



**#2019-127**

## **Crystal Point Final PUD Amendment - Helzberg Project Review for Planning and Zoning Commission**

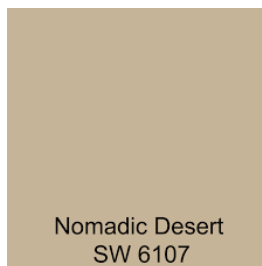
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<b><u>Meeting Date:</u></b>	August 21, 2019
<b><u>Request:</u></b>	Final Planned Unit Development Amendment to allow exterior changes to the building signage and facade.
<b><u>Location:</u></b>	5750 Northwest Highway
<b><u>Acreage:</u></b>	4,315 square foot outlot building
<b><u>Existing Zoning:</u></b>	B-2 PUD General Commercial
<b><u>Surrounding Properties:</u></b>	North: B-2 PUD General Commercial South: B-2 PUD General Commercial East: B-2 PUD General Commercial West: B-2 PUD General Commercial
<b><u>Staff Contact:</u></b>	Elizabeth Maxwell (815.356.3615)

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### **Background:**

- The Crystal Point Shopping Center was built and annexed to Crystal Lake in the 1970s. It started as an enclosed mall with various stores and parking on both sides of the buildings. Today it is occupied by big box tenants such as Steinhafel's, TJ Maxx, Best Buy, Bed, Bath & Beyond and Ulta.
- This outlot building was recently altered with a new corner parapet and top cornice with corner brick columns, creating a pronounced entry for a new tenant. The top cornice is a darker color Nomadic Desert with the main parapet and sign band area in Divine White.



- Helzberg is planning to repaint the exterior, as well as, add a decorative metal frame element to cover the brick corner column.

**Development Analysis:**

**Land Use/Zoning**

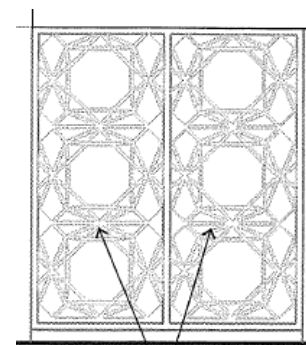
- The site is zoned B-2 PUD General Commercial. This is the most appropriate zoning district for retail uses.
- The land use map shows the area as Commerce. This is an appropriate land use designation for retail development.

**Building Elevations:**

- Helzberg is proposing changes to the façade colors. The parapet sign area would change from Divine White to an off-white color to be determined. The top cornice would change from Nomadic Desert to an off-white color to be determined. The existing Nomadic Desert is a tan color and contrasts nicely with the Divine white of the main parapet. Staff would recommend a contrasting color to the cornice rather than everything being an off-white. This would also tie this end unit with the rest of the building, which would retain the Nomadic Desert cornice color.
- A brick corner column was created at the main entry, this would be modified with a painted panel lit by LED lighting. Over the top of this panel would be the metal decorative framework.
- Helzberg is proposing LED lighting outlining the door and window areas, under the top cornice, and behind the white decorative metal framework. Lighting outlining windows and doors or lighting illuminating entire sections of the building is not permitted. The illumination of the decorative column element would be considered an architectural element and would be permitted. Staff suggests removing all of this lighting from around the doors, windows and cornice. Lighting under the awnings illuminating the window bays would also not be permitted.
- The windows along the side elevations would be spandrel glass, which would be opaque.

**Signage:**

- The wall signage is divided for two tenants, allowing 75 square feet for each tenant with no more than 50 square feet per sign, or 75 square feet per facade.
- The plans illustrates three signs, one on each façade. The two main signs are 68 square feet each. The third sign is 26 square feet. Helzberg is requesting a variation to allow 83 square feet of additional signage on their tenant space.
- Window signage is permitted to be 25% of the total window and door area. For reference, the illustrated graphics are considered 100% coverage of this window bay.



100% coverage

**Findings of fact:**

**FINAL PLANNED UNIT DEVELOPMENT AMENDMENT**

The petitioner is requesting approval of a Final Planned Unit Development to allow the changes to the exterior façade and signage. The proposed changes reflect a new branding for Helzberg Diamonds. As part of the PUD amendment, the petitioner is requesting variations.

**PLANNED UNIT DEVELOPMENT VARIATION**

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variations from the UDO:

- 1) Article 4-800 Exterior Lighting. Architectural Lighting: Lighting may be used only to accentuate an architectural or aesthetic element of the building, not illuminate the entire building or portions of buildings. Lighting used for outlining windows, doors, rooflines or buildings is considered prohibited lighting. **Helzberg is proposing LED lighting under the top cornice and around the door and window areas. This UDO requirement has been consistently enforced and it is recommended to remove the LED exterior lighting except for on the column.**
  
- 2) Article 4-1000 Signs. Free-standing buildings are permitted a total of 150 square feet of signage, with it being divided up to 75 square feet per tenant space. Helzberg is proposing three signs, two at 68 square feet and one at 26 square feet, for a total of 158 square feet of signage. **This is a variation of 83 square feet. Staff would suggest reducing the size of the two main signs to 50 square feet each, which would reduce the variation to 51 square feet.**

**Comprehensive Land Use Plan 2030 Summary Review:**

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future homes. The following goals are applicable to this request:

Land Use - Commerce

**Goal:** Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Lane Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

**Supporting Action:** Promote, retain and attract businesses that provide a diverse tax base.

Economic Development – Grow the City’s Tax Base

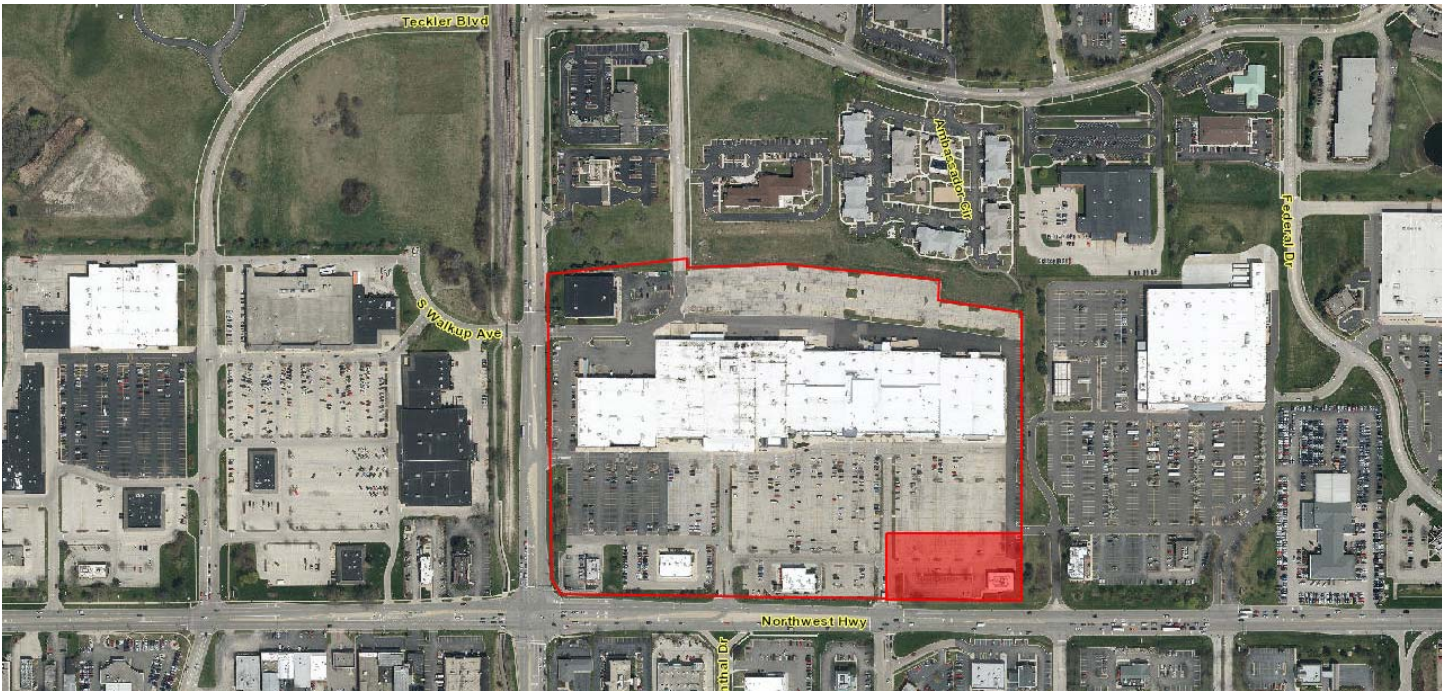
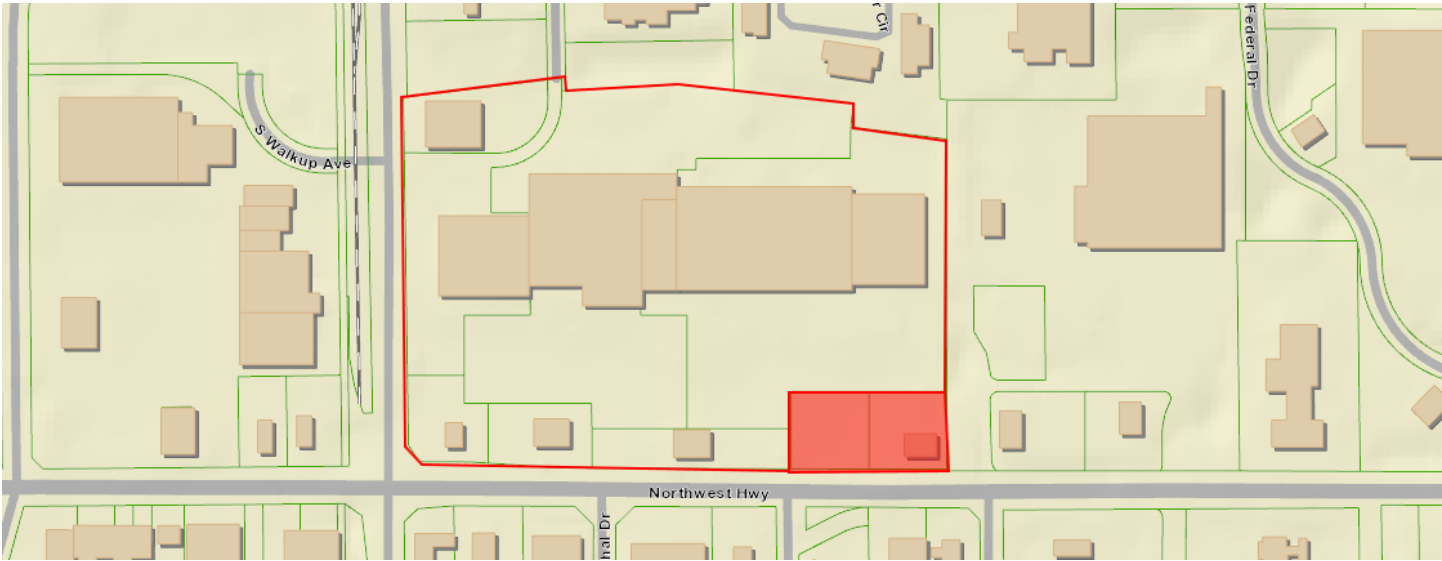
**Goal:** Establish economic development practices that recruit new businesses and retain existing businesses and allow for the ease to redevelop vacant centers.

**Recommended Conditions:**

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (HC Klover Architect, received 07/29/19)
  - B. Architecture Plans (HC Klover Architect, dated 07/26/19, received 07/29/19)
  - C. Elevation Renderings (HC Klover Architect, dated 07/25/19, received 07/29/19)
2. The overall planned unit development approval and all subsequent amendments are still in effect unless modified by this ordinance.
3. All LED lighting, tape lighting and lighting surrounding windows, doors or outlining the cornice shall be removed. Also, no lighting under the awnings is permitted.
4. All window signage shall meet the maximum 25% coverage for the tenant space.
5. Work with staff to create a darker top cornice color, either retaining the Nomadic Desert or a new color which would complement both the remaining building’s cornice and Helzberg’s design.
6. Reduce the wall signage to 126 square feet, with the two main signs at 50 square feet each.
7. The petitioner must address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments.

PLN-2019-00127 Helzberg Diamonds - 5750 Northwest Hwy - Final PUD Amendment



**City of Crystal Lake  
Development Application**

Office Use Only

File #

PLN-2019-00127

Project Title: Helzberg Diamonds

**Action Requested**

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                       | <input checked="" type="checkbox"/> Preliminary PUD      |
| <input type="checkbox"/> Comprehensive Plan Amendment     | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input checked="" type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Final PUD                        | <input type="checkbox"/> Special Use Permit              |
| <input type="checkbox"/> Final PUD Amendment              | <input type="checkbox"/> Variation                       |
| <input type="checkbox"/> Final Plat of Subdivision        | <input type="checkbox"/> Other                           |

**Petitioner Information**

Name: H.C. Klover Architect

Address: 10965 Lowell Ave. Suite 700  
Overland Park, KS 66210

Phone: 913.649.8181

Fax: 913.649.1275

E-mail: HCPERMITTING@KLOVER.  
NET

**Owner Information (if different)**

Name: Helzberg Diamonds

Address: 1825 Swift  
North Kansas City, MO 64116

Phone: 816.627.1543

Fax: \_\_\_\_\_

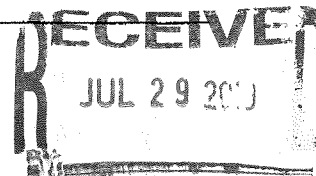
E-mail: PRWELLMAN@HELZBERG.COM

**Property Information**

Project Description: Exterior alteration of a new Helzberg  
Diamonds store. Work to include new paint, new signage,  
facet metal panels, and new trim elements.

Project Address/Location: 5750 Northwest Hwy, unit A  
6000 Northwest Highway, Suite 100  
Crystal Lake, IL 60014

PIN Number(s): \_\_\_\_\_



Please include address, phone, fax and e-mail

**Development Team**

Developer: \_\_\_\_\_

Architect: HC Klover Architect 11955 Leupold Ave Suite 100 Overland Park, KS 66210  
(T) 913.649.8181 HC.PERMITTING@KLOVERZ.NET

Attorney: \_\_\_\_\_

Engineer: RTM ENGINEER 9255 Indian Creek Parkway Suite 1075 Overland Park, KS 66210  
(T) 913.303.0031 Brad.KRIBER@RTMASOCIATES.COM

Landscape Architect: \_\_\_\_\_

Planner: \_\_\_\_\_

Surveyor: \_\_\_\_\_

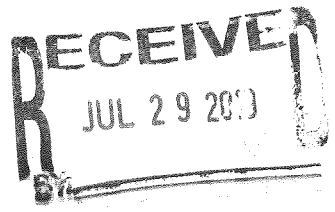
Other: \_\_\_\_\_

**Signatures**

[Signature] \_\_\_\_\_ Date 7-29-19  
PETITIONER: Print and Sign name (if different from owner)

As owner of the property in question, I hereby authorize the seeking of the above requested action.  
[Signature] \_\_\_\_\_ Date 7-23-19  
OWNER: Print and Sign name

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



Notice Publish Date:

Friday, August 02, 2019

**Notice Content**

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE PETITION OF Helzberg Diamonds LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by HC Klover Architect representing Helzberg Diamonds, for a Final Planned Unit Development Amendment, relating to the property at 5750 Northwest Highway in Crystal Lake, Illinois 60014. PIN: 19-04-351-016. This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow changes to the exterior facade and wall signs for the outlot building pursuant to Article 4 and Article 9 of the Unified Development Ordinance. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday August 21, 2019, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Tom Hayden, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald August 2, 2019) 1689422

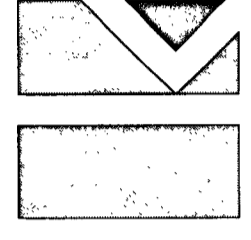
[Back](#)



# HELZBERG DIAMONDS

CRYSTAL POINT  
6000 NORTHWEST HWY, SUITE 100  
CRYSTAL LAKE, IL 60014  
STORE #626  
PLANNING SUBMITTAL

hckloverarchitect  
10955 LOWELL AVENUE, SUITE 700 • OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275 • www.hcklover.net



THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT, OR PREPARED UNDER HIS DIRECT SUPERVISION AND ON HIS BEHALF. THE ARCHITECT ASSUMES RESPONSIBILITY FOR THE EXISTING BUILDING STRUCTURE, ITS CONDITIONS, EXISTING CONSTRUCTION ELEMENTS, OR ANY DOCUMENTS, DRAWINGS OR OTHER INSTRUMENTS USED FOR ANY PART OF THIS PROJECT WHICH DO NOT BEAR THE ARCHITECT'S SEAL. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE INFORMATION CONTAINED HEREIN. ANY REPRODUCTION, USE, OR DISCLOSURE OF THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

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RELATED DOCUMENTS: This Drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other Drawings may affect the Work described. Failure to review and accept the scope of the Work of the Contract Documents does not relieve the Contractor from providing a complete Project.

OWNER WILL OBTAIN, MAINTAIN AND PROVIDE ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE INFORMATION CONTAINED HEREIN. ANY REPRODUCTION, USE, OR DISCLOSURE OF THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

VERY IMPORTANT: Conditions and documents prior to construction. Commencement of work constitutes acceptance and approval of all existing conditions. Approval of a material or equipment does not constitute approval of the entire project. The Contractor shall be responsible for satisfactory installation.

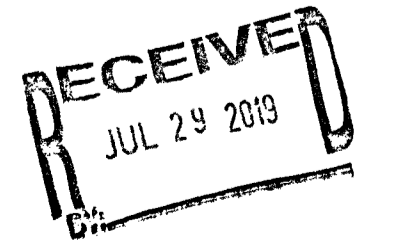
DISCREPANCIES: In the event of a conflict between these documents, the CONTRACTOR'S NOTES, the drawings shall prevail over the specifications. Do not work the drawings. The contractor shall be responsible for resolving conditions and discrepancies. Report discrepancies during the construction process and before start of construction. Do not work the drawings. The contractor shall be responsible for satisfactory installation.

PROJECT TITLE

HELZBERG  
DIAMONDS  
#626, NG-OM  
CRYSTAL POINT  
6000 NORTHWEST HWY, SPACE #100  
CRYSTAL LAKE, IL 60014

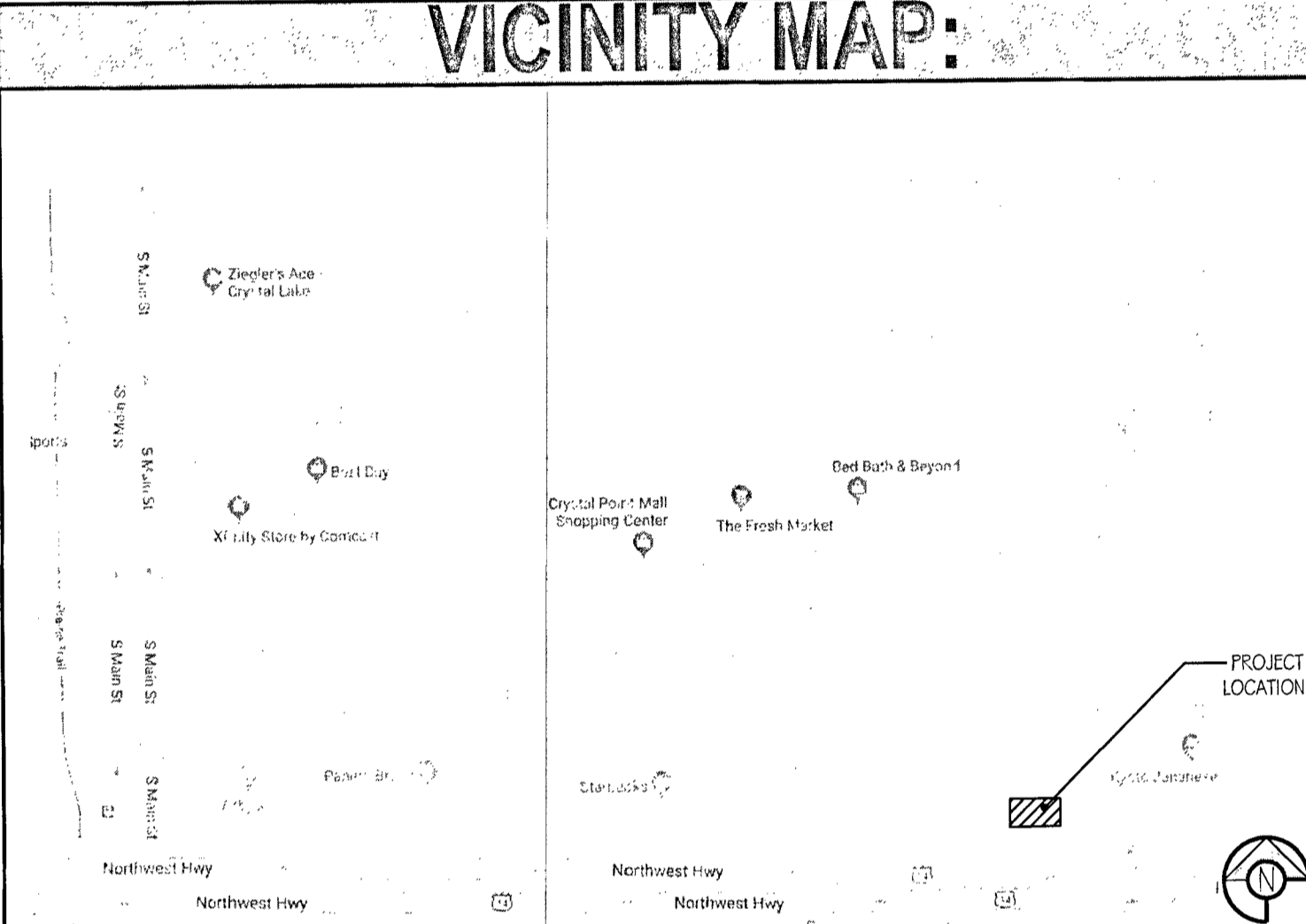
project number 18007.031  
drawing issuance  
PUD 7.26.19  
drawing revisions  
Date: Description:  
professional seal

STATE OF ILLINOIS  
HENRY C. KLOVER  
LICENSED ARCHITECT  
DATE SIGNED JUL 26 2019  
EXPIRATION DEC 31 2019  
drawing title  
COVER SHEET # INDEX  
drawing number  
CVR



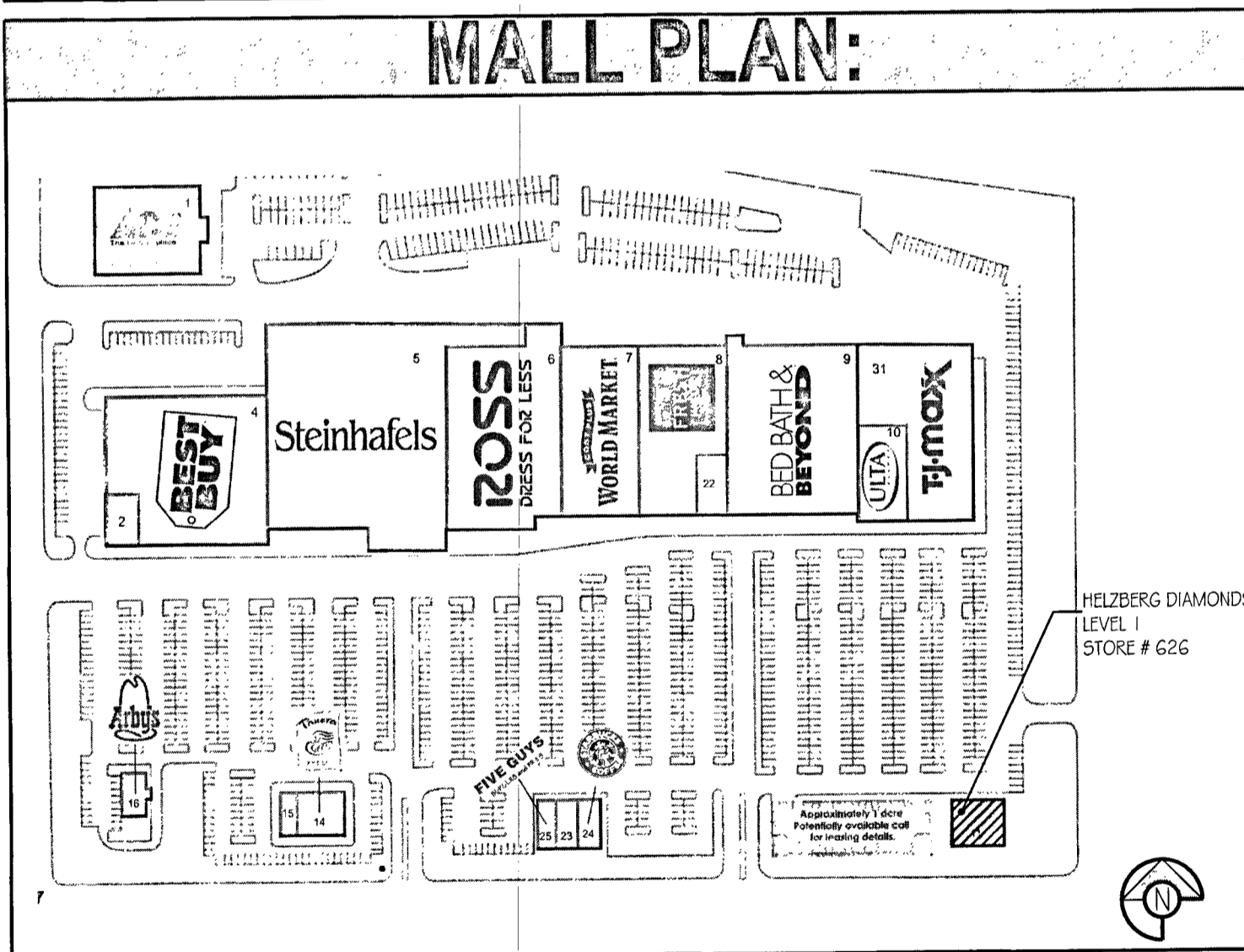
### MATERIALS LEGEND:

BRICK	FINISH WOOD	CONCRETE BLOCK	BATT INSULATION
CONCRETE	PLYWOOD	EARTH	GYPSUM BOARD
GRAVEL	STEEL	SAND	RIGID INSULATION
WOOD BLOCKING	DIMENSIONAL LUMBER	METAL STUD WALL	



### STANDARD DRAWING SYMBOLS:

WALLTYPE TAG	NORTH ARROW INDICATOR	COLUMN GRID BUBBLE AND LINE
DOOR TAG	DRAWING KEYNOTE TAG	ELEVATION HEIGHT TAG
FINISH NOTE TAG	CEILING MATERIAL AND HEIGHT TAG	DETAIL BOX TAG
REVISION TAG	ROOM NAME AND NUMBER TAG	DETAIL CIRCLE TAG
DEMOLITION TAG	4-WAY ELEVATION TAG	
SECTION CUT TAG		
ELEVATION TAG		



### STANDARD ABBREVIATIONS:

AFF Above Finished Floor	FBO Furnished by Others	FL Plate	PLM Plastic Laminat
ACT Acoustical Ceiling Tile	FD Floor Drain	PLUM Plumbing	PLYG Plywood
ACOUST Acoustical	FE Fire Extinguisher	PLUMB Plumbing	PLUMB Panel
ADJ Adjustable	FEC Fire Extinguisher Cabinet	PANL Panel	PREP Preparation
AHJ Authority Having Jurisdiction	FFE Furniture, Fixtures & Equipment	PREP Preparation	PREFIN Prefinished
ALUM Aluminum	FIN Finish	PREFIN Prefinished	PTD Painted
AMB Air-moisture barrier	FLR Floor	PTD Painted	QTY Quantity
ANC Anchor	FLR Fiberglass Reinforced Plastic	QTY Quantity	RA Return Air
ANOD Anodized	FRK Fire Retardant Treated	RA Return Air	RAD Radius
ARCH Architectural	FSE Fire Service Equipment	RAD Radius	REF Reference
ASBY Assembly	FT Feet	REF Reference	RECP Receipt
BD Board	FV Field Vents	RECP Receipt	REFL Reflective
BFG Below Finished Grade	GA Gage	REFL Reflective	REFR Reinforcing
BIF Below Finished Floor	GALV Galvanized	REFR Reinforcing	RELOC Relocate
BLDG Building	GC General Contractor	RELOC Relocate	REOD Reopened, Reversed
BLKG Blocking	GL Glass	REOD Reopened, Reversed	REV Revision
BM Beam	GYP BD Gypsum Board	REV Revision	RO Rough Opening
BOT Bottom	HC Hollow Core	RO Rough Opening	RTU Roof Top Unit
BRG Beaming	HM Hollow Metal	RTU Roof Top Unit	SC Solid Core
BS Both Sides	HT Height	SC Solid Core	SF Square Foot
BTVN Between	HDWD Hardwood	SF Square Foot	SHT Sheet
CB Cabinet	HR Center Line	SHT Sheet	SHTI Sheathing
CJ Control Joint	HVAC Heating, Ventilation and Air Conditioning	SHTI Sheathing	SS Stainless Steel
CL Ceiling	IN Inch	SS Stainless Steel	SCHED Schedule
CLD Closet	INSUL Insulation, Insulate	SCHED Schedule	SIM Similar
CR Concrete Masonry	INT Insulator	SIM Similar	SPEC'D Specified
CAU Unit	IST Joint	SPEC'D Specified	STD Standard
COL Column	LAM Laminated	STD Standard	STR Steel
COIC Concrete	LAV Laboratory	STR Steel	STRUCT Structural
CONT Continuous	LLH Long Leg Horizontal	STRUCT Structural	SUSP Suspended
COHST Construction, Construct	LLV Long Leg Vertical	SUSP Suspended	TEMP To be determined
CT Ceramic Tile	MANUF Manufacturer	TEMP To be determined	T&B Top and Bottom
DBL Double	MAX Maximum	T&B Top and Bottom	TYP Typical
DEMO Demolition	MCH Mechanical, Electrical, and Plumbing	TYP Typical	VCT Vinyl Composition
DIA Diameter	MILL Millwork	VCT Vinyl Composition	VERT Vertical
DN Down	MIN Minimum	VERT Vertical	VWC Vinyl Wall
DR Door	MISC Miscellaneous	VWC Vinyl Wall	W Covering
DS Downspout	MO Masonry Opening	W Covering	W/ Without
DTL Detail	MTD Mounted	W/ Without	WC Water Closet
DWG Drawing	MUL Mulled	WC Water Closet	WD Wood
EA Each	NC Not in Contract	WD Wood	WH Water Heater
EAF Exterior Insulation and Finish System	NOM Nominal	WH Water Heater	WIND Window
EFS Fresh System	NOS Not To Scale	WIND Window	WIP Waterproofing or Waterproo
EF Exhaust Fan	OD Outside Diameter	WIP Waterproofing or Waterproo	W/SC Waterproo
EJ Expansion Joint	OFCI Owner Furnished, Contractor Installed	W/SC Waterproo	W/SC Waterproo
EL Elevation	OPG Optional	W/SC Waterproo	W/SC Waterproo
ELEC Electrical	OTS Open to Structure	W/SC Waterproo	W/SC Waterproo
ELEV Elevation	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
EQ Equal	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
EQUIP Equipment	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
EW Electric Water Cooler	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
EXT Existing	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
EXP Expansion	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
EXT Exterior	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo
FBO Fiber Board	OTIS Open to Structure	W/SC Waterproo	W/SC Waterproo

### AREA AND CASE NOTES:

	PROPOSED	EXISTING	VARIANCE
STORE NUMBER	626		
SPACE NUMBER	100		
STORE TYPE	NG-OM		
STORE SCOPE			
STRAIGHT			
BRIDAL ISLANDS	44		44.00
2 ISLANDS	33		33.00
OTHERS	0.0	0.0	0.00
CORNERS	0		0.00
FIXTURES			
FREESTANDING			
WALK UP-LOW	74		74
WALK UP-HIGH	32		32
TOTAL (LF)	183.0		183
CASES ON STOREFRONT (LF)	0		0
POS STATIONS	3		3
STOREFRONT LENGTH (FT)	99'-4"		
BON FLOOR AREA (SF)	941		941
SALES FLOOR AREA (SF)	2,084		2,084
TOTAL LEASE AREA (SF)	3,025		3,025

### CODE DATA:

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

CODE RESEARCH:		
BUILDING & STRUCTURAL:	INTERNATIONAL BUILDING CODE	2018
PLUMBING:	ILLINOIS PLUMBING CODE	2014
MECHANICAL:	INTERNATIONAL MECHANICAL CODE	2018
ELECTRICAL:	NATIONAL ELECTRICAL CODE	2017
FIRE/LIFE SAFETY:	INTERNATIONAL FIRE CODE	2018
ACCESSIBILITY CODE:	ILLINOIS ACCESSIBILITY CODE	1997

BUILDING DATA:

NUMBER OF FLOORS:	1
OCCUPANCY TYPE:	M. MERCANTILE
CONSTRUCTION TYPE:	2B
TOTAL GROSS AREA S.F. =	3,025 S.F.

OCCUPANT LOAD:

SALES AREA IN S.F.	2,154 S.F. (GROSS) / 60 = 36 OCCUPANTS
WORK AREA (EMPLOYEE ONLY) IN S.F.	243 S.F. (GROSS) / 100 = 3 OCCUPANTS
STORAGE AREA IN S.F.	112 S.F. (GROSS) / 300 = 1 OCCUPANTS
TOTAL BUILDING CODE AREA S.F.	2,509 S.F.
TOTAL ALLOWED OCCUPANCY LOAD:	40

EXIT CALCULATION:

OCC. LOAD 50 OR LESS =	1 REQUIRED EXIT PER IBC 402.4.2.
PROVIDED = 2 EXITS	
108' (PROVIDED)	

RESTROOM FIXTURE COUNT:

2 (PROVIDED)	
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ALL FINISHES COMPLY WITH FIRE RESISTANCE RATINGS REQUIRED FOR CORRIDORS AND ROOMS. SEE FINISH KEY FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS.

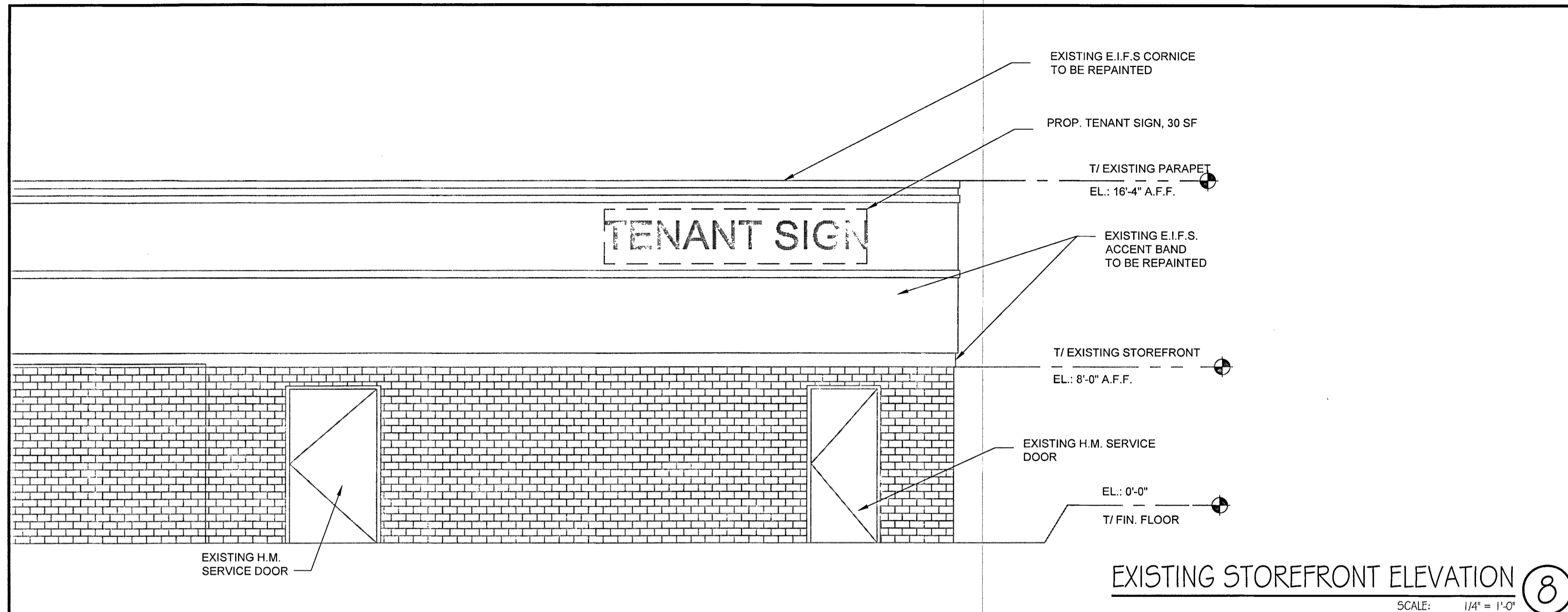
SPRINKLER SYSTEM AND FIRE ALARM SYSTEM ARE DESIGN BUILT BY LANDLORD GENERAL CONTRACTOR. ALL FIRE SPRINKLER AND FIRE ALARM DRAWINGS BY SEPARATE PERMIT AS A DEFERRED SUBMITTAL.

### PROJECT DIRECTORY:

<b>OWNER:</b> HELZBERG DIAMONDS 1825 SWIFT NORTH KANSAS CITY, MO 64116 T: 816.627.1436 F: 816.627.1494 CONTACT: MITCH TRUSTER MTRUSTER@HELZBERG.COM	<b>ARCHITECT:</b> H.C. KLOVER ARCHITECT 10955 LOWELL AVE., SUITE 700 OVERLAND PARK, KS 66210 T: 913.649.8181 F: 913.649.1275 CONTACT: HENRY KLOVER HKPERMITTING@KLOVER.NET	<b>BUILDING DEPARTMENT:</b> CITY OF CRYSTAL LAKE COMMUNITY DEVELOPMENT DEPARTMENT 100 WEST WOODSTOCK ST. CRYSTAL LAKE, IL 60014 T: 815.356.3605 CONTACT: MARY BROWN MBROWN@CRYSTALLAKE.ORG
<b>MEP ENGINEER:</b> RTM ENGINEERING CONSULTANTS 7780 W. 119TH STREET OVERLAND PARK, KS 66213 T: 913.322.1400 F: 913.825.6637 CONTACT: BRAD KRIER BRAD.KRIER@RTMASOCIATES.COM	<b>LANDLORD:</b> IRC RETAIL CENTERS 814 COMMERCE DRIVE, SUITE 300, OAK BROOK, IL 60523 T: 877.206.5656 CONTACT: PAM SULLINS SULLINS@IRCETAILCENTERS.COM	

### LANDLORD REQ'D. CONTRACTORS:

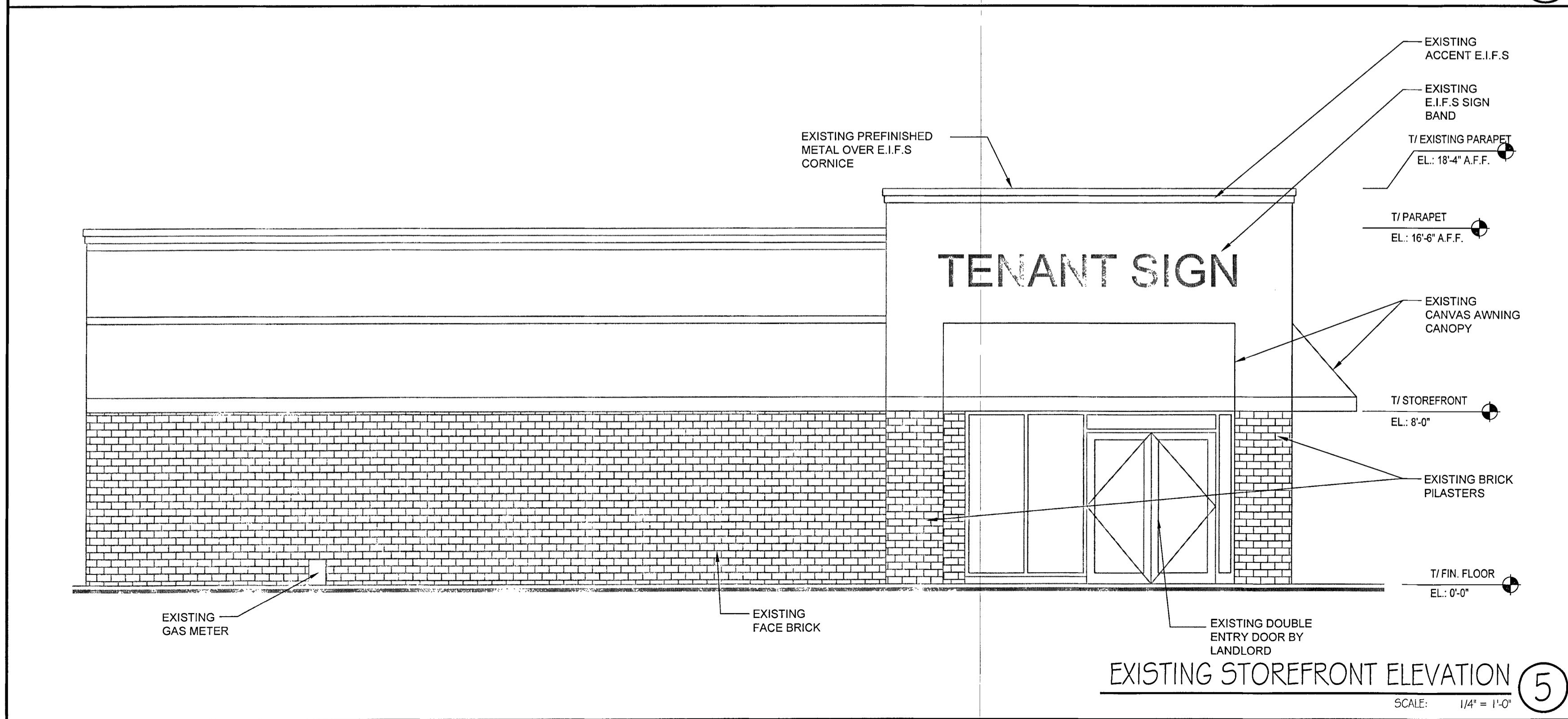
<b>FIRE ALARM CO.</b> FOX VALLEY FIRE & SAFETY 2730 PINNACLE DRIVE ELGIN, IL 60124 T: 847.695.5990 F: 847.695.3699	<b>ROOFING CONTRACTOR</b> MIDAMERICA ROOFING 1304 ENTERPRISE DRIVE ROMEDEVILLE, IL 60446 T: 630.759.7500 F: 630.759.7544
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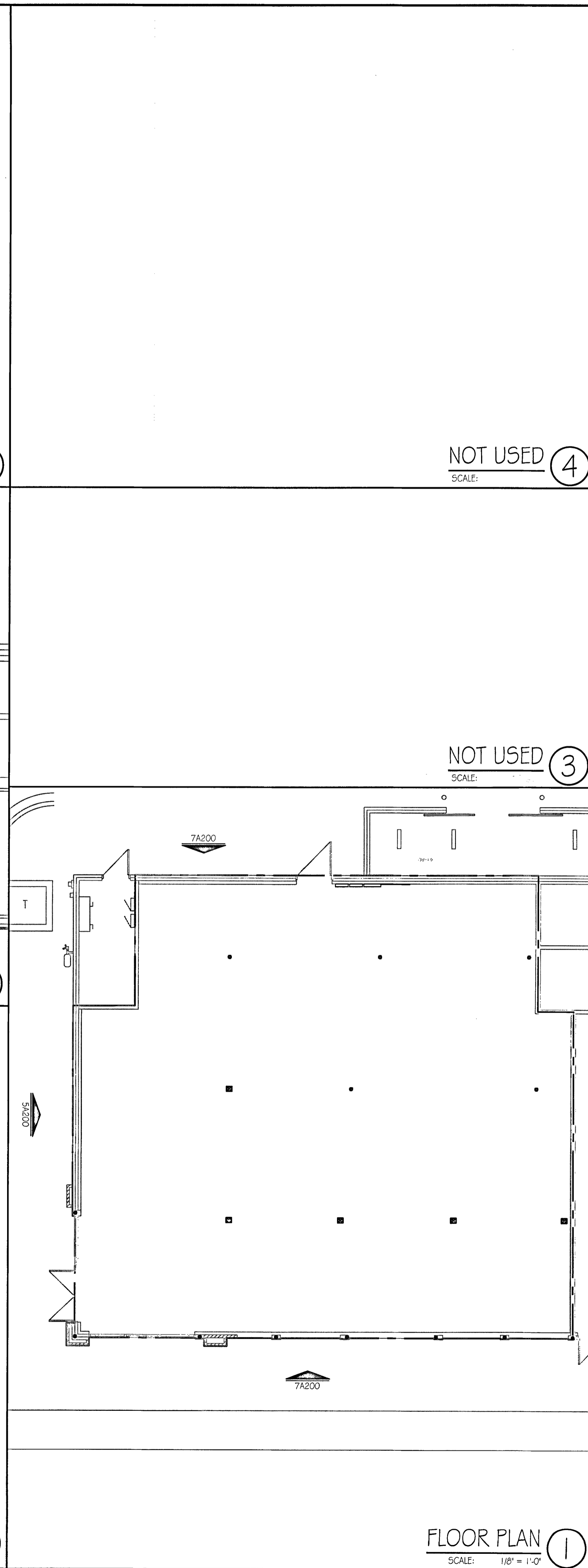
EXISTING STOREFRONT ELEVATION (8)  
SCALE: 1/4" = 1'-0"



EXISTING STOREFRONT ELEVATION (7)  
SCALE: 1/4" = 1'-0"



EXISTING STOREFRONT ELEVATION (5)  
SCALE: 1/4" = 1'-0"



FLOOR PLAN (1)  
SCALE: 1/8" = 1'-0"

REFERENCE NUMBER	DESCRIPTION
2.0	EXISTING CONDITIONS
2.01	PROTECTIVE EXISTING TO REMAIN AS IS
2.02	REMOVE EXISTING & DISPOSE OF LEGALLY
2.03	REMOVE EXISTING - CLEAN STORE & REINSTALL
2.04	REMOVE EXISTING - TURN OVER TO OWNER
4.0	MASONRY
4.1	MASONRY WALL WITH JOINT REINF.
4.2	SMOOTH-FACE CMU W/ SOLID GROUT FILL @ 24" CELLS
5.0	METALS
5.1	2\"/>
5.2	3\"/>
5.3	1\"/>
5.4	3\"/>
5.5	1\"/>
5.6	1\"/>
5.7	3\"/>
5.8	1\"/>
5.9	1\"/>
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5.97	1\"/>
5.98	1\"/>
5.99	1\"/>
5.100	1\"/>

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COMPLY WITH ALL LOCAL, STATE, FEDERAL AND NATIONAL CODES AND REGULATIONS WHICH APPLY TO THE PROJECT AND WITH REQUIREMENTS OF THE LANDLORD, IF APPLICABLE. DO NOT START WORK UNTIL ALL PERMITS AND APPROVALS ARE OBTAINED.

VERIFY ACTUAL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF ALL EXISTING CONDITIONS. ADDITION OF A METHOD OR EQUIPMENT NOT LISTED HEREIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE INDICATED.

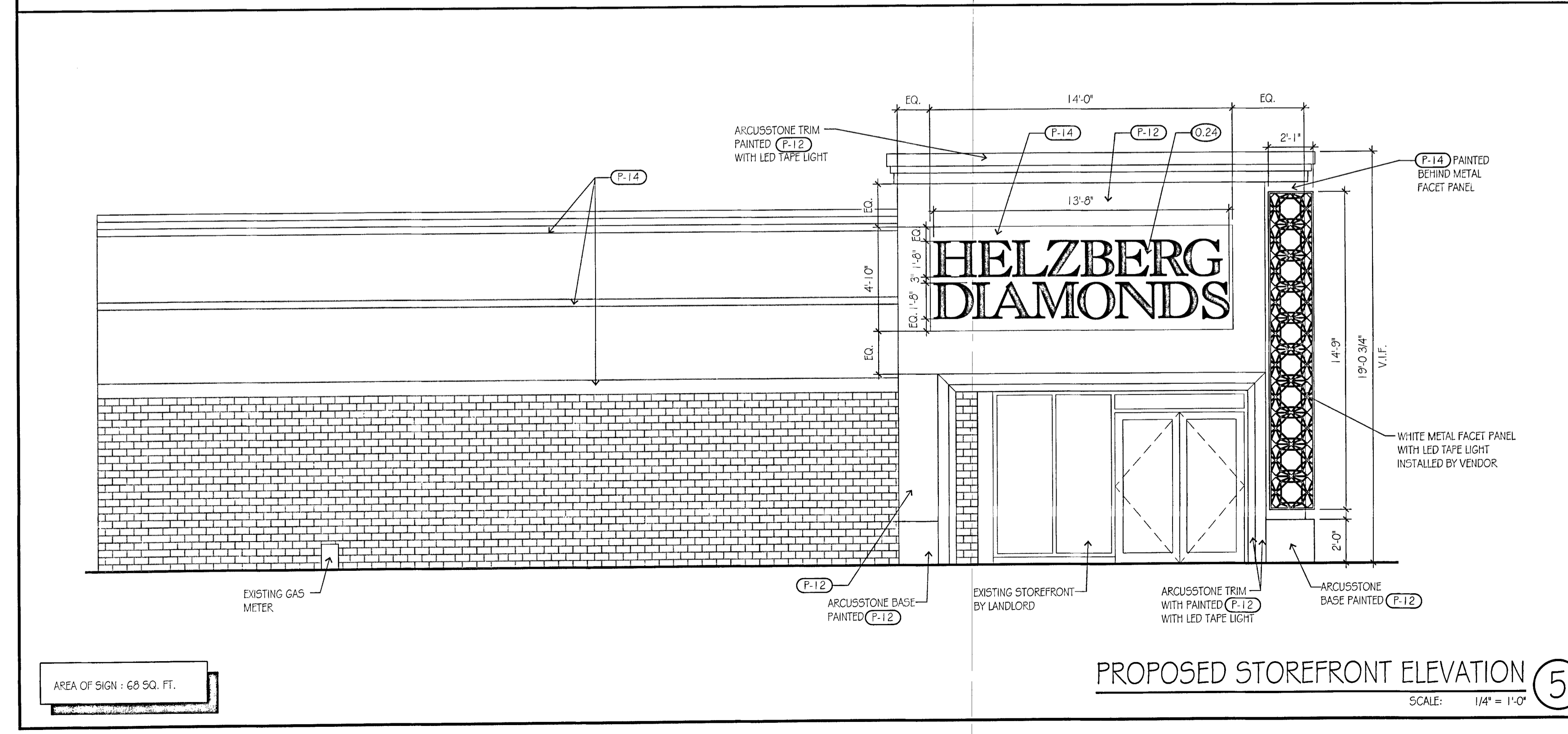
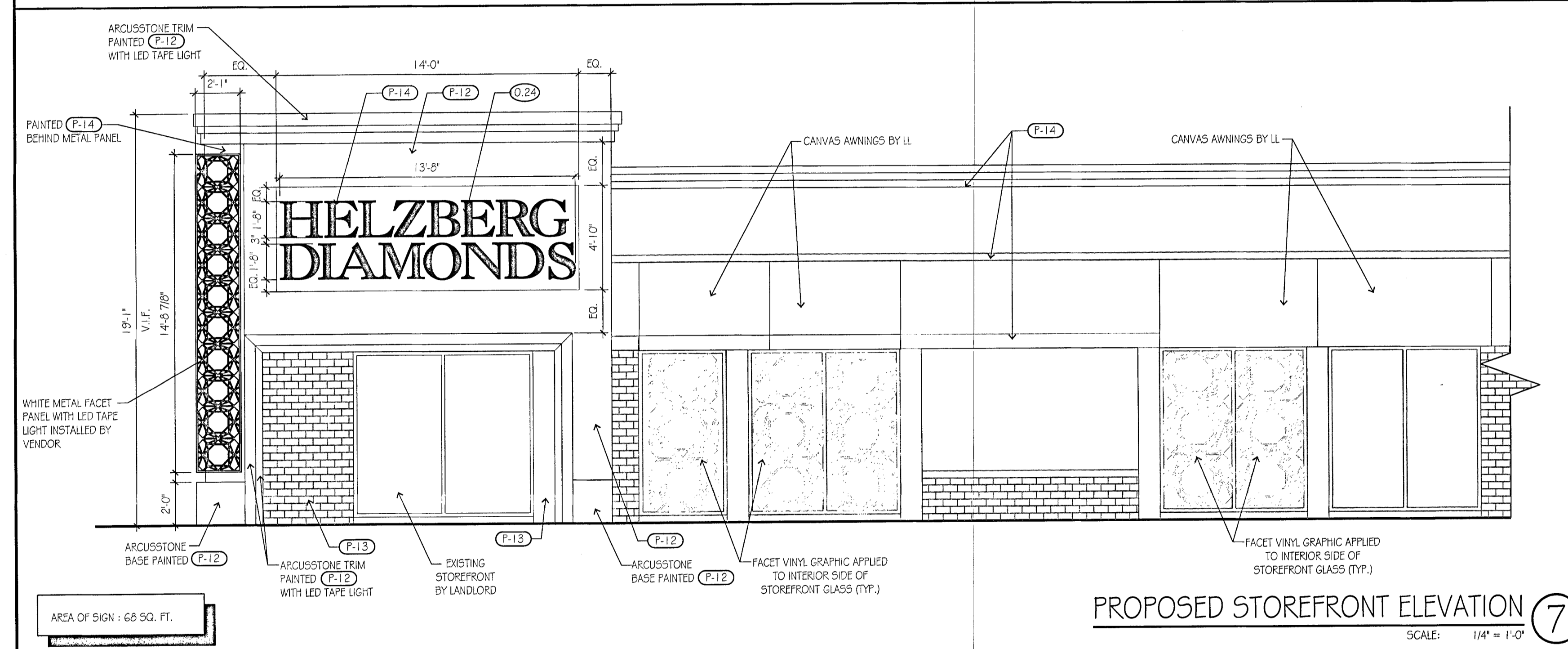
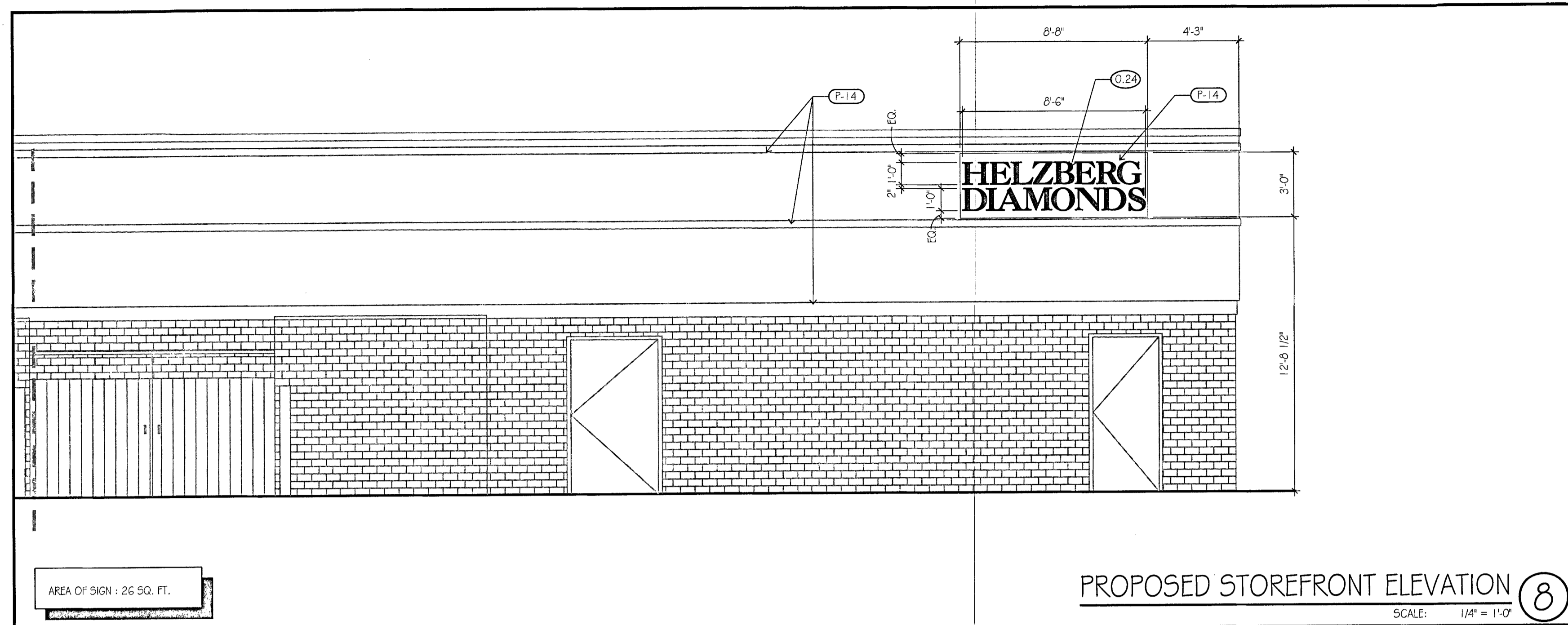
CONTRACTOR'S NOTES: While dimensions and preferences are noted throughout, do not scale the drawings. The contractor shall verify all dimensions and conditions and dimensions before starting the job. Report any discrepancies of any conditions which may interfere with the proper execution of the contract to the architect's representative. Report discrepancies during building process and before final construction. Owner shall not be held responsible for any delays from the set conditions or conflicts between the plans and the existing conditions.

project number 18007.031  
drawing issuance PUD 7.26.19  
drawing revisions  
Date: Description:

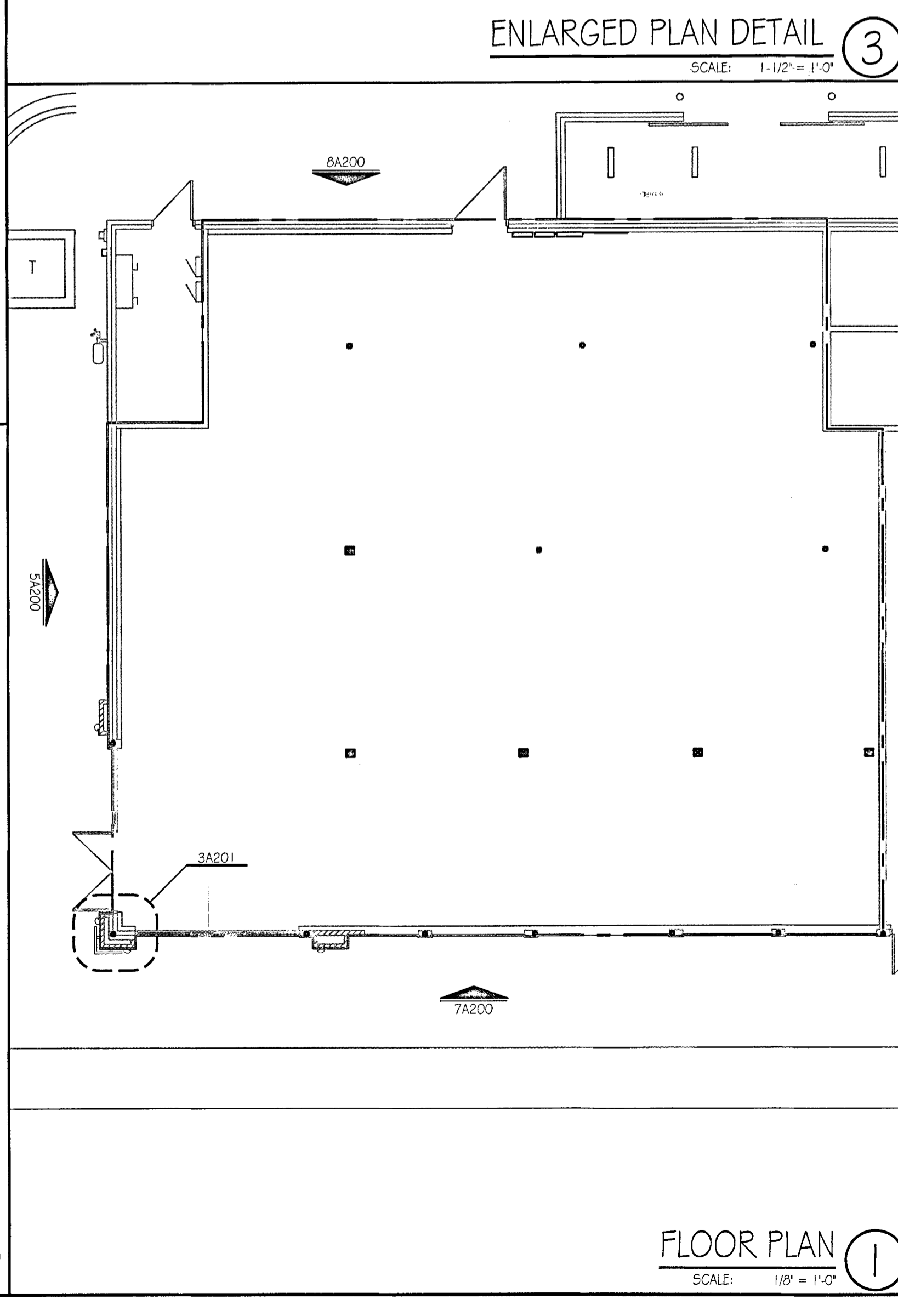
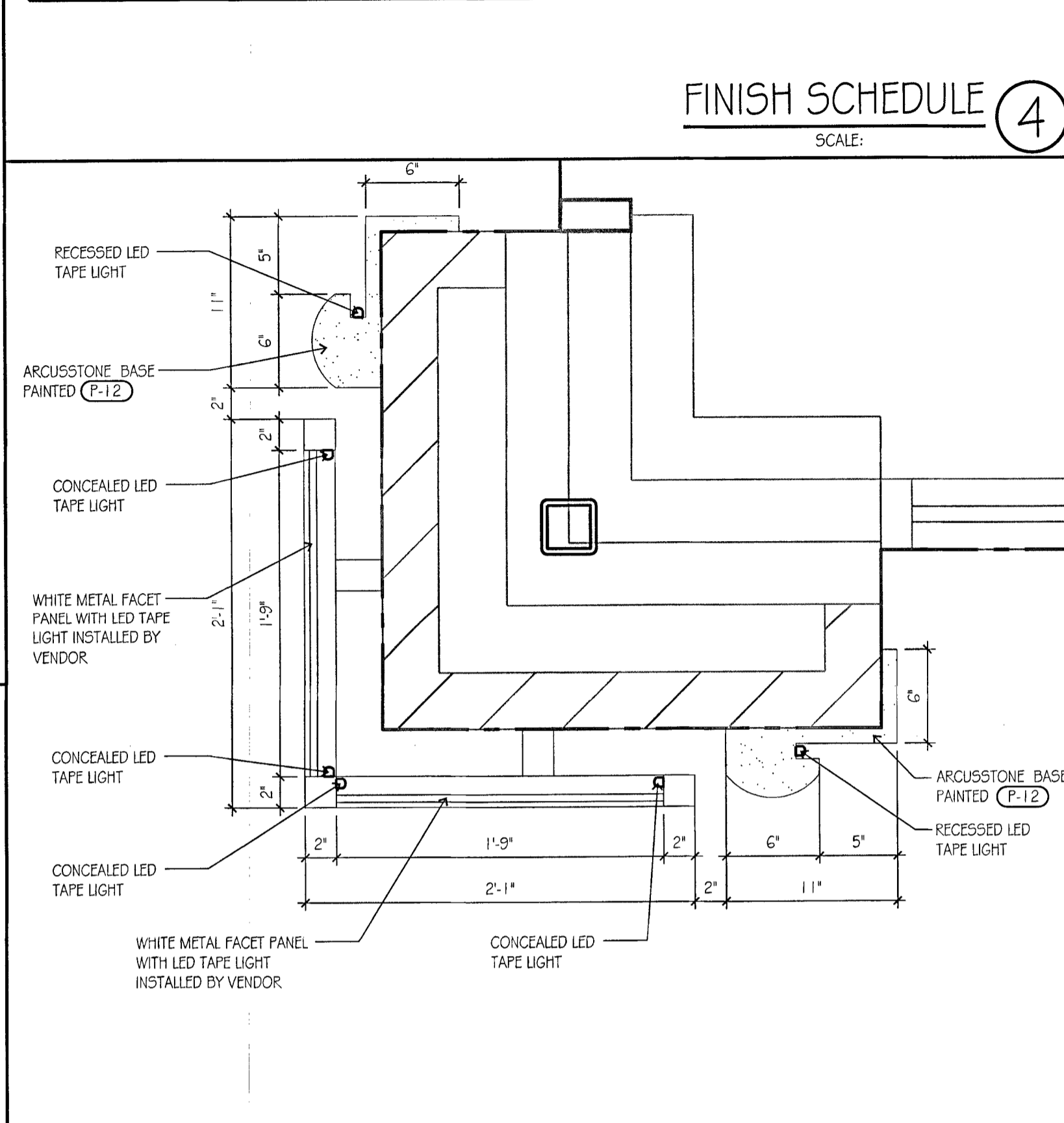
professional seal  
DATE SIGNED JUL 26 2019  
STATE OF ILLINOIS  
HENRY C. KLOVER  
001-017  
LICENSED ARCHITECT

EXPIRATION DEC 31 2019  
drawing title EXISTING STOREFRONT ELEVATIONS  
drawing number A200

RECEIVED  
JUL 29 2019



FINISH TAG	DESCRIPTION	MANUFACTURER	COLOR	COLOR #	NOTES
P-12	EXTERIOR CANOPY	TBD	OFF WHITE	TBD	
P-13	EXTERIOR BUILDING	SHERWIN WILLIAMS	TRUKUSH COFFEE	SW 6076	
P-13	EXTERIOR BUILDING	TBD	DARK BURGANDY		



REFERENCE NUMBER	DESCRIPTION
2.00	EXISTING CONDITIONS
2.01	PROTECTING EXISTING TO REMAIN AS IS
2.20	REMOVE EXISTING & DISPOSE OF LEGALLY
2.21	REMOVE EXISTING - CLEAR, SCOPE & REINSTALL
2.22	REMOVE EXISTING - TURN OVER TO OWNER
4.00	MASONRY
4.01	MASONRY WALL W/ FLOW JOINT BRNF
4.02	SMOOTH FINISH CMU W/ SOLID GROUT FILL @ ALL CELLS
5.00	METALS
5.01	6" METAL STUDS (16" O.C. MAX.) OR AS NOTED
5.02	3" x 20 GA METAL STUDS, 16" O.C. MAX. UNID. REFER TO AG10 - WALL TYPES
5.03	1 1/2" x 20 GA METAL STUDS, 16" O.C. MAX. UNID. REFER TO AG10 - WALL TYPES
5.04	1 1/2" x 20 GA METAL STUDS, 16" O.C. MAX. UNID. REFER TO AG10 - WALL TYPES
5.05	1 1/2" x 20 GA METAL STUDS, 16" O.C. MAX. UNID. REFER TO AG10 - WALL TYPES
5.06	1 1/2" x 20 GA METAL STUDS, 16" O.C. MAX. UNID. REFER TO AG10 - WALL TYPES
5.07	1 1/2" x 20 GA METAL TRACK WITH 1 1/4" FLANGE REFER TO AG10 - WALL TYPES
5.08	1 1/2" x 20 GA METAL TRACK WITH 1 1/4" FLANGE REFER TO AG10 - WALL TYPES
5.09	1 1/2" x 20 GA METAL TRACK WITH 1 1/4" FLANGE REFER TO AG10 - WALL TYPES
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**HELZBERG DIAMONDS**  
#626 NG-OM  
CRYSTAL POINT  
6000 NORTHWEST HWY, SPACE # 100  
CRYSTAL LAKE, IL 60014

project number 18007.031  
drawing issuance 7.26.19  
drawing revisions  
Date: Description:

professional seal  
STATE OF ILLINOIS  
HENRY C. KLOVER  
ARCHITECT  
LICENSED

DATE SIGNED JUL 26 2019  
EXPIRATION DEC 31 2019  
drawing title STOREFRONT ELEVATIONS  
drawing number A201



CRYSTAL POINT CENTER - CRYSTAL LAKE, IL



CRYSTAL POINT CENTER - CRYSTAL LAKE, IL