-32-478-038, 14-32-478-039, 14-32-478-040, 14-32-478-041, 14-32-478-042, 14-32-478-043, 14-32-478-044, 14-32-478-045 and 14-32-478-046.

This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow exterior facade changes to all units, fencing alterations and revised floor plans for new units for Pingry Place Townhomes

pursuant to Article 4 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday June 5, 2019, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson  
Planning and Zoning  
Commission  
City of Crystal Lake

(Published in the Northwest  
Herald May 17, 2019)  
1663108

# Pingry Place Townhouses

RECEIVED  
MAY 14 2019  
BY: .....

**METRONOMIC**  
sustainable real estate development



*Crystal Lake, Illinois*

# Pingry Place Townhouses

**METRONOMIC**  
sustainable real estate development



*Crystal Lake, Illinois*

# CITY PLACE TOWNHOMES

## 5 UNIT BUILDING

### CRYSTAL LAKE, IL



2C  
A000  
PROPOSED FRONT ELEVATION

NOT TO SCALE

#### SITE NOTES:

GENERAL CONTRACTOR SHALL POST A TEMPORARY ADDRESS ON BUILDINGS UNDER CONSTRUCTION FOR QUICK IDENTIFICATION IN THE EVENT OF AN EMERGENCY, PER 2010 IRC SECTION 3309.1

CONSTRUCTION DAMPERS OR BARRIERS SHALL BE PLACED AS NOT TO BLOCK ACCESS FOR FREIGHTING OR EMERGENCY MEDICAL SERVICES. ACCESS TO BOTH THE EXISTING & NEW BUILDINGS SHALL BE MAINTAINED FOR RESPONDING VEHICLES, PER 2010 IRC SECTION 3310

PERMANENT ADDRESS SHALL BE PLACED ON THE BUILDING IN A PROMINENT LOCATION AS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE ADDRESS POSTING SHALL BE A MINIMUM OF 4 INCH NUMBER OR LETTER SIZE IN A CONTRASTING COLOR, PER 2010 IRC SECTION 3005

PORTABLE FIRE EXTINGUISHERS SHALL BE MAINTAINED ON THE JOB SITE AND WITHIN THE STRUCTURES UNDER CONSTRUCTION, IN COMPLIANCE WITH 2010 IRC SECTIONS 3315, 300, AND NFPA10

GENERAL CONTRACTOR SHALL REMOVE OFF SITE ANY EXCESS MATERIALS RESULTING FROM EXCAVATION

IF EXISTING WATER SERVICE IS ABANDONED, IT SHALL BE REMOVED WHEN NEW SERVICE IS INSTALLED. B-BOX SHALL BE SET TO GRADE

AN INSPECTION OF THE NEW WATER SERVICE CONNECTION TO MAIN WILL BE REQUIRED, CONTACT CITY OF CRYSTAL LAKE COMMUNITY DEVELOPMENT DEPARTMENT A MIN. OF 24 HOURS IN ADVANCE AT 815-336-3605

THE BASE MATERIAL OF ANY NEW OR REPAIRED DRIVEWAY SHALL BE INSPECTED PRIOR TO PAVING, CONTACT CITY OF CRYSTAL LAKE COMMUNITY DEVELOPMENT DEPARTMENT A MIN. OF 24 HOURS IN ADVANCE AT 815-336-3605

5 UNIT BUILDING	
(4) UNITS	
3 BEDROOMS	
2 BATHS	
1 POWDER	
GREAT ROOM	
KITCHEN	
BREAKFAST	
FAMILY ROOM	
GARAGE	
GROSS S.F. EACH UNIT (MEASURED FROM EXTERNAL WALL & CENTER OF LOADING WALL)	
FIRST FLOOR PLAN	648 S.F.
SECOND FLOOR PLAN	706 S.F.
THIRD FLOOR PLAN	742 S.F.
TOTAL GROSS S.F. EACH UNIT	2,096 S.F.
NET S.F. EACH UNIT (MEASURED FROM INTERIOR OF PERIMETER WALLS)	
FIRST FLOOR PLAN	652 S.F.
SECOND FLOOR PLAN	710 S.F.
THIRD FLOOR PLAN	742 S.F.
TOTAL NET S.F. EACH UNIT	2,104 S.F.

5 UNIT BUILDING	
(1) UNITS	
3 BEDROOMS	
2 BATHS	
1 POWDER	
GREAT ROOM	
KITCHEN	
BREAKFAST	
FAMILY ROOM	
GARAGE	
GROSS S.F. EACH UNIT (MEASURED FROM EXTERNAL WALL & CENTER OF LOADING WALL)	
FIRST FLOOR PLAN	599 S.F.
SECOND FLOOR PLAN	609 S.F.
THIRD FLOOR PLAN	647 S.F.
TOTAL GROSS S.F. EACH UNIT	1,855 S.F.
NET S.F. EACH UNIT (MEASURED FROM INTERIOR OF PERIMETER WALLS)	
FIRST FLOOR PLAN	605 S.F.
SECOND FLOOR PLAN	615 S.F.
THIRD FLOOR PLAN	647 S.F.
TOTAL NET S.F. EACH UNIT	1,867 S.F.

#### IECC - INTERNATIONAL ENERGY CONSERVATION CODE

NOTE TO PLUMBERS, MECHANICAL & CONTRACTORS

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.
- THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC, CHAPTER 1: ADMINISTRATION (FRIE) IECC SCOPE AND APPLICATION ABSTRACT - RESIDENTIAL, OPTION 1: MEETING OR EXCEEDING ALL APPLICABLE MINIMUM VALUES AND SPECIFICATIONS REQUIRED BY THE CODE.
- AS SPECIFIED BY THE CODE, OPTION 1, WAIVES THE REQUIREMENT OF PERFORMING A "SMALL-SCALE PERFORMANCE ALTERNATIVE" OR "RESHECK" TO EVALUATE THE ENVELOPE. THE PRESCRIPTIVE METHOD EXCEEDS ALL APPLICABLE REQUIREMENTS REQUIRED BY THE CODE AND IS SPECIFICALLY ALLOWED FOR AS A REQUIREMENT FOR THE "SMALL-SCALE PERFORMANCE ALTERNATIVE" OR "RESHECK".
- THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE 2015 IECC CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR WORK AND ARE RESPONSIBLE FOR SAME.

#### NOTE TO BIDDERS & CONTRACTORS

IF YOU DON'T READ ANY OTHER NOTES - READ THIS ONE!

THESE PLANS HAVE BEEN PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THIS APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT, FOR APPROVAL PRIOR TO BEGINNING WORK.

THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK, ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION. NOT ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL PROGRESS OR COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR DISCIPLINE AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

#### PLAN & ELEVATION SYMBOLS

- 5 SHELVES OR 1 SHELF & 1 ROD
- CAS WINDOW
- SHOWER HEAD FAUCET
- PRE-FAB FIREPLACE FLUE
- CEILING DETAIL (UNSHOWN)
- SECTION/VIEW NUMBER
- FACE BRICK
- STONE
- FIELD STONE
- WALL TYPES

#### WINDOW & DOOR NOTES

EXAMPLE WINDOW: 2400 = 2'-0" x 3'-0"

EXAMPLE DOOR: 2400 = 2'-0" x 4'-0"

#### ELECTRICAL SYMBOLS

- SINGLE OUTLET (1)
- OUTLET OUTLET (2)
- QUAD. OUTLET (4)
- FLUORESCENT LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED CAN LIGHT
- DIRECTIONAL RECESSED CAN LIGHT
- SURFACE MOUNTED LED CAN LIGHT
- WALL MOUNTED LIGHT FIXTURE
- FLOOD LIGHT WITH MOTION DET.
- APC HARD WIRED CROWN MOLD DETECTOR W/ BATTERY BACKUP
- SWITCHED DUPLEX OUTLET (2)
- SWITCH
- DOOR ACTIVATED SWITCH
- EXHAUST FAN (VENTED TO EXTERIOR)
- EXHAUST FAN/HAIR (VENTED TO EXTERIOR)
- UNDER CABINET LIGHT
- UNDER CABINET LED LIGHT STRIP
- LAMP W/ POST
- CEILING MOUNTED FAN/LIGHT
- 110V SHOCK DETECTOR W/ BATTERY BACKUP
- TELEVISION JACK
- TELEPHONE JACK
- FIBER JACK
- ALARM SYSTEM JACK

#### NOTE TO CONTRACTORS

ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.

ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

#### CODE CONFORMANCE

THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ILL. GAS CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FIRE CODE
- 2017 NATIONAL ELECTRIC CODE
- 2014 ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- CITY OF CRYSTAL LAKE CODE OF ORDINANCES

#### DESIGN LOADING VALUES

ROOF	30 PSF LIVE LOAD	WALLS	20 PSF WIND FOR 3'-20 FT. HEIGHT
CEILING	20 PSF LIVE LOAD	FLOOR	60 PSF WIND FOR 21'-29 FT. HEIGHT
FLOOR	60 PSF LIVE LOAD FOR EXTERIOR BALCONY	3000 PSF AIRMASS ASSIGNED OVERLAY	

#### FOUNDATION NOTES

- SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT OF FOUNDATION WALLS
- ALL FOUNDATION WALLS OVER 6'-0" TALL TO BE A MINIMUM OF 16" THICK (SEE SECTIONS)
- ALL FOUNDATION WALLS WITH BRICK ABOVE TO BE A MINIMUM OF 16" THICK (SEE SECTIONS)
- HEIGHT OF BRICK ABOVE FOUNDATION WALLS TO BE AS SHOWN UNLESS OTHERWISE NOTED
- EXTERIOR WALL FINISHES SHOWN ON ELEVATIONS (BRICK OR FINISH)
- ALL EXTERIOR WALK-OFF OR FIBERGLASS BASEMENT FRAME WALLS 6" TO 6 1/2" (1/2" SEAMING)
- STRENGTH OF CONCRETE AT 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS AND 3000 PSI FOR CONCRETE FLOOR WITH AND EXISTING CONDITIONS
- ALL POROSES, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3000 PSI AND BETWEEN 5/8" & 7/8" AIR ENTRAINED

#### WINDOW NOTES

- TOP OF WINDOW SILL HEIGHT MINIMUM 2'-0" AFF.
- TOP OF WINDOW SILL 3/4" ABOVE SUB-FLOOR
- FOR 6'-0" PLATES, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS 2 1/2" ABOVE SUB-FLOOR
- FOR 4" WINDOWS 2 1/2" ABOVE SUB-FLOOR
- ALL WINDOWS ARE DESIGATED IN ROOMS OPENING SHOWN IN FEET AND INCHES (EXAMPLE: 2300 = 2'-3" x 3'-0" TO BE MET WITHIN 2" OR EXCEEDED)
- PROVIDE (1) 2" X 2" ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE EXTERIOR SHELTER CLADDING IN ALL WINDOWS WITHIN 12" OF ANY DOOR, WITHIN 18" OF FLOOR IN TUB/SHOWER ENCLOSURES, AND IN STAR WALLS

#### STRUCTURAL NOTES

- DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, NOTED SPACERS AND POINT LOADS
- ALL INTERIOR PARTITIONS 3/4" UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS 4" (1/2" WITH 1/2" SEAMING)
- ALL EXTERIOR BRICK WALLS 8" (1/2" WITH 1/2" SEAMING) & 1" AIR SPACE & 4" BRICK VENEER
- ALL EXTERIOR WALLS 6" (2 1/2" WITH 1/2" SEAMING)
- ALL EXTERIOR BRICK WALLS 8" (1/2" WITH 1/2" SEAMING) & 1" AIR SPACE & 4" BRICK VENEER
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SHEATHING OR BRICK
- PROVIDE 6" x 6" 10'-0" ANGLE L.L.V. ABOVE OPENINGS UP TO 2'-0" WIDE WITH BRICK ABOVE
- PROVIDE 6" x 6" 10'-0" ANGLE L.L.V. ABOVE OPENINGS FROM 2'-0" TO 4'-0" WIDE WITH BRICK ABOVE
- PROVIDE 6" x 6" 10'-0" ANGLE L.L.V. ABOVE 4'-0" TO 4'-6" WIDE OVERHEAD DOORS WITH 1/4" UP TO 2" OF BRICK ABOVE
- PROVIDE 6" x 6" 10'-0" ANGLE L.L.V. ABOVE 4'-6" TO 4'-10" WIDE OVERHEAD DOORS WITH 1/4" UP TO 2" OF BRICK ABOVE

#### DRAWING INDEX

- A000 DRAWING INDEX, GENERAL NOTES, PROPOSED FRONT ELEVATION
- A001 ARCH. SITE PLAN W/ FENCE LAYOUT
- A100 FOUNDATION PLAN
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A103 THIRD FLOOR PLAN
- A200 FRONT ELEVATION
- A201 REAR ELEVATION
- A202 RIGHT SIDE ELEVATION, LEFT SIDE ELEVATION
- A300 ROOF PLAN & STRUCTURAL NOTES, ATIC VENT SCHEDULE
- A301 WALL SECTIONS, CONSTRUCTION SPECIFICATIONS
- A302 WASTE & SUPPLY DIAGRAMS, LIGHT & VENT SCHEDULE, TYPICAL DETAILS
- E101 FIRST FLOOR ELECTRICAL PLAN
- E102 SECOND FLOOR ELECTRICAL PLAN
- E103 THIRD FLOOR ELECTRICAL PLAN

#### ARCHITECT'S CERTIFICATION

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with all applicable codes.

001-018291 11/20  
Cpt. No. Exp. Date

Architects & Planners, Inc.  
2000 Behan Road at Rt. 176  
Crystal Lake, Illinois 60114  
Telephone: 815-788-2020 Fax: 815-788-2011

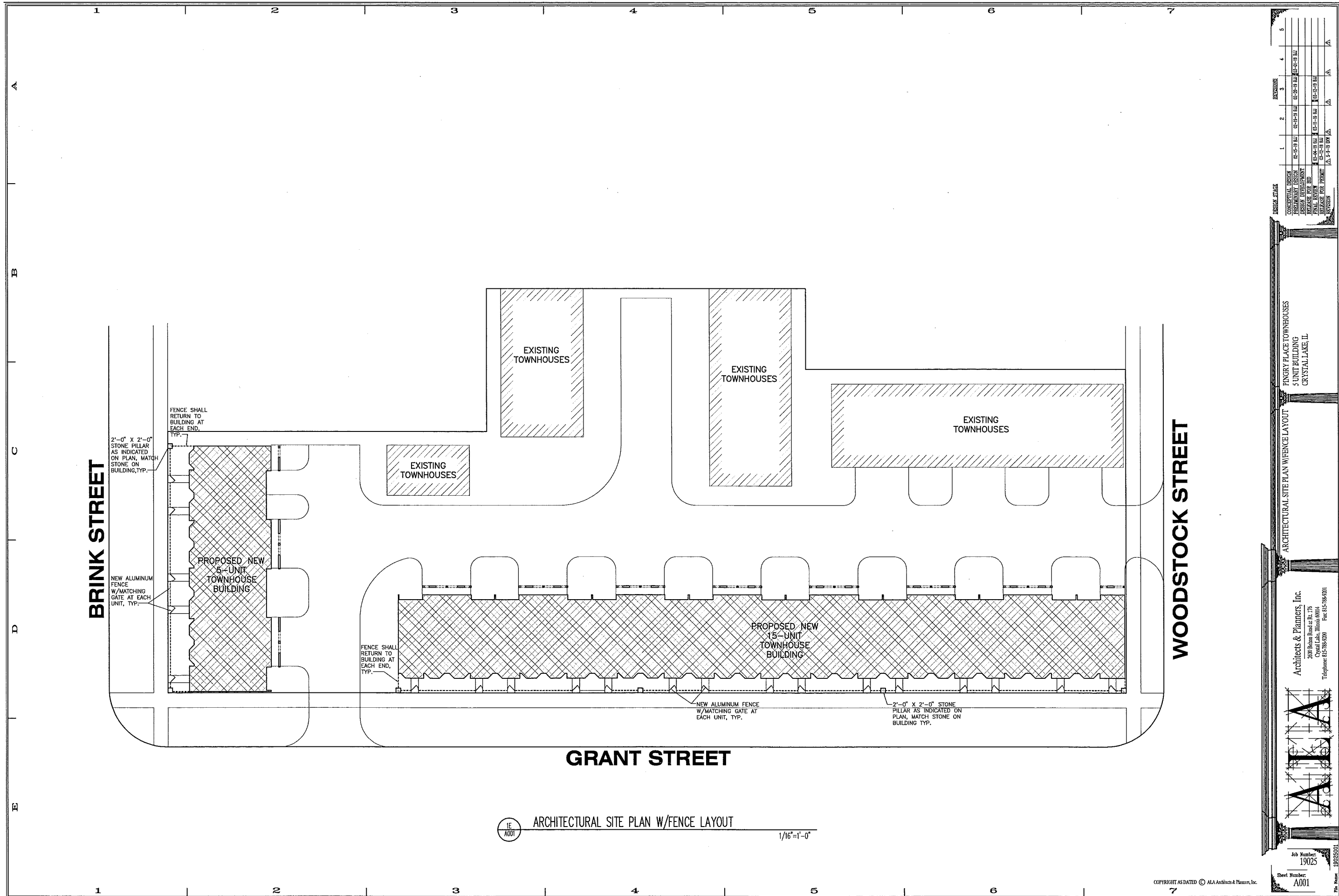
Architect's Seal  
Professional Engineer  
Professional Architect  
Professional Surveyor  
Professional Geotechnical Engineer  
Professional Environmental Engineer  
Professional Environmental Scientist  
Professional Environmental Planner  
Professional Environmental Scientist

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BY: .....

Architect's Seal  
Professional Engineer  
Professional Architect  
Professional Surveyor  
Professional Geotechnical Engineer  
Professional Environmental Engineer  
Professional Environmental Scientist  
Professional Environmental Planner  
Professional Environmental Scientist

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Architect's Seal  
Professional Engineer  
Professional Architect  
Professional Surveyor  
Professional Geotechnical Engineer  
Professional Environmental Engineer  
Professional Environmental Scientist  
Professional Environmental Planner  
Professional Environmental Scientist



DESIGN STAGE

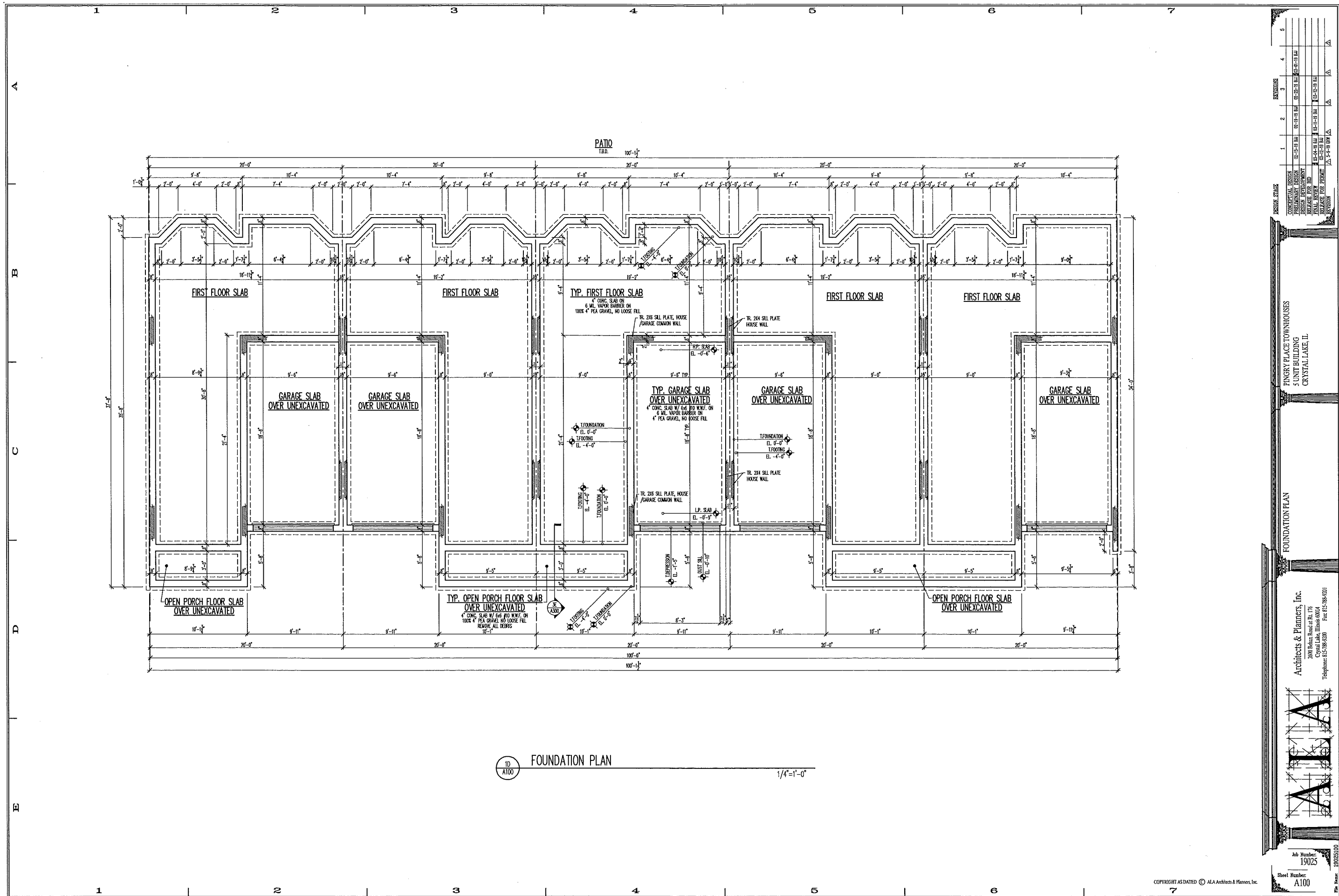
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2	02-14-19	PRELIMINARY DESIGN
3	02-28-19	DESIGN DEVELOPMENT
4	03-11-19	RELEASE FOR BID
5	03-12-19	FINAL REVIEW
	03-14-19	RELEASE FOR PERMIT
	03-14-19	REVISION

ARCHITECTURAL SITE PLAN W/FENCE LAYOUT  
 PINGRY PLACE TOWNHOUSES  
 5 UNIT BUILDING  
 CRYSTALLAKE, IL

Architects & Planners, Inc.  
 2000 Beaman Road at Rt. 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-9200 Fax: 815-788-9201

ALA  
 Job Number: 19025  
 Sheet Number: A001  
 Date: 10/25/2019

1E A001 ARCHITECTURAL SITE PLAN W/FENCE LAYOUT 1/16"=1'-0"



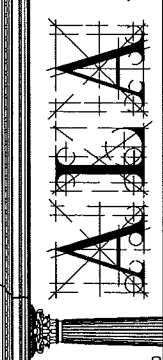
10 FOUNDATION PLAN  
A100

1/4"=1'-0"

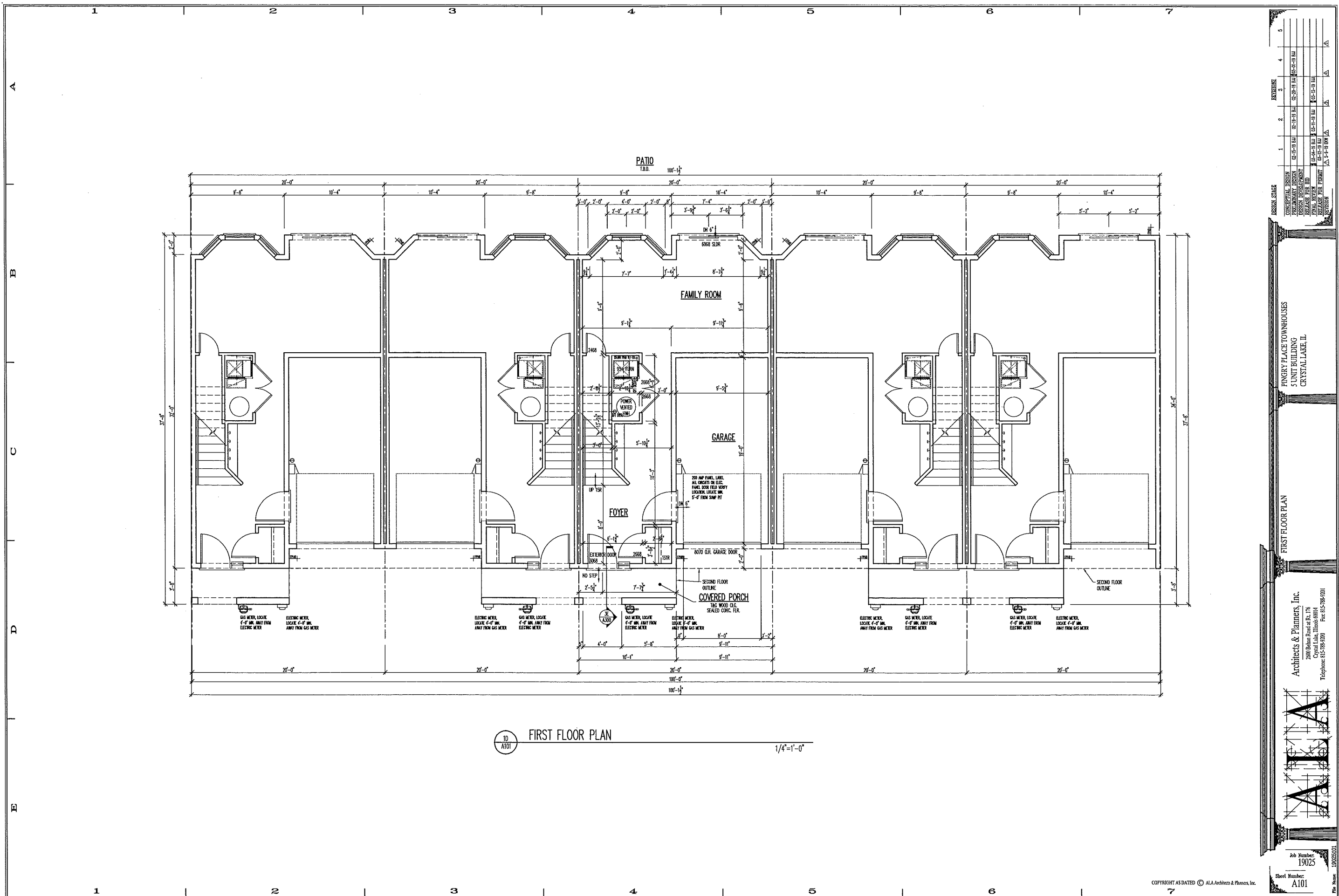
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PRELIMINARY DESIGN	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18
DESIGN DEVELOPMENT	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18
RELEASE FOR BID	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18
FINAL REVIEW	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18
RELEASE FOR PERMIT	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18	08-15-18
REVISION						

DESIGNER: ARCHITECTS & PLANNERS, INC.  
 5 UNIT BUILDING  
 PINGRY PLACE TOWNHOUSES  
 CRYSTAL LAKE, IL

Architects & Planners, Inc.  
 2000 Behan Road at Rt. 176  
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Job Number: 19025  
 Sheet Number: A100  
 Date: 10/25/18



10  
A101 FIRST FLOOR PLAN

1/4"=1'-0"

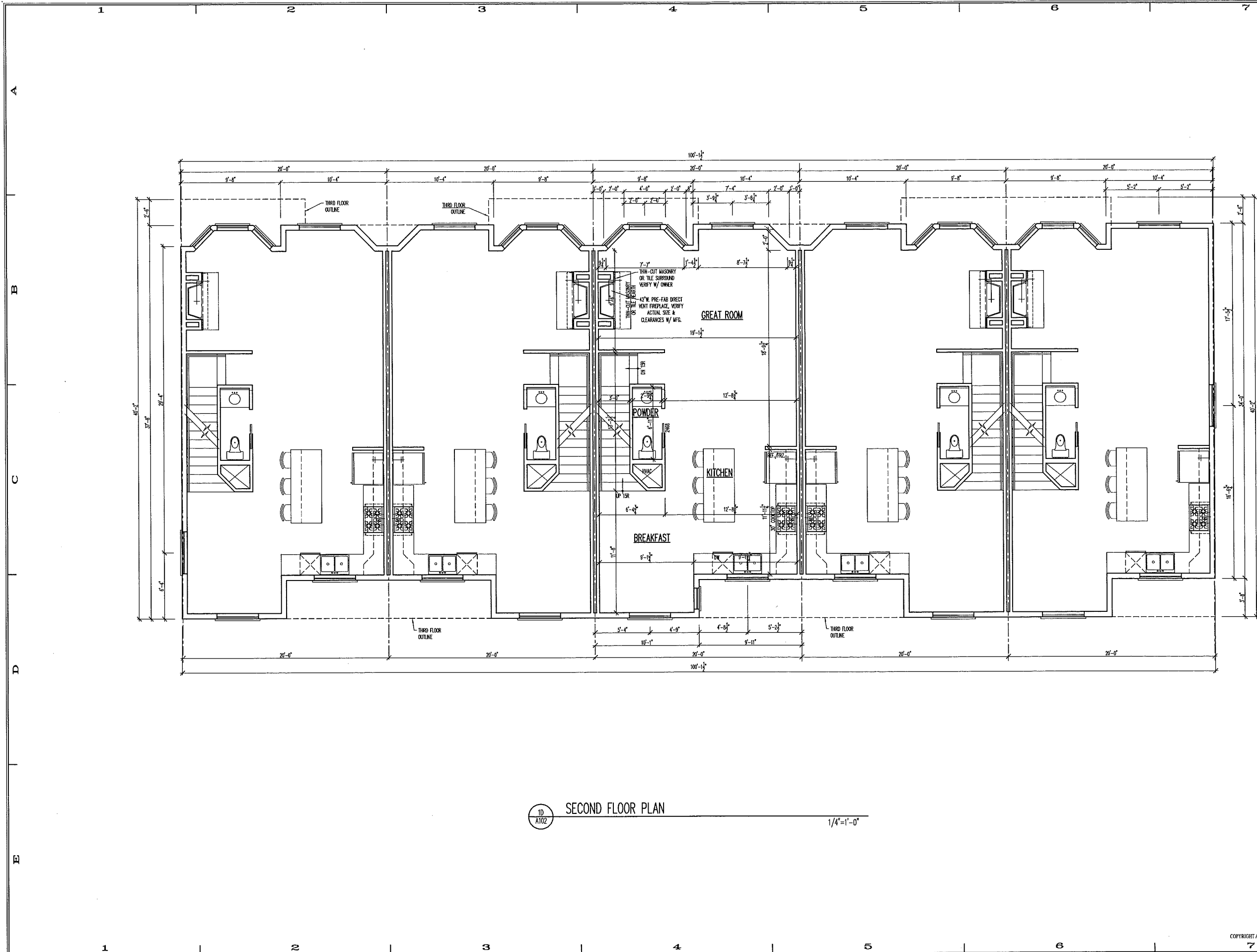
REVISIONS	DATE	BY	CHKD.
1	02-15-19	BM	BM
2	02-15-19	BM	BM
3	02-20-19	BM	BM
4	02-20-19	BM	BM
5	02-20-19	BM	BM

DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 DESIGN FINAL  
 PERMITS  
 CONSTRUCTION

PINGRY PLACE TOWNHOUSES  
 5 UNIT BUILDING  
 CRYSTAL LAKE, IL

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19025  
 A101  
 19025101



10  
A102 SECOND FLOOR PLAN 1/4"=1'-0"

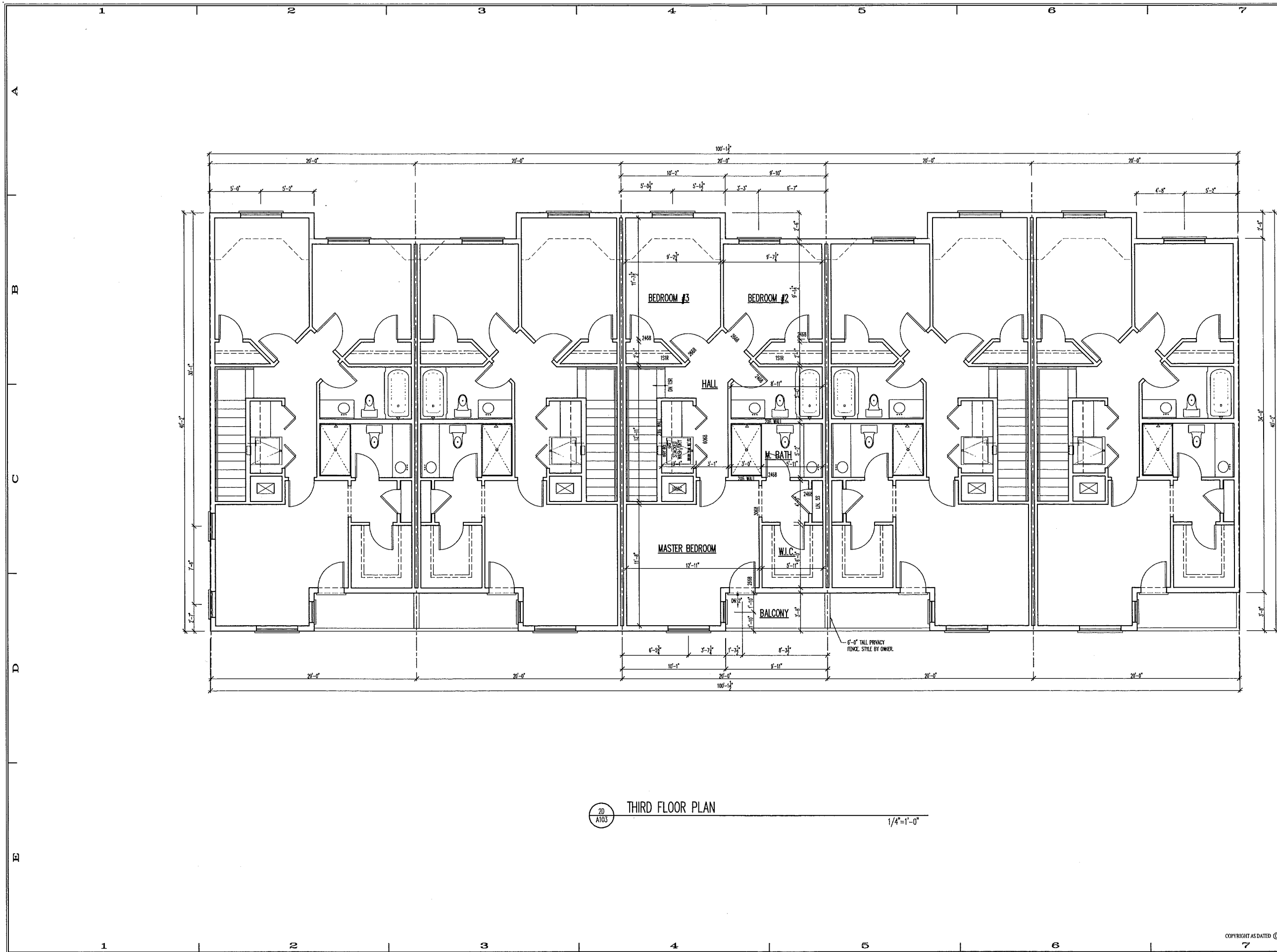
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PRELIMINARY DESIGN	02-25-18 BM	02-25-18 BM	02-25-18 BM	02-24-18 BM	02-24-18 BM
DESIGN DEVELOPMENT	02-25-18 BM	02-25-18 BM	02-25-18 BM	02-24-18 BM	02-24-18 BM
PERMIT PREP	02-25-18 BM	02-25-18 BM	02-25-18 BM	02-24-18 BM	02-24-18 BM
PERMIT OBTAIN	02-25-18 BM	02-25-18 BM	02-25-18 BM	02-24-18 BM	02-24-18 BM
CONSTRUCTION	02-25-18 BM	02-25-18 BM	02-25-18 BM	02-24-18 BM	02-24-18 BM

SECOND FLOOR PLAN  
 5 UNIT BUILDING  
 CRYSTAL LAKE, IL

Architects & Planners, Inc.  
 2000 Blair Road at Rt. 176  
 Crystal Lake, Illinois 60014  
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Job Number: 19025  
 Sheet Number: A102  
 Date: 18025102





20  
A103 THIRD FLOOR PLAN 1/4"=1'-0"

REVISION	DATE	BY	DESCRIPTION
1	02-28-98	EM	CONCEPTUAL DESIGN
2	02-28-98	EM	PRELIMINARY DESIGN
3	02-28-98	EM	DESIGN DEVELOPMENT
4	02-28-98	EM	DESIGN DEVELOPMENT
5	02-28-98	EM	DESIGN DEVELOPMENT

DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 DESIGN DEVELOPMENT  
 DESIGN DEVELOPMENT

THIRD FLOOR PLAN  
 SUNNY PLACE TOWNHOUSES  
 5 UNIT BUILDING  
 CRYSTAL LAKE, IL

Architects & Planners, Inc.  
 2000 Beau Road at Rt. 176  
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 Telephone: 815-788-9200 Fax: 815-788-9201

Job Number:  
19025  
Sheet Number:  
A103  
File Name:  
19025103



**EXTERIOR MATERIALS SCHEDULE:** △

HORIZONTAL SIDING: JAMES HARDIE HORIZONTAL SIDING IN "NIGHT GRAY" & "IRON GRAY"

TRIM: JAMES HARDIE TRIM IN "LIGHT MIST"

STONE: ILLINOIS BRICK, BROOKHAVEN THIN CUT STONE, RANDOM HEIGHT

ROOF SHINGLES: OWENS CORNING DURATION ARCHITECTURAL SHINGLES IN ONYX BLACK

WINDOWS: WHITE VINYL WINDOW, MANUFACTURER TO BE SELECTED

RAILINGS: CUSTOM FABRICATION MADE FROM EXTERIOR GRADE DIMENSIONAL LUMBER & METAL BALUSTERS

**ELEVATION NOTES**

- DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS. CONTACT ARCHITECT WITH ANY DISCREPANCIES
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

**WINDOW NOTES**

- TOP OF WALKOUT WINDOWS 6'-8" A.F.F.
- TOP OF WINDOWS 106 3/4" ABOVE SUB-FLOOR
- FOR 10'-0" PLATES, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR
- FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR
- FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- ALL WINDOWS ARE DESIGNATED IN ROOMS OPENING, SHOWN IN FEET AND INCHES
- EXAMPLE: 2555 = 2'-5" x 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
- PROVIDE (2)2 x 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
- PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090
- WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
- ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:  
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55
- ⊖ - EGRESS WINDOW
- ⊕ - FIXED WINDOW
- ⊙ - TEMPERED GLASS

DESIGN STAGE	DATE	BY	FOR PERMIT
CONCEPTUAL DESIGN	02-14-19	BA	02-14-19
PRELIMINARY DESIGN	02-26-19	BA	02-26-19
DESIGN DEVELOPMENT	03-11-19	BA	03-11-19
FINAL REVIEW	03-11-19	BA	03-11-19
REVISION	04-18-19	BA	04-18-19

FRONT ELEVATION

5 UNIT BUILDING  
CRYSTAL LAKE, IL

Architects & Planners, Inc.  
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Job Number: 19025

Sheet Number: A200

File Name: 19025E00



10  
A201 REAR ELEVATION 1/4"=1'-0"

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
SCHEMATIC DEVELOPMENT					
PERMITTING					
CONSTRUCTION					

REAR ELEVATION

PINGRY PLACE TOWNHOUSES  
5 UNIT BUILDING  
CRYSTAL LAKE, IL

Architects & Planners, Inc.  
2001 Becken Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-786-9200 Fax: 815-786-9201

ALA

Job Number: 19025  
Sheet Number: A201

18025201

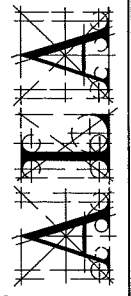


REVISIONS	1	2	3	4	5
CONCEPTUAL DESIGN	02-15-19 BM	02-15-19 BM	02-20-19 BM	02-27-19 BM	03-07-19 BM
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
PERMIT PREP					
PERMIT					
REVISION					

PINGRY PLACE TOWNHOUSES  
 5 UNIT BUILDING  
 CRYSTAL LAKE, IL

RIGHT SIDE ELEVATION  
 LEFT SIDE ELEVATION

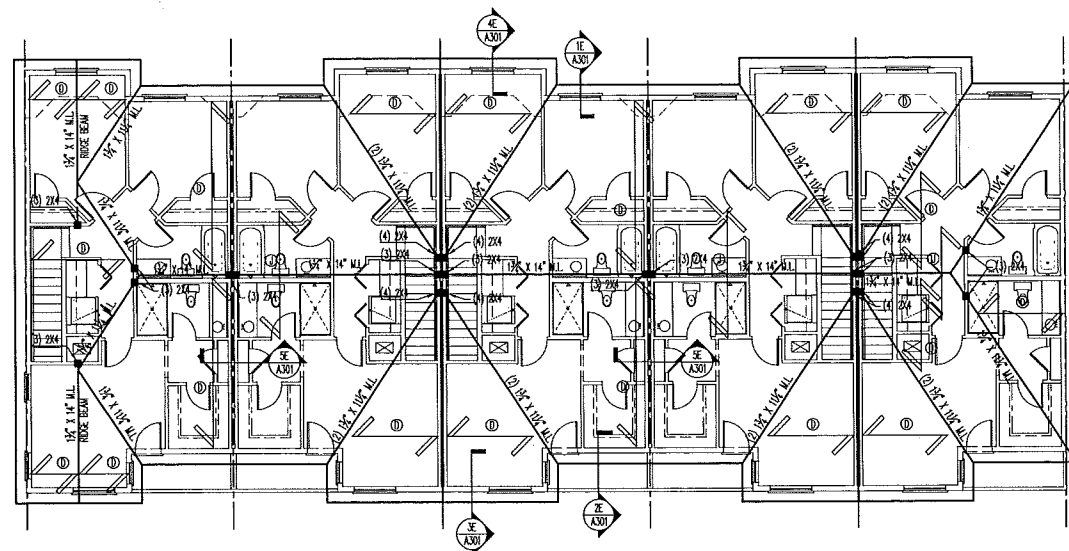
Architects & Planners, Inc.  
 2001 Beban Road at Rt. 175  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-9200 Fax: 815-788-9201



10  
A202 LEFT SIDE ELEVATION 1/4"=1'-0"

50  
A202 RIGHT SIDE ELEVATION 1/4"=1'-0"

Job Number:  
19025  
 Sheet Number:  
A202  
 Date:  
10/25/2019



ROOF STRUCTURAL SPECIFICATIONS		NOTES
Ⓐ = 2 X 6 RAFTERS @16" O.C.	Ⓔ = 2 X 4 COLLAR TIES @48" O.C.	ALL EAVES AND RAKES 1'-0" UNLESS OTHERWISE NOTED
Ⓑ = 2 X 8 RAFTERS @16" O.C.	Ⓕ = 2 X 6 COLLAR TIES @48" O.C.	ALL RIDGE, HIP AND VALLEY BOS. TO BE THE FULL DEPTH OF THE CUT END OF THE RAFTER UNLESS OTHERWISE NOTED
Ⓒ = 2 X 10 RAFTERS @16" O.C.	Ⓖ = 2 X 8 COLLAR TIES @48" O.C.	FOR DOWN RAFTERS AS REQ'D IN VALUED CEILING AREAS TO ALLOW FOR INSULATION AS SPECIFIED IN THE BUILDING SECTION SPECS., PAGE A300.
Ⓓ = 2 X 12 RAFTERS @16" O.C.	Ⓗ = CEILING JOISTS PER FLOOR PLANS	ADD BLOCKING @ RAFTER BEARING TO MAINTAIN OVERHANG PROFILE THROUGHOUT UNLESS OTHERWISE NOTED
Ⓕ = 2 X 6 CEILING JOISTS @16" O.C.	Ⓙ = PRE-ENGINEERED ROOF TRUSSES @24" O.C.	PROVIDE ARCHITECT WITH INDIVIDUAL ROOF TRUSS DRAWINGS AND A ROOF TRUSS LAYOUT PLAN SHOWING ANY INTERIOR POINT LOADS INFORMATION CAUSED BY TRUSSES WHICH ARE STAMPED AND SIGNED BY A LICENSED ENGINEER FOR ALL PRE-ENGINEERED TRUSSES FOR APPROVAL PRIOR TO FABRICATION.
Ⓖ = 2 X 8 CEILING JOISTS @16" O.C.	Ⓚ = PRE-ENGINEERED SCISSOR TRUSSES OR WOODEN CEILING TRUSSES @24" O.C. (SEE PLANS FOR CEILING)	PROVIDE SIMPSON 1/2.5A HURRICANE CLIPS @ EACH RAFTER
Ⓗ = 2 X 10 CEILING JOISTS @16" O.C.	Ⓛ = PRE-ENGINEERED ATTIC TRUSSES @24" O.C.	
Ⓜ.L. = 1 3/4" L8E MICROLAM LVL		
T.S. = 1 3/4" L5SE TIMBERSTRAND L3S		
Ⓜ = (3) 2X4 BUILT UP POST - BRIDGE EACH DIRECTION FOR MAXIMUM ON BRANCHED HEIGHT OF 10'-0"		
	O.B. = OVER BUILD	D.R. = DOUBLE RAFTER
	E.R. = EXTENDED RIDGE	E.V. = EXTENDED VALLEY
	U.B. = UNDER BUILD	E.H. = EXTENDED HIP

40 ROOF PLAN & STRUCTURAL NOTES 1/8"=1'-0"

ATTIC VENT SCHEDULE		ROOF VENT / IN		SOFFIT VENT / IN	
ATTIC	AREA	REQ. VENT	ACT. VENT	REQ. VENT	ACT. VENT
	SQ. IN.	SOFFIT 50%	ROOF 50%	SOFFIT	ROOF
UPPER - PER UNIT	99032	165 S.L.	165 S.L.	(17) 170 S.L.	(7) 180 S.L.

5E ATTIC VENT SCHEDULE NO SCALE

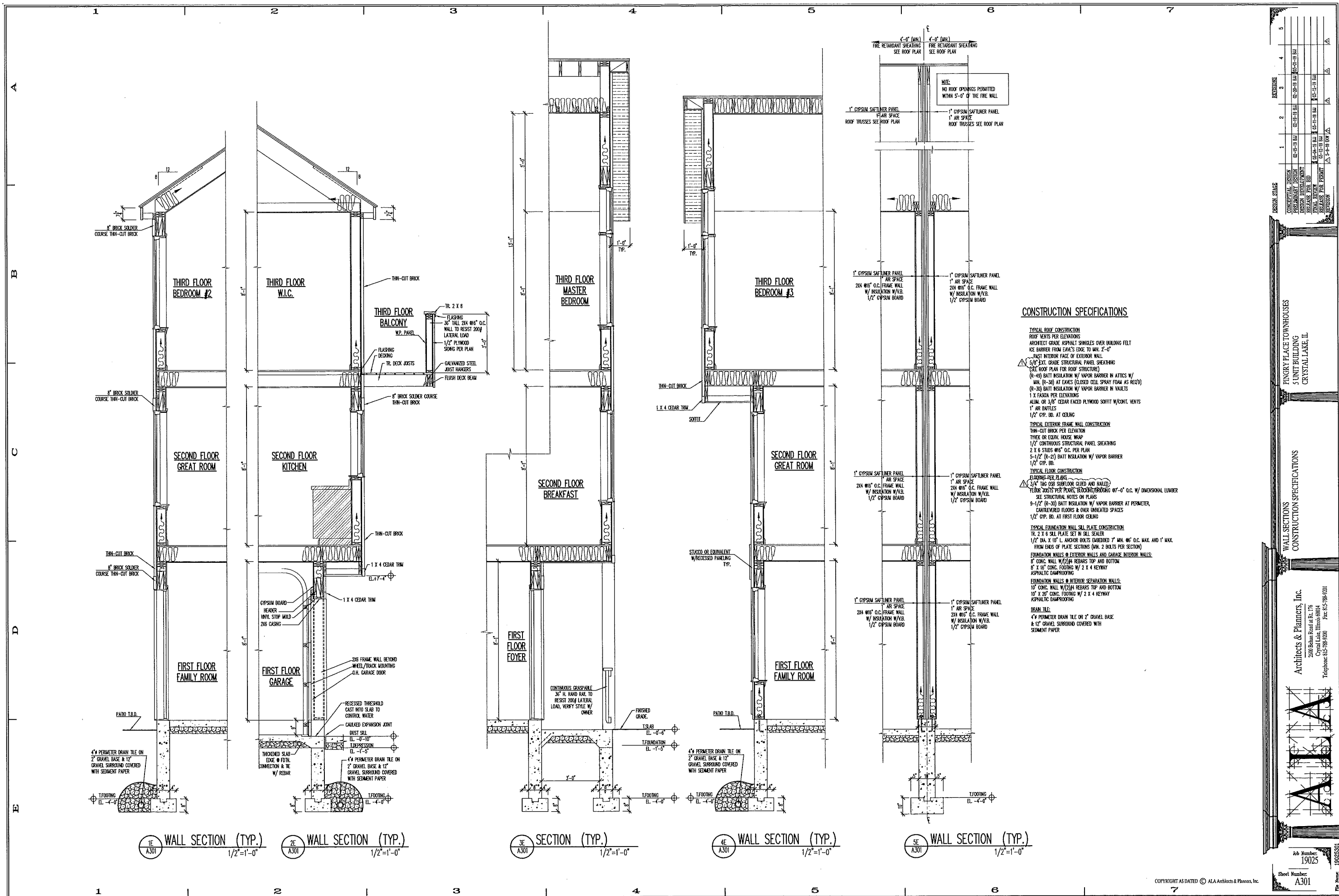
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PRELIMINARY DESIGN	06-25-19 BM	2	06-25-19 BM
DESIGN DEVELOPMENT	06-25-19 BM	3	06-25-19 BM
PERMIT PREP	06-25-19 BM	4	06-25-19 BM
FINAL REVIEW	06-25-19 BM	5	06-25-19 BM
PERMIT FOR PERMIT	06-25-19 BM		
REVISION	06-25-19 BM		

ROOF PLAN & STRUCTURAL NOTES  
ATTIC VENT SCHEDULE

PINGRY PLACE TOWNHOUSES  
5 UNIT BUILDING  
CRYSTAL LAKE, IL

Architects & Planners, Inc.  
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Crystal Lake, Illinois 60014  
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Fax: 815-788-9311

Job Number: 19025  
Sheet Number: A300  
File Name: 1802500



1E WALL SECTION (TYP.)  
1/2" = 1'-0"

2E WALL SECTION (TYP.)  
1/2" = 1'-0"

3E SECTION (TYP.)  
1/2" = 1'-0"

4E WALL SECTION (TYP.)  
1/2" = 1'-0"

5E WALL SECTION (TYP.)  
1/2" = 1'-0"

**CONSTRUCTION SPECIFICATIONS**

**TYPICAL ROOF CONSTRUCTION**  
 ROOF VENTS PER ELEVATIONS  
 ARCHITECT GRADE ASPHALT SHINGLES OVER BUILDING FELT  
 ICE BARRIER FROM EAVE'S EDGE TO MIN. 2'-0"  
 PAST INTERIOR FACE OF EXTERIOR WALL  
 5/8" EXT. GRADE STRUCTURAL PANEL SHEATHING  
 (SEE ROOF PLAN FOR ROOF STRUCTURE)  
 (R-45) BATT INSULATION W/ VAPOR BARRIER IN ATTICS W/  
 MIN. (R-30) AT EAVES (CLOSED CELL SPRAY FOAM AS REQ'D)  
 (R-30) BATT INSULATION W/ VAPOR BARRIER IN VAULTS  
 1" X FASZIA PER ELEVATIONS  
 ALUM. OR 3/8" CEDAR FACED PLYWOOD SOFFIT W/CONT. VENTS  
 1" AIR BATTLES  
 1/2" GYP. BD. AT CEILING

**TYPICAL EXTERIOR FRAME WALL CONSTRUCTION**  
 THIN-CUT BRICK PER ELEVATION  
 TYEX OR EQUIV. HOUSE WRAP  
 1/2" CONTINUOUS STRUCTURAL PANEL SHEATHING  
 2 X 6 STUDS @16" O.C. PER PLAN  
 5-1/2" (R-21) BATT INSULATION W/ VAPOR BARRIER  
 1/2" GYP. BD.

**TYPICAL FLOOR CONSTRUCTION**  
 FLOORING-FER SLABS  
 3/4" TAG (SEE SHELFLOAD CLUT) AND NAILD  
 FLOOR JOISTS PER PLANS, BLOCKING/BRIDGING @7'-0" O.C. W/ DIMENSIONAL LUMBER  
 SEE STRUCTURAL NOTES ON PLANS  
 9-1/2" (R-30) BATT INSULATION W/ VAPOR BARRIER AT PERIMETER,  
 CANTILEVERED FLOORS & OTHER UNHEATED SPACES  
 1/2" GYP. BD. AT FIRST FLOOR CEILING

**TYPICAL FOUNDATION WALL SILL PLATE CONSTRUCTION**  
 TR. 2 X 6 SILL PLATE SET IN SILL SEALER  
 1/2" DIA. X 10' L ANCHOR BOLTS SPOURED 2" MIN. @16" O.C. MAX. AND 1" MAX.  
 FROM ENDS OF PLATE SECTIONS (MIN. 2 BOLTS PER SECTION)  
 FOUNDATION WALLS @ EXTERIOR WALLS AND GARAGE INTERIOR WALLS:  
 8" CONC. WALL W/2#4 REBARS TOP AND BOTTOM  
 8" X 16" CONC. FOOTING W/ 2 X 4 KEYWAY  
 ASPHALTIC DAMPROOFING  
 FOUNDATION WALLS @ INTERIOR SEPARATION WALLS:  
 10" CONC. WALL W/2#4 REBARS TOP AND BOTTOM  
 10" X 20" CONC. FOOTING W/ 2 X 4 KEYWAY  
 ASPHALTIC DAMPROOFING

**DRAIN TILE:**  
 4" PERIMETER DRAIN TILE ON 2" GRAVEL BASE  
 & 12" GRAVEL SURROUND COVERED WITH  
 SEWAGE PAPER

REVISIONS	DATE	BY	DESCRIPTION
5			
4			
3			
2			
1			

DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 RELEASE FOR BID  
 FINAL REVIEW  
 PREPARE FOR PERMIT  
 RECORD

WALL SECTIONS  
 CONSTRUCTION SPECIFICATIONS

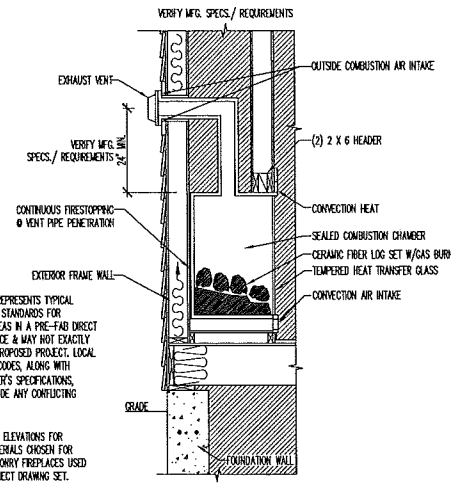
Architects & Planners, Inc.  
 2000 Bean Road at Rt. 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-9200  
 Fac: 815-788-9211

Job Number: 19025  
 Sheet Number: A301  
 19025501

REQ'D INPUT PER UNIT						
	SQ. FT.	REQ. LT.	ACT. LT.	REQ. VT.	ACT. VT.	ACT. CFM.
<b>FIRST FLOOR</b>						
FAMILY ROOM	208.0	16.6	41.6	8.3	26.1	
<b>SECOND FLOOR</b>						
KITCHEN BREAKFAST NOOK	237.0	19.0	23.5	9.5	12.6	
GREAT ROOM	317.0	25.4	23.8	12.7	18.8	
POWDER	20.0	-	-	-	-	25
<b>THIRD FLOOR</b>						
MASTER BEDROOM	151.0	12.1	22.5	6.0	20.4	
BEDROOM #2	90.0	7.2	14.2	3.6	7.4	
BEDROOM #3	112.0	9.0	14.2	4.6	7.4	
MASTER BATH	45.0	-	-	-	-	50
BATH #2	44.0	-	-	-	-	50

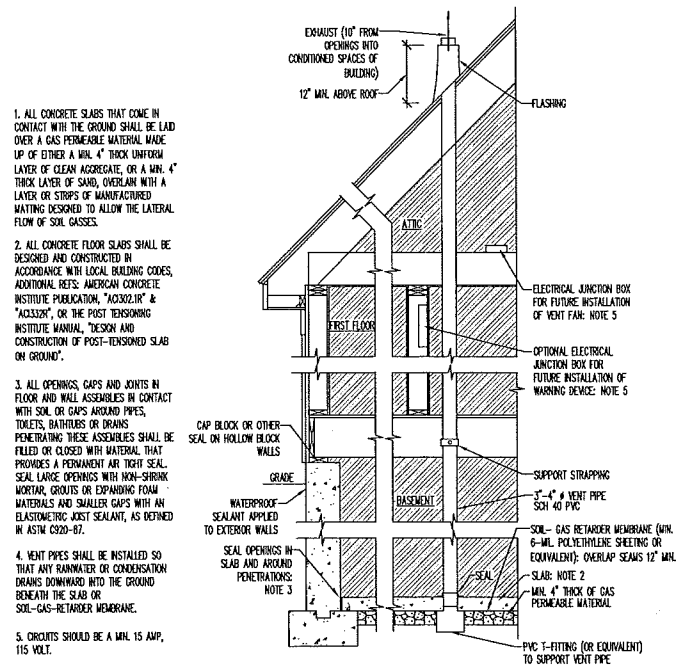
1B LIGHT & VENT SCHEDULE

NO SCALE



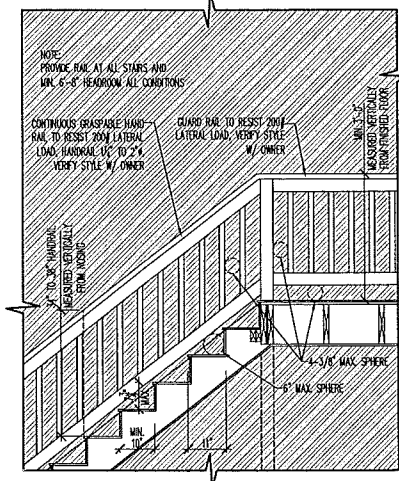
4C TYPICAL DIRECT VENT FIREPLACE & FLUE SECTION

1/2" = 1'-0"



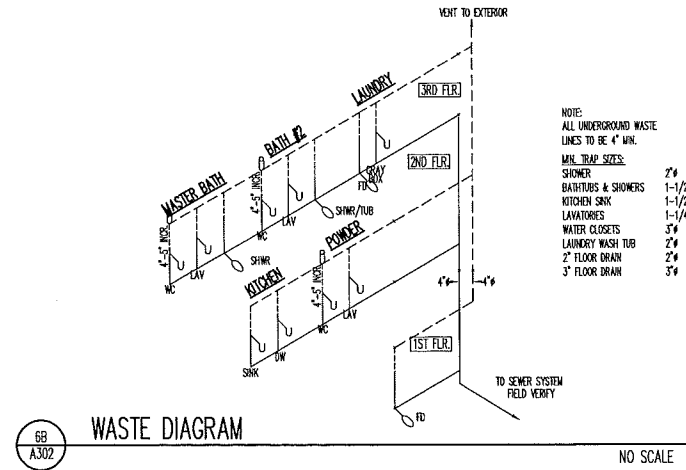
1E TYPICAL RADON VENT DETAIL

1/2" = 1'-0"



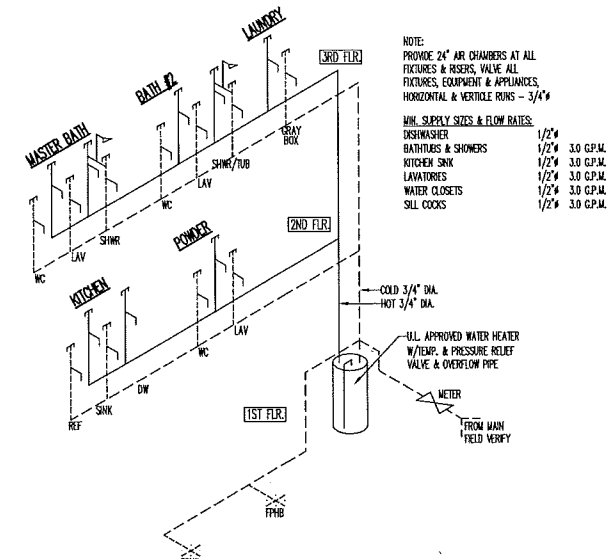
3E TYPICAL STAIR & RAIL DETAIL

1/2" = 1'-0"



6B WASTE DIAGRAM

NO SCALE



5D SUPPLY DIAGRAM

NO SCALE

WATER SUPPLY FIXTURE UNITS (WSFU) PER UNIT (WATER SERVICE PIPE SIZE)			
FIXTURE	VALUE	# OF	TOTAL
WATER CLOSETS	3	3	9
LAUNDRY	1	3	3
SHOWER & TUBS	2	2	4
KITCHEN SINK / BAR SINK	2	1	2
DISHWASHER	1	1	1
WASH TUB / SLOP SINK	3	1	1
WASHING MACHINE GREY BOX	2	1	2
HOSE BIB	1	2	2
<b>TOTAL W.S.F.U.</b>			<b>23</b>
REQ'D PIPE SIZE			
1/2" SERVICE	(2-7 WSFU)		
3/4" SERVICE	(8-19 WSFU)		
1" SERVICE	(20-34 WSFU)		SIZE REQ'D
1 1/4" SERVICE	(35-59 WSFU)		
1 1/2" SERVICE	(60-119 WSFU)		

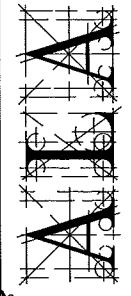
5E PLUMBING FIXTURE COUNT

PER UNIT NO SCALE

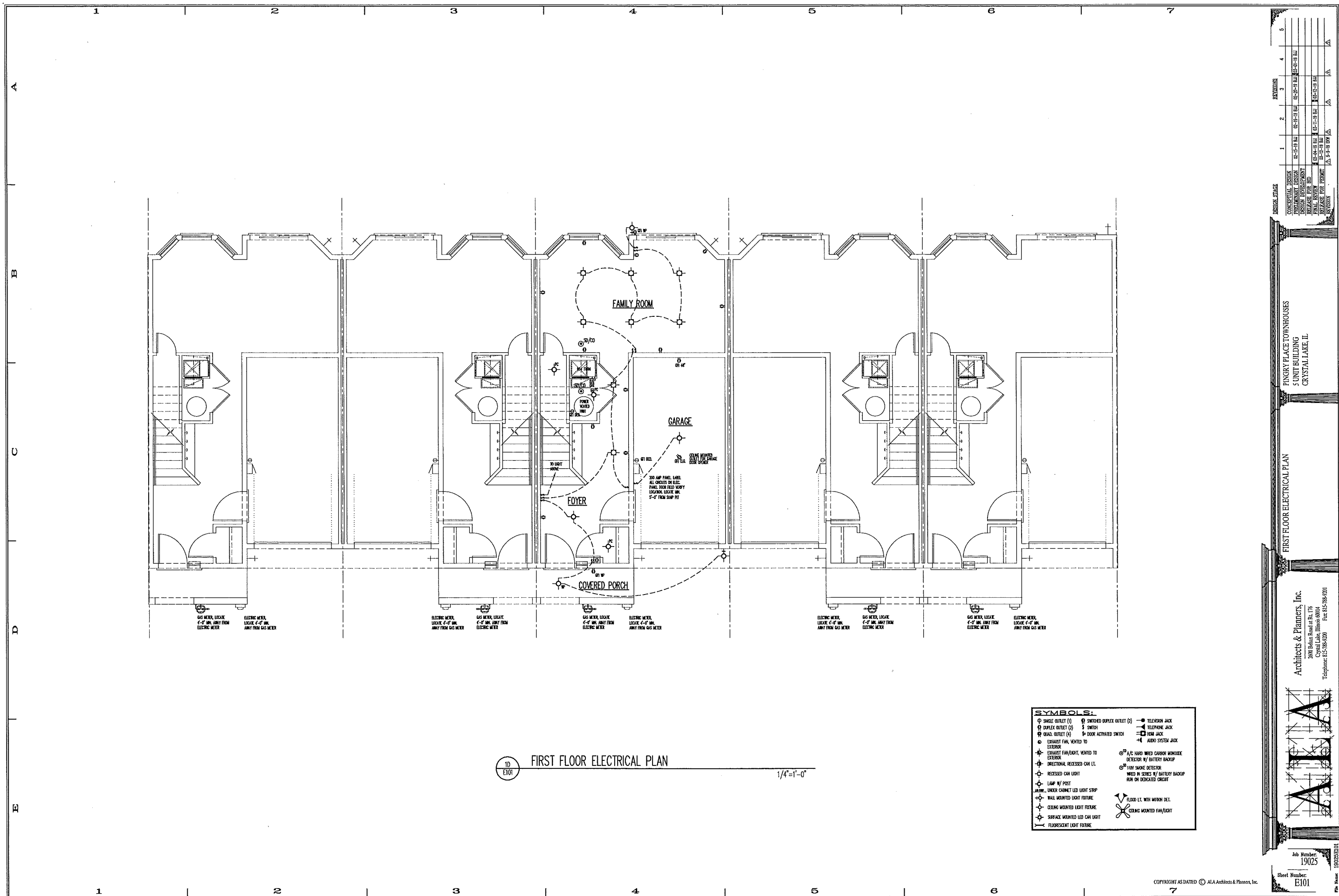
REVISION	NO.	DATE	DESCRIPTION
1	1	08-14-98	DESIGN DEVELOPMENT
2	2	08-18-98	DESIGN DEVELOPMENT
3	3	08-19-98	DESIGN DEVELOPMENT
4	4	08-19-98	DESIGN DEVELOPMENT
5	5	08-19-98	DESIGN DEVELOPMENT

5 UNIT BUILDING  
5 FINGRY PLACE TOWNHOUSES  
CRYSTAL LAKE, IL  
TYPICAL DETAILS

Architects & Planners, Inc.  
2000 Bean Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-789-9200 Fax: 815-789-9201



Job Number: 19025  
Sheet Number: A302



10  
E101  
FIRST FLOOR ELECTRICAL PLAN

1/4"=1'-0"

- SYMBOLS:**
- ⊕ SINGLE OUTLET (1)
  - ⊕ DUPLEX OUTLET (2)
  - ⊕ TRIPLEX OUTLET (3)
  - ⊕ QUAD. OUTLET (4)
  - ⊕ EXHAUST FAN, VENTED TO EXTERIOR
  - ⊕ EXHAUST FAN/LIGHT, VENTED TO EXTERIOR
  - ⊕ DIRECTIONAL RECESSED CAN L.L.
  - ⊕ RECESSED CAN LIGHT
  - ⊕ LAMP W/ POST
  - ⊕ UNDER CABINET LED LIGHT STRIP
  - ⊕ WALL MOUNTED LIGHT FEATURE
  - ⊕ CEILING MOUNTED LIGHT FEATURE
  - ⊕ SURFACE MOUNTED LED CAN LIGHT
  - ⊕ FLOUORESCENT LIGHT FEATURE
  - ⊕ SWITCHED DUPLEX OUTLET (2)
  - ⊕ SWITCH
  - ⊕ DOOR ACTIVATED SWITCH
  - ⊕ AUDIO SYSTEM JACK
  - ⊕ TELEVISION JACK
  - ⊕ TELEPHONE JACK
  - ⊕ REM. JACK
  - ⊕ A/C HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP
  - ⊕ 120V SMOKE DETECTOR W/ BATTERY BACKUP RUN ON DEDICATED CIRCUIT
  - ⊕ FLOODED L.L. WITH MESH DEL.
  - ⊕ CEILING MOUNTED FAN/LIGHT

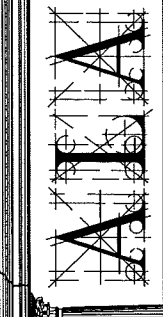
DESIGN STAGE

NO.	DATE	DESCRIPTION
1	02-11-18	CONCEPTUAL DESIGN
2	02-14-18	PRELIMINARY DESIGN
3	02-20-18	DESIGN DEVELOPMENT
4	02-27-18	RELEASE FOR BID
5	03-04-18	FINAL DESIGN
6	03-11-18	RELEASE FOR PERMIT
7	03-18-18	REVISION

PINGRY PLACE TOWNHOUSES  
5 UNIT BUILDING  
CRYSTAL LAKE, IL

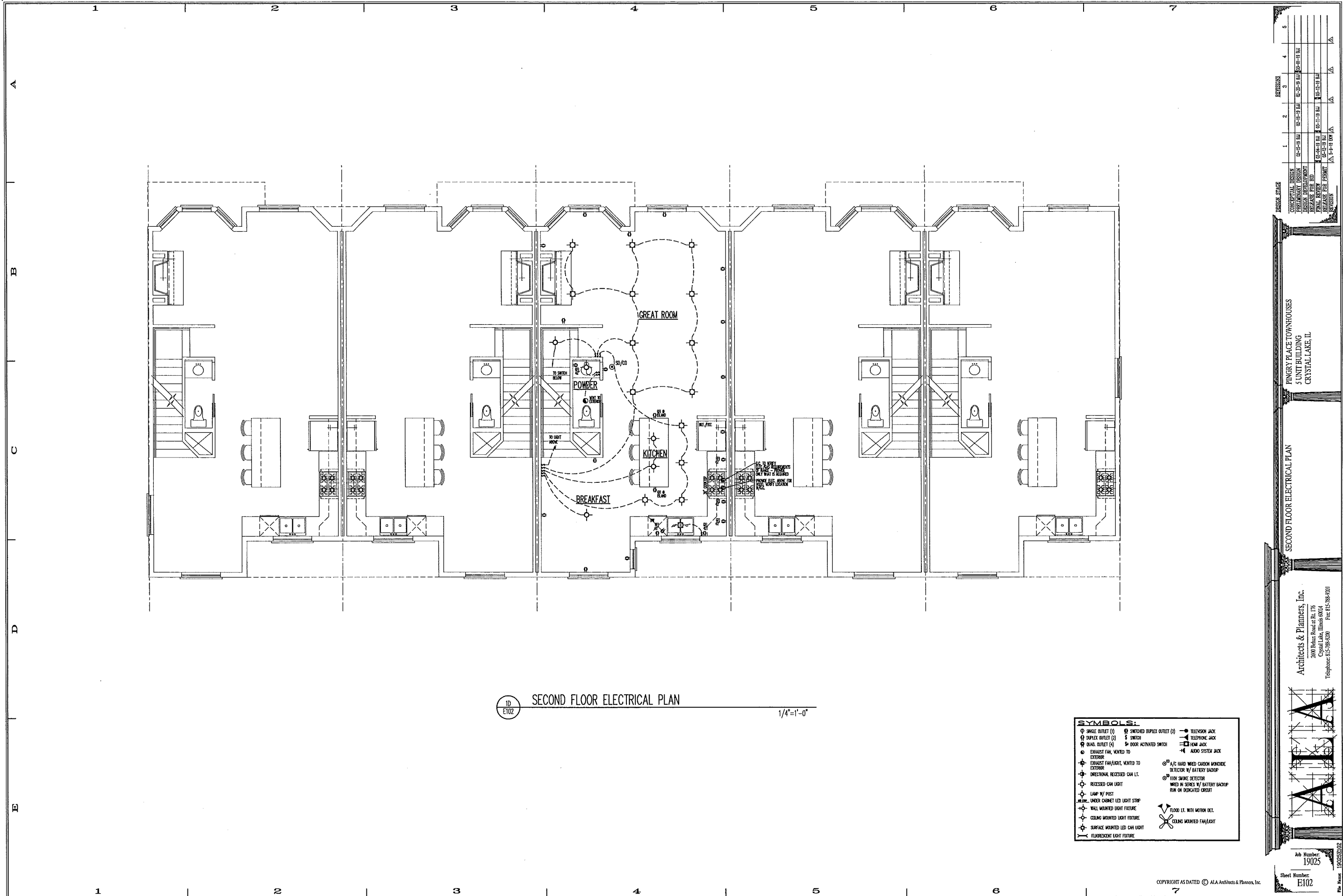
FIRST FLOOR ELECTRICAL PLAN

Architects & Planners, Inc.  
2000 Indian Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-788-9200 Fax: 815-788-2011



Job Number:  
19025  
Sheet Number:  
E101  
P.P. Name: 19025E101





1D  
E102 SECOND FLOOR ELECTRICAL PLAN

1/4"=1'-0"

**SYMBOLS:**

○ SINGLE OUTLET (1)	⊕ SWITCHED DUPLEX OUTLET (2)	⊕ TELEVISION JACK
⊕ DUPLEX OUTLET (2)	⊕ SWITCH	⊕ TELEPHONE JACK
⊕ QUAD. OUTLET (4)	⊕ DOOR ACTIVATED SWITCH	⊕ FIRM JACK
⊕ EXHAUST FAN, VENTED TO EXTERIOR	⊕ A/C HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP	⊕ AUDIO SYSTEM JACK
⊕ EXHAUST FAN/LIGHT, VENTED TO EXTERIOR	⊕ 110V SMOKE DETECTOR W/ BATTERY BACKUP	
⊕ DIRECTIONAL RECESSED CAN LT.	⊕ 110V SMOKE DETECTOR W/ BATTERY BACKUP RUN ON DESIGNATED CIRCUIT	
⊕ RECESSED CAN LIGHT		
⊕ LAMP W/ POST		
⊕ UNDER CABINET LED LIGHT STRIP	⊕ FLOOD LT. WITH MOTION DET.	
⊕ WALL MOUNTED LIGHT FEATURE	⊕ CEILING MOUNTED FAN/LIGHT	
⊕ CEILING MOUNTED LIGHT FEATURE		
⊕ SURFACE MOUNTED LED CAN LIGHT		
⊕ FLUORESCENT LIGHT FEATURE		

DESIGN STAGE

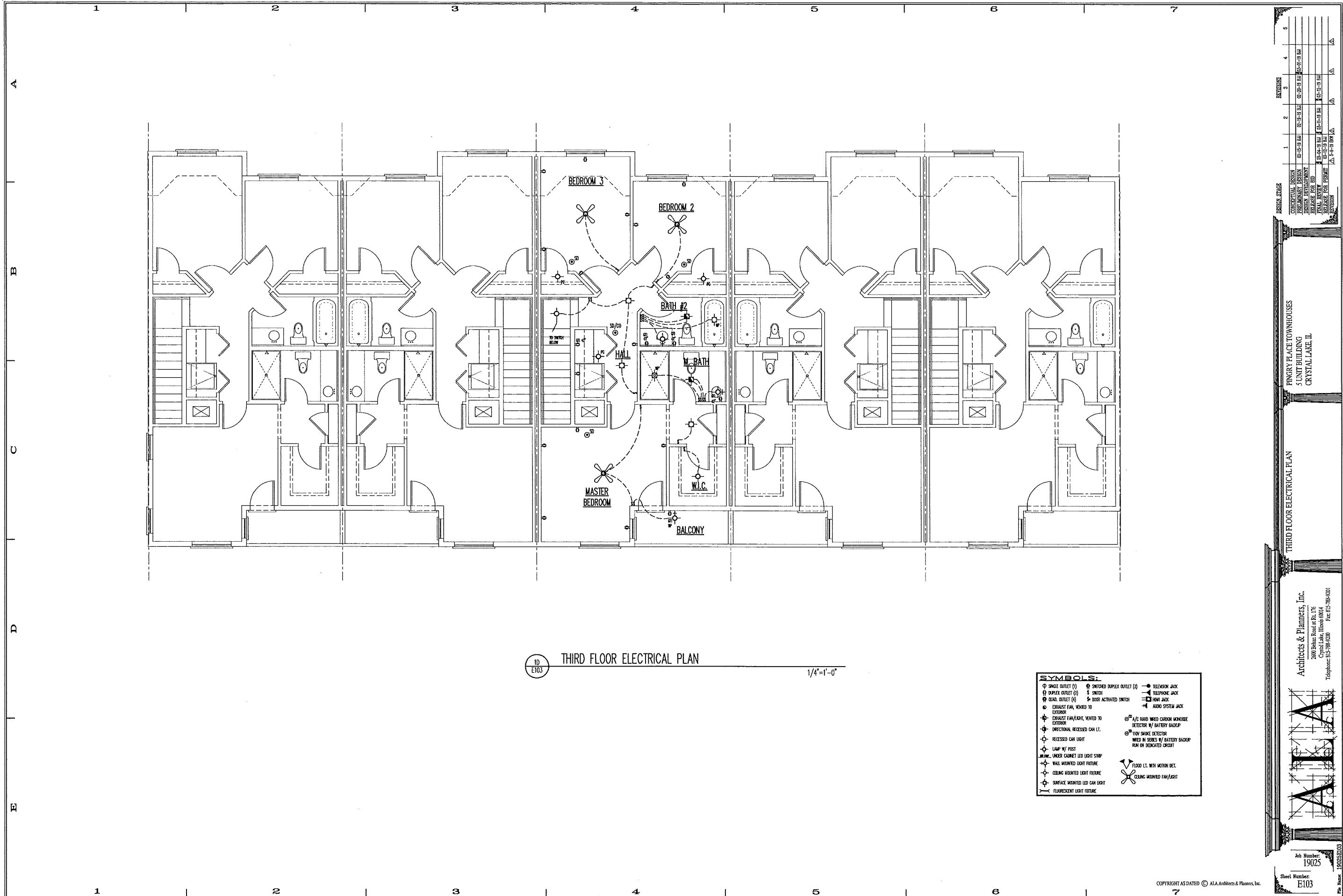
1	CONCEPTUAL DESIGN	02-25-19 BM	02-25-19 BM
2	PRELIMINARY DESIGN	02-25-19 BM	02-25-19 BM
3	DESIGN DEVELOPMENT	02-25-19 BM	02-25-19 BM
4	PERMIT SET	02-25-19 BM	02-25-19 BM
5	FINAL REVIEW	02-25-19 BM	02-25-19 BM
6	ISSUE FOR PERMIT	02-25-19 BM	02-25-19 BM
	REVISION	02-25-19 BM	02-25-19 BM

PINGRY PLACE TOWNHOUSES  
5 UNIT BUILDING  
CRYSTAL LAKE, IL

Architects & Planners, Inc.  
2600 Bekan Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-788-9200 Fax: 815-788-9201

Job Number: 19025  
Sheet Number: E102  
Date: 1/19/25

19025E102



10  
E103

THIRD FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

- SYMBOLS:**
- SINGLE OUTLET (1)
  - DUPLEX OUTLET (2)
  - ⊕ QUAD. OUTLET (4)
  - ⊙ EXHAUST FAN, VENTED TO EXTERIOR
  - ⊕ DIRECTIONAL RECESSED CAN LT.
  - ⊙ RECESSED CAN LIGHT
  - ⊕ LAMP W/ POST
  - ⊕ UNDER CABINET LED LIGHT STRIP
  - ⊕ WALL MOUNTED LIGHT FIXTURE
  - ⊕ CEILING MOUNTED LIGHT FIXTURE
  - ⊕ SURFACE MOUNTED LED CAN LIGHT
  - ⊕ FLUORESCENT LIGHT FIXTURE
  - ⊕ SWITCHED DUPLEX OUTLET (2)
  - ⊕ SWITCH
  - ⊕ DOOR ACTIVATED SWITCH
  - ⊕ A/C HAND WHEELED CURTAIN WINDSTOP DETECTOR W/ BATTERY BACKUP
  - ⊕ HIGH SMOKE DETECTOR WHEELED IN SERIES W/ BATTERY BACKUP RUN ON DEDICATED CIRCUIT
  - ⊕ TELEVISION JACK
  - ⊕ TELEPHONE JACK
  - ⊕ HDMI JACK
  - ⊕ AUDIO SYSTEM JACK
  - ⊕ FLOOD LT. WITH MOTION DET.
  - ⊕ CEILING MOUNTED FAN/LIGHT

REVISIONS	1	2	3	4	5
CONCEPTUAL DESIGN	02-15-18				
PRELIMINARY DESIGN	02-15-18				
DESIGN DEVELOPMENT	02-15-18				
PERMIT PREP	03-04-18				
FINAL REVIEW	03-11-18				
PERMIT FOR PERMIT	03-11-18				
PERMIT	04-19-18				

DESIGNER: EDGER  
 ARCHITECTS & PLANNERS, INC.  
 2600 BEHAR ROAD, SUITE 176  
 CRYSTAL LAKE, ILLINOIS 60014  
 TELEPHONE: 815-788-2200 FAX: 815-788-2201

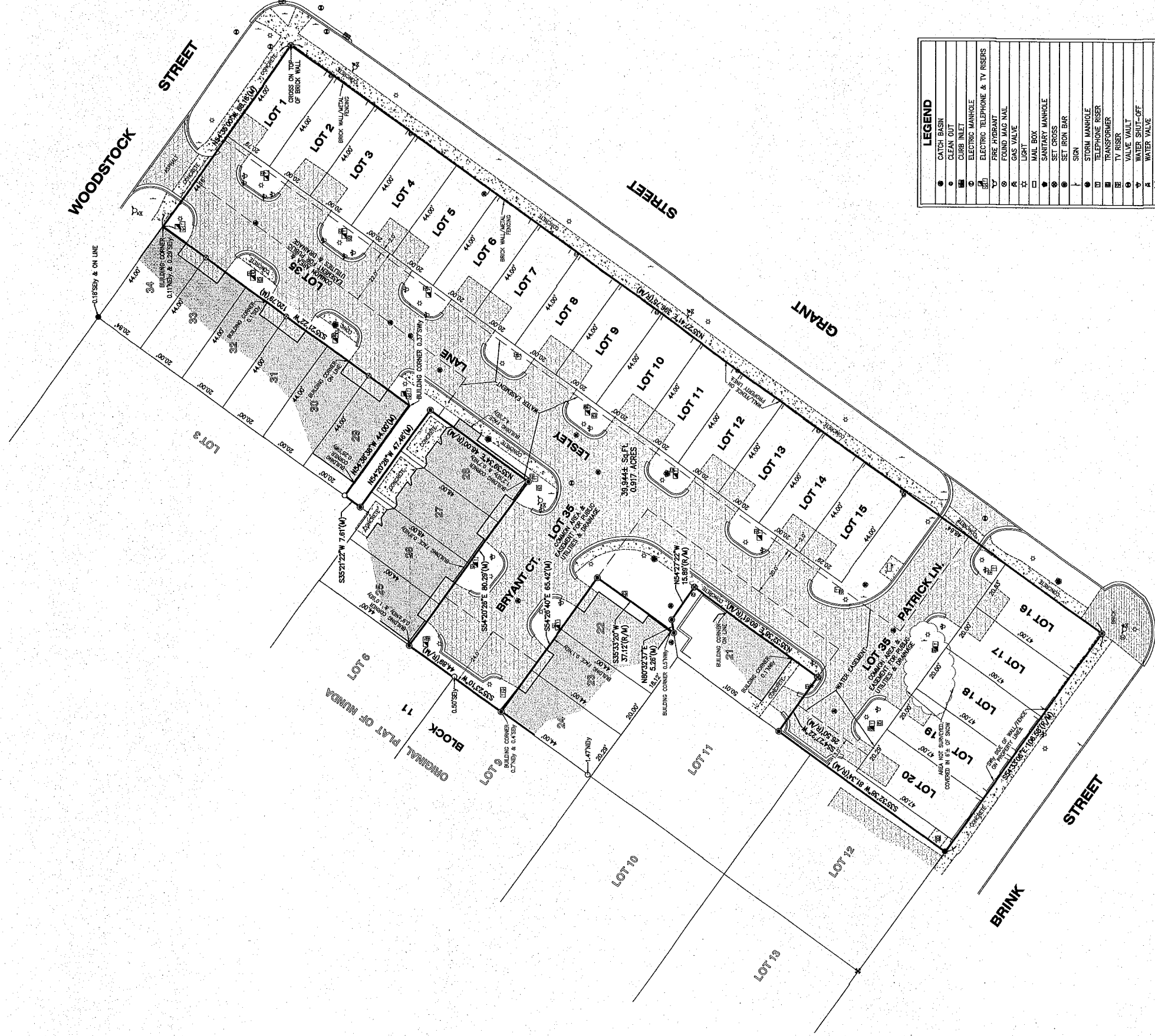
THIRD FLOOR ELECTRICAL PLAN  
 5 UNIT BUILDING  
 PINGRY PLACE TOWNHOUSES  
 CRYSTAL LAKE, IL

Architects & Planners, Inc.  
 2600 Behar Road, Suite 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-2200 Fax: 815-788-2201

Job Number: 19025  
 Sheet Number: E103  
 File Name: 19025E103

# PLAT OF SURVEY

Lots 1 thru 20 and Lot 35 in Pinery Place, being a Re-Subdivision of part of Block 11 in the Original Plat of Nunda, being part of the East Half of the Southeast Quarter of Section 32, Township 44 North, Range 8, East of the Third Principal Meridian, according to the Plat thereon recorded September 20, 1953 as Document No. 53R056034, in McHenry County, Illinois.



LEGEND	
●	CATCH BASIN
○	CLEAN OUT
□	CURB INLET
○	ELECTRIC MANHOLE
○	ELECTRIC TELEPHONE & TV RISERS
○	FIRE HYDRANT
○	FOUND MAG NAIL
○	GAS VALVE
○	LIGHT
○	MAIL BOX
○	SANITARY MANHOLE
○	SET CROSS
○	SET IRON BAR
○	SIGN
○	STORM MANHOLE
○	TELEPHONE RISER
○	TRANSFORMER
○	TV RISER
○	VALVE VAULT
○	WATER SHUT-OFF
○	WATER VALVE
○	RECORD
(M)	MEASURED



**RECEIVED**  
MAY 14 2019  
DY: .....

STATE OF ILLINOIS ) ) S.S.  
COUNTY OF McHENRY

In my professional opinion, and based on my observations, I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of the said survey. This professional service conforms to the current Illinois minimum standards for a boundary survey.

Dated at Woodstock, McHenry County, Illinois 3/15 A.D., 2019  
Vanderstappen Land Surveying Inc.  
Design Firm No. 164-02782

By: *[Signature]*  
Illinois Professional Land Surveyor No. 2709

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description indicates otherwise. A proper description of the required building lines or easements.

- No distances should be assumed by scaling, located unless shown and noted.
- No underground improvements have been located unless shown and noted.
- No representation as to ownership, use, or possession should be hereon implied.
- This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.

Compare your description and site markings with this plat and AF ONCE report any discrepancies which you may find.

CLIENT: METRONOMIC, INC.  
DRAWN BY: M.V. CHECKED BY: M.V.  
SCALE: 1" = 20' SEC. 32 T. 44 R. 8 E.  
BASIS OF BEARING: ASSUMED  
P.L.N. 14-32-478-018 & -027 THRU -046  
JOB NO.: 190116 I.D. M.V.  
FIELDWORK COMP. 3/12/19 M.V. P.C.  
PLAT THEREON REFERRED TO BY: .....