



#2019-139

**Thorton's – Preliminary PUD, Rezoning, Special Use Permit, and Variations
Project Review for Planning and Zoning Commission**

Meeting Date: January 15, 2020 and February 5, 2020

Requests:

1. Preliminary Planned Unit Development for a new 5,500 square-foot gas station convenience store and fueling canopies for truck and passenger vehicles,
2. Comprehensive Land Use Amendment from Industry to Commerce,
3. Rezoning from M Manufacturing to B-2 PUD General Commercial Planned Unit Development,
4. Special Use Permit for a Gas Station, and
5. Deferral of the requirement to bury the overhead utility lines until an area wide program is established.

Location: 911 Tek Drive

Acreage: Approximately 4.8 acres for the entire site, 3.7 acres for the Thorton's parcel.

Existing Zoning: M Manufacturing

Proposed Zoning: B-2 PUD General Commercial, Planned Unit Development

Surrounding Properties:

North:	B-2 PUD General Commercial
South:	M Manufacturing (Three Oaks Recreation Area)
East:	B-2 PUD General Commercial
West:	M-L Manufacturing Limited

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- This is an existing vacant lot, which was part of the Tek Drive Industrial Subdivision.
- Thorton's would develop the northern portion of the lot and sell the south portion for a future development.

Land Use Analysis:

ZONING

- The request to rezone the property to B-2 PUD General Commercial would allow a gas station and convenience store with a Special Use Permit.
- The request to amend the Comprehensive Land Use Plan from Industry to Commerce would be in concert with the rezoning designation. Commerce is located across the street and south of Rakow Road on both sides of the street.

SITE PLAN

- The site is at the southwest corner of Route 31 and Tek Drive.
- Access is illustrated along both Route 31 and Tek Drive. Two full access driveways are located along Tek Drive, one for trucks and one for passenger vehicles. A third right-in and right-out driveway is illustrated off Route 31, an amendment to the original plat, which prohibited direct access onto Route 31.
- Gas Stations are permitted two curb cuts with one on each frontage, the site illustrates 3 curb cuts, which requires a variation from that criterion.
- Sidewalk has been provided along Route 31. A sidewalk needs to be installed along Tek Drive.
- A fueling truck and a fire truck are able to circulate around the site.
- Reduction to the site's overall impervious coverage should be considered, especially in the area of the wide drive aisles around the passenger vehicle canopy. Wide drive aisles have the opposite effect on controlling traffic since there is no clear defined lanes, the excessive width causes a variety of movements.

TRAFFIC STUDY

- A traffic study was completed by Sam Schwartz Engineering (a City-approved traffic consultant) on behalf of the property owner. The petitioner would be responsible for complying with the recommendations of the traffic study.
- Final review and conditions will be set by IDOT.

PARKING

- Passenger vehicle parking is based on the number of gas pumps and size of the convenience store. 21 spaces is required, 24 spaces are provided.
- Truck parking/storage is located in the rear of the property and 14 spaces are provided.
- There is concern that the backing movements, from the western most parking space in the parking row adjacent to the convenience store, would interfere with the driveway. It has been recommended that this parking space be removed.

ELEVATIONS

- The primary material on the elevations is a recycled concrete product designed to look like brick or stone. The material is adhered to a sheet and installed along the wall plane.

- Thorton's has added some design elements to the building including a second top cap above the metal top flashing, a metal awning along the front, a continuous knee wall around the entire building and two red entry features highlighting the doorways.
- Staff has reviewed the elevations based on the criteria listed in the Design Standards. The project meets 8 of the 10 criteria. Six of 10 are required to be considered meeting the design standards for architecture. **This project meets the UDO Design Standards.**

LANDSCAPE PLAN

- Landscaping is placed around the site, including along the street frontage of Route 31, the street frontage of Tek Drive, around the convenience store building, and around the perimeter of the site including the detention basin along the west property line.
- Street trees are required along Route 31 and Tek Drive at 40 foot intervals. Six trees are required along Route 31, 4 trees have been planted (the frontage of the second lot was not included). Twelve trees are required along Tek Drive, 9 trees are being planted and 6 existing trees will remain.
- The trash enclosure is along the Tek Drive frontage, 30 feet back, and is screened with some hydrangea bushes and Linden trees.
- A total of 71 inches of trees are being removed from the future outlot, which requires 24 replacement trees (at 3" size). Eighteen trees are being planted on that lot.
- The truck parking/storage area is screened with some Autumn Blaze Maples trees and Mohican Wayfaring Tree, Limelight Hydrangea and Sea Green Juniper bushes.
- The replacement tree inches meets the requirement based on their total removal inches.

SIGNAGE

- Free-standing buildings are permitted signage on all elevations that would total 150 square feet. For gas stations this also includes any secondary buildings like car washes and the gas canopies. Typically gas stations have requested variations from this maximum signage.
- The petitioner is proposing 194 square feet of signage for the building and truck canopy. Dimensions were not provided for the vehicle canopy, which is illuminated with a red band. This will increase the variation request.
- The petitioner is also proposing red illumination for their gas price signage. Red is not a permitted color and it is recommended that they utilize white or amber.

Findings of fact:

COMPREHENSIVE LAND USE PLAN AMENDMENT

The comprehensive plan is put into place to help the City sustain a prosperous and economically balanced community through the combination of all the plan elements including land use decisions, economic development, housing, transportation options, development and preserving the unique areas, parks and recreation, environmental resources, historic preservation and community facilities. As amendments are proposed they are reviewed to ensure a proper balance is maintained and the

new designation would fit with the surrounding area. The site is currently Industry as it was planned as more of a business park. Route 31 has transformed to a commercial corridor and the amendment to Commerce is a logical set to attract the appropriate

REZONING

- The property is currently zoned M Manufacturing.
- The property would be rezoned to B-2 General Commercial. The General Commercial zoning criteria are:
 - ✓ General: This district is the City's primary commercial district. It accommodates highway service uses and community or regional commercial, office and service uses.
 - ✓ Character: This district is characterized by a large amount of parking, which often exceeds the building coverage. Landscape buffers and landscaped parking areas are required to soften the impact of such commercial uses on neighbors and to make the streetscape more attractive. Architectural and other design controls are intended to encourage and require more attractive buildings and avoid visual degradation caused by very large buildings with large blank walls and no building articulation or design elements.
 - ✓ Uses: This district is intended to provide for a full range of commercial uses

Criteria for Rezoning

(a) The existing uses and zoning of nearby property.

Meets *Does not meet*

(b) The extent to which property values are diminished by a particular zoning classification or restriction.

Meets *Does not meet*

(c) The extent to which the destruction of property value of a petitioner property owner promotes the health, safety, morals or general welfare of the public.

Meets *Does not meet*

(d) The relative gain to the public as opposed to the hardship imposed on a petitioning property owner.

Meets *Does not meet*

(e) The suitability of the subject property for its zoned purposes.

Meets *Does not meet*

(f) The length of time the property has been vacant as zoned, considered in the context of land development in the area.

Meets *Does not meet*

(g) The Comprehensive Plan designation and the current applicability of that designation.

Meets *Does not meet*

(h) The evidence or lack of evidence, of community need for the use proposed.

Meets *Does not meet*

PRELIMINARY PLANNED UNIT DEVELOPMENT

The petitioner is requesting approval of a Preliminary Planned Unit Development to allow the construction of a gas station with convenience store and truck fuel island. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.

- Meets Does not meet
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets Does not meet
3. PUDs must provide transitional uses to blend with adjacent development.
 Meets Does not meet
4. PUD phases must be logically sequenced.
 Meets Does not meet
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets Does not meet
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets Does not meet
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets Does not meet
8. Any private infrastructure shall comply with the city standards.
 Meets Does not meet
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets Does not meet
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets Does not meet

Planned Unit Development Variation

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which

are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variations from the UDO:

- a. Article 2-400 13 d. Special Use Criteria for Gasoline Stations from the requirement to construct a peaked roof over the fueling canopy.
- b. Article 2-400 13 e. Special Use Criteria for Gasoline Stations from the maximum allowable curb cuts of 2 to allow 3.
- c. Article 2-400 62 c ii. Special Use Criteria for Gasoline Stations to allow red illumination for the gas pricing signs on the free-standing sign and on the gas canopy.
- d. Article 4-1000 Signs to exceed 150 square feet of signage.
- e. Article 5-200 F Subdivision Required Land Improvements from the requirement to bury the existing overhead utility lines to allow a deferral until an area wide program is created.

SPECIAL USE PERMIT

The petitioner is requesting approval of a Special Use Permit to allow a Gasoline Service Station with Gasoline Electronic Pricing Sign. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.

Meets Does not meet

8. The use will meet requirements of all regulating governmental agencies.

Meets Does not meet

9. The use will conform to any conditions approved as part of the issued Special Use Permit.

Meets Does not meet

10. The use will conform to the regulations established for specific special uses, where applicable.

Meets Does not meet

Gasoline Stations have specific Special Use Criteria they have to meet. Gasoline stations must comply with the following standards:

1. Location: Gasoline stations are not permitted within the City's wellhead protection areas. Stations in the Crystal Lake watershed require a site specific analysis by the City's watershed consultant

Meets Does not meet

The proposed station is outside of the wellhead protection area.

2. Environmental impact: No gasoline station shall commence operations unless it has first provided an environmental impact statement (EIS) from a qualified expert in the related field that the use will not negatively affect ground water resources or contaminate the soil.

Meets Does not meet

An EIS has been provided.

3. Screening: Gasoline stations adjacent to residential properties shall provide a 6-foot tall solid screen consisting of a solid wooden fence, in accordance with the provisions of Article 4-700, Fences, Walls and Screening or opaque landscaping along the perimeters of the property abutting the residential district or use, in accordance with the provisions of Article 4-400, Landscaping and Screening Standards.

Meets Does not meet

The site is not adjacent to a residential use.

4. Canopy: Flat canopies are not permitted. Canopies must have a minimum 4:12 pitch (Amended per Ord. 6970, 11-5-2013). The edge of the pump canopy shall be setback at least 15 feet from all property lines.

Meets Does not meet

The petitioner is requesting a variation from this criterion. The building has been designed with a flat top parapet style roof. This flat style gas canopy has been designed to match the style of the main convenience store.

5. Curb cuts: There shall be a maximum of 2 curb cuts per property. Corner lots shall be limited to 1 curb cut per street frontage. Curb cuts for corner lots shall be located at least 75 feet from the intersection, or as deemed appropriate by the City Engineer.

Meets Does not meet

Three total curb cuts are proposed. Two along Tek Drive and one along Route 31. The two along Tek Drive are proposed to separate trucks from passenger vehicles.

6. Vending machines: One vacuums and one air compressors shall be permitted on-site. Vending machines are treated as outside sales and display. Refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.

Meets Does not meet

These will need to be shown during permitting if proposed.

7. Outside sales: Outside product display and sales of seasonal items are prohibited. Propane tanks stored in 1 locked metal cage are not treated as outside sales and permitted subject to the approval of the City's Fire Prevention Bureau. For any other outside display and sales, refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.

Meets Does not meet

An area for propane and ice is illustrated just south of the building.

8. Monitoring: Monitoring wells finished at appropriate depths and locations best suited to detect a contaminate plume are required to be designed and located by a groundwater professional for stations within the Crystal Lake watershed or as determined by the City Engineer.

Meets Does not meet

No monitoring wells are required.

9. Electronic Pricing Signs: Electronic pricing signs must be requested as part of the Special Use Permit.

Meets Does not meet

Sign has been requested as part of the Special Use Permit.

Gasoline electronic pricing signs. All gasoline electronic pricing signs must comply with the following criteria:

- a. Gasoline electronic pricing (GEP) signs are permitted only on properties where a special use permit for a gasoline station has been previously granted by the City.

Meets Does not meet

- b. The GEP sign may be incorporated into (1) freestanding business sign on the property. A new freestanding sign incorporating a GEP portion must meet all the ordinance requirements for that sign.

Meets *Does not meet*

- c. The GEP portion of the sign shall meet all the following design conditions:

- (i) The GEP unit must be equipped with both a programmed dimming sequence as well as an additional overriding mechanical photocell that adjusts the brightness of the display to ambient light at all times of the day. Such programming and mechanical equipment shall be set so that the GEP, at night or in overcast conditions, will be no more than 40% of the daytime brightness level;

Meets *Does not meet*

- (ii) The GEP unit must be illuminated by white, amber, or green incandescent lamps, LED (light-emitting diode) or magnetic discs;

Meets *Does not meet*

- (iii) The pricing displayed on the GEP unit may only transition from one message (price) to another by either fading or dissolving to black with another message (price) appearing immediately thereafter, without movement or other transition effects in between;

Meets *Does not meet*

- (iv) Except as otherwise provided herein, all messages displayed on the GEP unit must be static and may not reflect movement, flashing scrolling or changes in shape or size of messages or portions of messages. Streaming and/or live-time video is not permitted and this function of the EMC must be disabled; and

Meets *Does not meet*

- (v) The GEP sign must be set in a manner that the display will turn dark in case of a malfunction.

Meets *Does not meet*

- d. The maximum gross surface area of the GEP portion of the sign shall not exceed 20 square feet.

Meets *Does not meet*

- f. Prices cannot switch between multiple grades on one GEP. The GEP must display only one grade or have separate GEP for each grade.

Meets *Does not meet*

Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan is currently designated Industry. The petitioner is proposing amending the plat to Commerce. Commerce allows for existing and future commercial and business uses. The following goal is applicable to this request:

Land Use – Commercial

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting actions:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Success Indicator: The number of new “chain store” occupancies.

Recommended Conditions:

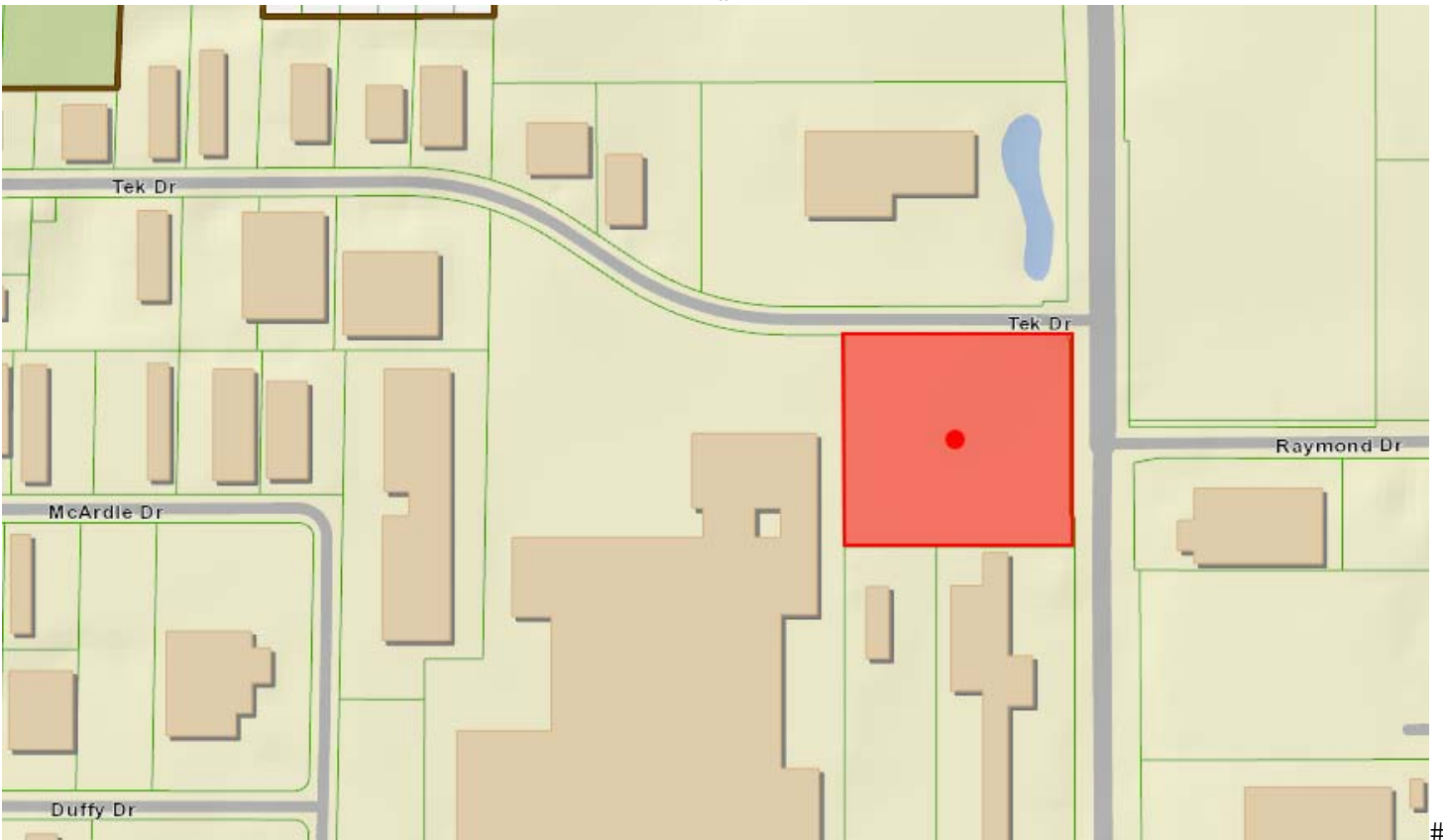
If a motion to recommend approval of the petitioner’s request is made it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (BTSP Midwest, received 10/26/19)
 - B. Site Plan (Manhard dated 12/03/19, received 12/17/19)
 - C. Civil Plan (Manhard, dated 12/05/19, received 12/17/19)
 - D. Landscape Plans (Manhard, dated 08/06/19, received 12/17/19)
 - E. Building Elevations (Lockett & Farley, dated 2019, received 12/17/19)
 - F. Sign Package (MC Group, dated 01/02/19, received 12/17/19)
 - G. Stormwater Report (Manhard, dated December 2019, received 12/17/19)
 - H. Draft Traffic Study (Schwartz Engineering, dated December 2018, received 12/12/18)
 - I. Lighting (Red Leonard Associates, dated 7/31/19, received 12/17/19)
 - J. Environmental Impact Statement (AKT Perrless, undated, received 12/17/19)
2. Site Plan
 - A. Provide a sidewalk along Tek Drive frontage.
 - B. Remove the western most parking space in the parking row adjacent to the convenience store.
 - C. Work with staff to reduce the width of the drive aisles around the passenger vehicle canopy.
3. Landscape Plan
 - A. Add the required trees and shrubs around the free-standing sign. Landscape around the free-standing sign is required at 1 square-foot per 1 square-foot of signage, which includes a mix of at least 50% small deciduous trees, medium evergreen trees, ornamental trees, and deciduous and evergreen shrubs.

- B. Provide an easement on the second lot that the screening landscape for the truck parking/storage cannot be removed and must be maintained.
4. Elevations
 - A. The metal coping top cap shall project at least two inches above and out from the rest of the top parapet to provide additional height and width to the cornice.
5. Remove the illumination on the top of the fueling canopy so that the canopy is not illuminated.
6. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments as well as the City's Stormwater Consultant.
7. The petitioner shall comply with the final traffic study as completed by Sam Schwartz Engineering and approved by IDOT.
 - A. Along Tek Drive, at Route 31, extend the existing eastbound right-turn lane on Tek Drive to provide maximum storage and taper lengths between Route 31 and the passenger vehicle entrance off Tek Drive (estimated 140-foot storage / 50-foot taper)
 - B. Along Tek Drive, post "Do Not Block Intersection" signs facing eastbound traffic on Tek Drive at both driveway locations.
 - C. On Route 31 at Tek Drive, construct a southbound right-turn lane (240-foot storage / 240-foot taper) per BDE warrant criteria.
 - D. On Route 31, construct a southbound right-turn lane (estimated 100-foot storage / 75 foot taper) at the right-in/right-out driveway per BDE warrant criteria.

PLN-2018-00139 BLUESTONE – 911 TEK DR

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City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: BSTP Midwest Retail Development

Action Requested

- | | |
|--|---|
| <input type="checkbox"/> Annexation | <input checked="" type="checkbox"/> Preliminary PUD |
| <input checked="" type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input checked="" type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input checked="" type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: BSTP Midwest, LLC

Address: 410 N. Michigan Avenue, Suite 850
Chicago, IL 60611

Phone: 630-388-8550

Fax: _____

E-mail: mike@bluestonestp.com

Owner Information (if different)

Name: AMP Real Estate Holdings, LLC

Address: 8001 S. Route 31
Crystal Lake, IL 60014

Phone: 815-455-7000

Fax: _____

E-mail: talthoff@althoffind.com

Property Information

Project Description: Development of a fuel center and retail outlet.

Project Address/Location: 4.86 acre tract located on the southwest corner of Illinois Route 31 and
Tek Drive.

PIN Number(s): 19-10-376-011

Development Team

Please include address, phone, fax and e-mail

Developer: BSTP Midwest, LLC, 410 N. Michigan Avenue, Suite 850, Chicago, IL 60611

Architect: _____

Attorney: _____

Engineer: Manhard Consulting, Ltd., 700 Springer Drive, Lombard, IL 60148


Landscape Architect: _____

Planner: _____

Surveyor: Vanderstappen Land Surveying, Inc., 1316 N. Madison Street, Woodstock, IL 60098

Other: _____

Signatures



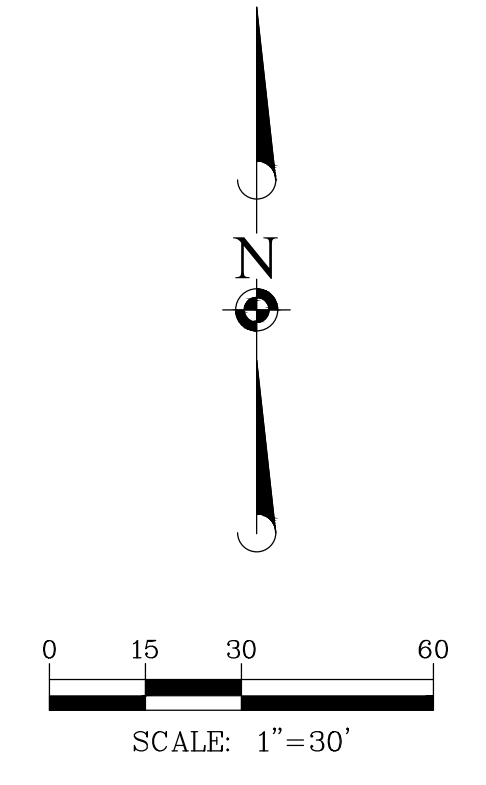
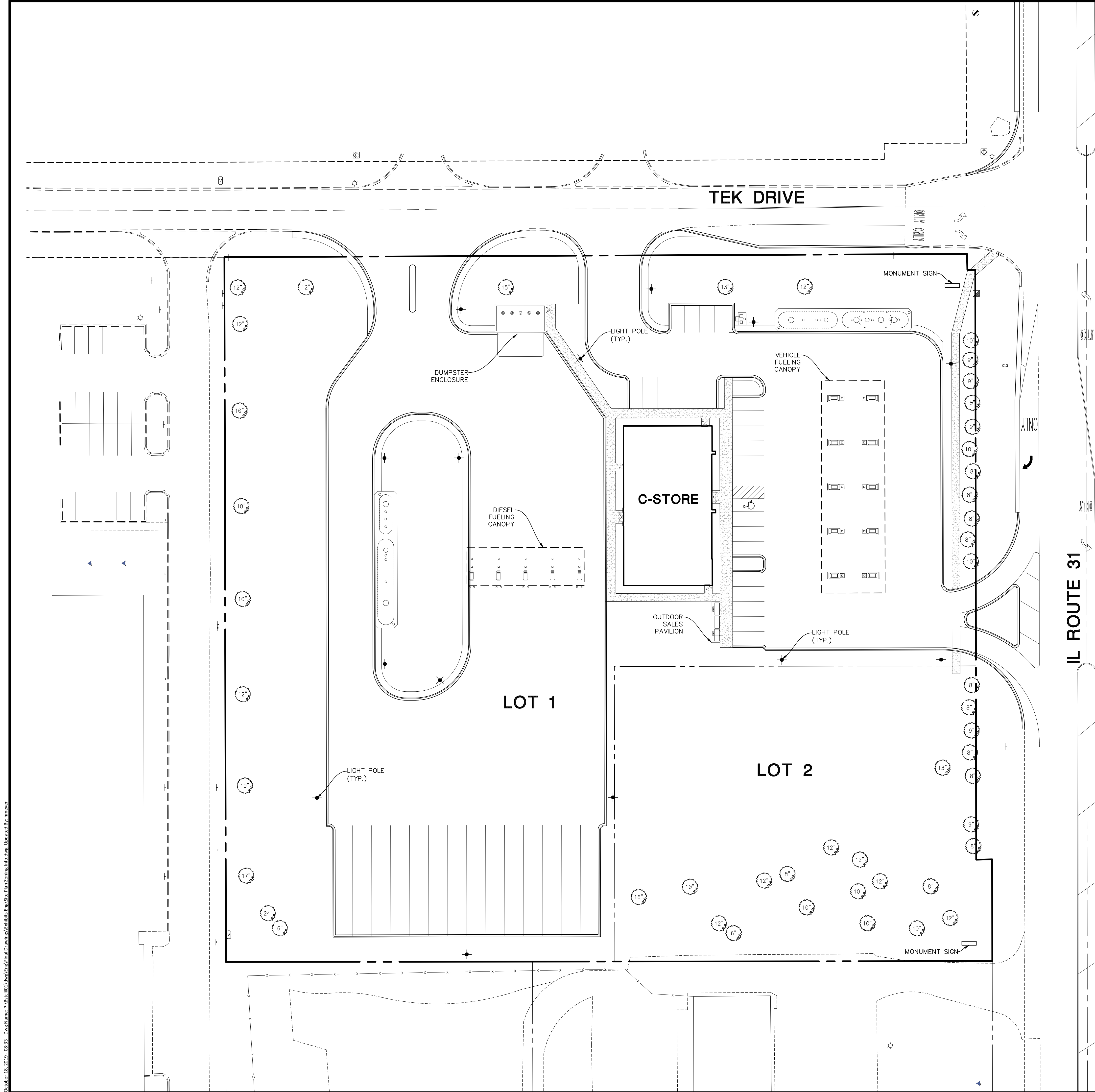
PETITIONER: Print and Sign name (if different from owner) **07-30-2019**
Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.



T.W. ALTHOFF **7-30-2019**
OWNER: Print and Sign name **Date**

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



Existing Lot

Address	911 Tek Drive
PIN	19-10-376-011-0000
Zoning	M
Lot Area (Acres)	4.866
Lot Area (Sq Ft)	211933

Proposed Lot 1

Zoning	B-2 (PUD)
Lot Area (Acres)	3.874
Lot Area (Sq Ft)	168,731
Building Area (Sq Ft)	5,500
F.A.R.	0.03
Car Parking Required	21
Car Parking Provided	25
ADA Stalls Provided	1
Truck Parking Provided	14

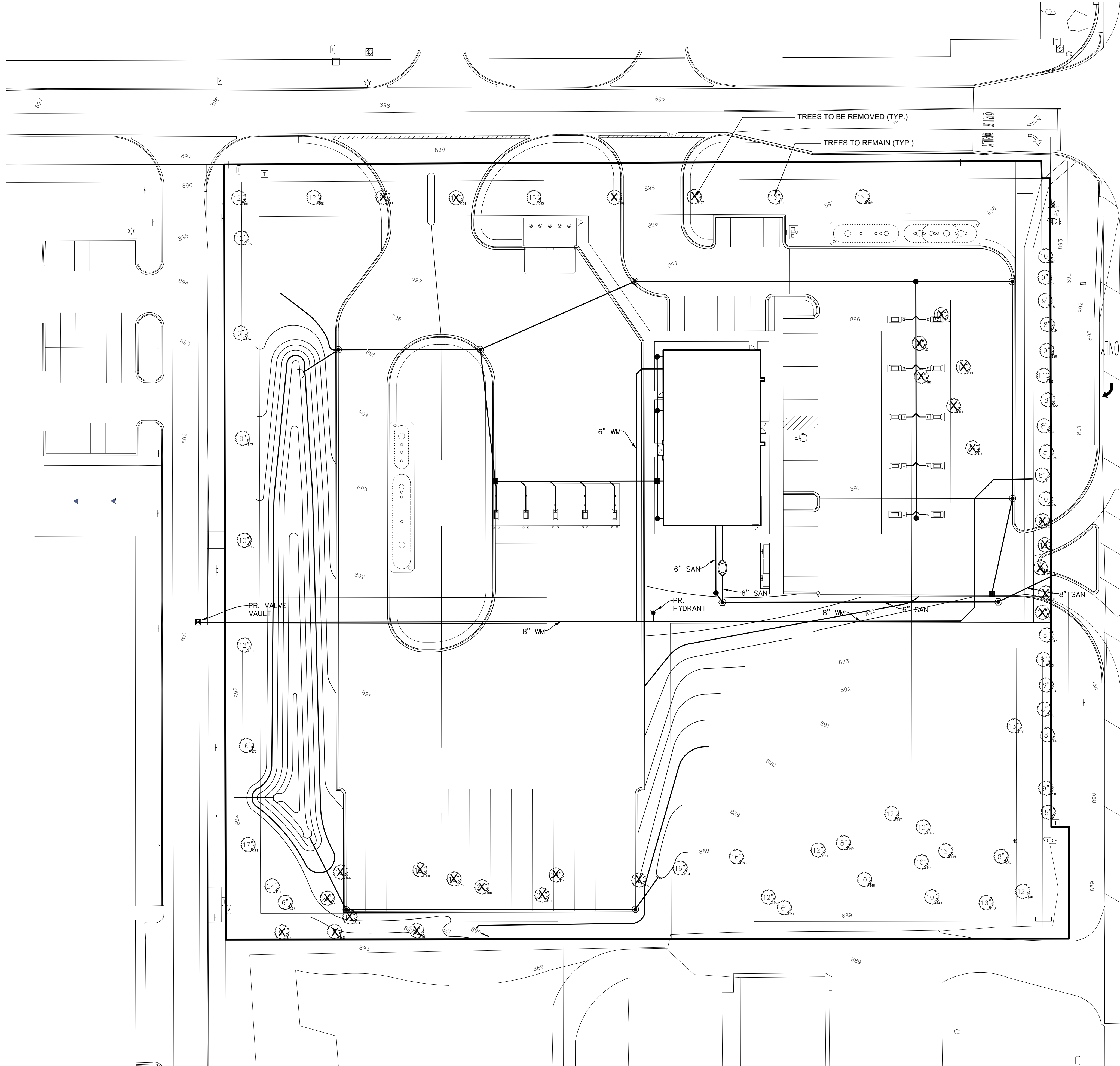
Proposed Lot 2

Zoning	B-2 (PUD)
Lot Area (Acres)	0.992
Lot Area (Sq Ft)	43,202

DATE	REVISIONS

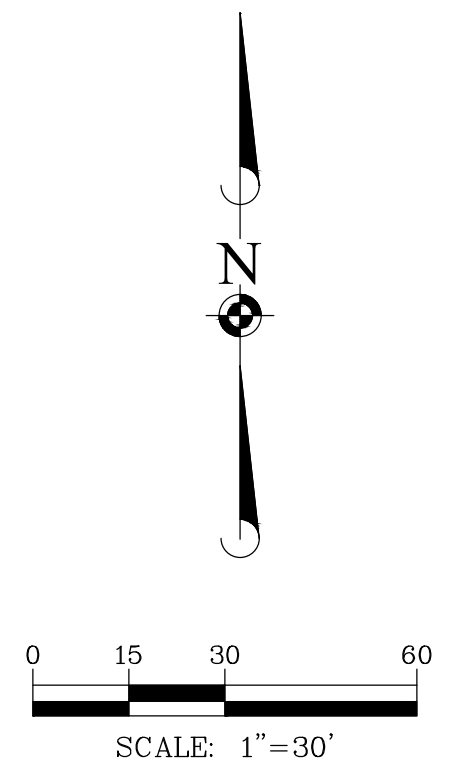


October 18, 2019 8:33 Dwg Name: P:\180101\Draw\1901\1901.dwg (Final Drawing)\Exhibit\Site Plan_Zoning_Info.dwg Updated by: hmcvcr



City of Crystal Lake Tree Preservation Requirements:

- 50% of Group A species DBH to be replaced.
172 DBH removed x 50% = 86 DBH replacement required.
- 30% of Group B species DBH to be replaced.
48 DBH removed x 30% = 14.4 DBH replacement required.
- 10% of Group C species DBH to be replaced.
0 DBH removed x 10% = 0 DBH replacement required.
- 5% of Group D species DBH to be replaced.
143 DBH removed x 5% = 7.15 DBH replacement required.
- Total 107.55 DBH replacement required. 108 DBH replacement provided. **Requirement is met.**



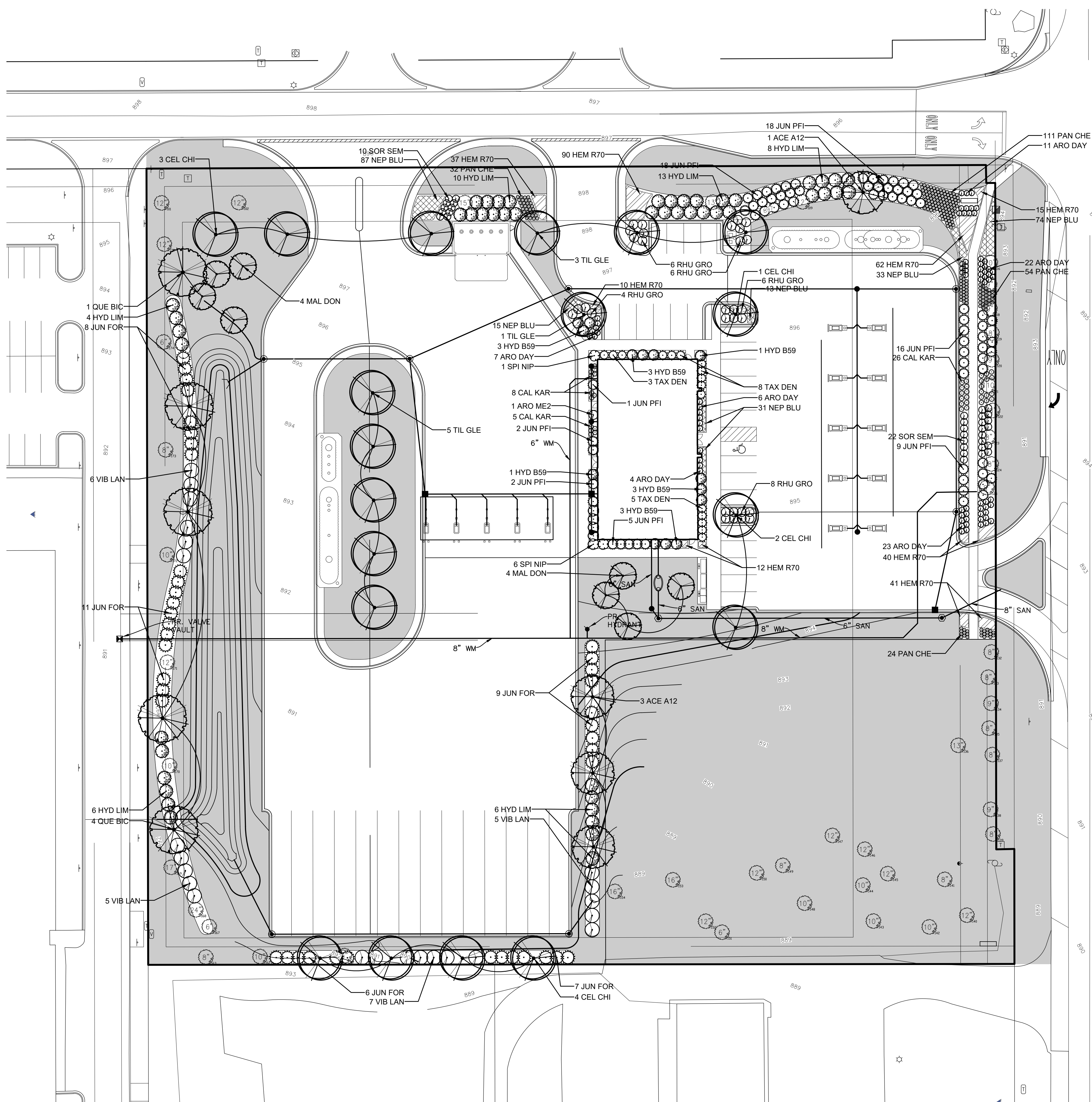
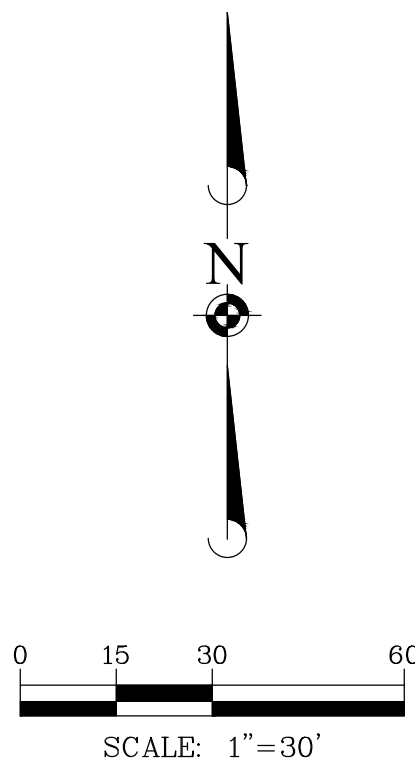
Tag #	DBH (inches)	Scientific Name	Common Name	Condition (1-5)	Form (1-5)	Notes	
101	12	Acer saccharum	Sugar Maple	2	2		
102	12	Acer saccharum	Sugar Maple	3	2		
X 103	9	Acer saccharum	Sugar Maple	3	2	Sun-scar	A
X 104	14	Acer saccharum	Sugar Maple	2	2		A
X 105	15	Acer saccharum	Sugar Maple	2	2		A
X 106	15	Acer saccharum	Sugar Maple	2	2		A
X 107	14	Acer saccharum	Sugar Maple	2	2		A
X 108	13	Acer saccharum	Sugar Maple	2	2		A
X 109	12	Acer saccharum	Sugar Maple	2	2		A
X 110	19	Pinus sylvestris	Scotch Pine	2	3		D
X 111	18	Acer saccharum	Sugar Maple	1	1		A
X 112	18	Pinus sylvestris	Scotch Pine	2	2		D
X 113	17	Pinus sylvestris	Scotch Pine	4	4	Large broken braches, dying	X
X 114	14	Acer rubrum	Red Maple	2	1		B
X 115	24	Acer rubrum	Red Maple	2	2		B
116	10	Gleditsia triacanthos	Honey Locust	1	1		
117	9	Gleditsia triacanthos	Honey Locust	1	1		
118	9	Gleditsia triacanthos	Honey Locust	1	1		
119	8	Gleditsia triacanthos	Honey Locust	1	1		
120	9	Gleditsia triacanthos	Honey Locust	1	1		
121	10	Gleditsia triacanthos	Honey Locust	1	1		
122	8	Gleditsia triacanthos	Honey Locust	1	1		
123	8	Gleditsia triacanthos	Honey Locust	1	1		
124	8	Gleditsia triacanthos	Honey Locust	1	1		
125	8	Gleditsia triacanthos	Honey Locust	1	1		
126	10	Gleditsia triacanthos	Honey Locust	1	1		
X 127	8	Gleditsia triacanthos	Honey Locust	1	1		A
X 128	10	Gleditsia triacanthos	Honey Locust	1	1		A
X 129	10	Gleditsia triacanthos	Honey Locust	1	1		A
X 130	10	Gleditsia triacanthos	Honey Locust	1	1		A
X 131	13	Gleditsia triacanthos	Honey Locust	1	1		
132	8	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
133	8	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
134	9	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
135	8	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
136	13	Gleditsia triacanthos	Honey Locust	1	1		
137	8	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
138	9	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
139	8	Gymnocladus dioicus	Kentucky Coffee Tree	1	1		
140	12	Betula papyrifera	Paper Birch	1	1		
141	8	Gleditsia triacanthos	Honey Locust	1	2		
142	10	Gleditsia triacanthos	Honey Locust	2	2		
143	10	Gleditsia triacanthos	Honey Locust	2	2		
144	10	Acer saccharum	Sugar Maple	1	2		
145	10	Acer saccharum	Sugar Maple	1	2		
146	12	Acer saccharum	Sugar Maple	1	1		
147	12	Acer saccharum	Sugar Maple	1	1		
148	10	Tilia cordata	Littleleaf Linden	1	1		
149	8	Malus species	Crabapple species	3	2		
150	12	Malus pumila	Apple	2	2		
151	6	Gleditsia triacanthos	Honey Locust	3	2		
152	12	Gleditsia triacanthos	Honey Locust	2	2		
153	16	Pinus sylvestris	Scotch Pine	2	2		
154	16	Acer platanoides	Crimson King Maple	1	1		
X 155	18	Betula papyrifera	Paper Birch	2	2		D
X 156	24	Pinus sylvestris	Scotch Pine	1	1	Two leaders	D
X 157	25	Gleditsia triacanthos	Honey Locust	1	1		A
X 158	24	Betula papyrifera	Paper Birch	1	1		D
X 159	12	Acer saccharum	Sugar Maple	1	1		B
X 160	10	Tilia cordata	Littleleaf Linden	1	1		B
X 161	6	Gleditsia triacanthos	Honey Locust	4	5	Multiple leaders from cut stump	X
X 162	10	Fraxinus pennsylvanica	Green Ash	4	5	Multiple leaders from cut stump	X
X 163	8	Fraxinus pennsylvanica	Green Ash	4	5	Multiple leaders from cut stump	X
X 164	14	Gleditsia triacanthos	Honey Locust	1	1	Two leaders	A
X 165	22	Betula papyrifera	Paper Birch	1	1		D
X 166	18	Pinus sylvestris	Scotch Pine	1	1		D
167	6	Malus species	Crabapple species	2	2		
168	24	Pinus sylvestris	Scotch Pine	1	1		
169	17	Tilia cordata	Littleleaf Linden	1	1		
170	10	Tilia cordata	Littleleaf Linden	2	1		
171	12	Tilia cordata	Littleleaf Linden	1	1		
172	10	Tilia cordata	Littleleaf Linden	1	1		
173	8	Tilia cordata	Littleleaf Linden	1	1		
174	6	Tilia cordata	Littleleaf Linden	3	2	Sun-scar, some deadwood	X
175	12	Tilia cordata	Littleleaf Linden	1	1		

DATE	REVISIONS



**PROPOSED FUEL CENTER
CRYSTAL LAKE, ILLINOIS
TREE PRESERVATION PLAN**

PROJ. MGR.: SMS
 PROJ. ASSOC.: HCM
 DRAWN BY: JSH
 DATE: 08/06/19
 SCALE: 1" = 30'
 SHEET
L1 OF **L4**
 BST.CL101



CRYSTAL LAKE REQUIRED LANDSCAPING:

Parking Lot Interior Landscaping:
One 8' x 19' landscape island containing one canopy or ornamental tree and five shrubs every 10 parking spaces and at the ends of every parking row is required. **Requirement is met.**

Perimeter Landscape for Parking Lots Abutting Rights-of-Way:
Continuous visual screen 15' in width using both deciduous and evergreen species planted in undulating beds forming an interesting pattern requiring one canopy, ornamental, or evergreen tree and 10 shrubs, with shrubs planted at various heights, averaging 3' in height, along every 40 lf. **Requirement is met.**

Perimeter Landscaping for Parking Lots Not Abutting Rights-of-Way:
Continuous visual screen 8' in width using both deciduous and evergreen species planted in undulating beds forming an interesting pattern requiring one canopy, ornamental, or evergreen tree and five shrubs, with shrubs planted at various heights, averaging 3' in height, along every 40 lf. **Requirement is met.**

Foundation Landscaping:
Five-foot wide landscape area around all perimeters of buildings containing both deciduous and evergreen species of tree and shrubs providing an interesting visual pattern around the building, exclusive of sidewalk connections to doors. **Requirement is met.**

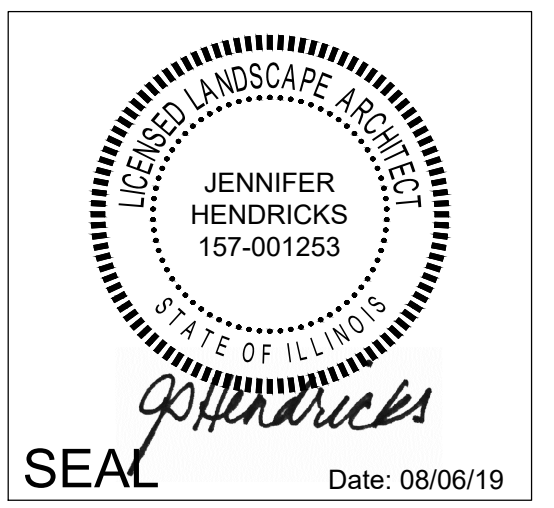
General Buffering Requirements:
Landscape buffering is required where adjoining properties are located within different zoning districts or from specific uses to soften the visual impact of the development or use. **Adjoining properties are in the same district based on the buffer matrix: no buffer required.**

Signs: All permanent freestanding signs shall have landscaping planted around the base of the sign.
Landscape area: The amount of landscape area required shall be 1 sf of landscape area per 1 sf of sign area, located in an area radiating from the base of the sign. **Requirement is met.**

Screening: Screening is required around any mechanical equipment, dumpster enclosures, and outside storage.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
ACE A12	4	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	3" Cal.	B&B	
CEL CHI	10	Celtis occidentalis 'Chicagoland'	Common Hackberry	3" Cal.	B&B	
MAL DON	8	Malus x 'Donald Wyman'	Donald Wyman Crab Apple	3" Cal.	B&B	
QUE BIC	5	Quercus bicolor	Swamp White Oak	3" Cal.	B&B	
TIL GLE	8	Tilia cordata 'Glenleven'	Glenleven Littleleaf Linden	3" Cal.	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
ARO ME2	1	Aronia melanocarpa	Chokeberry	3' Ht.	Pot	
ARO DAY	73	Aronia melanocarpa 'UCONNAM166'	Low Scape Hedger Chokeberry	3' Ht.	Pot	
HYD B59	14	Hydrangea macrophylla 'Bloomstruck'	Bloomstruck Hydrangea	3' Ht.	Pot	
HYD LIM	47	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	3' Ht.	B&B	
JUN PFI	71	Juniperus chinensis 'Kallays Compact'	Kallay Compact Pfitzer Juniper	3 gal.	Pot	
JUN FOR	41	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	Pot	
RHU GRO	30	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal.	Pot	
SOR SEM	32	Sorbaria sorbifolia 'Sem'	Sem Ash Leaf Spirea	3' Ht.	Pot	
SPI NIP	7	Spiraea nipponica 'Snowmound'	Snowmound Spirea	3' Ht.	Pot	
TAX DEN	16	Taxus x media 'Densiformis'	Dense Yew	3' Ht.	Pot	
VIB LAN	23	Viburnum lantana 'Mohican'	Mohican Wayfaring Tree	5 gal.	Pot	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
CAL KAR	39	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 gal.		
PAN CHE	221	Panicum virgatum 'Cheyenne Sky'	Switch Grass	1 gal.	Pot	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
HEM R70	307	Hemerocallis x 'Rosy Returns'	Daylily	1 gal.	Pot	18" o.c.
NEP BLU	253	Nepeta x faassenii 'Blue Wonder'	Catmint	1 gal.	Pot	18" o.c.



REVISIONS

NO.	DATE	DESCRIPTION

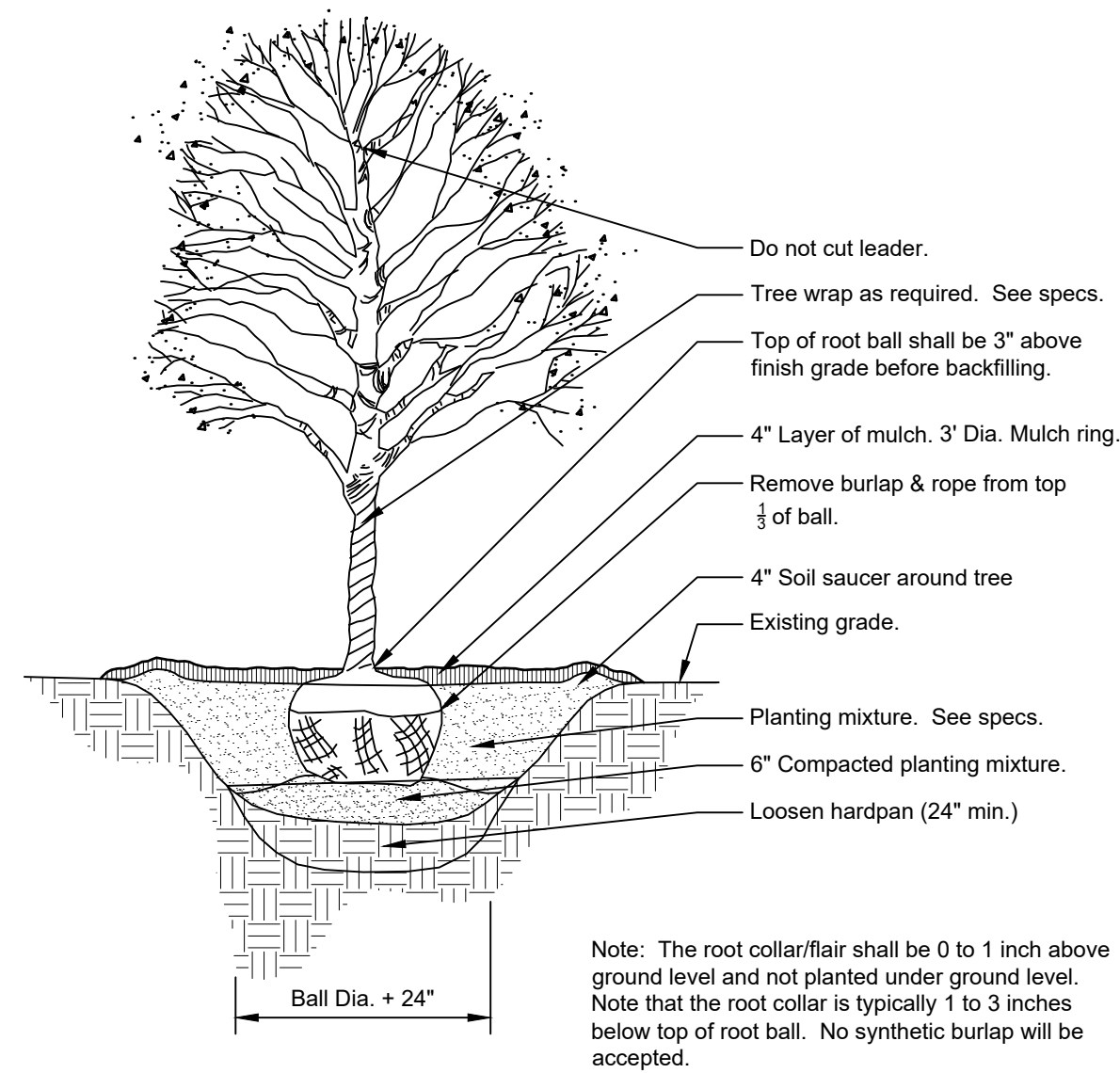
Manhard CONSULTING

700 Springer Drive, Lombard, IL 60148 ph:630.691.8800 fx: 630.691.8885 manhard.com
 Jennifer Hendricks, ASLA, PLA
 Construction Manager | Environmental Scientists | Landscaping Architects | Planners

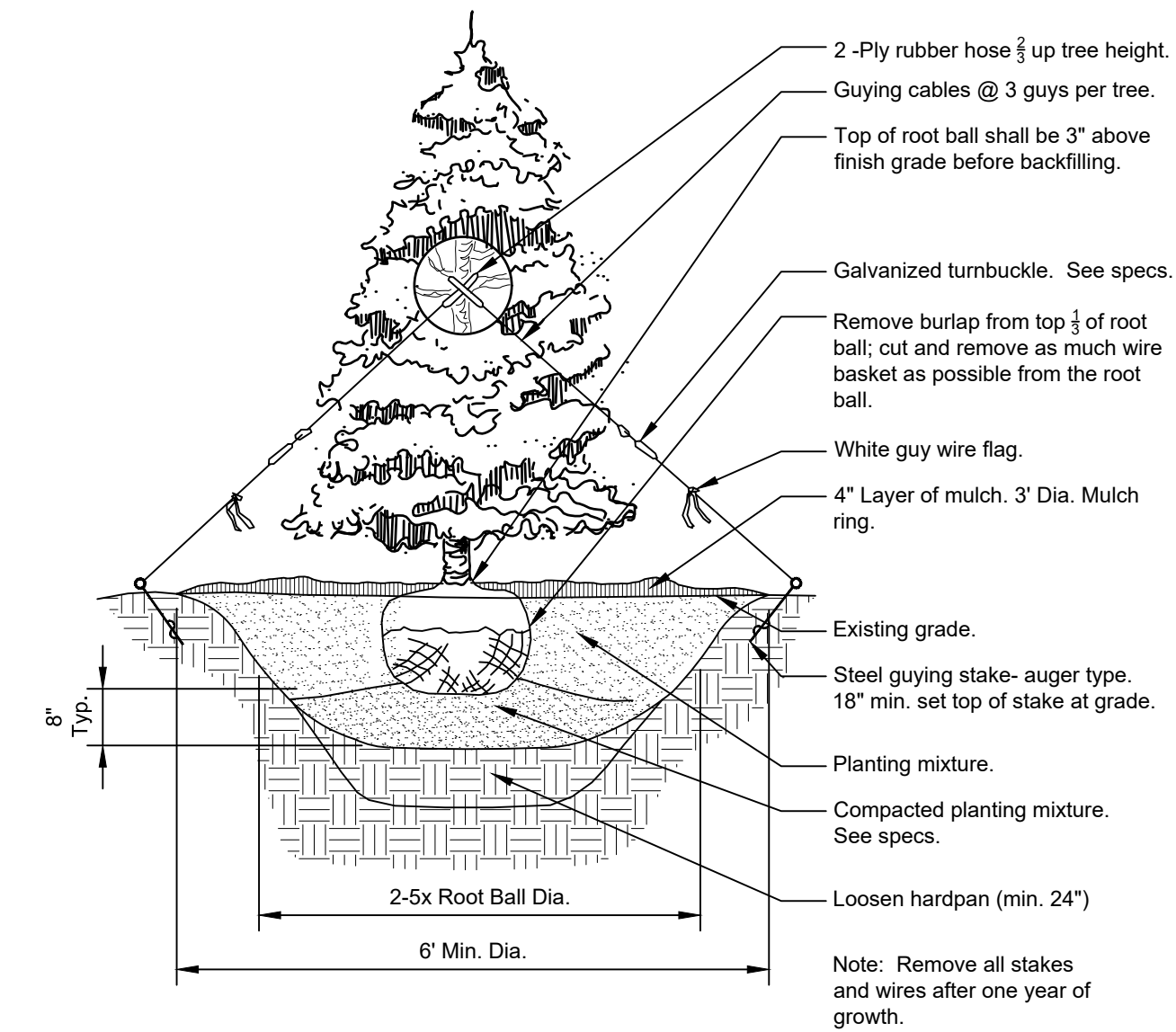
**PROPOSED FUEL CENTER
CRYSTAL LAKE, ILLINOIS
LANDSCAPE PLAN**

PROJ. MGR: SMS
 PROJ. ASSOC: HCM
 DRAWN BY: JSH
 DATE: 08/06/19
 SCALE: 1" = 30'

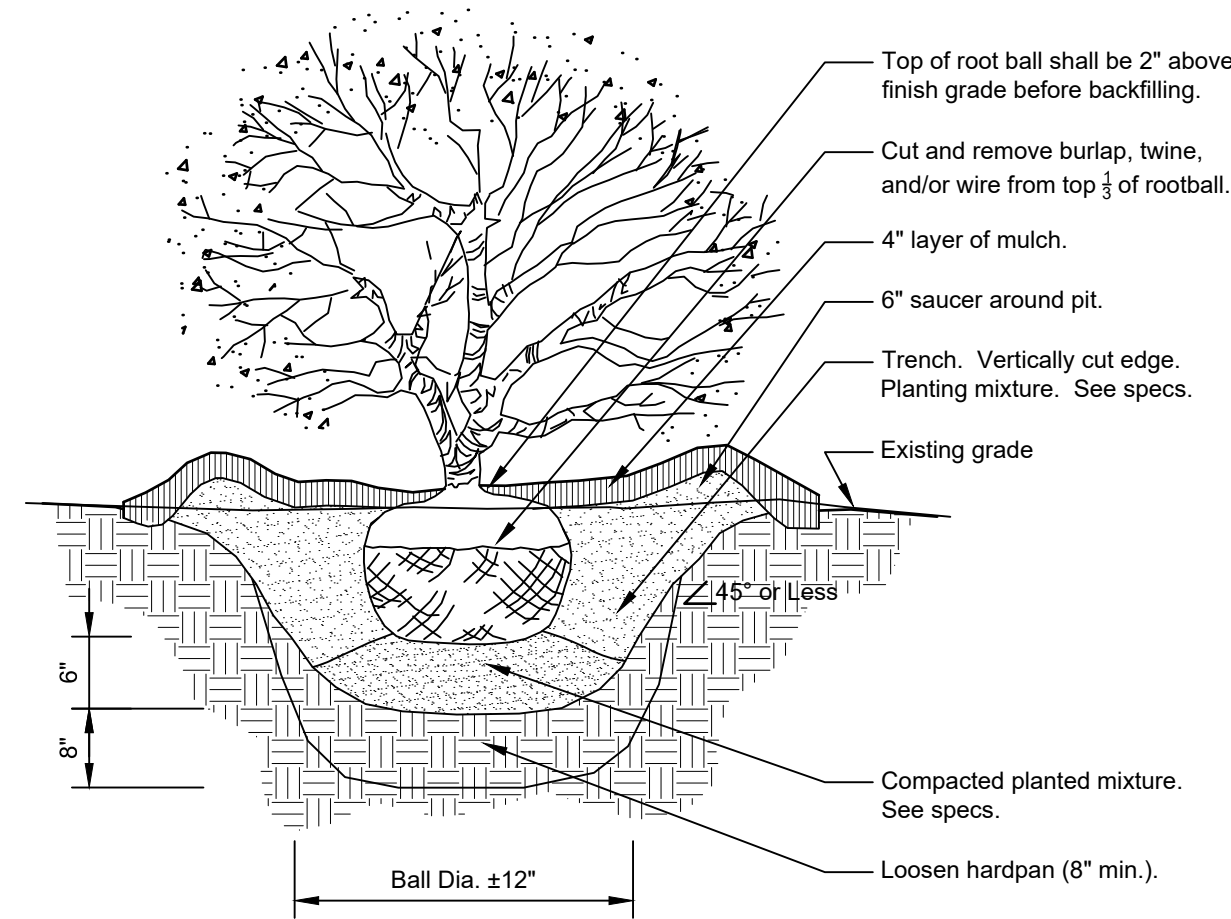
SHEET
L2 OF **L4**
 BST.CL101



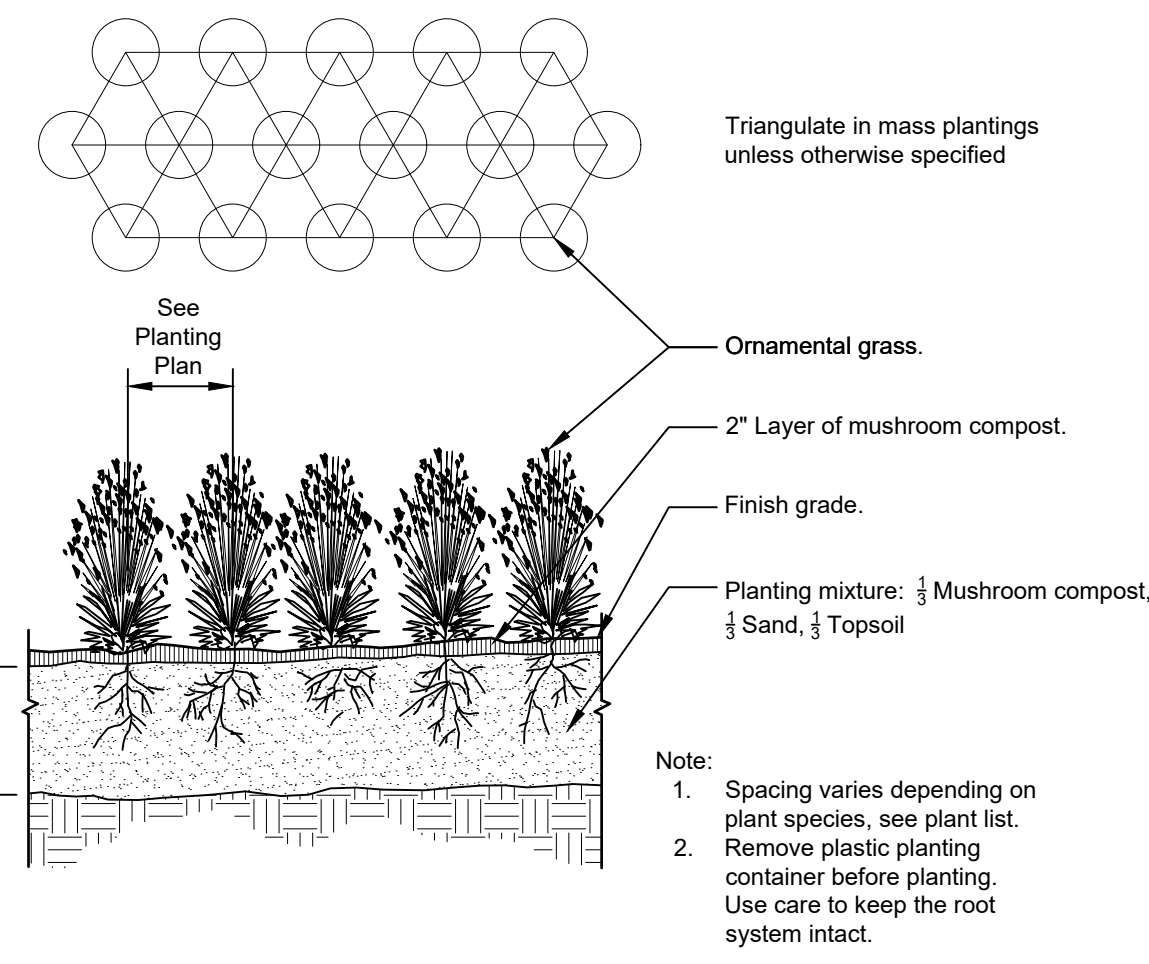
1 DECIDUOUS TREE PLANTING
1/4" = 1'-0" 32 9343.33-20



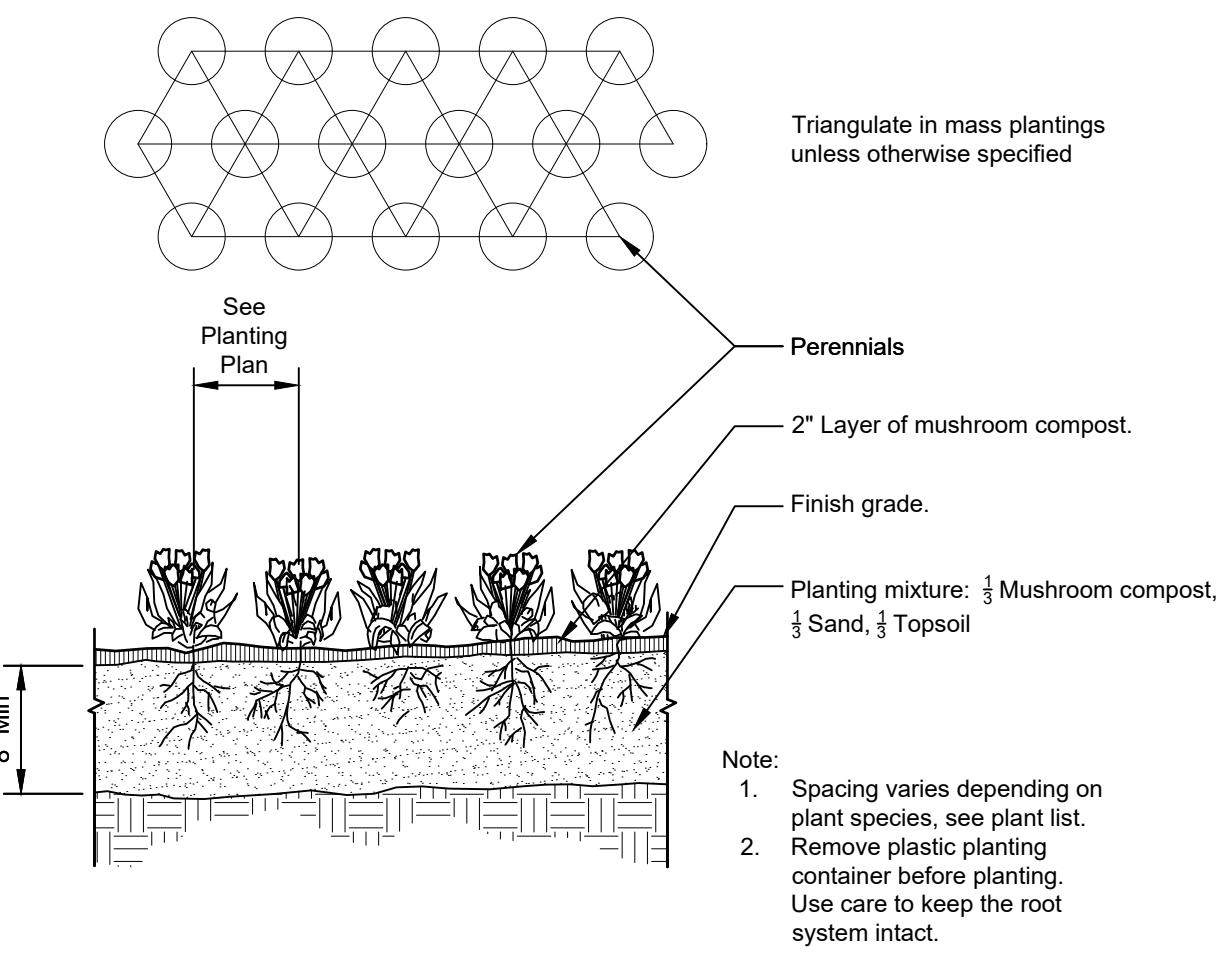
2 CONIFER TREE PLANTING
1/4" = 1'-0" 32 9343.46-01



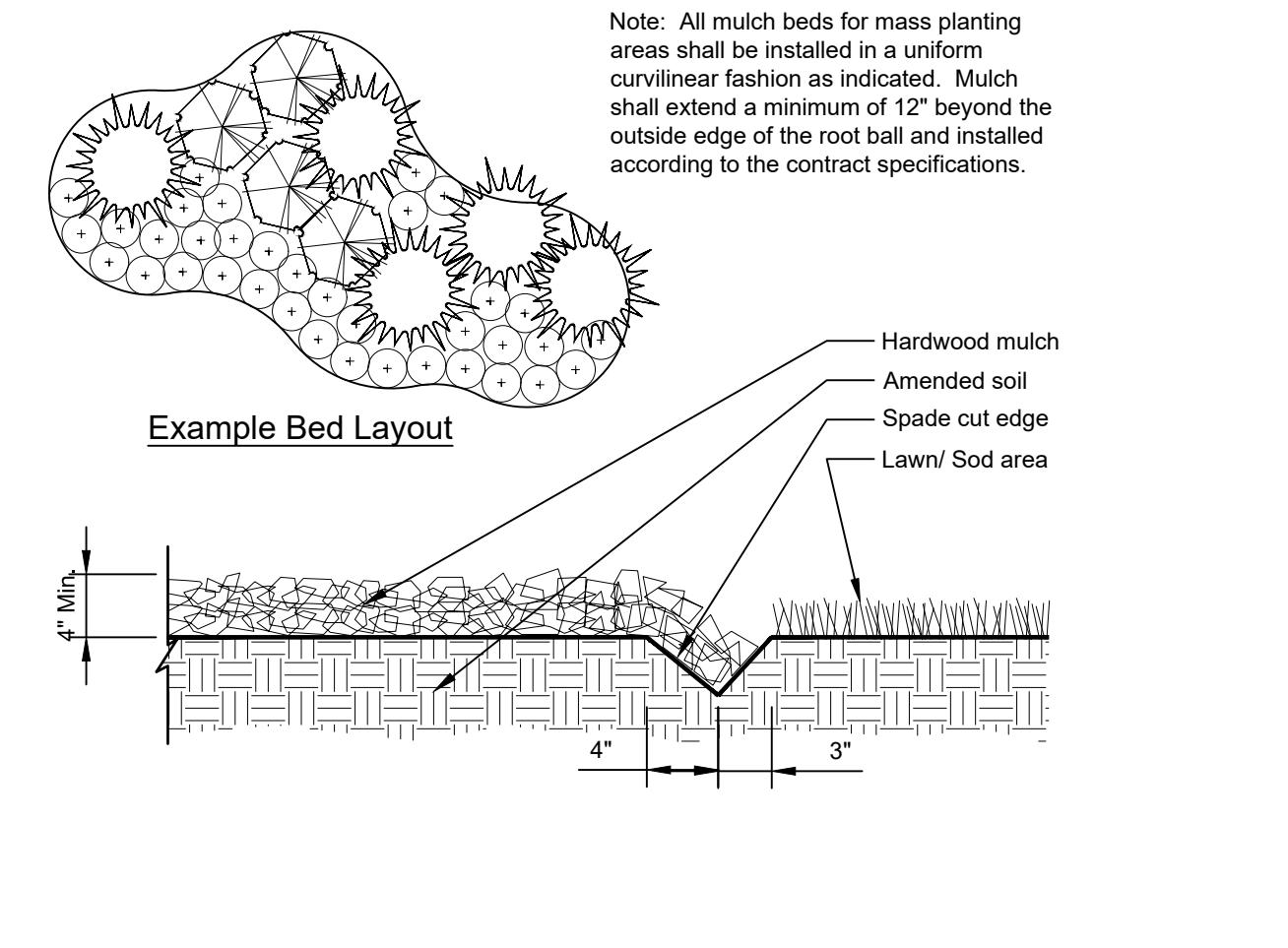
3 SHRUB PLANTING DETAIL
3/4" = 1'-0" 32 9333.16-05



4 ORNAMENTAL GRASS PLANTING
1" = 1'-0" 32 9313-01



5 PERENNIAL / ANNUAL PLANTING
1" = 1'-0" 32 9313-02



6 CONTINUOUS MULCH EDGING
1" = 1'-0" 32 9113.26-01

August 6, 2019 - 2:14:59 Draw Name: P:\Bids\03\03\Landscaping\Final Drawings\Plan Set\Landscaping Plan.dwg Updated By: jhendricks

DATE	REVISIONS

Manhard CONSULTING
700 Springer Drive, Lombard, IL 60148 ph:630.691.8500 fx: 630.691.8585 manhard.com
Environmental Scientists | Landscape Architects | Planners
Construction Managers | Environmental Scientists | Landscape Architects | Planners

PROPOSED FUEL CENTER
CRYSTAL LAKE, ILLINOIS
LANDSCAPE DETAILS

PROJ. MGR.: SMS
PROJ. ASSOC.: HCM
DRAWN BY: JSH
DATE: 08/06/19
SCALE: AS SHOWN
SHEET
L3 OF L4
BST.CL101

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KEYNOTES

- 51 THORNTONS SIGNAGE BY OTHERS.
- 80 BUILDING ADDRESS AND STORE NUMBER LOCATION.
- 100 NICHHA DESIGNER SERIES - STYLE: ILLUMINATION, COLOR: PANTONE RED PMS 186 RED, OWNER FURNISHED, CONTRACTOR INSTALLED.
- 101 NICHHA BRICK SERIES - STYLE: PLYMOUTHBRICK, COLOR: CRIMSON, OWNER FURNISHED, CONTRACTOR INSTALLED.
- 103 NICHHA KURASTONE SERIES - STYLE: STACKSTONE, COLOR: DESERT, OWNER FURNISHED, CONTRACTOR INSTALLED.
- 104 NICHHA FLASHING AT WATER TABLE AND BOTTOM EDGE OF LOWER WALL PANELS, TYP. ENTIRE PERIMETER. OWNER FURNISHED, CONTRACTOR INSTALLED.
- 105 NICHHA SILL-CHISELED SYSTEM - COLOR: MATCH KURASTONE ; OWNER FURNISHED, CONTRACTOR INSTALLED.

KEYNOTES

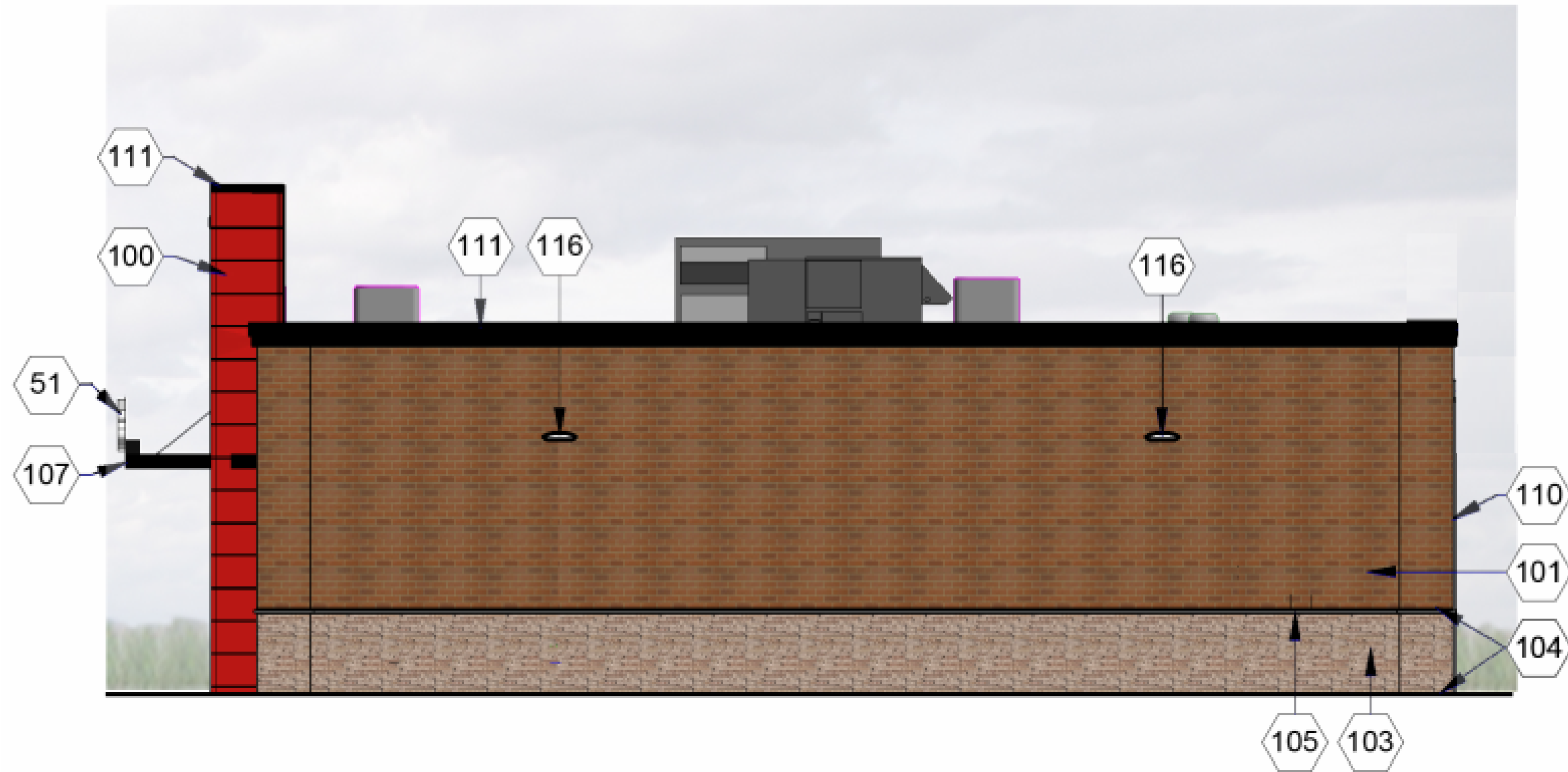
- 106 TRELLIS: COLOR: BLACK ; OWNER FURNISHED AND OWNER INSTALLED. GC TO PROVIDE BLOCKING AS REQUIRED.
- 107 NOT USED
- 108 LOUVER SYSTEM - COLOR: PANTONE 8600C PEWTER ; OWNER FURNISHED AND OWNER INSTALLED. GC TO PROVIDE BLOCKING AS REQUIRED.
- 111 PREFINISHED METAL COPING - COLOR: BLACK ; OWNER FURNISHED, CONTRACTOR INSTALLED.
- 112 SCHEDULED DOOR AND FRAME - REFER TO DOOR SCHEDULE SHEET.
- 116 EXTERIOR LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS.
- 129 GAS SERVICE, PAINT CONNECTING PIPES BLACK. REFER TO PLUMBING DRAWINGS.
- 154 WINDOW FILM, FURNISHED & INSTALLED BY OWNER
- 183 RECESSED DOOR BELL, REFER TO ELECTRICAL DRAWINGS.



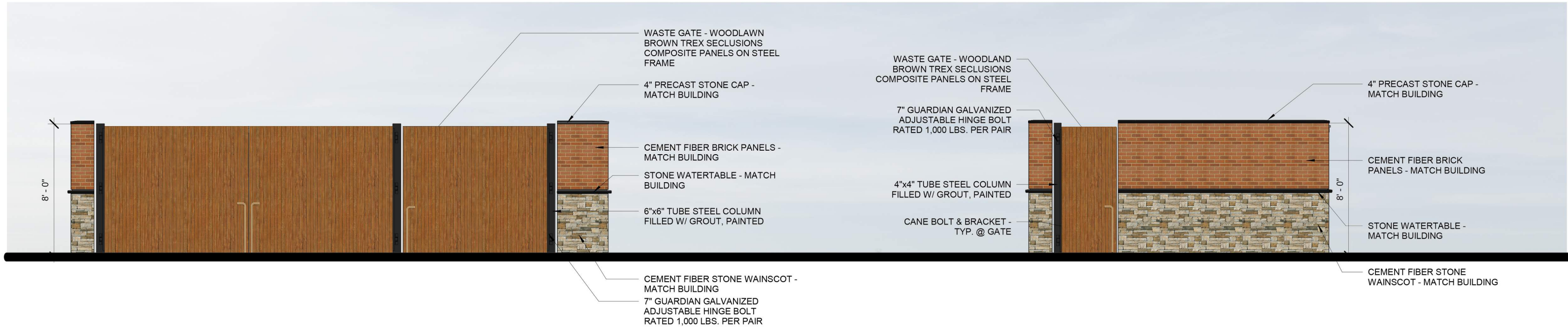
FRONT ELEVATION



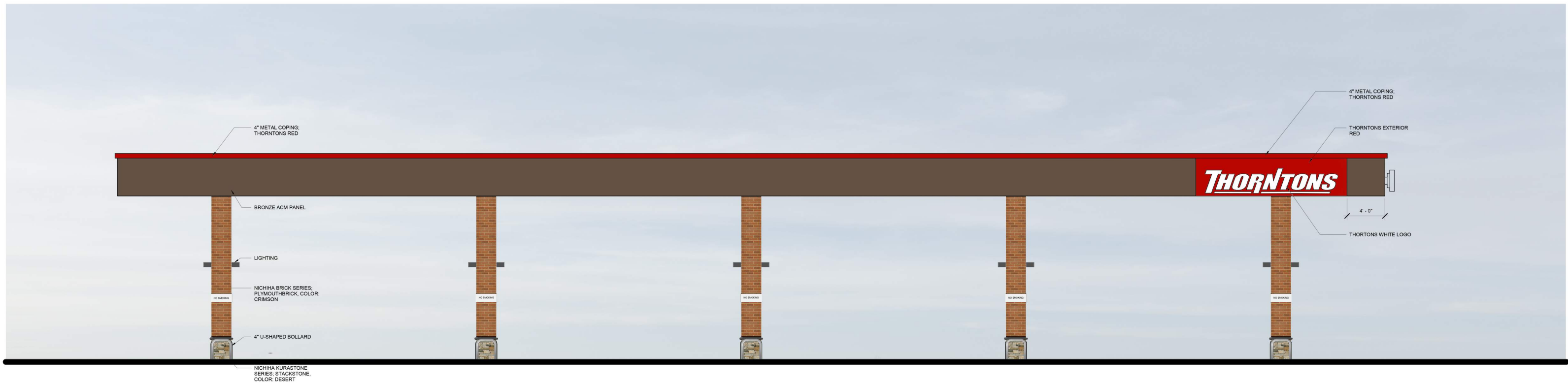
REAR ELEVATION



SIDE ELEVATION



WASTE COLLECTION ELEVATION



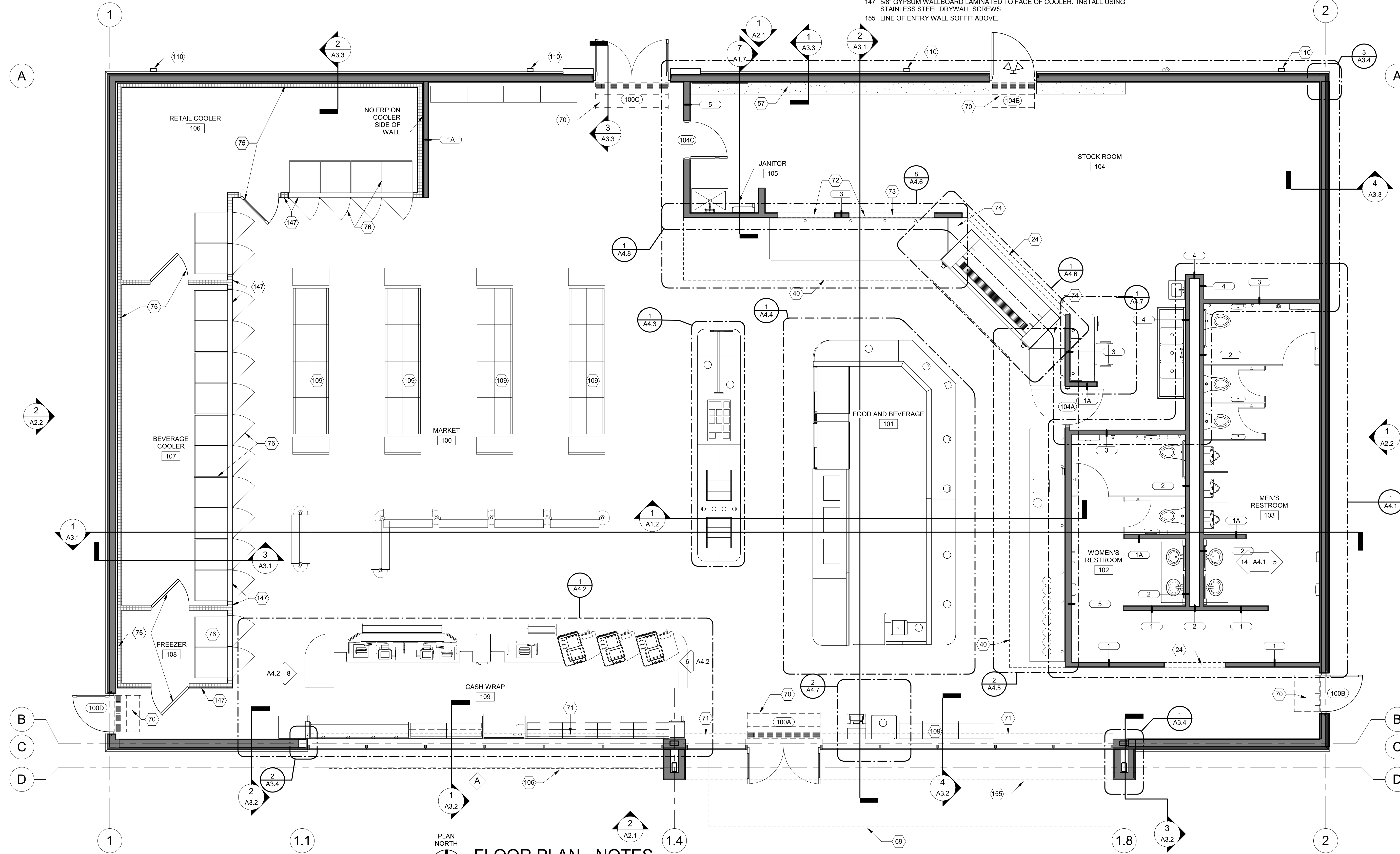
CANOPY ELEVATION

KEYNOTES

- 24 LINE OF BULKHEAD ABOVE, REFER TO REFLECTED CEILING PLAN.
- 40 LINE OF SOFFIT ABOVE, REFER TO REFLECTED CEILING PLAN.
- 57 CONCRETE CURB @ B.O.H., REFER TO ELECTRICAL AND STRUCTURAL DRAWINGS.
- 69 LINE OF ALUMINUM TRELLIS ABOVE.
- 70 LOCATION OF FUTURE AIR CURTAIN, PROVIDE CONDUIT W/ PULL STRING ABOVE CEILING ONLY, REFER TO ELECTRICAL DRAWINGS.
- 71 ELECTRONIC WINDOW SHADE SYSTEM, (WEST FACING STORE ONLY.)
- 72 GYP. BD. OPENING FROM FINISH FLOOR TO 2'-9" TALL FOR EQUIPMENT ACCESS AND VENTING AS SHOWN.
- 73 VERIFY SIZE AND LOCATIONS OF VENTS FOR EQUIPMENT ACCESS WITH OWNER PRIOR TO CONSTRUCTION.
- 74 LINE OF CASEWORK PANEL ALIGNED WITH COUNTERTOP AND BULKHEAD ABOVE.
- 75 WALK-IN COOLERS / FREEZER WALL FURNISHED AND INSTALLED BY OWNER.
- 76 COOLER / FREEZER DOORS AND SHELVING, REFER TO EQUIPMENT PLAN AND SCHEDULES.
- 106 TRELLIS, COLOR: BLACK ; OWNER FURNISHED AND OWNER INSTALLED. GC TO PROVIDE BLOCKING AS REQUIRED.
- 109 SHELVING, REFER TO EQUIPMENT PLAN AND SCHEDULES.
- 110 PREFINISHED SEAMLESS METAL DOWNSPOUT SYSTEM, SUPPLY MATCHING RECEIVING BOOT FOR TRANSITION TO UNDERGROUND STORM DRAINAGE - COLOR: BLACK ; CONTRACTOR FURNISHED, CONTRACTOR INSTALLED.
- 147 5/8" GYPSUM WALLBOARD LAMINATED TO FACE OF COOLER. INSTALL USING STAINLESS STEEL DRYWALL SCREWS.
- 155 LINE OF ENTRY WALL SOFFIT ABOVE.

GENERAL NOTES

- A. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- B. ALL TRADES ARE REQUIRED TO VISIT THE SITE AND DETERMINE THAT ALL WORK CAN BE ACHIEVED IN A COMPLETE MANNER UNDER THEIR BID.
- C. ALL FLOORING AND INTERIOR CASEWORK SHALL BE PROTECTED IMMEDIATELY FOLLOWING INSTALLATION. CONTRACTOR SHALL NOT USE COMPLETED CASEWORK FOR STORAGE DURING CONSTRUCTION.
- D. PROVIDE FULL HEIGHT STUDS (SEE PLAN FOR SIZE/TYPE) TO THE FLOOR OR ROOF DECK ABOVE AT ALL CORNERS, DOOR FRAMES, BORROWED LIGHTS, BEHIND WALL MOUNTED EQUIPMENT AND BEHIND WALL MOUNTED CASEWORK. GYPSUM WALLBOARD, PLYWOOD, AND INSULATION SHALL EXTEND 6" ABOVE CEILING UNLESS NOTED OTHERWISE.
- E. ALL VERTICAL AND HORIZONTAL DUCTS, PIPING, CONDUIT, ETC. (SHOWN OR NOT) SHALL BE BOXED OUT TO MATCH ADJACENT WALL CONSTRUCTION.
- F. PROVIDE ACCESS PANELS IN WALLS WHERE SERVICE TO MECHANICAL, PLUMBING, ELECTRICAL, ETC. ELEMENTS WILL NEED TO BE ADJUSTED, IE: CLEAN OUTS, VALVES, DAMPERS, ETC.
- G. PROVIDE BLOCKING BEHIND ALL WALL MOUNTED HANDRAILS, BUMPER RAILS, TOILET ACCESSORIES, SCONES, ETC.
- H. VERIFY LOCATION AND SIZE OF ALL RECESSES, PLUMBING CHASES AND MECHANICAL SHAFTS PRIOR TO CONSTRUCTION.
- J. PROVIDE "BLUE" SILL SEALER EQUAL TO THE WIDTH OF BOTTOM PLATE AT ALL INTERIOR PARTITIONS.
- K. REFER TO COVER SHEET FOR PLAN SYMBOLS.
- L. REFER TO SHEET SERIES A1.8 FOR EQUIPMENT PLAN AND SCHEDULES.
- M. REFER TO SHEET A1.3 FOR DOOR SCHEDULE.



FLOOR PLAN - NOTES

SCALE: 1/4" = 1'-0"

SCALE SHOWN TO ENSURE REPRODUCTION ACCURACY

737 South Third Street, Louisville, Kentucky 40202-2100
 502-585-4181 502-597-0488 Fax www.lockett-farley.com
 Master Planning | Architecture | Engineering | Interior Design

Lockett & Farley

Architecture | Engineering | Interior Design

THORNTONS STORE

THORNTONS

REVISIONS	Description	Date
#		

CONTR. NO.	MADE BY: TLS	CHECKED: JV
DATE:		
FLOOR PLAN - NOTES		
DRAWING NO. A1.1	BID Pkg.	

THORNTONS

SITE ADDRESS:

CORNER OF TEK DRIVE & RTE 31
CRYSTAL LAKE, IL 60014



440.209.6200

800.627.4460

theMCgroup.com

SIGN CODE:

Building Signage- 75' SF max for any 1 sign on façade. Additionally, for buildings or tenant spaces with at least 100 foot of primary frontage along a public street, you get 1.5 SF per linear foot, Max of 250' SF is permitted.

Freestanding Signs- 80' SF max / 9ft max. over all height limit. Number of signs allowed is not stipulated. Min. set back of 10' from property line.

Directional Signs- Not addressed in city code. Need to submit for approval.
Gas Canopy Signs- Same as wall signs.

SUMMARY:

TO VARY

ADDITIONAL NOTES:

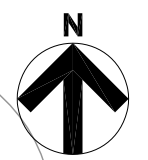
Variance Info. – Planning commission meets every 1st & 3rd Wed. of the month. All documents must be submitted 30 days. Prior to meeting. Planning commission makes recommendations to City Council which meets 1st & 2nd Tues. of each month. Likelihood of approval, less than 50%. Cost- Filing fee \$305



SITE PLAN

Scale: 3/32" = 1'-0"

TEK DRIVE



20" CL set on RW
17 Square Feet

(1) One set required

30" CL set
38.2 Square Feet

(1) One set required

26" TRUCK EXIT
40.9 Square Feet

(1) One set required

26" TRUCK ENTRY
48.6 Square Feet

(1) One set required

30" CL set
38.2 Square Feet

(1) One set required

LOT 1
171,946 SF
3.95 Acres

STORMWATER DETENTION

CONVENIENCE STORE
5,500 Square Feet

LOT 2
39,787 SF
0.91 Acres

D/F ILLUM. MONUMENT
80 Square Feet MAX

(1) One required

30" CL set
38.2 Square Feet

(2) Two set required

30" CL set
38.2 Square Feet

(1) One set required

31" CL set on backer
46.1 Square Feet

(1) One set required

D/F Illum. Multi Tenant Monument
80 Square Feet MAX

(1) One required



8959 Tyler Boulevard
Mentor, Ohio 44060
440.209.6200
800.627.4460
theMCgroup.com

CLIENT: **THORNTONS**
ADDRESS: CORNER OF TEK DRIVE & RTE 31
CRYSTAL LAKE, IL 60014
PAGE NO. **2**

TICKET NO.: 519887
DATE: 01/02/19
PROJECT MANAGER: KEVIN HORNE
DESIGNER: KW
ELECTRONIC FILE NAME:
THORNTONS\2019\IL\CRYSTAL LAKE

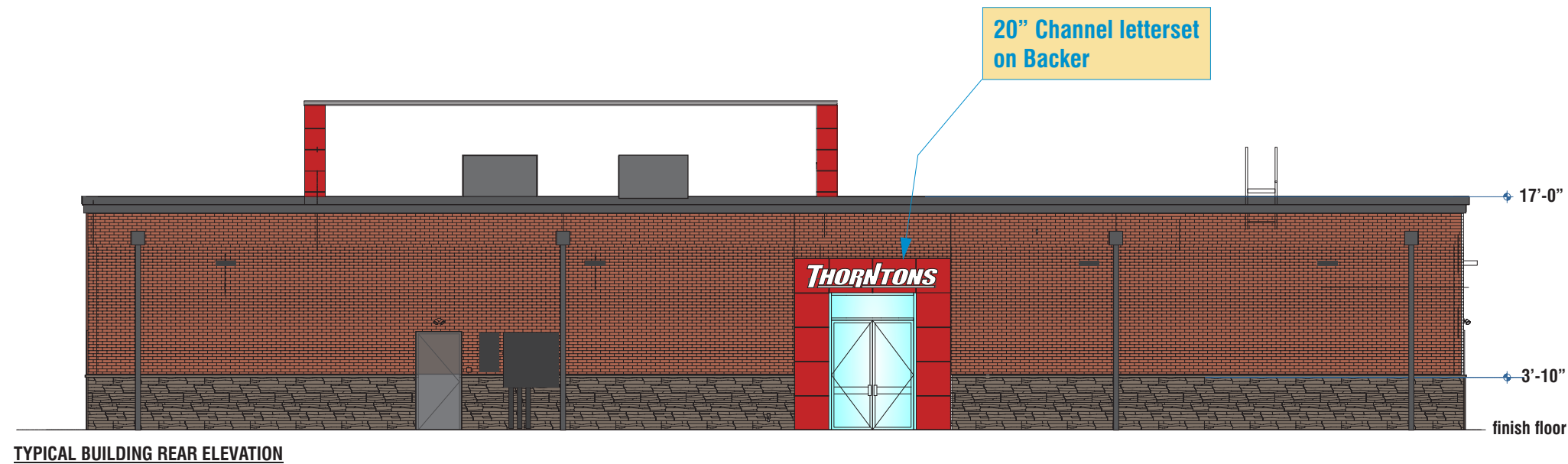
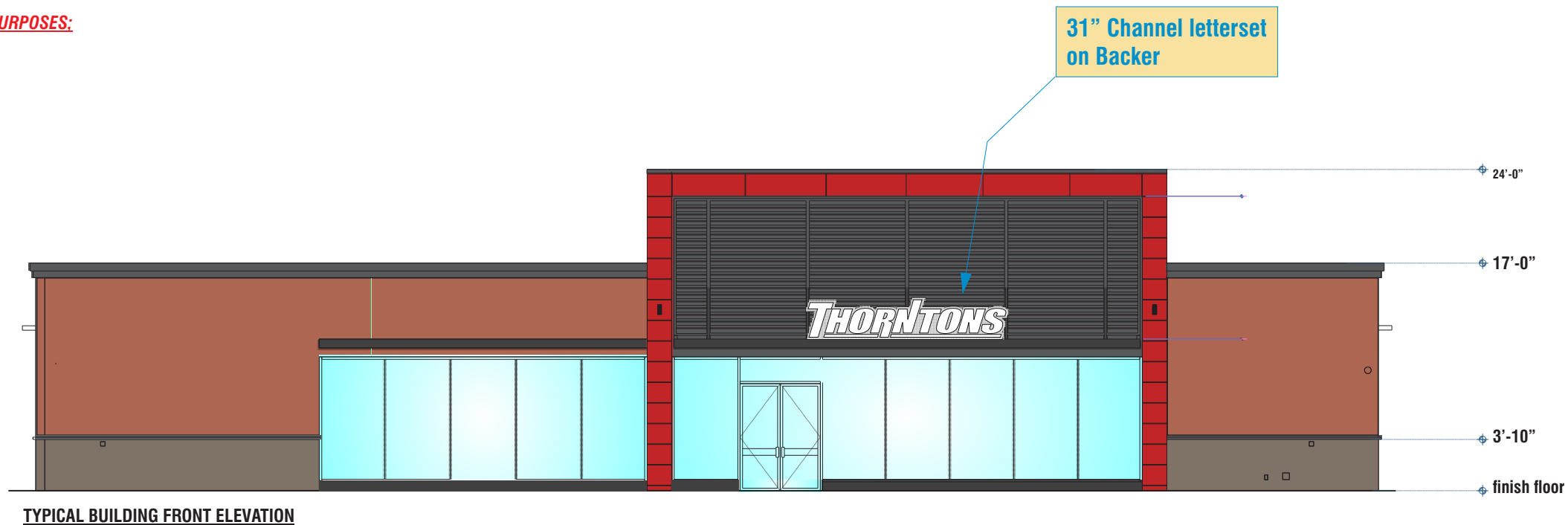
REVISION HISTORY:	

CLIENT SIGNATURE:

APPROVAL DATE:



*TYPICAL ELEVATIONS SHOWN FOR VIEWING PURPOSES;
ACTUAL ELEVATIONS TO BE PROVIDED*



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Mentor, Ohio 44060

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CLIENT:
THORNTONS

ADDRESS:
CORNER OF TEK DRIVE & RTE 31
CRYSTAL LAKE, IL 60014

PAGE NO.
3

TICKET NO.:
519887

PROJECT MANAGER:
KEVIN HORNE

ELECTRONIC FILE NAME:
THORNTONS\2019\IL\CRYSTAL LAKE

DATE:
01/02/19

DESIGNER:
KW

REVISION HISTORY:

CLIENT SIGNATURE:

APPROVAL DATE:



LED ILLUM. CHANNEL LETTERS

Scale: 1/2" = 1'-0"

46.1 Square Feet

31 INCH on backer

15'-2" backer

14'-9" copy

3'-1/2" backer

T=31"



N=21-1/2"

12" raceway - behind backer

2" above beam

2-1/2" x 4'-1" rule

2-1/2" x 8'-2-1/2" rule

8" x 2" existing steel tube

COLOR PALETTE

#7328 White Acrylic

Raceway: Black

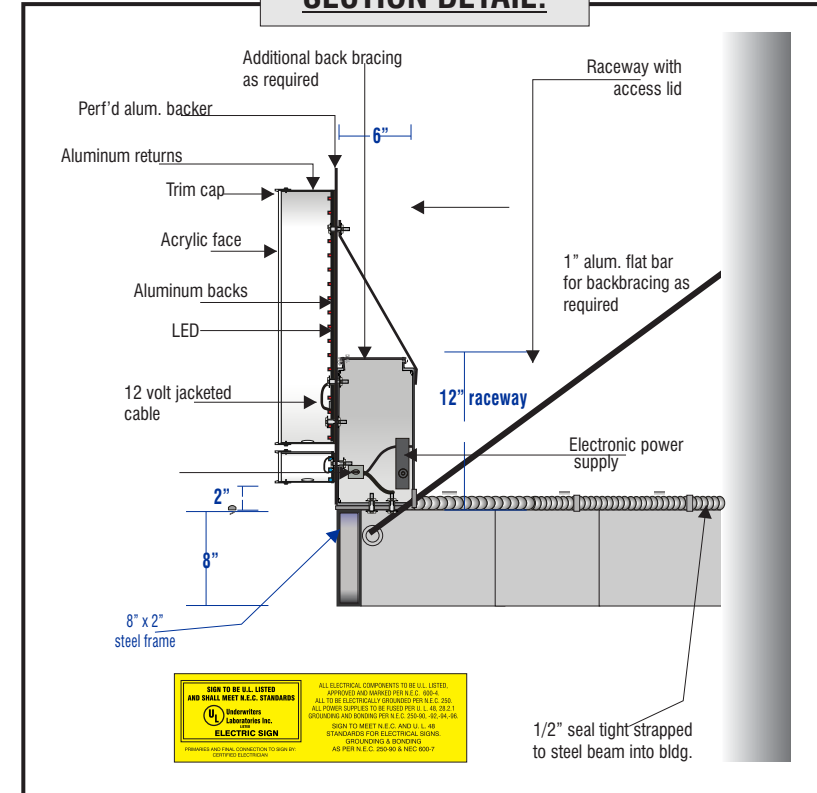
Metallic Silver
MP 33172 Silver Surfer

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length; **POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY**
- BACKER:** .080 perforated alum. screen backer; Holes to be .50" diameter and are 11/16" on centers to allow for 48% visibility; Backer painted Metallic Silver front & back; Backer to be mounted behind letters & will help to conceal raceway
- INSTALL:** Custom 12" high x 6" deep alum. raceway to house all electrical - Painted Black - all sides; Raceway mounted to 1/4" steel plate shelf provided at top edge of steel tube using stainless steel fasteners as required; 1" alum. flat bar to be used for back bracing as necessary - painted Black to match raceway
- QUANTITY:** (1) One channel letterset required for storefront elevation
- CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC

ELECTRICAL NOTE:
ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code

SECTION DETAIL:



ALL ELECTRICAL COMPONENTS TO BE ALL LISTED APPROVED AND NUMBERED PER N.E.C. 2008. ALL TO BE ELECTRICALLY GROUNDING PER N.E.C. 2008. ALL POWER SUPPLY TO BE RATED PER I.L.C. 2011.1. STANDARDS AND BRONZE PER N.E.C. 2008. 10-24-16. SIGN TO MEET I.L.C. AND I.L.C. STANDARDS FOR ELECTRICAL SIGNAGE (CONNECTIONS & BRONZE) AS PER N.E.C. 2008 AND N.E.C. 2007.



8959 Tyler Boulevard
Mentor, Ohio 44060
440.209.6200
800.627.4460
theMCgroup.com

CLIENT: THORNTONS

ADDRESS: CORNER OF TEK DRIVE & RTE 31
CRYSTAL LAKE, IL 60014

PAGE NO.: 4

TICKET NO.: 519887

DATE: 01/02/19

PROJECT MANAGER: KEVIN HORNE

DESIGNER: KW

ELECTRONIC FILE NAME: THORNTONS\2019\IL\CRYSTAL LAKE

REVISION HISTORY:

CLIENT SIGNATURE:

APPROVAL DATE:

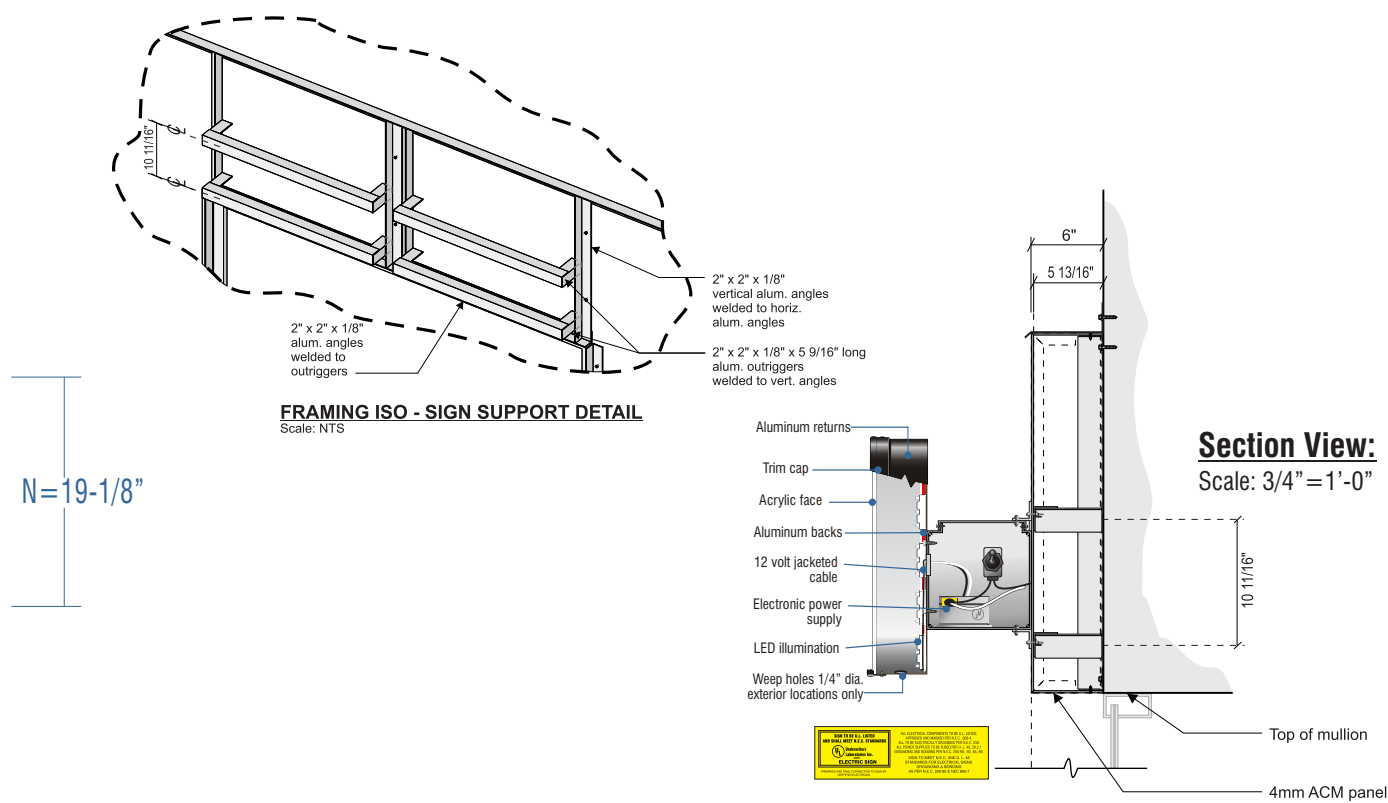
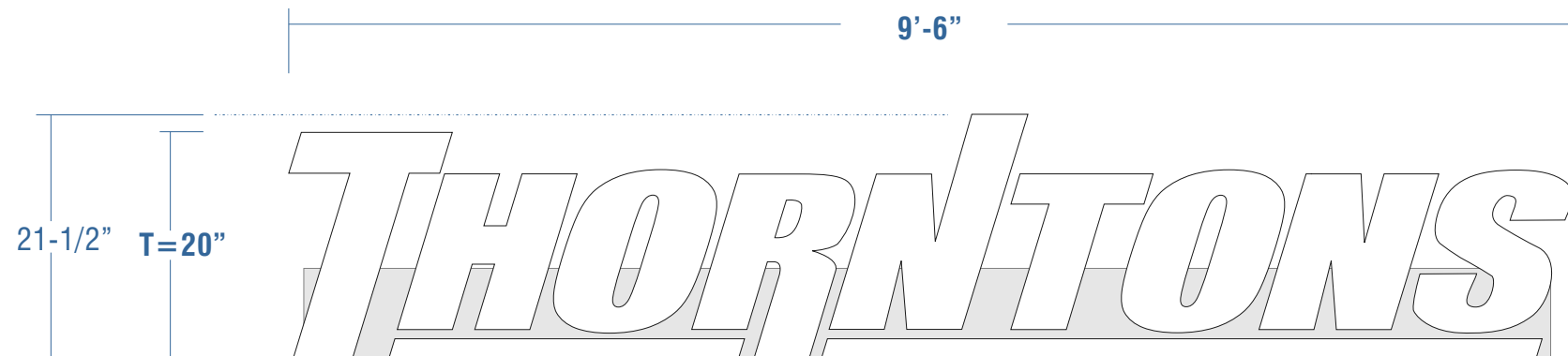


LED ILLUM. CHANNEL LETTERS

Scale: 3/4" = 1'-0"

17 Square Feet

20 INCH



- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer;
Whips to be a minimum of 6'-0" in length;
POWER SUPPLIES TO BE HOUSED WITHIN RACEWAY
- INSTALL:** Standard 8" high x 8" deep alum. raceway to house all electrical -
Painted to Grip Flex 585 Flame Red match wall surface
Raceway to be thru bolted into 2" alum. framework -
framework provided by others
- QUANTITY:** (1) One Channel letterset required for rear elevation
- CONSTRUCTION NOTES:** ALL SIGNAGE IS REQUIRED TO HAVE EXTERNAL DISCONNECT SWITCHES AS REQUIRED BY NEC
- MANUFACTURER NOTES:** SIGNAGE MUST BE 3 WIRE

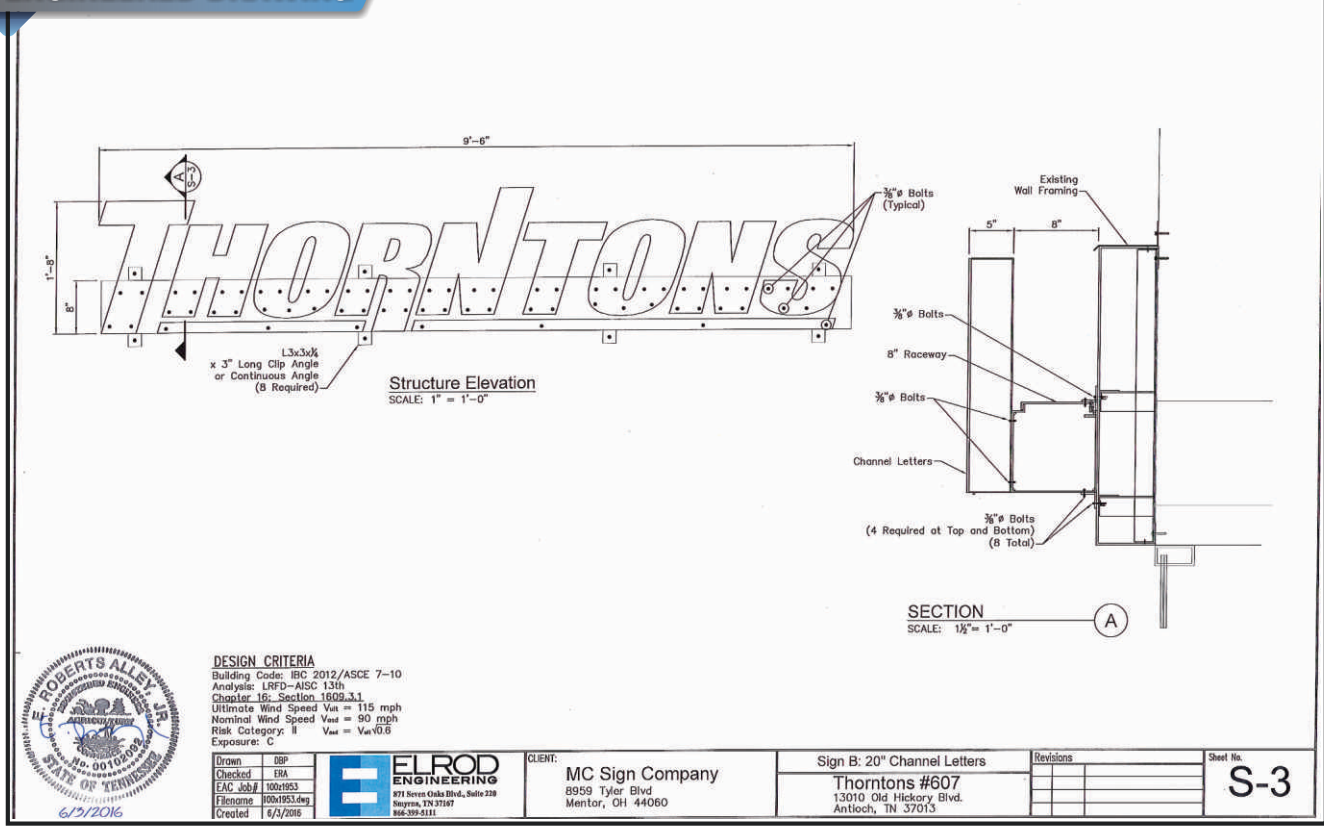
COLOR PALETTE

- #7328 White Acrylic
- Raceway:** Gripflex 585 Red

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

ELECTRICAL NOTE:
ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code

ENGINEERED DRAWING



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CLIENT: THORNTONS

ADDRESS: CORNER OF TEK DRIVE & RTE 31
CRYSTAL LAKE, IL 60014

PAGE NO.: 5

TICKET NO.: 519887

DATE: 01/02/19

PROJECT MANAGER: KEVIN HORNE

DESIGNER: KW

ELECTRONIC FILE NAME: THORNTONS\2019\IL\CRYSTAL LAKE

REVISION HISTORY:

NO.	DESCRIPTION	DATE

CLIENT SIGNATURE:

APPROVAL DATE:

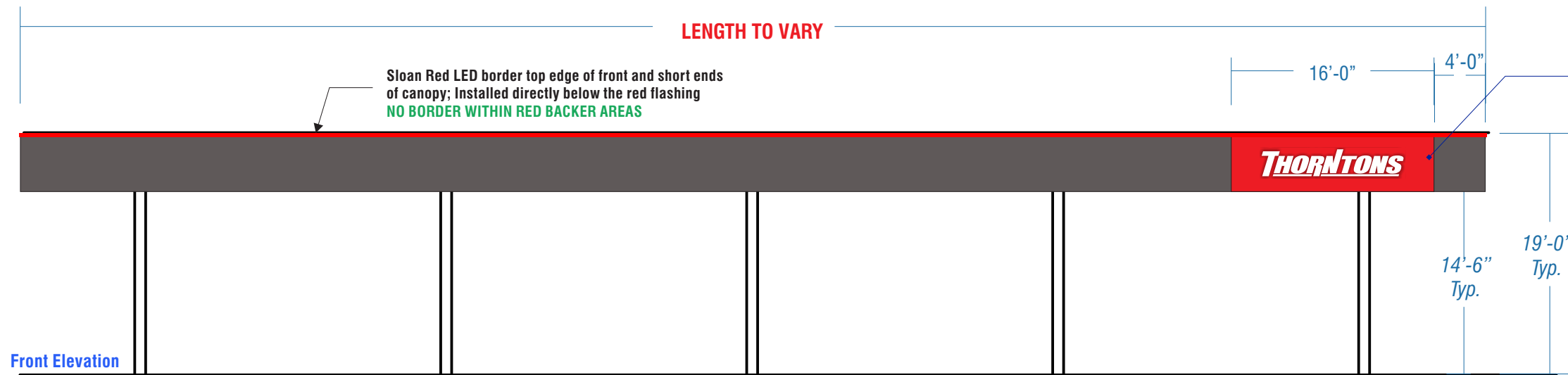


TYPICAL RETAIL CANOPY ELEVATIONS

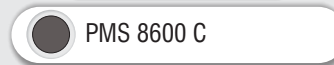
Scale: 3/32" = 1'-0"

TYPICAL CANOPY VIEW - EXACT MEASUREMENTS OF CANOPY TO BE PROVIDED!

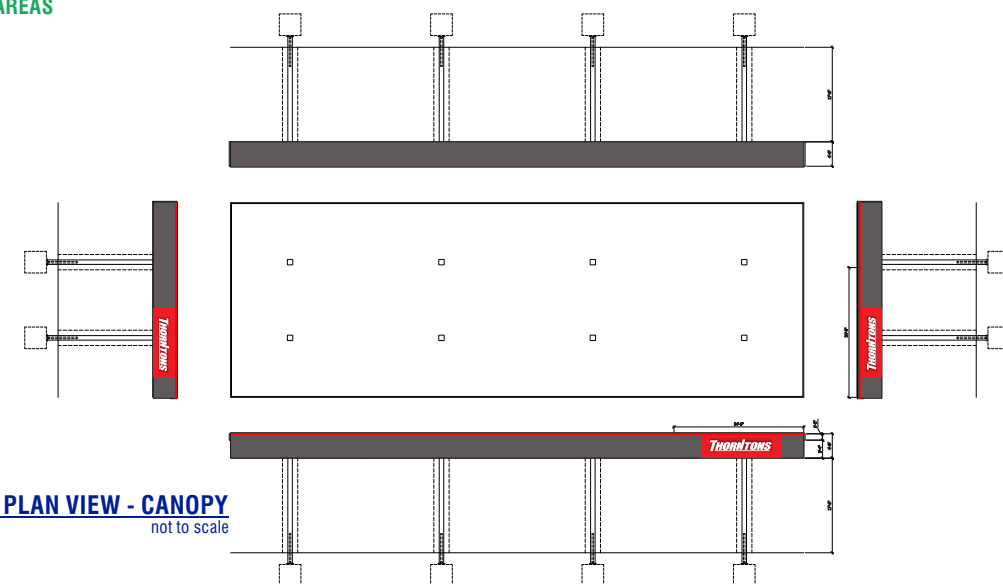
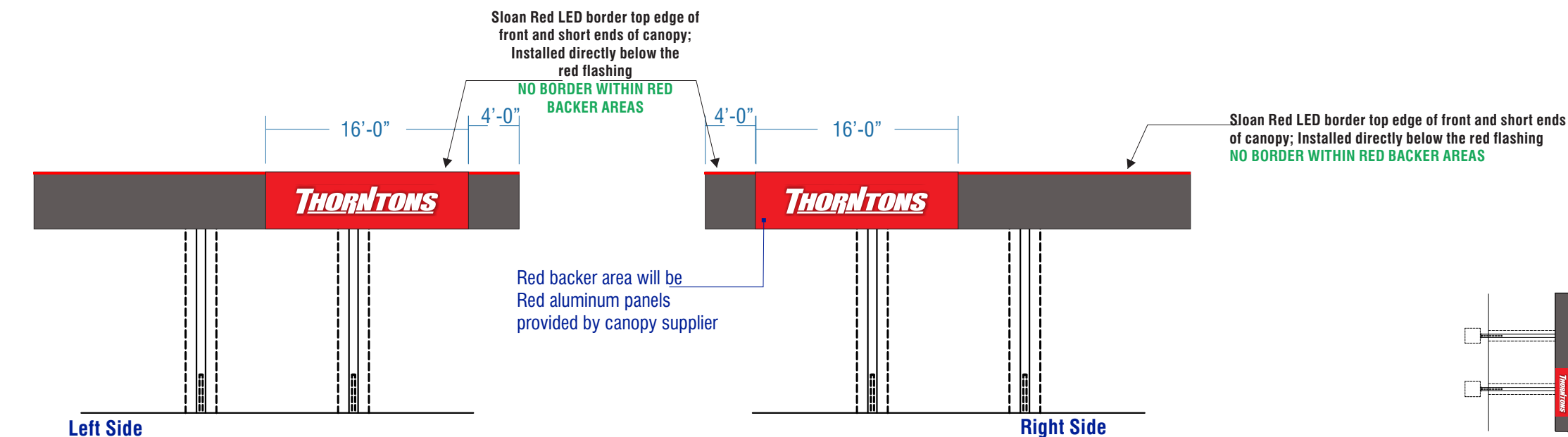
LENGTH TO VARY



COLOR PALETTE



ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



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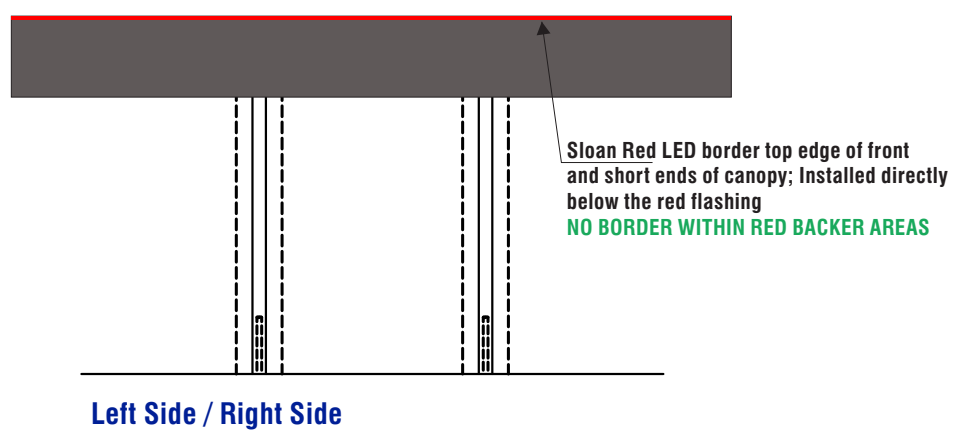
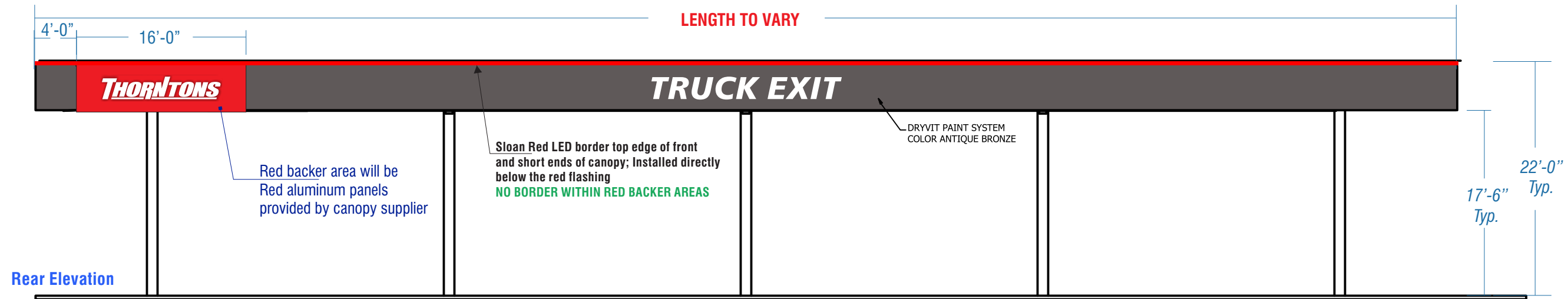
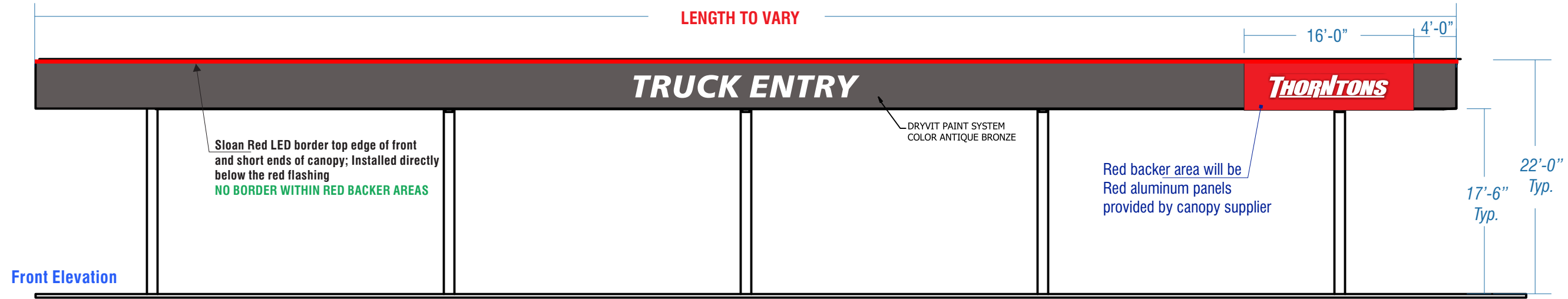
APPROVAL DATE:



TYPICAL DIESEL CANOPY ELEVATIONS

Scale: 3/32" = 1'-0"

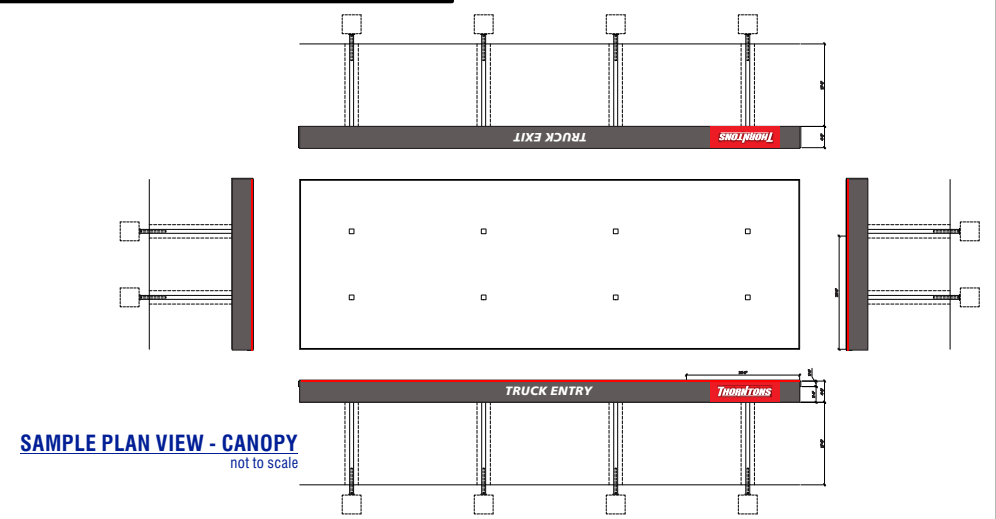
TYPICAL CANOPY VIEW - EXACT MEASUREMENTS OF CANOPY TO BE PROVIDED!



COLOR PALETTE

PMS 8600 C

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



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PROJECT MANAGER: KEVIN HORNE

DESIGNER: KW

ELECTRONIC FILE NAME:
THORNTONS\2019\IL\CRYSTAL LAKE

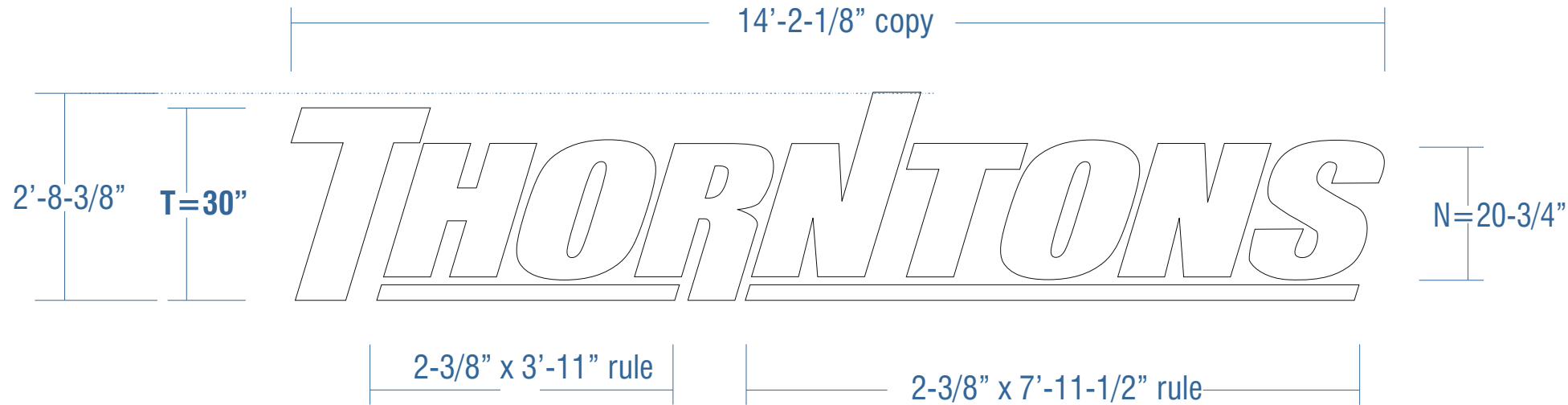
REVISION HISTORY:

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APPROVAL DATE:



30 INCH



COLOR PALETTE

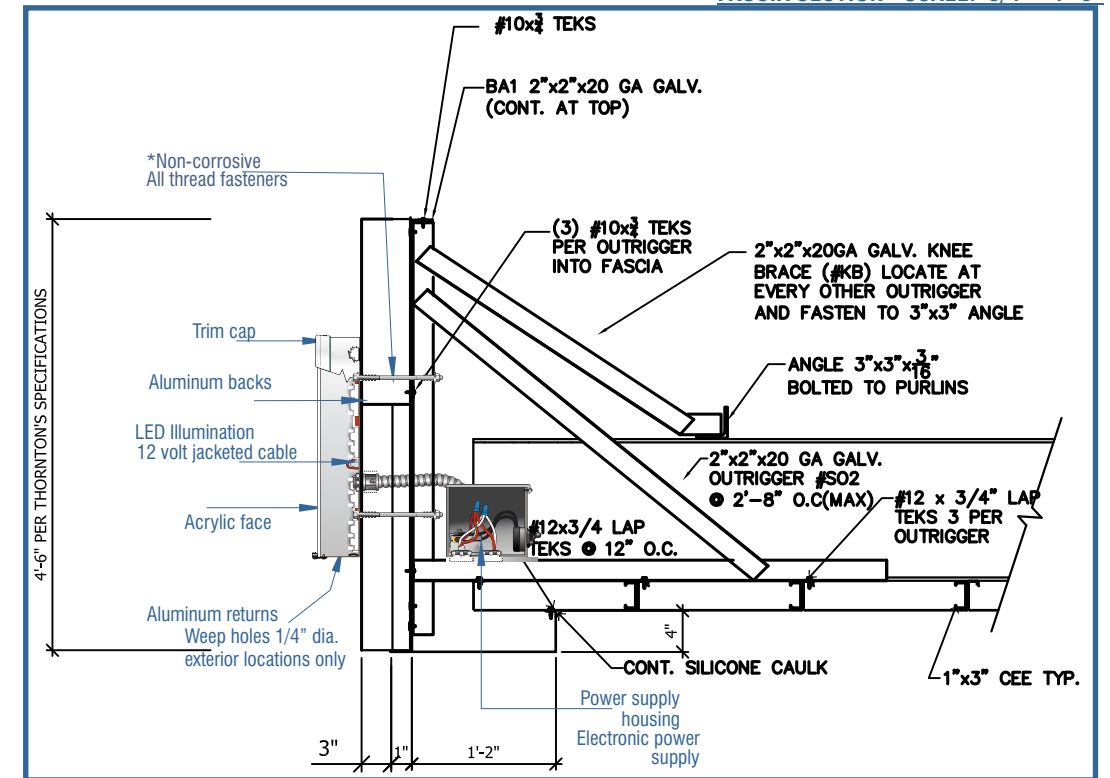


ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

- FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" White jewelite
- LETTER BACKS:** .063 alum. - prefinish White all sides
- RETURNS:** 5" deep .040 alum. returns painted GG White
- ILLUM. :** White GE LED's as required by manufacturer; Whips to be a minimum of 6'-0" in length
POWER SUPPLIES TO BE HOUSED BEHIND CANOPY FASCIA
- INSTALL:** Channel letters to be flush mounted to canopy fascia using 3/8" all thread fasteners as required
- QUANTITY:** (5) Five total required; (2) Two for Diesel Canopy & (3) Three required for Gas Canopy
- MANUFACTURING NOTE:** Electric feeds need to be in center of letters
- CONSTRUCTION NOTE:** All signage required to have external disconnect switches as required by NEC

ELECTRICAL NOTE:
ILLINOIS: Any channel letter sets must have seal tite connectors and housings per code

FASCIA SECTION - SCALE: 3/4" = 1'-0"



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PAGE NO. 8

TICKET NO.: 519887

PROJECT MANAGER: KEVIN HORNE

ELECTRONIC FILE NAME: THORNTONS\2019\IL\CRYSTAL LAKE

DATE: 01/02/19

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APPROVAL DATE:



HUMNST777 BLK BT

26 INCH

48.6 square feet

22'-5-3/8"

TRUCK ENTRY

26"

40.9 square feet

18'-10-3/4"

TRUCK EXIT

26"

GRAPHICS: Surface applied die cut opaque white vinyl graphics

QUANTITY: (1) ONE OF EACH REQUIRED FOR DIESEL CANOPY

COLOR PALETTE



3M 7725-10
Opaque White Vinyl



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D/F ILLUM. MONUMENT

Scale: 3/8" = 1'-0"
73.3 Square Feet

CABINET NOTE:
CABINET MUST INCLUDE LOCKING EXTERNAL DISCONNECT SWITCH
IN ILLINOIS & FLORIDA DUE TO CODE REQUIREMENTS

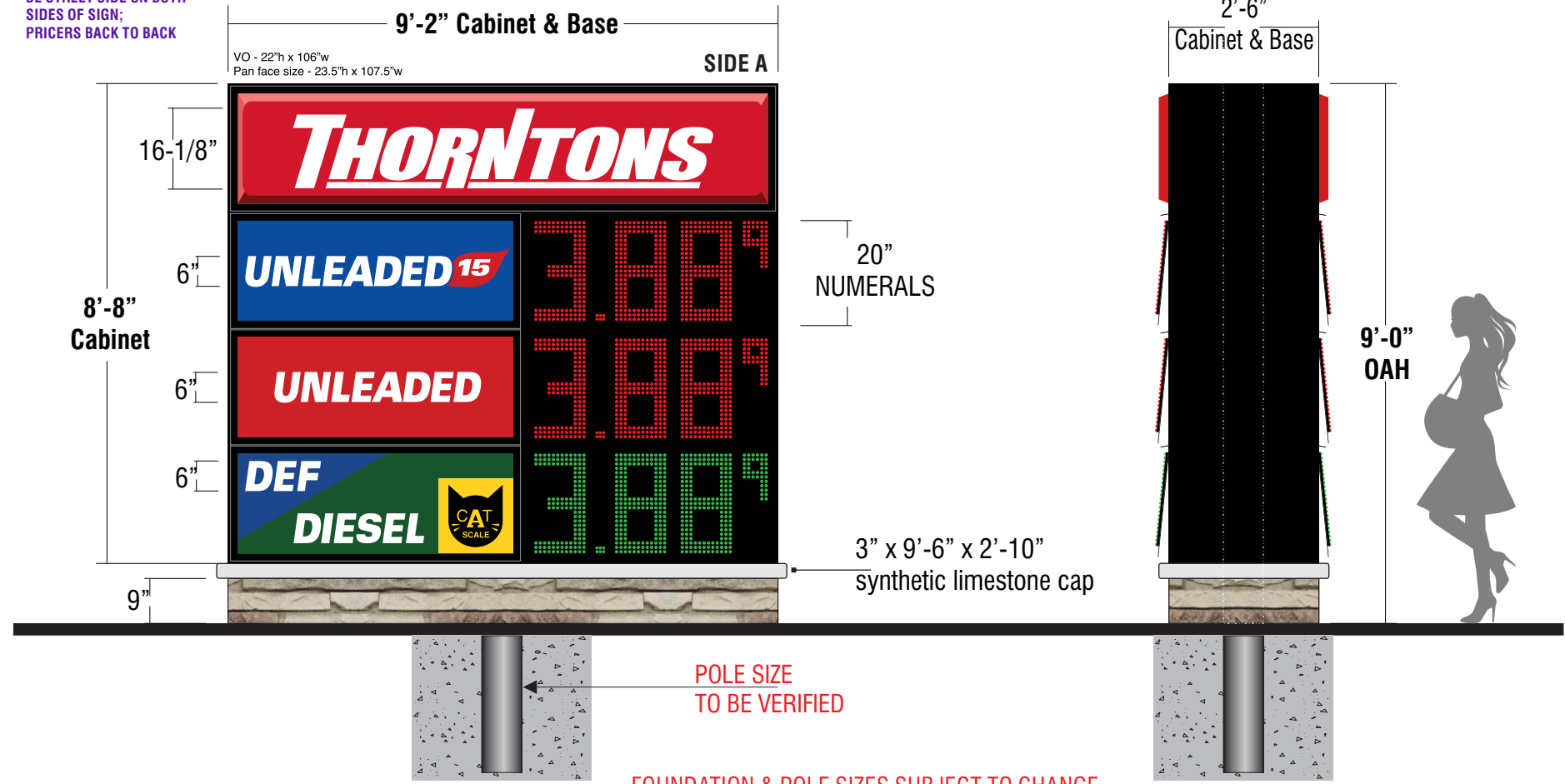
CABINET: 30" deep Fab'd alum. construction with 2" retainers- All painted Black; Cabinet to sleeve overtop internal support pole & saddle weld into place as required
Sign cabinet provided to Thorntons by Sunshine Electronic Displays

HEADER FACE: (2) Two gloss panned polycarbonate faces with reverse sprayed graphics to match colors shown; *Provided by MC Sign Comp.*

ILLUM.: Internal White Sunshine LED lightstrips;
Power supplies to be housed within cabinet

PRICING UNIT: Sunshine double pricer unit - 30" deep
Character height = 20"; Red & Green LED digit colors;
Commodity panels are flat white polycarbonate panels w/ reverse weeded copy to match colors shown

*NOTE: UNLEADED MUST BE STREET SIDE ON BOTH SIDES OF SIGN; PRICERS BACK TO BACK



BASE: Fab'd aluminum framework for sign base w/ 3/4" treated plywood overlay
MC Sign to furnish the alum. fab'd frame and plywood wrap the frame
Nichiha Desert Stone veneer installed over framework
Stone thickness is approx. 3/4" provided and installed by others;
Stone veneer provided & installed by others

CAPS: (1) One 3" Synthetic limestone cap for top of base
Provided and installed by others following cabinet install;
All Electrical to be done by others - to be connected and tested
Installer to connect primary if accessible at time of install

SUPPORT: Cabinet to sleeve overtop internal support;
Direct burial installation as required by city requirements & engineering specs
ADDITIONAL FOOTER DETAILS AND POLE SIZE TO FOLLOW

JOB NOTES: GC responsible to layout the sign location based on setback information provided by MC Sign in advance of Sign Spot. Thornton's determines final placement. Sign Spot schedule TBD. Installer to be on site and set up a minimum of (30) thirty minutes prior to scheduled spot. Spot with 4' x 8' plywood piece.

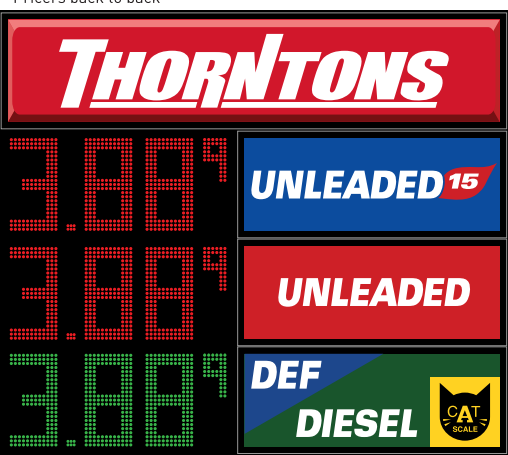
Installer to pour the footer and set the pole immediately following sign spot, within reason.

GC and EC responsible to stub conduit and provide electrical to pricer \ Ensure next to the pole and tall enough to go into the sign following the setting of the footer and pole

Frame and plywood overlay to be installed by installer within a few days of pole setting

FOUNDATION & POLE SIZES SUBJECT TO CHANGE ACCORDING TO ENGINEERING SPECS & CITY REQUIREMENTS!!

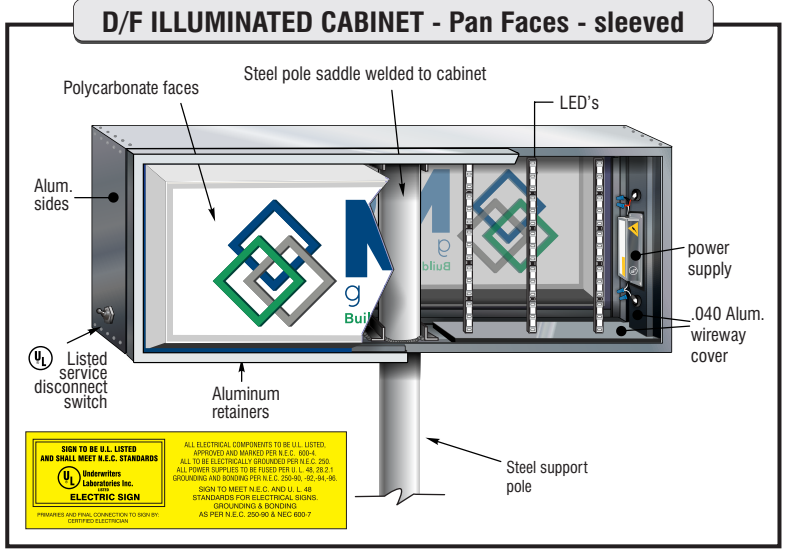
SIDE B



COLOR PALETTE

- Black
- UNLEADED 15: 3M 3630-97 Bristol Blue
- UNLEADED 15 & UNLEADED: 3M 3630-33 Red
- Gripflex 585 Flame Red
- DIESEL: 3M 3630-76 Holly Green
- 3M 3630-15 Yellow

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