



## #2019-91 Discount Tire – Preliminary PUD Project Review for Planning and Zoning Commission

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<b><u>Meeting Date:</u></b>	July 3, 2019
<b><u>Request:</u></b>	Preliminary Planned Unit Development for a new 8,192 square-foot retail building.
<b><u>Location:</u></b>	5501 Northwest Highway
<b><u>Acreage:</u></b>	Approximately 2.1 acres
<b><u>Existing Zoning:</u></b>	B-2 PUD General Commercial Planned Unit Development
<b><u>Surrounding Properties:</u></b>	North: B-2 PUD General Commercial South: M Manufacturing (Three Oaks Recreation Area) East: B-2 PUD General Commercial West: M-L Manufacturing Limited
<b><u>Staff Contact:</u></b>	Elizabeth Maxwell (815.356.3615)

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### **Background:**

- The site is the former LeWalt Glass building which was used by Pauly Toyota for auto sales until they relocated to Route 31. The property was briefly operated for used car sales and is now vacant.
- The lot being created is approximately 37,250 square feet and exceeds the B-2 requirements.
- The existing buildings would be removed and a new pad site created for this user.

### **Land Use Analysis:**

#### ZONING

- The site is currently zoned B-2 PUD General Commercial. Automotive Repair, Minor is a permitted use in the B-2 zoning district.
- The Comprehensive Land Use Plan designates this area as Commerce. The proposed repair use is an acceptable business use in the Commerce land use designation.

#### SITE PLAN

- The site is along Northwest Highway east of the Three Oaks Recreation Area entrance.
- The site backs to the north lake of the Three Oaks Recreation Area.

- The main access into the site is via a shared driveway with the adjacent business. A recorded shared access easement exists over the driveway.
- Parking is provided both in front and behind the building. The main customer parking would be in front of the building along Northwest Highway.
- The building is setback 81 feet from Northwest Highway and 87.9 feet from the south property line. There is a 50-foot building setback from the south property line established by the slope stabilization study.
- Sidewalk is provided on three sides of the building. **Additional sidewalk connections to the future boardwalk and the adjacent businesses are recommended.**

#### TRAFFIC STUDY

- A traffic study was completed by Gewalt Hamilton on behalf of the property owner. The existing property owner would be responsible for the subdivision and complying with the recommendations of the traffic study.
- Final review and conditions will be set by IDOT.

#### PARKING

- Parking for the Automotive Repair, Minor use is based on 3 spaces per service bay and the total number of employees on site.
- The lot is providing a total of 35 spaces, 41 spaces are required.
- Staff recommends the property owner establish a shared parking agreement in addition to the shared access agreement with all four lots so a variation is not necessary.

#### ELEVATIONS

- Colonial Revival Stone colored CMU and Richfield colored brick comprise the majority of the exterior. Antique White colored CMU and EIFS provide accent trim colors and materials to the top of the building. A thicker dark Sierra Tan metal coping is provided to finish off the top of the building.
- The front elevation is accentuated with dark anodized framed window bays, which carry over to the side elevations. CMU block and accent ledge create a knee-wall so the windows do not go all the way to the ground.
- Red fabric awnings finish off the color palette and dress-up the window bays.
- The dock doors face an interior property line and with the building's setback from Route 14 they will be partially blocked by the adjacent building. The doors are solid steel.
- Staff has reviewed the elevations based on the criteria listed in the Design Standards. The project meets 6 of the 10 criteria. 6 of 10 are required to be considered meeting the design standards for architecture.

#### LANDSCAPE PLAN

- The landscape plan illustrates 10 feet of parking lot screening, 20 feet is required. Due to the overhead utility lines only shrubs and flowers are planted here. A variation for 3 trees is requested. **Staff suggests adding small ornamental species like Serviceberry,**

**Crabapple or Japanese Maple.**

- Additional landscape area has been added on the east side of the building to meet the intent of the foundation base landscape requirements. **Staff suggests adding some foundation base landscape along the front of the building.**
- Landscape islands are illustrated, many of which would be shared with the adjacent lot. Landscape islands are required to contain 1 tree and 5 shrubs.
- Additional landscape is provided along the south property line. This landscape area may need to be removed to accommodate a future boardwalk.

**FLOOR PLAN**

- The sales office and waiting room are up front with the installation bays in the rear of the building.

**SIGNAGE**

- Signage is illustrated on three sides of the building. The two signs on the sides of the building are 60.75 square feet each. The sign along the front elevation is 75 square feet.
- Free-standing buildings are permitted signage on all elevations that would total 150 square feet. The petitioner is requesting a variation to allow 196.5 square feet of total wall signage.

**Findings of fact:**

**Preliminary Planned Unit Development**

The petitioner is requesting approval of a Preliminary Planned Unit Development to allow the construction of a Discount Tire. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.  
 *Meets*             *Does not meet*
2. The use will not be detrimental to area property values.  
 *Meets*             *Does not meet*
3. The use will comply with the zoning districts regulations.  
 *Meets*             *Does not meet*
4. The use will not negatively impact traffic circulation.  
 *Meets*             *Does not meet*

5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.  
 *Meets*             *Does not meet*
6. The use will not negatively impact the environment or be unsightly.  
 *Meets*             *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.  
 *Meets*             *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.  
 *Meets*             *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.  
 *Meets*             *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.  
 *Meets*             *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.  
 *Meets*             *Does not meet*
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.  
 *Meets*             *Does not meet*
3. PUDs must provide transitional uses to blend with adjacent development.  
 *Meets*             *Does not meet*
4. PUD phases must be logically sequenced.  
 *Meets*             *Does not meet*
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.  
 *Meets*             *Does not meet*
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.  
 *Meets*             *Does not meet*

7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.  
 Meets             Does not meet
8. Any private infrastructure shall comply with the city standards.  
 Meets             Does not meet
9. The PUD plan shall establish the responsibility of the applicant/developer.  
 Meets             Does not meet
10. A bond or letter of credit shall be posted to cover required fees or public improvements.  
 Meets             Does not meet

**Planned Unit Development Variation**

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variations from the UDO:

- 1) Article 4-1000 Signs. Free-standing buildings are permitted a total of 150 square feet of signage. Discount Tire is proposing 196.5 square feet, to allow three signs on the building. Two signs would be 60.75 square feet and the center sign on the front elevation would be 75 square feet. This is a variation of 46.5 square feet.
- 2) Article 4-200E1 and 4-400 F1b from the required 20-foot parking lot setback from the right-of-way to allow 10 feet and the required 15-foot landscape buffer to allow 10 feet, of which 5 feet would be for the required sidewalk. This is a variation of 10 feet for the setback and required landscape buffer.

- 3) Article 4-400 Landscape and Screening.
  - a) Section 4-400 E 3 from the requirement to plant parkway trees along Route 14 frontage. This is a variation of 3 trees. Staff suggests planting ornamental trees along this area.
  - b) Section 4-400 F1 from the requirement to provide an 8 x 15 landscape island at the end of every parking row. This variation is for the landscape island at the northwest corner of the building and the two missing islands at the back of the building, one at the southwest corner and one adjacent to the dumpster enclosure.

**Comprehensive Land Use Plan 2030 Summary Review:**

The Comprehensive Plan designates the subject property as Commercial, which allows for existing and future commercial and business uses. The following goal is applicable to this request:

Land Use – Commercial

**Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.**

This can be accomplished with the following supporting actions:

**Supporting Action:** Promote, retain and attract businesses that provide a diverse tax base.

**Success Indicator:** The number of new “chain store” occupancies.

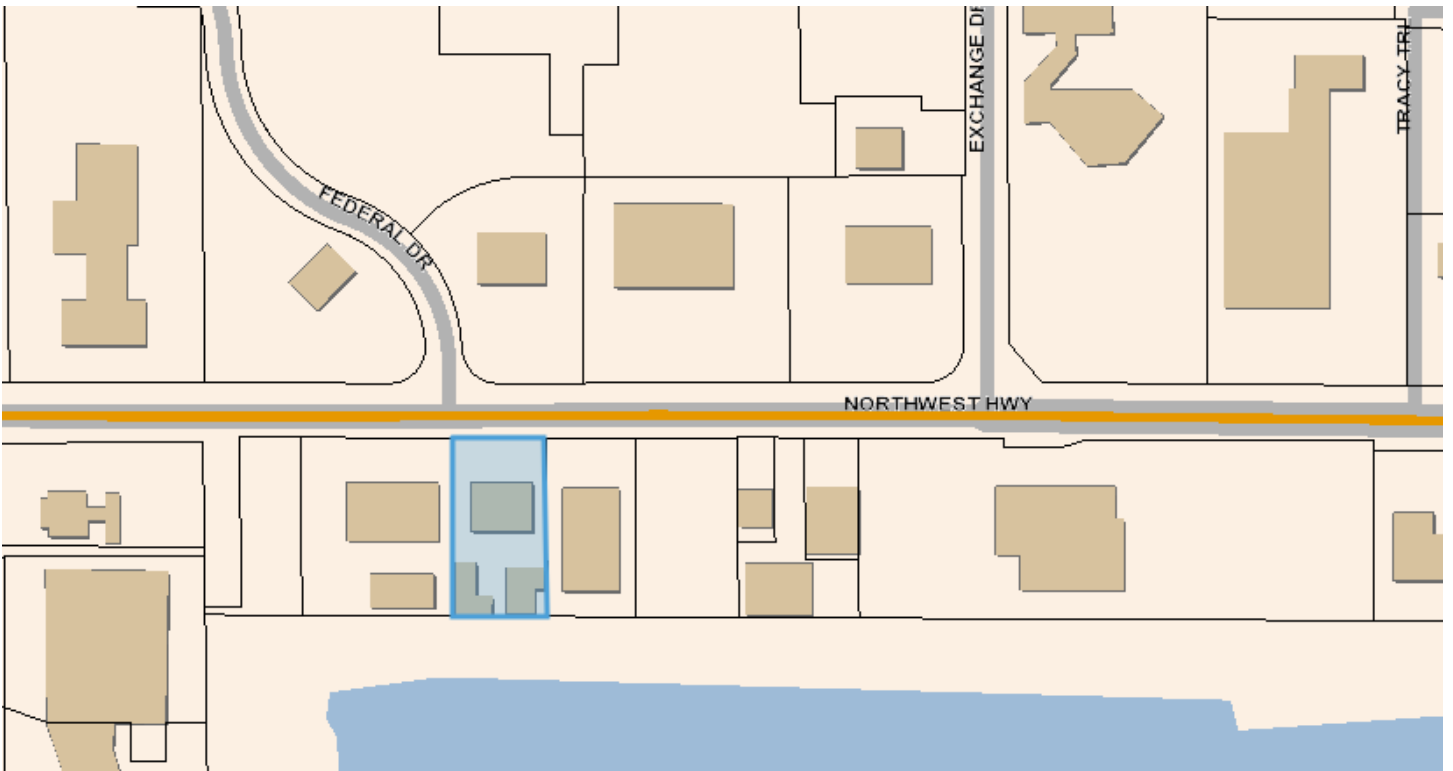
**Recommended Conditions:**

If a motion to recommend approval of the petitioner’s request is made it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (raSmith, received 05/30/19)
  - B. Engineering and Landscape Plans (raSmith, dated 05/22/19, received 05/23/19)
  - C. Floor Plan and Elevations (Plump Engineering, dated 05/21/19, received 05/23/19)
  - D. Preliminary Stormwater Management Plan (raSmith, dated 05/22/19, received 05/23/19)
  - E. Draft Traffic Study (Gewalt Hamilton Associates, Inc., dated 05/23/19, received 05/28/19)
2. Site Plan
  - A. Work with staff on the appropriate location and future pedestrian connections to adjacent properties and to the future boardwalk.
  - B. Relocate the dumpster enclosure away from the future boardwalk area.
  - C. All municipal utilities are required to be in a Municipal Utility Easement (MUE). A Plat of Easement is required to be provided to the City.

3. Landscape Plan
  - A. Add foundation base landscape along the front of the building, either at grade or in planter boxes to soften the front appearance of the building.
  - B. The Fire Department Connection and hydrant must be relocated to the rear corner of the building. The landscape plan shall be revised to accommodate these changes.
  - C. Add three ornamental trees to the front landscape screening area along Route 14.
  - D. Add taller shrubs to screen the transformer.
  - E. Landscape around the free-standing sign is required at 1 square-foot per 1 square-foot of signage, which includes a mix of at least 50% small deciduous trees, medium evergreen trees, ornamental trees, and deciduous and evergreen shrubs.
4. Elevations
  - A. The metal coping top cap shall project at least two inches above and out from the rest of the top parapet to provide additional height and width to the cornice.
5. If the sidewalk is not installed as part of the subdivision development, Discount Tire shall be responsible for their portion, which shall be installed at the time of construction.
6. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments as well as the City's Stormwater Consultant and the final approved Traffic Study.

PLN-2019-00091 DISCOUNT TIRE – 5501 NORTHWEST HWY – PUD AMENDMENT





# City of Crystal Lake Development Application

PLN-2019-00091

Office Use Only
File # _____

Project Title: Discount Tire

### Action Requested

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                   | <input checked="" type="checkbox"/> Preliminary PUD      |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review        | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Final PUD                    | <input type="checkbox"/> Special Use Permit              |
| <input type="checkbox"/> Final PUD Amendment          | <input type="checkbox"/> Variation                       |
| <input type="checkbox"/> Final Plat of Subdivision    | <input type="checkbox"/> Other                           |

### Petitioner Information

RA Smith, Inc - on behalf of  
Name: Halle Properties, LLC  
Address: 1245 East Diehl Rd - Suite # 102  
Naperville, IL 60563  
Phone: (847) 682-9421  
Fax: N/A  
E-mail: todd.mosher@rasmith.com

### Owner Information (if different)

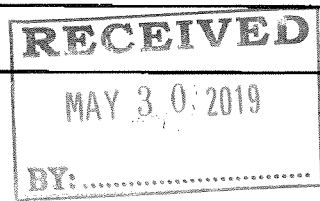
Name: GW Properties; Attn. Jon Silverberg  
Address: 2211 North Elston - Site # 304  
Chicago, IL 60614  
Phone: (773) 741-1825  
Fax: N/A  
E-mail: jon@gwproperties.com

### Property Information

Project Description: Demolish three existing structures and construct a new Discount Tire retail store with supporting site infrastructure - parking, utilities, landscaping and lighting.

Project Address/Location: 5501 Northwest Highway

PIN Number(s): 19-09-200-019



**Development Team**

Please include address, phone, fax and e-mail

**Developer:** Halle Properties, LLC - 20225 N. Scottsdale Rd. Scottsdale, AZ 85255 (480) 606-6000

**Architect:** Plump Engineering, Inc. - 914 E. Katella Ave. Anaheim, CA 92805 (714) 385-1835

**Attorney:** \_\_\_\_\_

**Engineer:** RA Smith, Inc. - 1245 East Diehl Rd. Suite #102 - Naperville, IL 60563 (847) 682-9421


**Landscape Architect:** RA Smith, Inc. 1245 East Diehl Rd. Suite #102 - Naperville, IL 60563 (847) 682-9421

**Planner:** \_\_\_\_\_

**Surveyor:** RA Smith, Inc. 1245 East Diehl Rd. Suite #102 - Naperville, IL 60563 (847) 682-9421

**Other:** \_\_\_\_\_

**Signatures**

Todd Mosher		May 14, 2019
<b>PETITIONER: Print and Sign name (if different from owner)</b>		<b>Date</b>

**As owner of the property in question, I hereby authorize the seeking of the above requested action.**

	5/22/2019
<b>OWNER: Print and Sign name</b>	<b>Date</b>

**NOTE:** If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

**PUBLIC NOTICE  
BEFORE THE PLANNING  
AND ZONING COMMISSION  
OF THE CITY OF CRYSTAL  
LAKE, MCHENRY COUNTY,  
ILLINOIS**

IN THE MATTER OF THE  
PETITION OF  
RA Smith Inc. for Discount  
Tire

**LEGAL NOTICE**

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by RA Smith, Inc, representing Halle Properties, LLC on behalf of GW Properties, for a Preliminary Planned Unit Development, relating to the property at 5501 Northwest Highway in Crystal Lake, Illinois 60014. PINs: 19-09-200-019.

This application is filed for the purpose of seeking a Preliminary Planned Unit Development Approval, which will allow variations for the development of a Discount Tire store, pursuant to Article 3, Article 4, Article 5 and Article 9. Plans to this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday July 3, 2019, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.

Tom Hayden, Chairperson  
Planning and Zoning  
Commission  
City of Crystal Lake

(Published in the Northwest  
Herald June 15, 2019)  
1673257

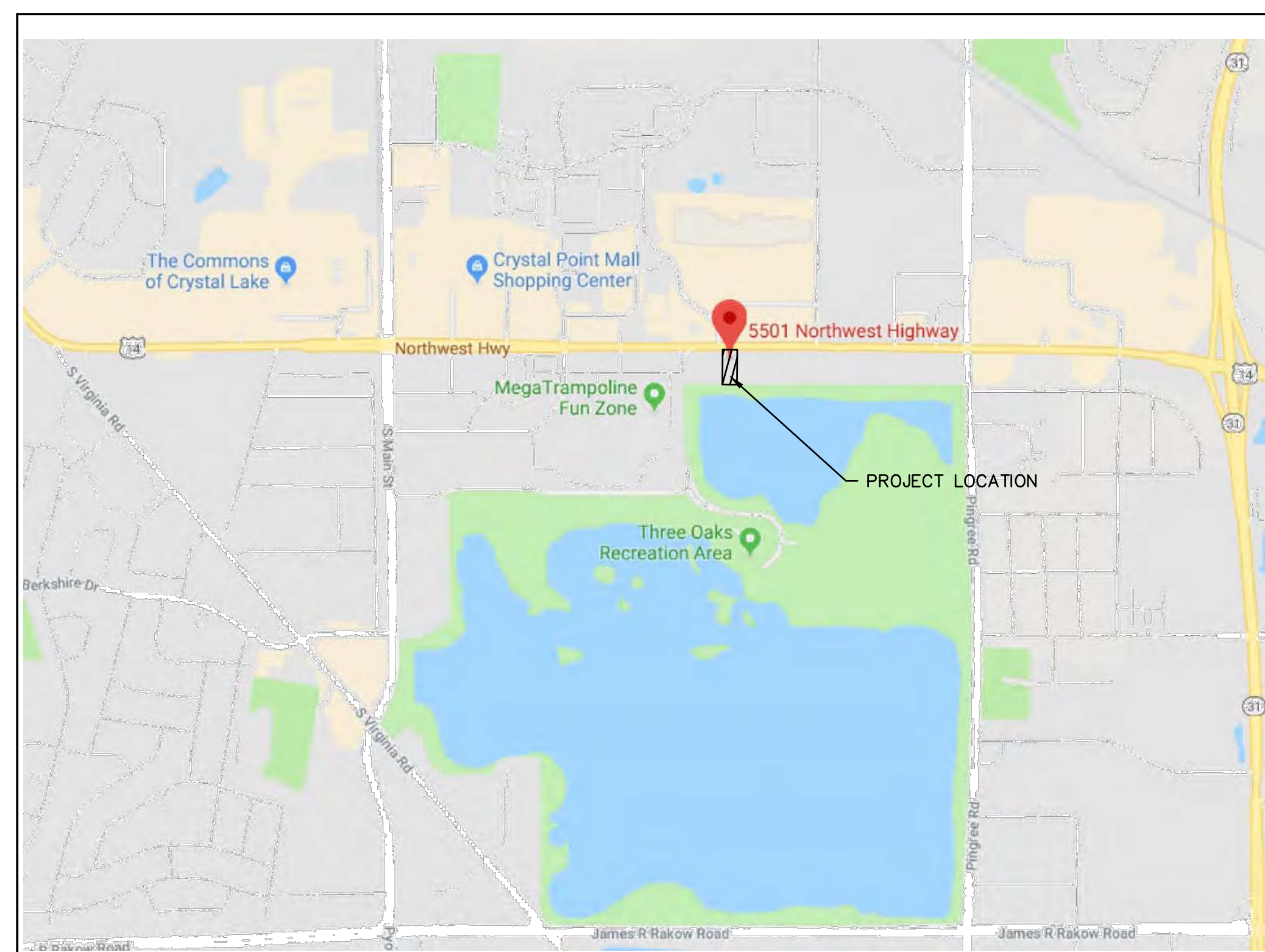
# DISCOUNT TIRE

## 5501 NORTHWEST HIGHWAY CRYSTAL LAKE, ILLINOIS PRELIMINARY ENGINEERING PLANS

### VICINITY MAP

SHEET NO.

- C000
- C100
- C200
- C300
- C400
- L100



**DEVELOPER/OWNER:**

**HALLE PROPERTIES, LLC**  
20225 N. SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85255  
PH.: (480) 606-6000  
FAX: (480) 606-4370

**CIVIL ENGINEER/LANDSCAPE ARCHITECT:**

**raSmith**  
CREATIVITY BEYOND ENGINEERING  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**UTILITY CONTACTS / CITY OF CRYSTAL LAKE DEPARTMENT CONTACTS:**

**ENGINEERING:**  
CITY OF CRYSTAL LAKE  
ABIGAIL WILGREEN, P.E.  
CITY ENGINEER  
100 WEST WOODSTOCK STREET,  
CRYSTAL LAKE, IL 60014  
PH: (815) 356-3605  
EMAIL: awilgreen@crystallake.org

**PLANNER:**  
CITY OF CRYSTAL LAKE  
PLANNING & ECONOMIC DEVELOPMENT  
ELIZABETH MAXWELL  
CITY PLANNER  
100 WEST WOODSTOCK STREET,  
CRYSTAL LAKE, IL 60014  
PH: (815) 356-3738  
EMAIL: emaxwell@crystallake.org

**PLAN DAT**

REVISION	ISSUE DATE	ISSUED BY

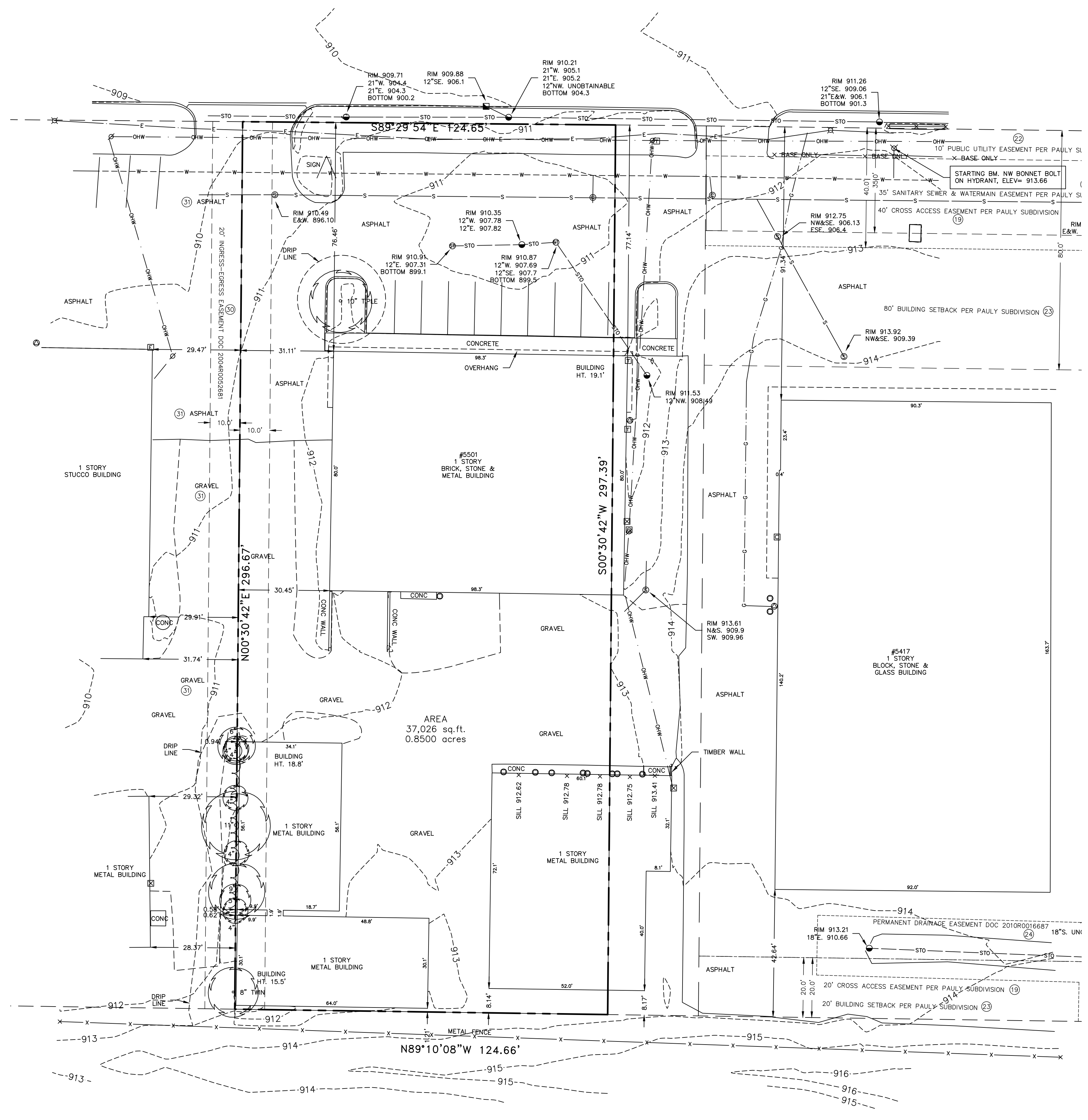
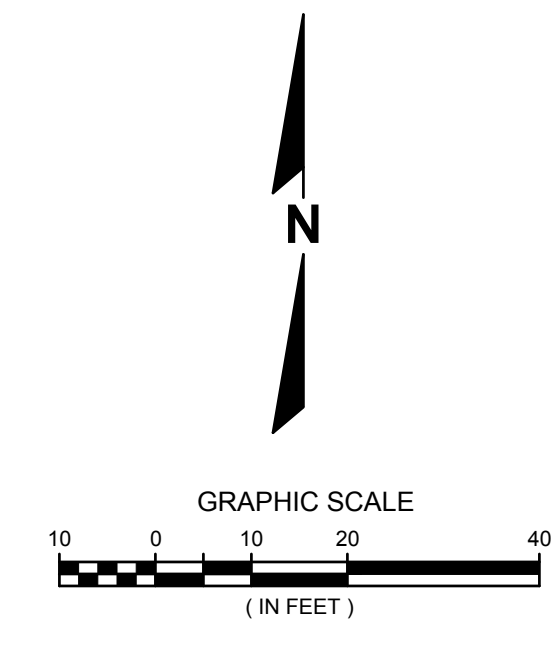


Know what's below.  
Call before you dig.

U.S. ROUTE 14

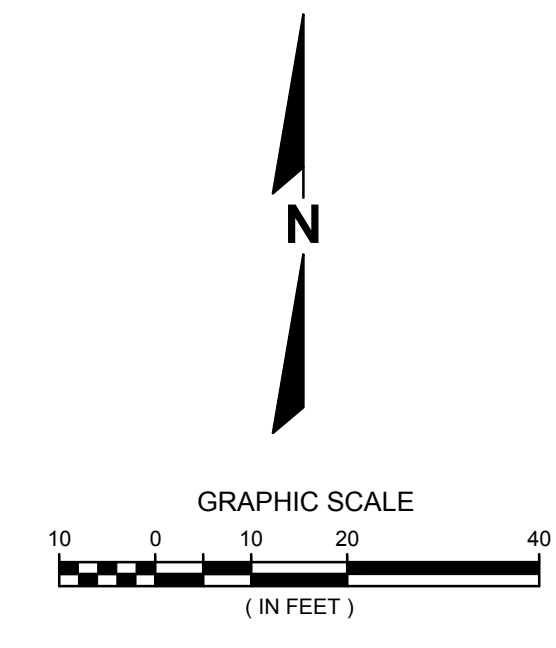
NORTHWEST HIGHWAY

VARIABLE WIDTH PUBLIC R.O.W.





U.S. ROUTE 14 NORTHWEST HIGHWAY  
VARIABLE WIDTH PUBLIC R.O.W.



**LEGEND**

	PROPERTY LINE
	PROPOSED 18" CURB & GUTTER
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	PROPOSED ACCESSIBLE PAVEMENT MARKING
	VAN ACCESSIBLE STALL
	STALL PARKING COUNT
	PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)

**PARKING CALCULATIONS**

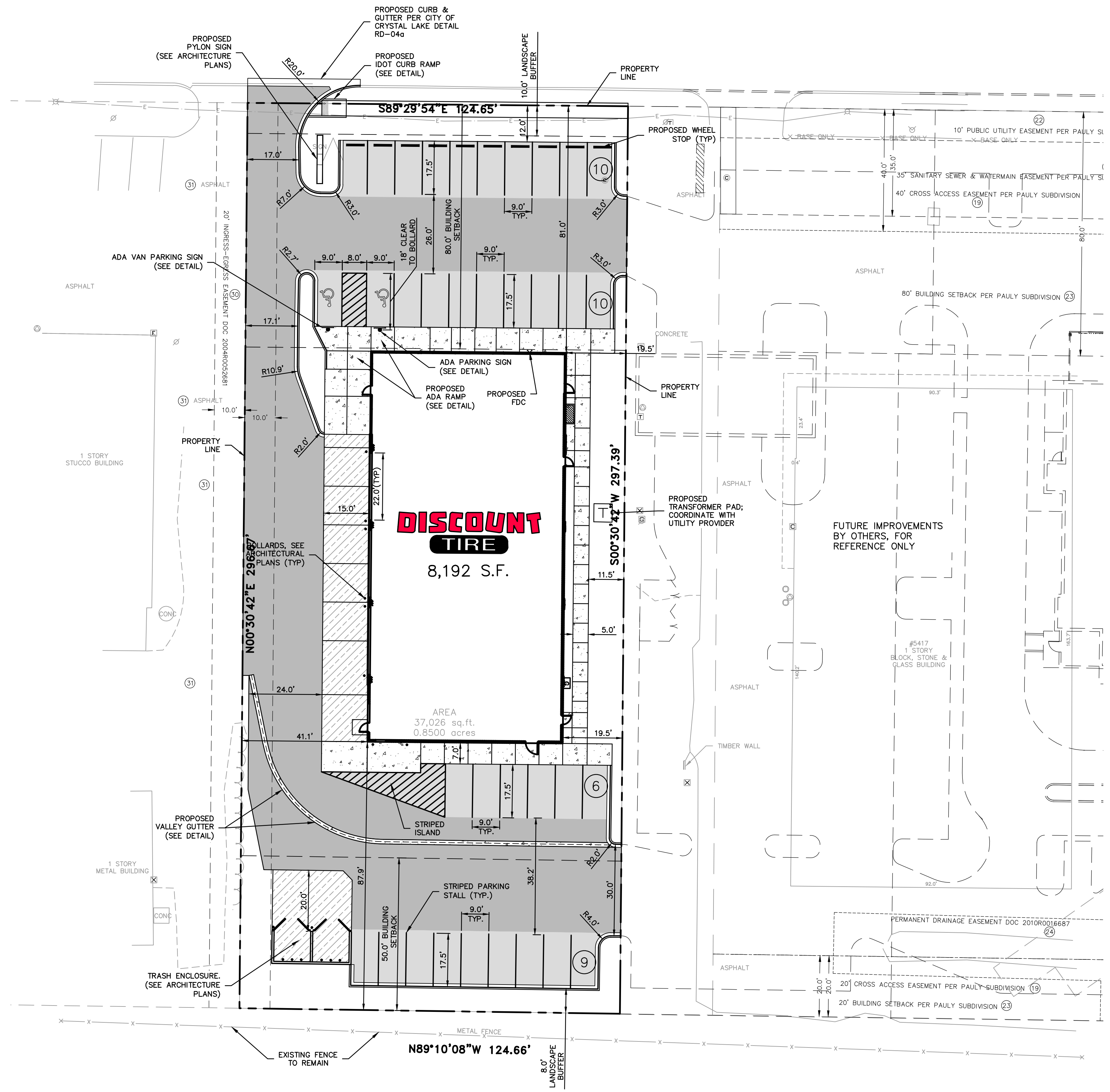
	PROPOSED	REQUIRED
STANDARD SPACES	33	39 (1 PER 300 S.F. + 15 EMPLOYEES)
ACCESSIBLE SPACES	2	2
<b>TOTAL PARKING SPACES</b>	<b>35</b>	<b>41</b>

**SITE STATISTICS**

	SQFT	AC	COVERAGE
PARCEL AREA	37,026	0.85	
EXISTING BUILDING AREA	14,204	0.33	38.4%
EXISTING PERVIOUS AREA	4,490	0.10	12.1%
EXISTING IMPERVIOUS AREA	32,536	0.75	87.9%
PROPOSED BUILDING AREA	8,192	0.19	22.1%
PROPOSED PERVIOUS	4,785	0.11	12.9%
PROPOSED IMPERVIOUS	32,241	0.74	87.1%

FAR: 0.221

- GENERAL NOTES:**
- WHERE NOTED "SEE DETAIL" ON THIS PLAN, DETAILS WILL BE PROVIDED UPON FUTURE SUBMITTAL OF FINAL ENGINEERING PLANS.
  - EXISTING TOPOGRAPHY OBTAINED BY raSmith, DATED 04/25/2019.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF CRYSTAL LAKE EROSION CONTROL ORDINANCE AND STATE OF ILLINOIS TECHNICAL STANDARDS.
  - ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
  - ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL WORK IN THE PUBLIC ROW SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - THE CONTRACTOR SHALL REPLACE ALL SIDEWALK PAVEMENT AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION.



DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Napperville, IL | Pittsburgh, PA | Irvine, CA

**DISCOUNT TIRE - ILC 11882  
CRYSTAL LAKE, ILLINOIS  
DIMENSIONED SITE PLAN**



Know what's below.  
Call before you dig.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF CRYSTAL LAKE EROSION CONTROL ORDINANCE, THE ILLINOIS EPA STORMWATER GENERAL PERMIT AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS, THE MOST STRINGENT TO APPLY.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

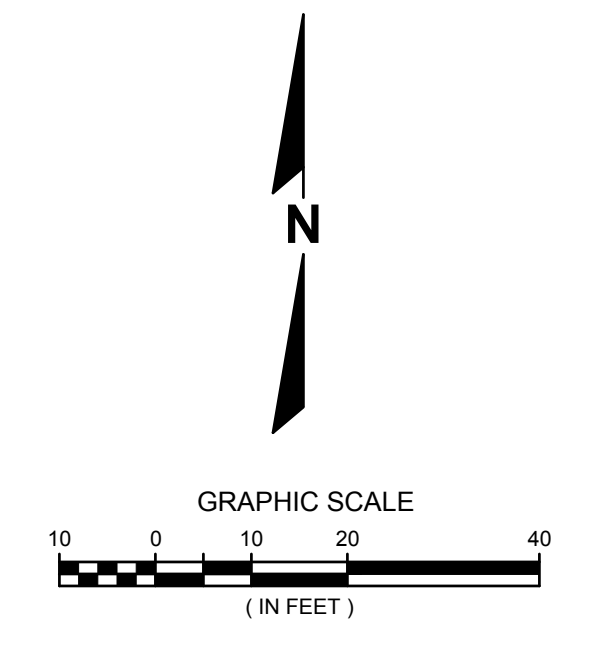
RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

© COPYRIGHT 2019 R.A. Smith, Inc.
DATE: 05/22/2019
SCALE: 1" = 20'
JOB NO. 3190160
PROJECT MANAGER: TODD MOSHER
DESIGNED BY: AWC
CHECKED BY: AJS
<b>SHEET NUMBER</b>
C200

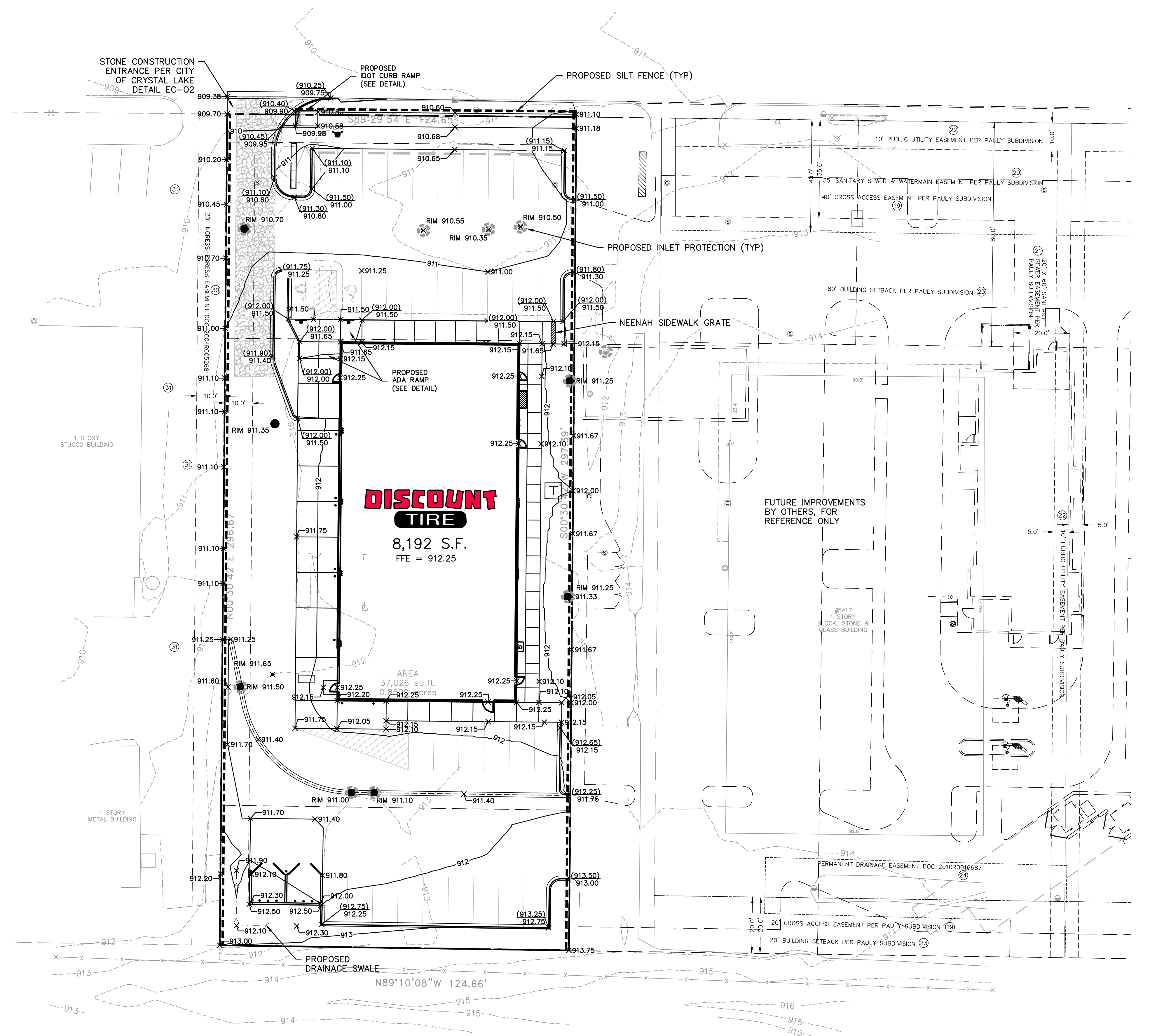


U.S. ROUTE 14 NORTHWEST HIGHWAY  
VARIABLE WIDTH PUBLIC R.O.W.



**LEGEND**

	835
	834
	835
	834
	834.50
	(834.50)
	834.50±
	3.4%



**GENERAL GRADING NOTES**

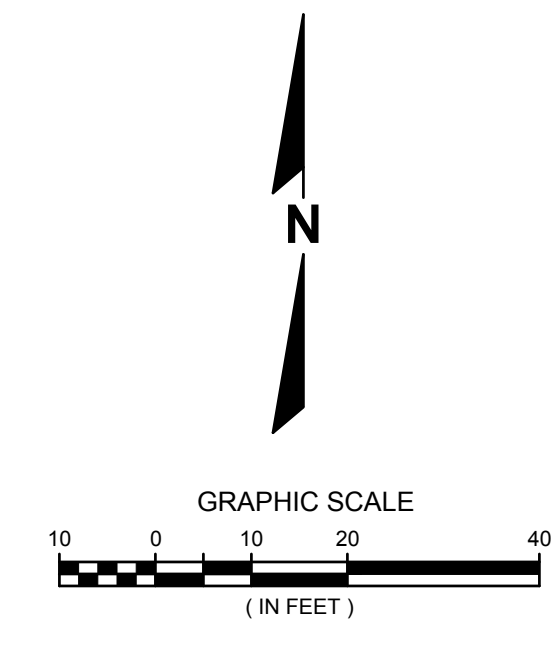
1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED PER LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION BY EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO NEARBY DRAINAGE FACILITIES.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES SHALL BE INSTALLED BEFORE ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL MAINTAIN AND REPAIR THESE FACILITIES THROUGHOUT CONSTRUCTION AND AFTER COMPLETION OF THE PROJECT.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR MAINTAINING AN ACCURATE AS-BUILT RECORD OF ALL GRADING AND EARTHWORK. THIS RECORD SHALL BE SUBMITTED TO THE ENGINEER AND CITY ENGINEER FOR REVIEW AND APPROVAL.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXCAVATING EARTHWORK TO OBTAIN THE PROPOSED BUILDING GRADINGS, AND COMPACTING THE PAVEMENT SUBGRADE, AND PLACING AND FINISHING THE PAVEMENT.
6. NO FILL SHALL BE PLACED ON A WET, FROZEN, OR SATURATED SUBGRADE UNLESS INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE PLACEMENT.
7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT.
8. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND OBTAIN THE NECESSARY PERMITS FROM THE CITY ENGINEER.
9. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
10. ALL STAIRS, RAILS & RETAINING WALLS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE OF STAIR OR WALL AND FOR PROVIDING THE NECESSARY REINFORCEMENT, BACKFILL, COMPACTION AND DRAINAGE AS REQUIRED BY THE MANUFACTURER'S INSTRUCTIONS, THE GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL RETAINING WALL INSTALLATION USING ALL NECESSARY MEANS TO INSURE THE STABILITY OF THE STAIRS, RAILINGS OR RETAINING WALLS.



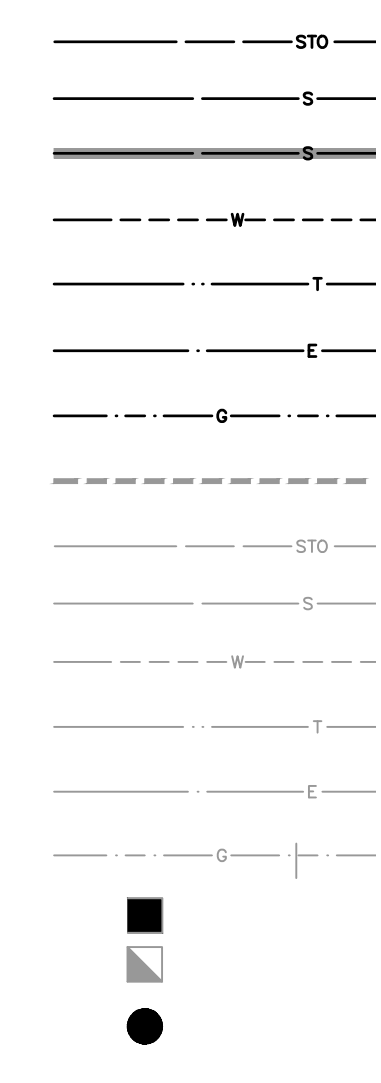
U.S. ROUTE 14

NORTHWEST HIGHWAY

VARIABLE WIDTH PUBLIC R.O.W.

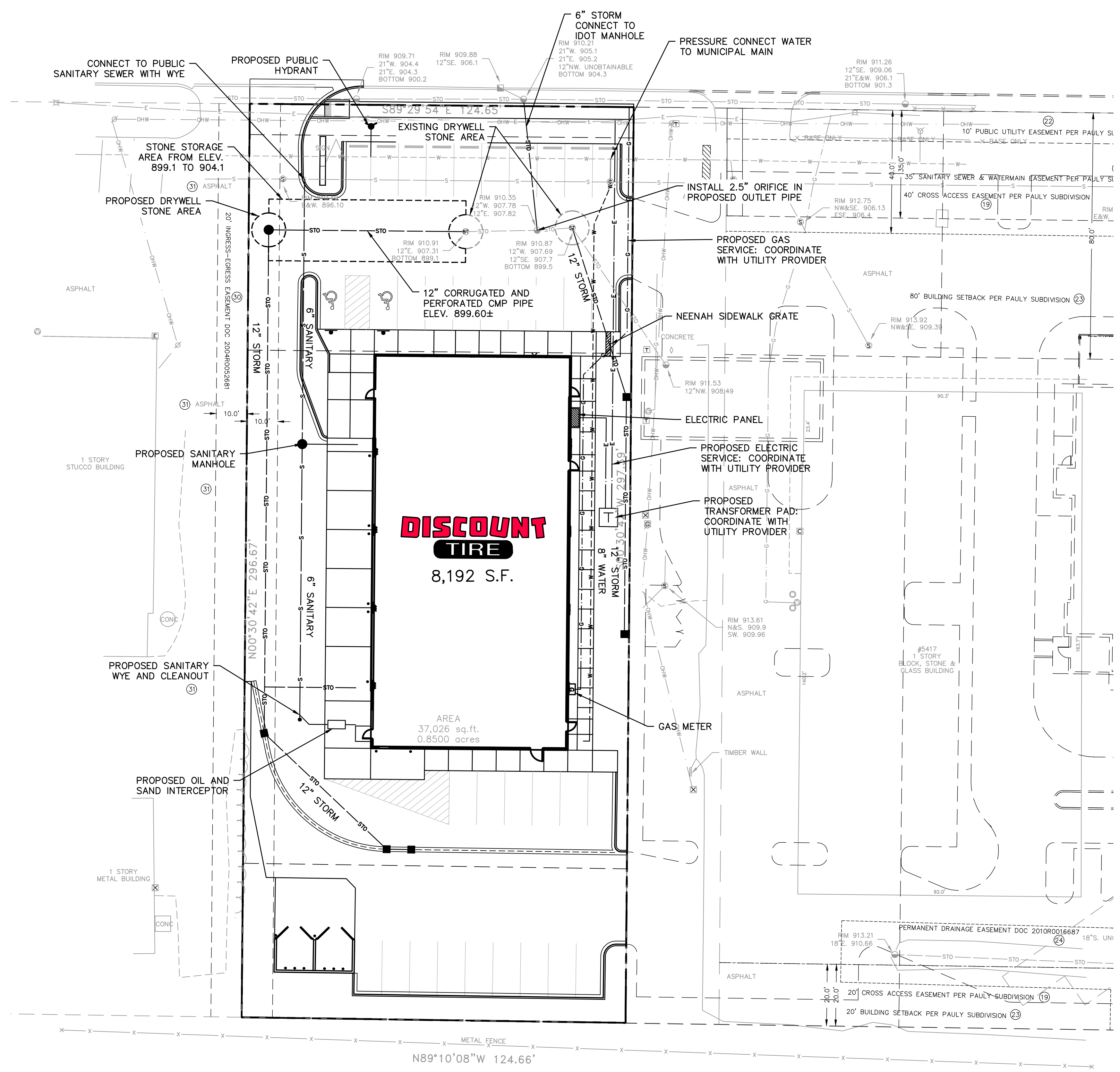


LEGEND



GENERAL NOT

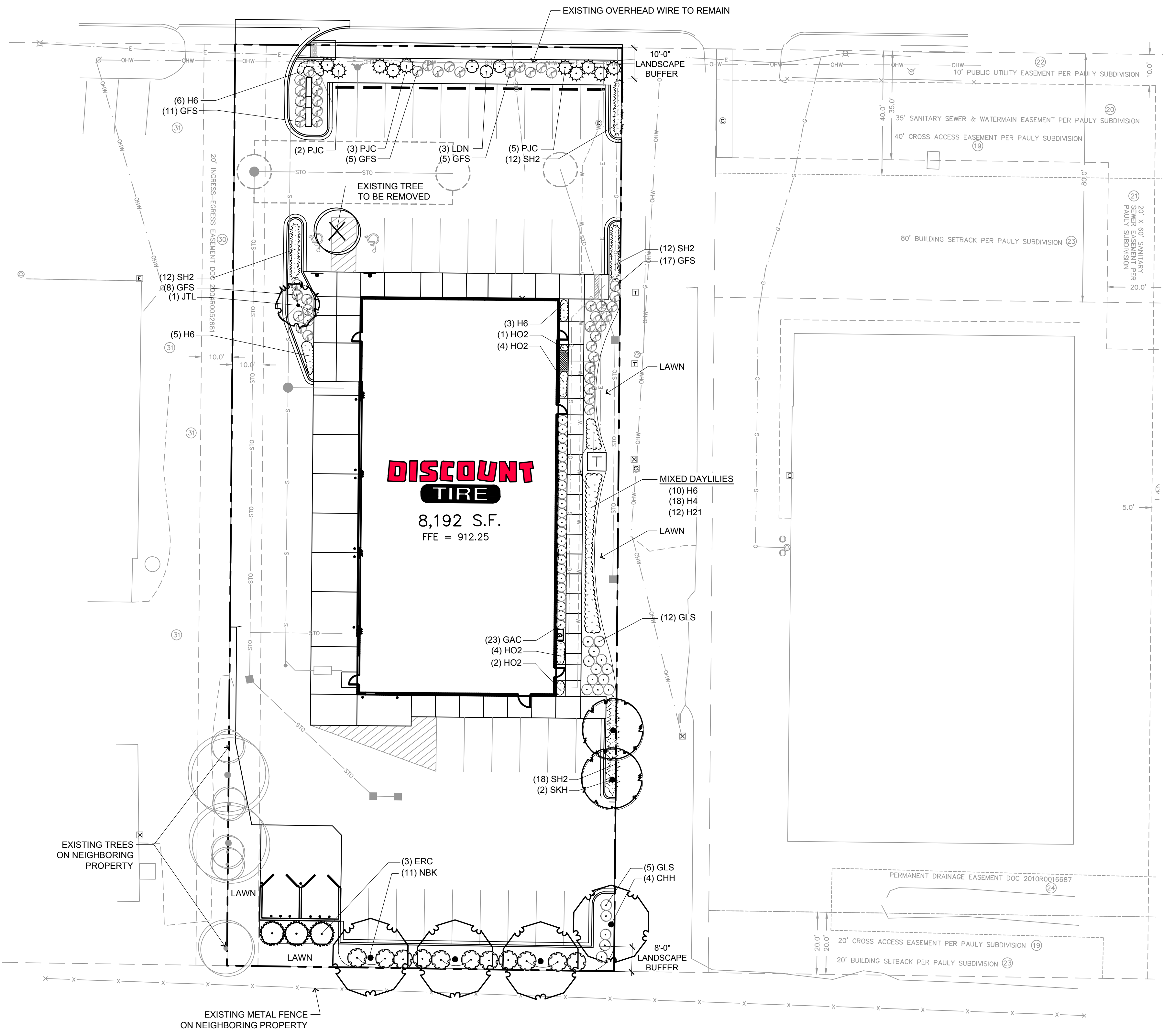
1. BEFORE PROCEEDING CONTRACTOR SHALL POINT OF CONNECT ELEVATION OF ALL
2. CONTRACTOR TO M. WATER LATERAL OF PROVIDE INSULATION AND SEWER CROSSI LESS THAN 2.0'.
3. WATER SERVICE AN CONFORM TO THE : AND SEWER CONSTI
4. PROVIDE GRANULAP PAVED AREAS. PRC OUTSIDE OF PAVED
5. ALL WATER SERVICE MEGALUGS.



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U.S. ROUTE 14 NORTHWEST HIGHWAY



PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CHH	4	Chicago Hardy Hackberry	Celtis occidentalis 'Chicago Hardy'	2 1/2" CAL	B&B	
SKH	2	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2" CAL	B&B	Full, matching heads
ERC	3	Eastern Red Cedar	Juniperus virginiana	6" HT	B&B	Full, matching heads
JTL	1	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2 1/2" CAL	B&B	

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
NBK	11	Ninebark	Physocarpus opulifolius	3" HT	CONT.	
LDN	3	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
GLS	17	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT.	
GAC	23	Green Mound Alpine Currant	Ribes alpinum 'Green Mound'	18" HT	CONT.	
GFS	46	Goldflame Spirea	Spiraea x bumalda 'Goldflame'	18"SPD	CONT.	

EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	10	Kalloy Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18"SPD	CONT.	

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SH2	54	Tara Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	18" Spacing

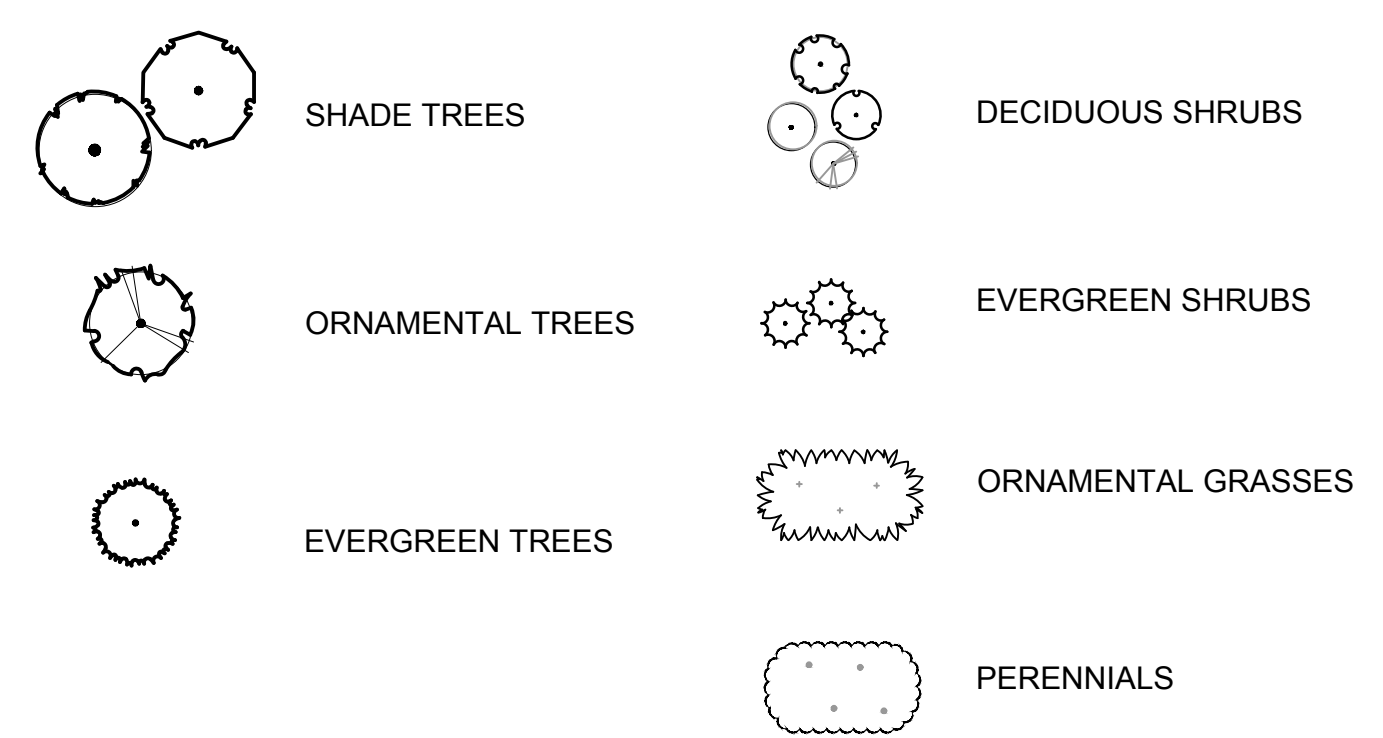
  

PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
H4	18	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4 1/2"	POT	18" Spacing
H2	24	Little Business Daylily	Hemerocallis x 'Little Business'	4 1/2"	POT	24" Spacing
H21	12	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	4 1/2"	POT	18" Spacing
HO2	11	Gold Standard Hosta	Hosta fortunei 'Gold Standard'	4 1/2"	POT	24" Spacing

GENERAL LANDSCAPE NOTES

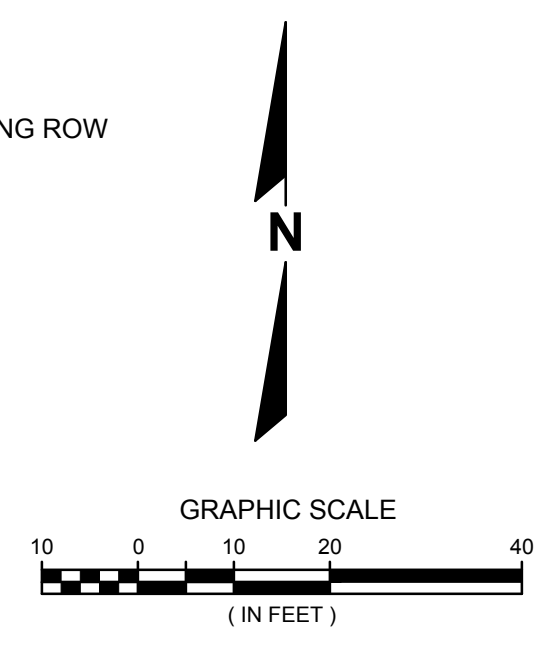
- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.

PLANT SYMBOL KEY



CITY OF CRYSTAL LAKE LANDSCAPE CALCULATIONS

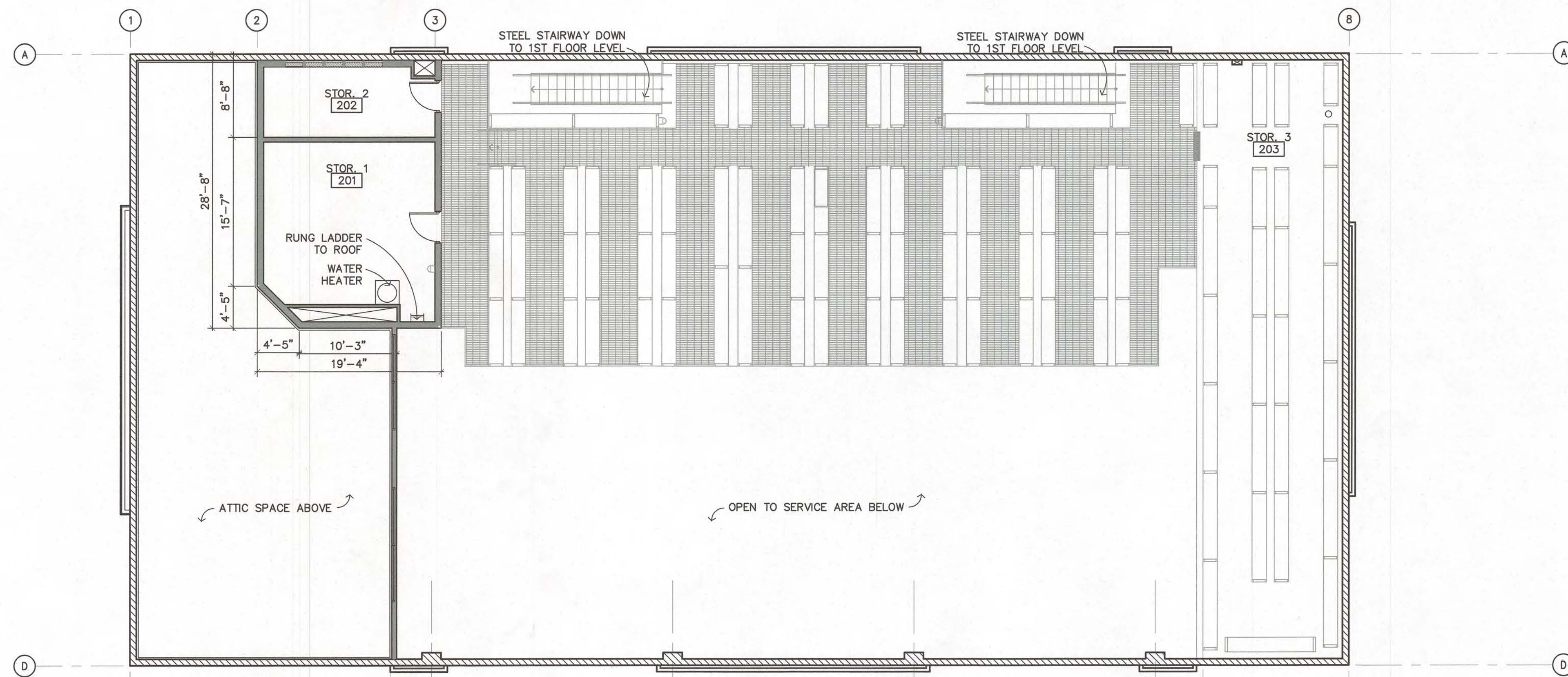
- SECTION 4-300 TREE PRESERVATION**
- TREE TO BE REMOVED IS 10" HONEY LOCUST TREE SPECIES TYPE "A" PERCENTAGE OF DBH TO BE REPLACED 50%
  - EXISTING 10" CAL. LOCUST TREE TO BE REMOVED AND REPLACED WITH (2) 2-1/2" CAL. HACKBERRY TREES
- SECTION 4-400 LANDSCAPING AND SCREENING STANDARDS**
- GENERAL LANDSCAPING REQUIREMENTS
    - MISCELLANEOUS PLACEMENT STANDARDS: PARKWAY TREES SHALL BE 30' FROM OVERHEAD POWER LINES
  - SITE LANDSCAPING : PARKING BETWEEN 10 AND 200 SPACES
    - INTERIOR LANDSCAPE
      - FOR EVERY 10 PARKING SPACES 1 CANOPY OR ORNAMENTAL TREE AND 5 SHRUBS AT ENDS OF PARKING ROW
      - 35 PARKING SPACES PROPOSED
        - REQUIRED: 4 TREES AND 20 SHRUBS
        - PROVIDED: 4 TREES AND 23 SHRUBS
        - NOTE: PROPOSED UTILITIES LIMIT PLACEMENT OF REQUIRED TREES
    - PERIMETER LANDSCAPE FOR PARKING LOTS ABUTTING ROW
      - 15' WIDTH VISUAL SCREEN (10' VISUAL SCREEN PROVIDED, VARIANCE REQUESTED)
      - ONE TREE AND 10 SHRUBS (3HT) FOR EVERY 40 LF
    - 90 LF FRONTAGE PARKING
      - REQUIRED: 3 TREES AND 23 SHRUBS
      - PROVIDED: 0 TREES (OVERHEAD WIRES LIMIT TREE PLACEMENT) AND 23 SHRUBS
    - PERIMETER LANDSCAPE FOR PARKING NOT ABUTTING ROW
      - CONTINUOUS VISUAL SCREEN 8' WIDE, 1 TREE AND 5 SHRUBS (3HT) EVERY 40LF
    - 82 LF REAR PARKING
      - REQUIRED: 3 TREES AND 11 SHRUBS
      - PROVIDED: 3 TREES AND 11 SHRUBS
  - FOUNDATION LANDSCAPING
    - LANDSCAPE AREA PROVIDED ALONG EAST FOUNDATION. ADDITIONAL PLANTINGS HAVE BEEN ADDED EAST OF THE BUILDING IN SUBSTITUTION FOR PAVED AREAS ADJACENT TO THE BUILDING FOUNDATION.
  - GENERAL BUFFERING REQUIREMENTS
    - NO BUFFER REQUIRED, ADJOINING PROPERTIES ARE SAME ZONING DISTRICTS
  - SIGNAGE REQUIRES LANDSCAPE
    - LANDSCAPE PROVIDED AT BASE OF SIGN



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DESCRIPTION					
DATE					
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com					
CREATIVITY BEYOND ENGINEERING Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI   Cedarburg, WI Mount Pleasant, WI   Napperville, IL   Pittsburgh, PA   Irvine, CA					
<b>DISCOUNT TIRE - ILC 11882</b> <b>CRYSTAL LAKE, ILLINOIS</b> <b>LANDSCAPE PLAN</b>					
© COPYRIGHT 2019 R.A. Smith, Inc. DATE: 05/22/2019 SCALE: 1" = 20' JOB NO. 3190160 PROJECT MANAGER: TODD MOSHER DESIGNED BY: NJW/ALS CHECKED BY: LH <b>SHEET NUMBER</b> L100					





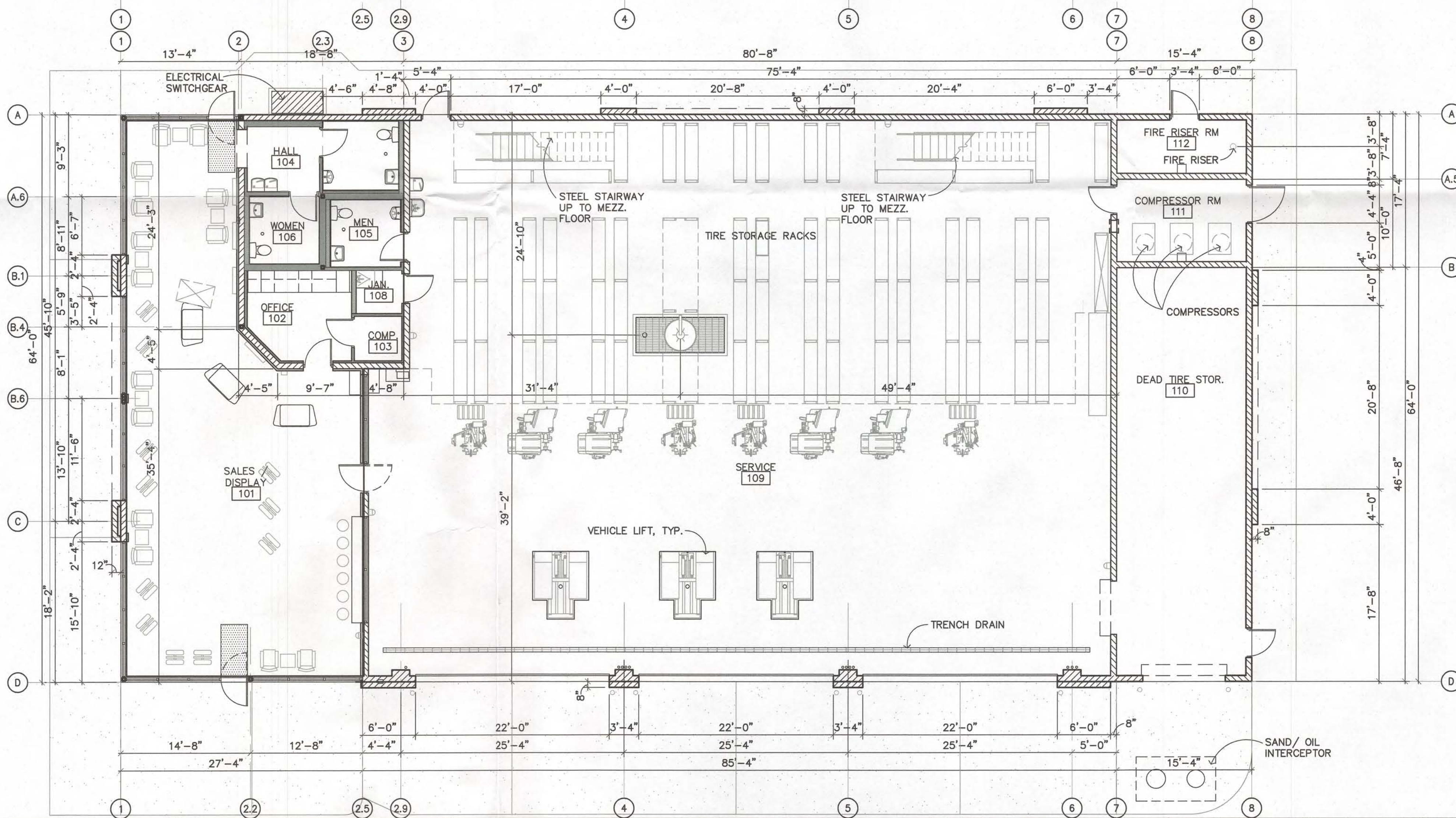
**Building Area Breakdown**

GROUND FLOOR AREA	
'M' OCCUPANCY:	
SALES / DISPLAY	1,295.46 S.F.
OFFICE	113.33 S.F.
COMPUTER	26.68 S.F.
HALL	62.68 S.F.
MEN	65.86 S.F.
WOMEN	59.12 S.F.
EMPLOYEE	59.12 S.F.
JANITOR ROOM:	25.40 S.F.
'S-1' OCCUPANCY:	
SERVICE	5128.06 S.F.
RECYCLE TIRE	674.72 S.F.
COMPRESSOR ROOM	136.89 S.F.
FIRE RISER ROOM	88.00 S.F.
(NET AREA/USABLE) 7,735.54 S.F.	
TOTAL GROUND FLOOR AREA: 8,192 S.F.(BLDG. FOOTPRINT)	
MEZZANINE LEVEL AREA:	
'S-1' OCCUPANCY:	
STORAGE # 1:	320.14 S.F.
STORAGE # 2:	131.32 S.F.
STORAGE # 3:	908.86 S.F.
WALKING GRATE:	1372.83 S.F.
(NET AREA/USABLE) 2,733.17 S.F.	



**CONCEPTUAL MEZZ. FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**CONCEPTUAL 1ST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**ALT - 1L**

**REV:**  
**DATE: 05.21.19**  
**JOB # A.1904091**



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**CONCEPTUAL FLOOR PLANS**

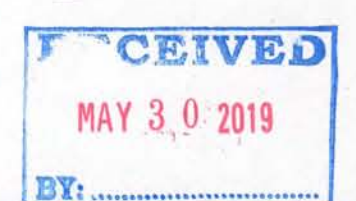
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**Sheet No.**

**A.1**







**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

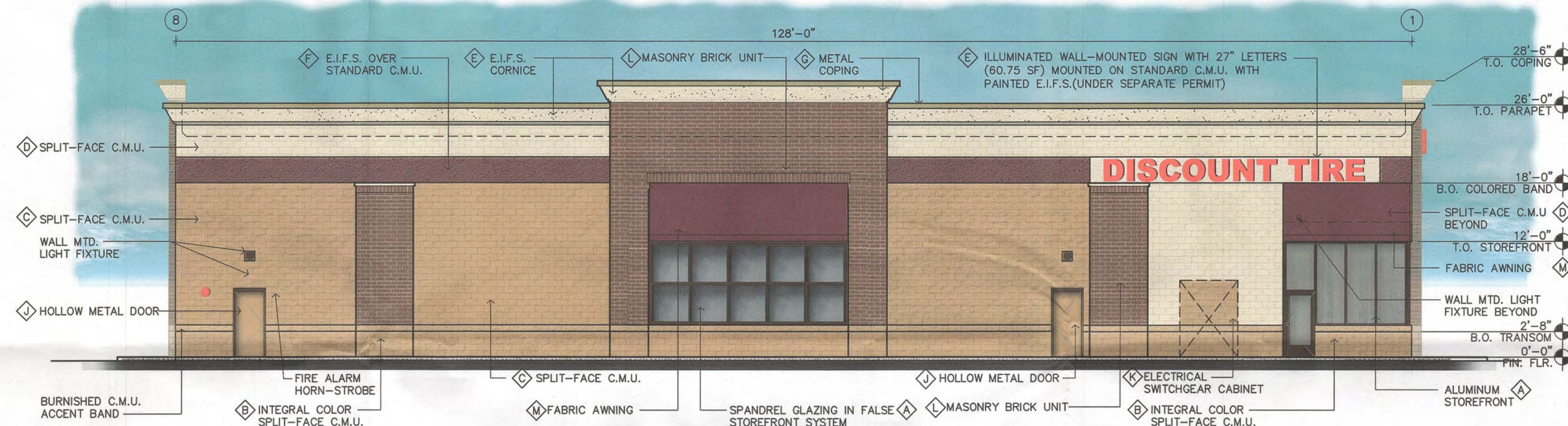


**NORTH ELEVATION ( NORTHWEST HIGHWAY )**

SCALE: 1/8" = 1'-0"

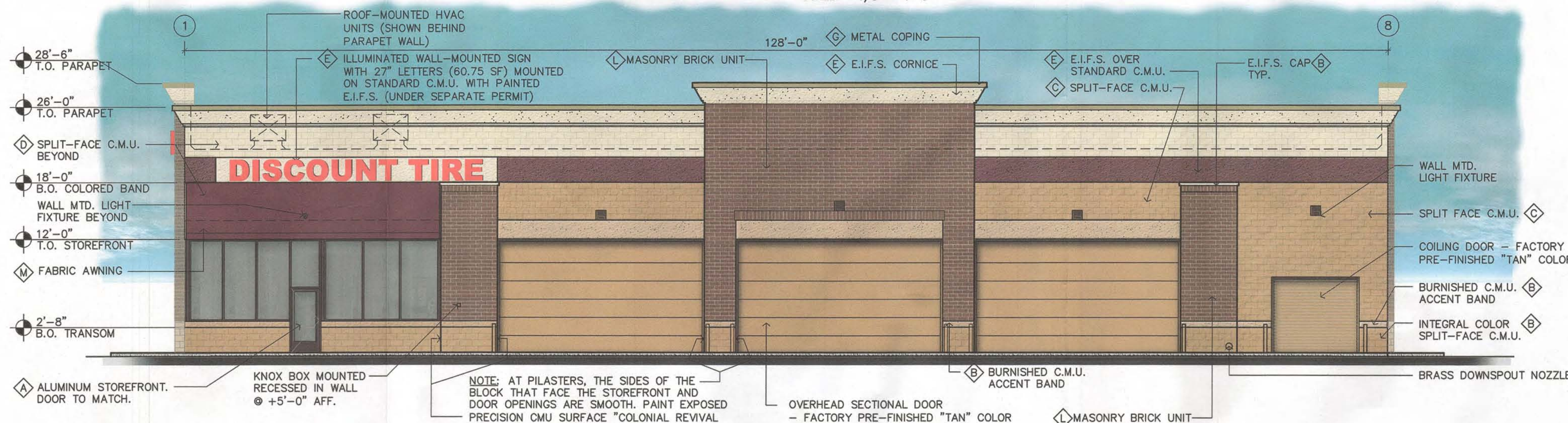
**FINISH LEGEND**

- ⊠ MANUFACTURER'S STANDARD COLOR TO MATCH "ANODIZED DARK BRONZE"
- ⊠ INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "COLONIAL REVIVAL STONE"
- ⊠ GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS SW#2827 "COLONIAL REVIVAL STONE"
- ⊠ GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS SW#6119 "ANTIQUÉ WHITE"
- ⊠ E.I.F.S. - PAINTED TO MATCH SHERWIN WILLIAMS SW#6119 "ANTIQUÉ WHITE"
- ⊠ E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
- ⊠ METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
- ⊠ STEEL/ E.I.F.S. - PAINTED TO MATCH SHERWIN WILLIAMS SW#2827 "COLONIAL REVIVAL STONE"
- ⊠ STEEL BOLLARDS - PAINTED TO MATCH "COLONIAL REVIVAL STONE"
- ⊠ HOLLOW METAL DOORS - PAINTED TO MATCH "COLONIAL REVIVAL STONE"
- ⊠ ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "COLONIAL REVIVAL STONE"
- ⊠ MASONRY BRICK UNIT (STRUCTURAL/FACE BRICK) -BY QUIKBRICK" 4"HIGH UNITS "RICHFIELD" WITH STD GRAY GROUT COLOR
- ⊠ FABRIC AWNING IN STEEL FRAMES - BY SUNBRELLA COLOR: "BURGUNDY"



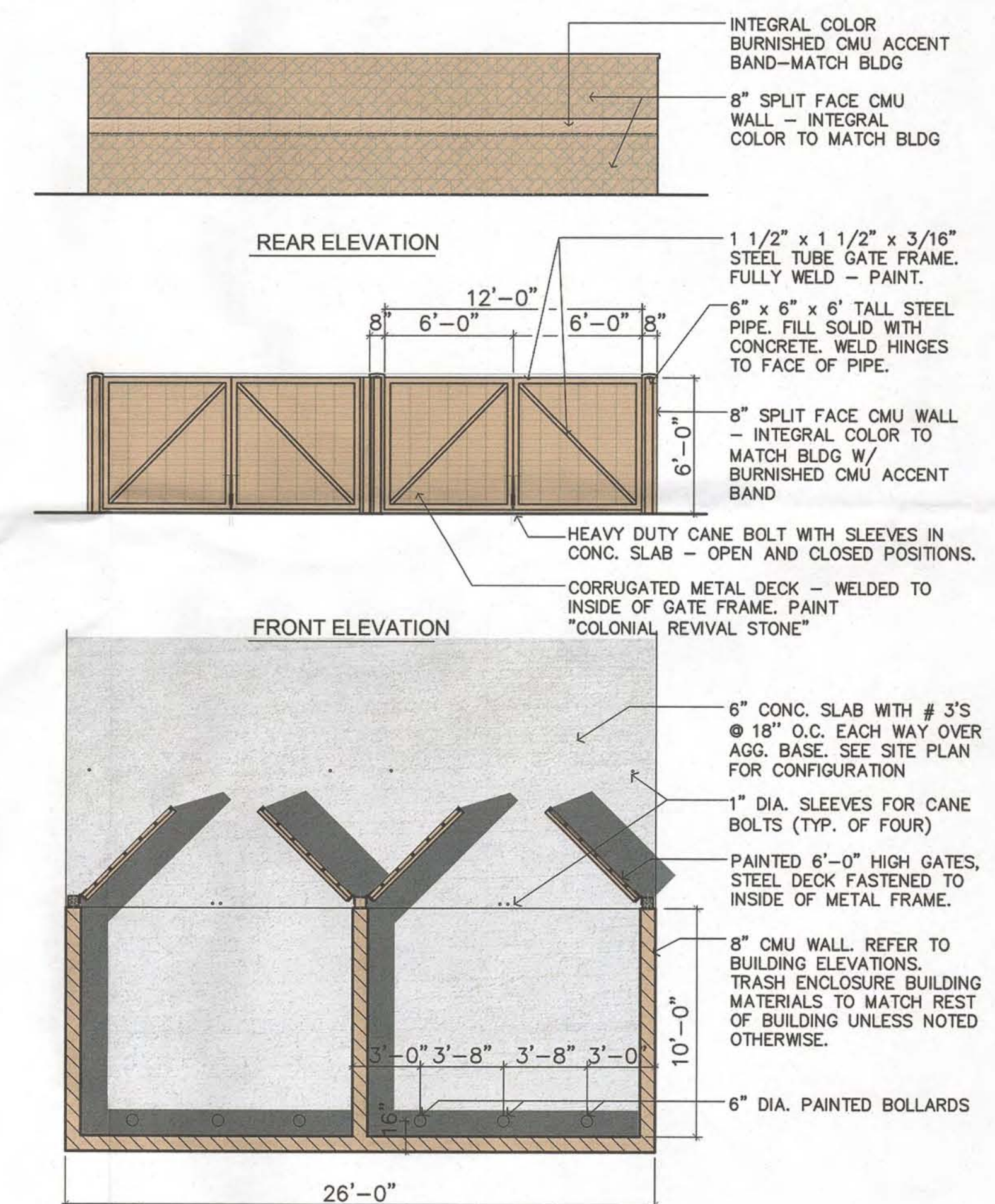
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**TRASH ENCLOSURE PLAN / ELEVATIONS**

3/16" = 1'-0"

**REV:**  
**DATE: 05.22.19**  
**JOB # A.1904091**

**ALT - 1L**



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**CONCEPTUAL COLORED ELEVATIONS**

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**Sheet No.**

**A.3**