



D/F ILLUM. MONUMENT

Scale: 3/8" = 1'-0"
73.3 Square Feet

CABINET NOTE:
CABINET MUST INCLUDE LOCKING EXTERNAL DISCONNECT SWITCH
IN ILLINOIS & FLORIDA DUE TO CODE REQUIREMENTS

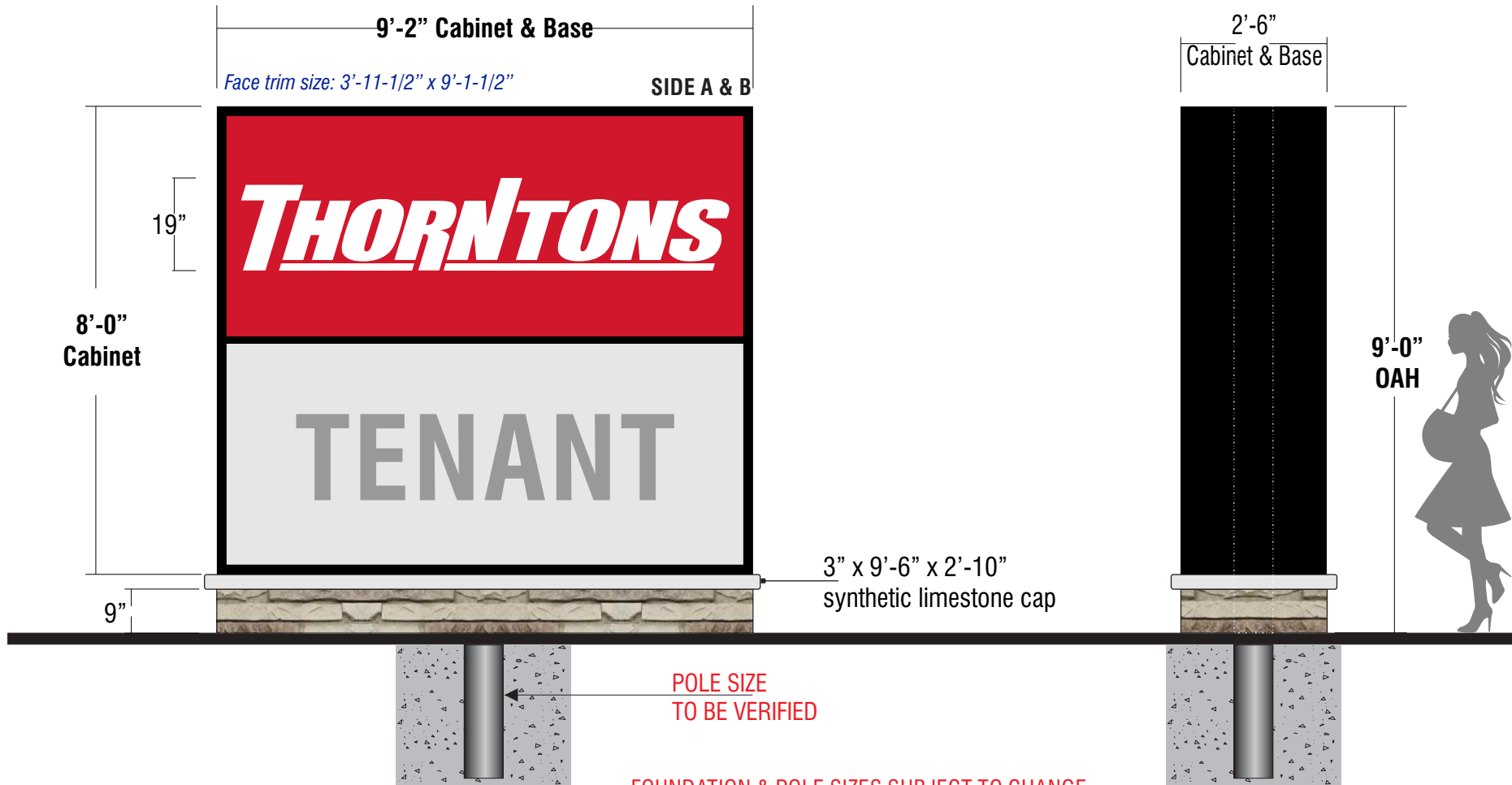
- CABINET:** 30" deep Fab'd alum. construction with 2" retainers- All painted Black; Cabinet to sleeve overtop internal support pole & saddle weld into place as required
- FACE:** (4) Four .187 flat white polycarbonate faces with surface applied vinyl graphics to match color shown;
Top Face - Thorntons graphics
Lower Face - Blank - Tenant graphics to be provided at later date
- ILLUM.:** Internal White Sunshine LED lightstrips;
Power supplies to be housed within cabinet

- BASE:** Fab'd aluminum framework for sign base w/ 3/4" treated plywood overlay *MC Sign to furnish the alum. fab'd frame and plywood wrap the frame*
Nichiha Desert Stone veneer installed over framework
Stone thickness is approx. 3/4" provided and installed by others;
Stone veneer provided & installed by others
- CAPS:** (1) One 3" Synthetic limestone cap for top of base
Provided and installed by others following cabinet install;
All Electrical to be done by others - to be connected and tested
Installer to connect primary if accessible at time of install
- SUPPORT:** Cabinet to sleeve overtop internal support;
Direct burial installation as required by city requirements & engineering specs
ADDITIONAL FOOTER DETAILS AND POLE SIZE TO FOLLOW
- JOB NOTES:** GC responsible to layout the sign location based on setback information provided by MC Sign in advance of Sign Spot. Thornton's determines final placement. Sign Spot schedule TBD. Installer to be on site and set up a minimum of (30) thirty minutes prior to scheduled spot. Spot with 4' x 8' plywood piece.

Installer to pour the footer and set the pole immediately following sign spot, within reason.

GC and EC responsible to stub conduit and provide electrical to pricer \ Ensure next to the pole and tall enough to go into the sign following the setting of the footer and pole

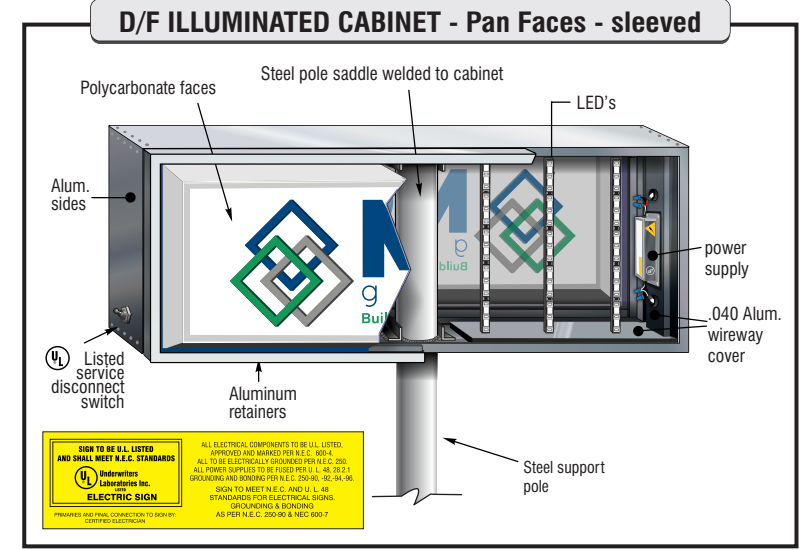
Frame and plywood overlay to be installed by installer within a few days of pole setting



COLOR PALETTE

- Black
- 3M 3630-33 Red
Gripflex 585 Flame Red

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!



8959 Tyler Boulevard
Mentor, Ohio 44060

440.209.6200
800.627.4460

theMCgroup.com

CLIENT:
THORNTONS

ADDRESS:
CORNER OF TEK DRIVE & RTE 31
CRYSTAL LAKE, IL 60014

PAGE NO.:
11

TICKET NO.:
519887

DATE:
01/08/19

PROJECT MANAGER:
KEVIN HORNE

DESIGNER:
KW

ELECTRONIC FILE NAME:
THORNTONS\2019\IL\CRYSTAL LAKE

REVISION HISTORY:

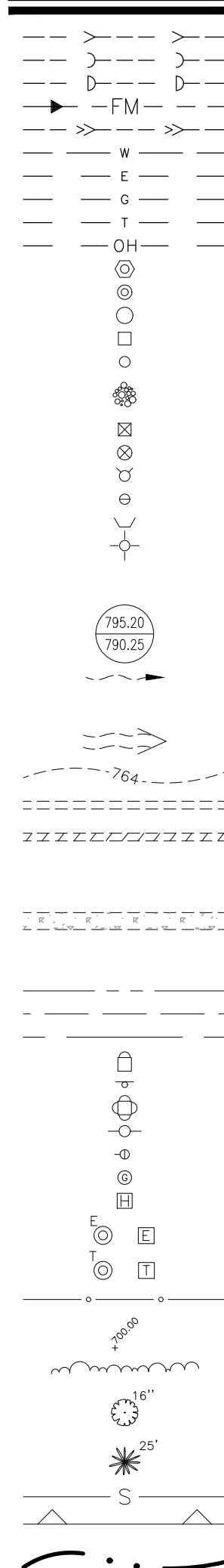
CLIENT SIGNATURE:

APPROVAL DATE:

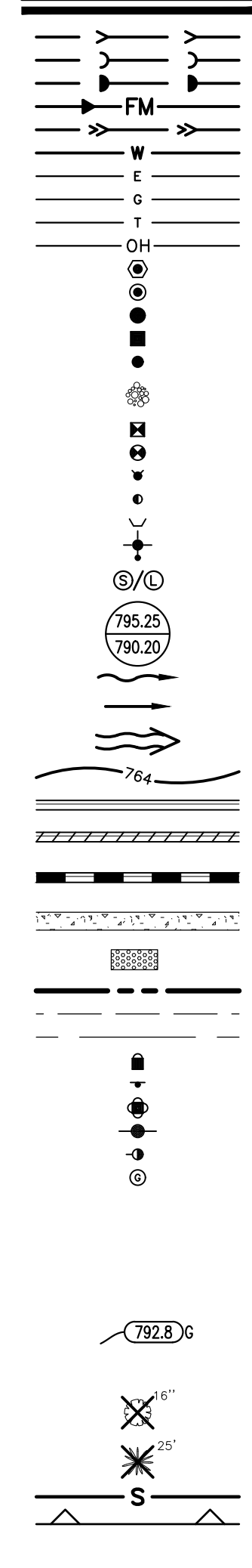
Proposed Improvements for 911 TEK DRIVE CITY OF CRYSTAL LAKE, ILLINOIS

STANDARD SYMBOLS

EXISTING



PROPOSED



ABBREVIATIONS

ADJ	ADJUST	F/L	FLOW LINE	R.O.W.	RIGHT-OF-WAY
AGG.	AGGREGATE	FM	FORCE MAIN	RCF	REINFORCED CONCRETE PIPE
ARCH	ARCHITECT	G	GROUND	REM	REMOVAL
B.A.M.	BITUMINOUS AGGREGATE MIXTURE	G/F	GRADE AT FOUNDATION	REV	REVERSE
B-B	BACK TO BACK	GW	GUY WIRE	RR	RAILROAD
B/C	BACK OF CURB	HDWL	HEADWALL	RT	RIGHT
B/P	BOTTOM OF PIPE	HH	HANDHOLE	SAN	SANITARY
B/W	BACK OF WALK	HWL	HIGH WATER LEVEL	SF	SQUARE FOOT
B-BOX	BUFFALO BOX	HYD.	HYDRANT	SHLD.	SHOULDER
BIT.	BITUMINOUS	INL.	INLET	SIL	STREET LIGHT
BM	BENCHMARK	INV.	INVERT	SMH	SANITARY MANHOLE
B.O.	BY OTHERS	IP	IRON PIPE	ST	STORM
C.E.	COMMERCIAL ENTRANCE	LT	LEFT	STA	STATION
CB	CATCH BASIN	MAX.	MAXIMUM	STD	STANDARD
C	CENTERLINE	MB	MAILBOX	SW	SIDEWALK
CMP	CORRUGATED METAL PIPE	M/E	MEET EXISTING	SY	SQUARE YARDS
CNTRL	CONTROL	MH	MANHOLE	TBR	TO BE REMOVED
C.O.	CLEANOUT	MIN.	MINIMUM	T	TELEPHONE
CONC.	CONCRETE	NWL	NORMAL WATER LEVEL	T-A	TYPE A
D	DITCH	P.E.	PRIVATE ENTRANCE	T/C	TOP OF CURB
DIA.	DIAMETER	PC	POINT OF CURVATURE	T/F	TOP OF FOUNDATION
DIP	DUCTILE IRON PIPE	PCC	POINT OF COMPOUND CURVE	T/P	TOP OF PIPE
DIMM	DUCTILE IRON WATER MAIN	PGL	PROFILE GRADE LINE	T/W	TOP OF WALK
DS	DOWNSPOUT	PI	POINT OF INTERSECTION	T/WALL	TOP OF WALL
DT	DRAIN TILE	R	PROPERTY LINE	TEMP	TEMPORARY
E	ELECTRIC	PP	POWER POLE	TRANS	TRANSFORMER
E-E	EDGE TO EDGE	PROP.	PROPOSED	V.B.	VALVE BOX
ELEV.	ELEVATION	PT	POINT OF TANGENCY	VCP	VITRIFIED CLAY PIPE
E/P	EDGE OF PAVEMENT	PVC	POLYVINYL CHLORIDE PIPE	V.V.	VALVE VAULT
EX.	EXISTING	PVC	POINT OF VERTICAL CURVATURE	WL	WATER LEVEL
F.E.	FIELD ENTRANCE	PVI	POINT OF VERTICAL INTERSECTION	WM	WATER MAIN
F-F	FACE TO FACE	P	PAVEMENT		
F.F.	FINISHED FLOOR	P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT		
FES	FLARED END SECTION	R	RADIUS		



SHEET NO.	DESCR
1	TITLE S
2	OVERAL
3	SITE DIN
4	GRADIN
5	UTILITY
6	SOIL ER
7	CONSTR
8	CONSTR
9	CONSTR
10	CONSTR

ATTAC
TOPOG
LANDS

NOTES:
1. THE BOUNDARY LINE
BASED ON A SURVEY
SURVEYING, INC. DA
SHALL VERIFY THE
AND SHALL IMMEDIA
CLIENT IN WRITING
CONSULTING HAS N
RESPONSIBLE FOR T
AND/OR TOPOGRAP

BENCHMARKS:
REFER TO AL
SURVEYING, IF
BENCHMARKS

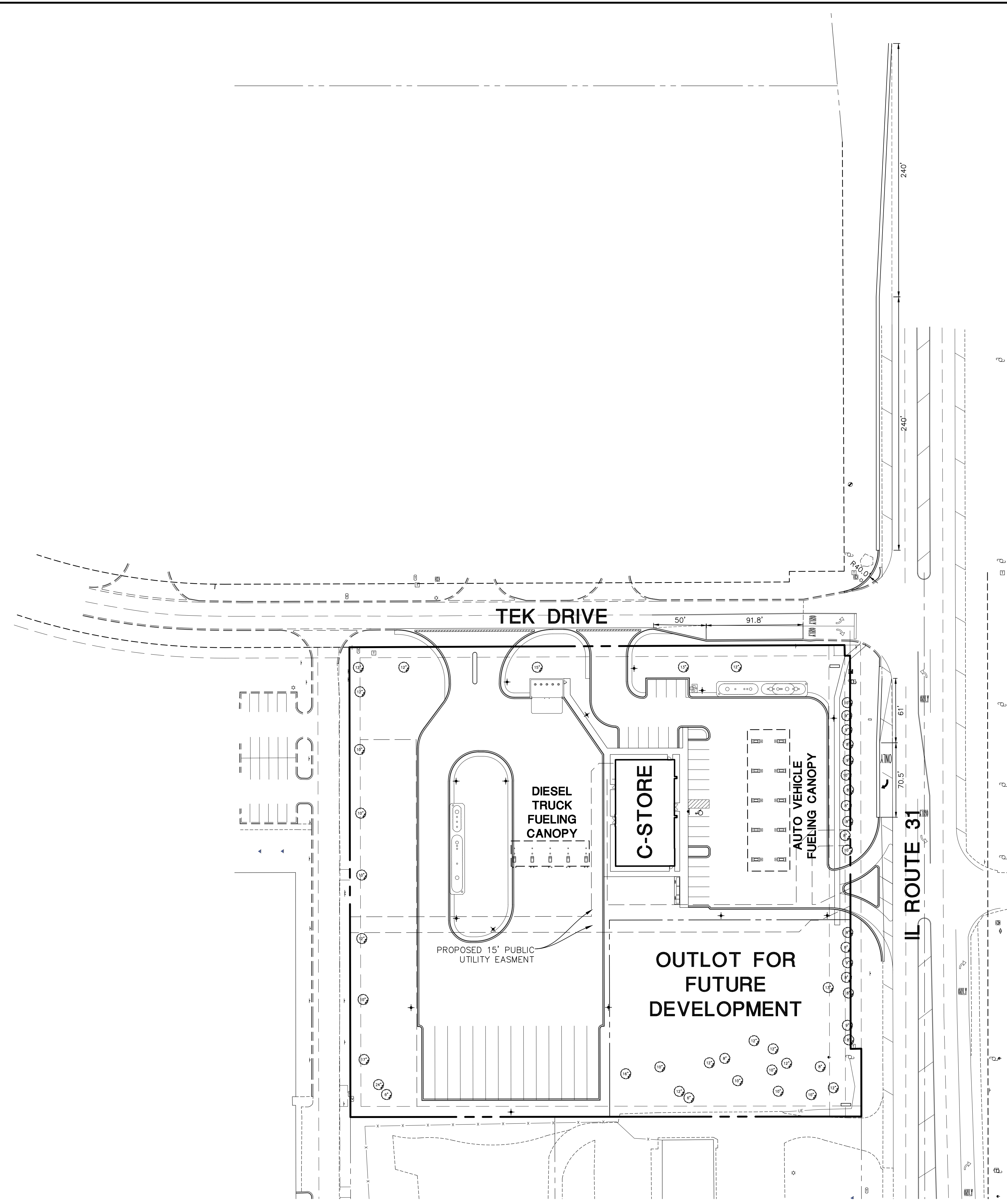
NNN CRYSTAL LAKE, LLC,
A DELAWARE LIMITED LIABILITY COMPANY
410 MICHIGAN AVENUE, SUITE 850
CHICAGO IL 60611
630-388-8550

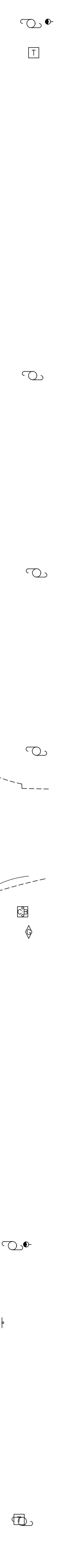
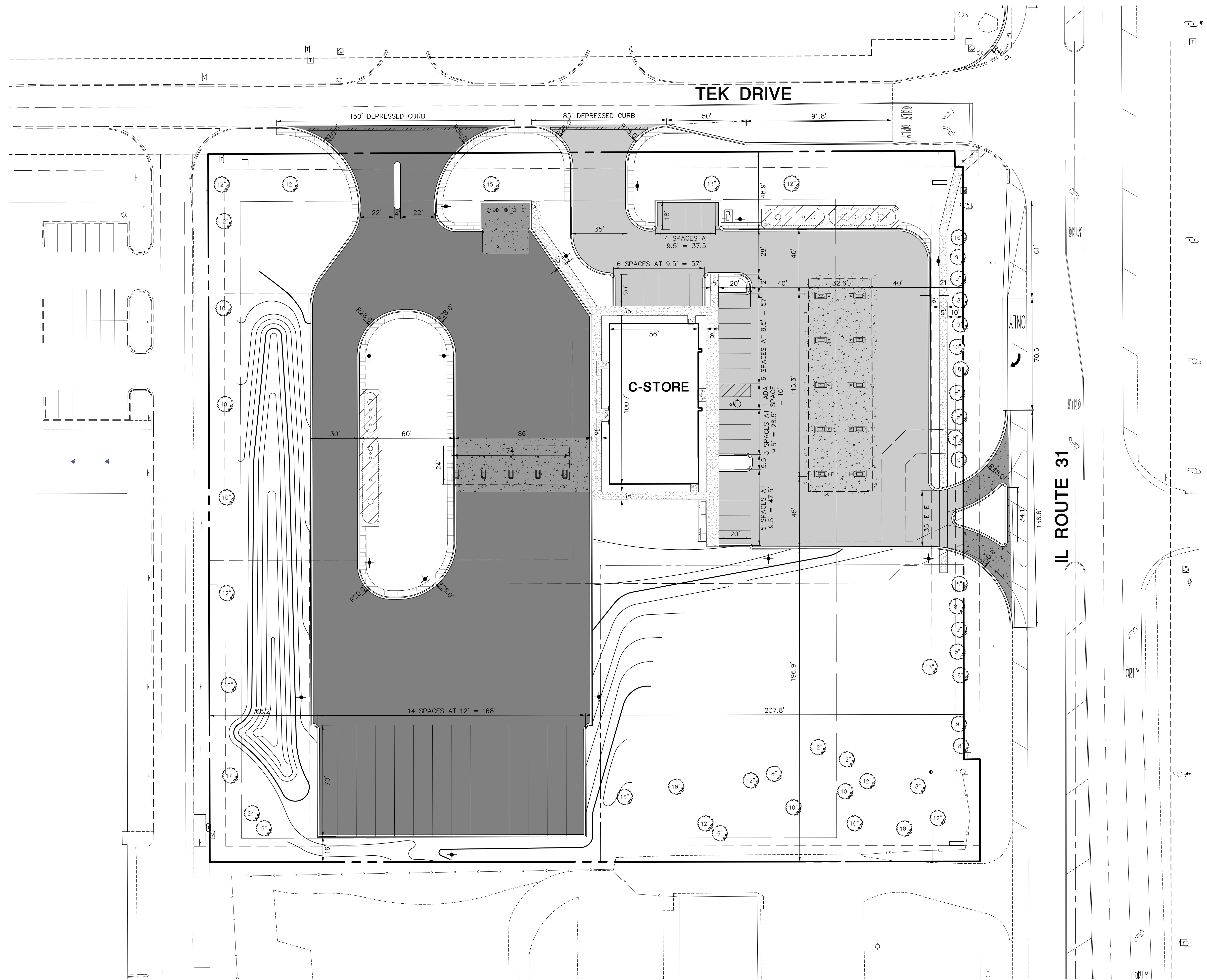


Manhard
CONSULTING LTD
700 Springer Drive, Lombard, IL 60148 ph:630.691.8500 fx:630.691.8585 manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners



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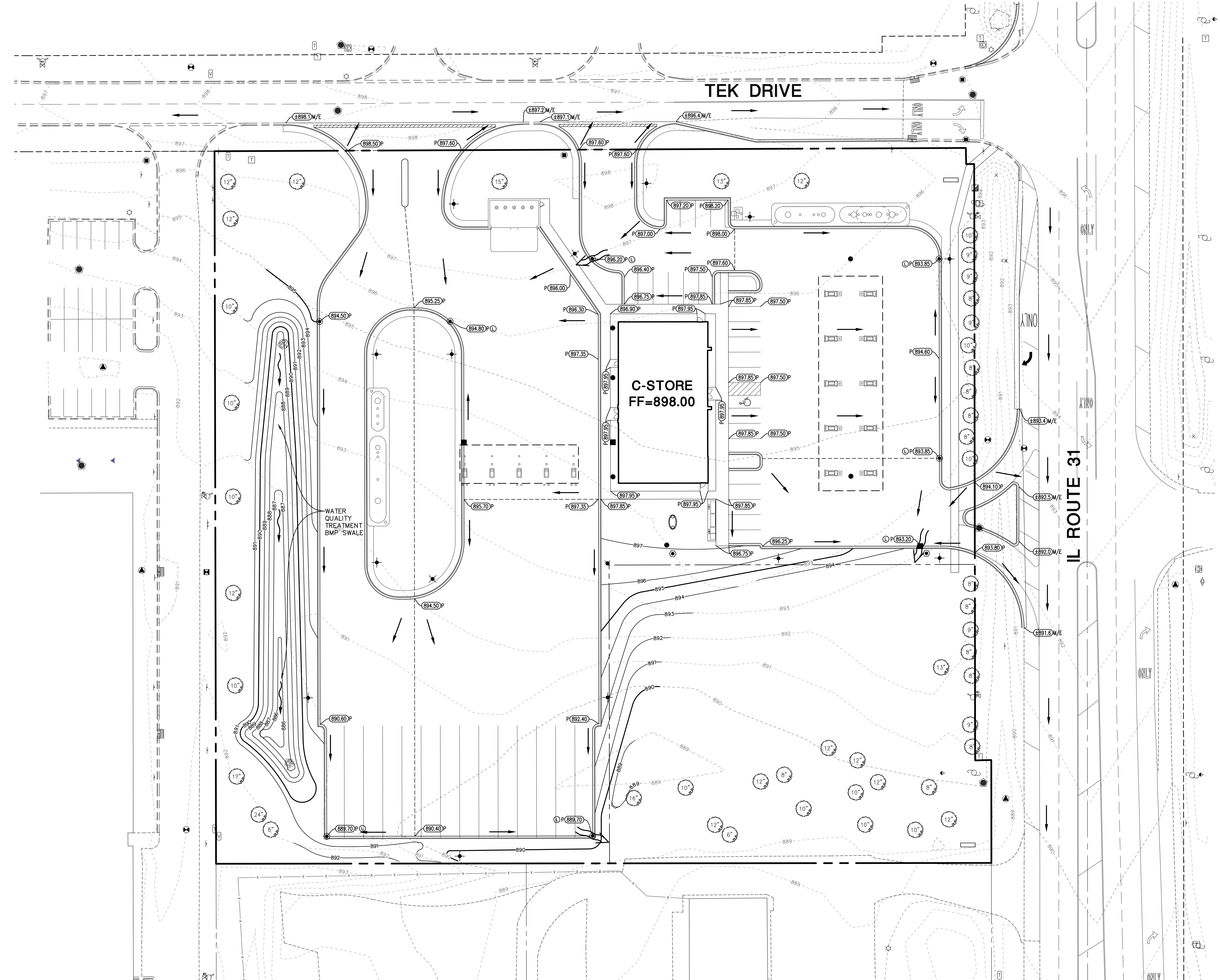


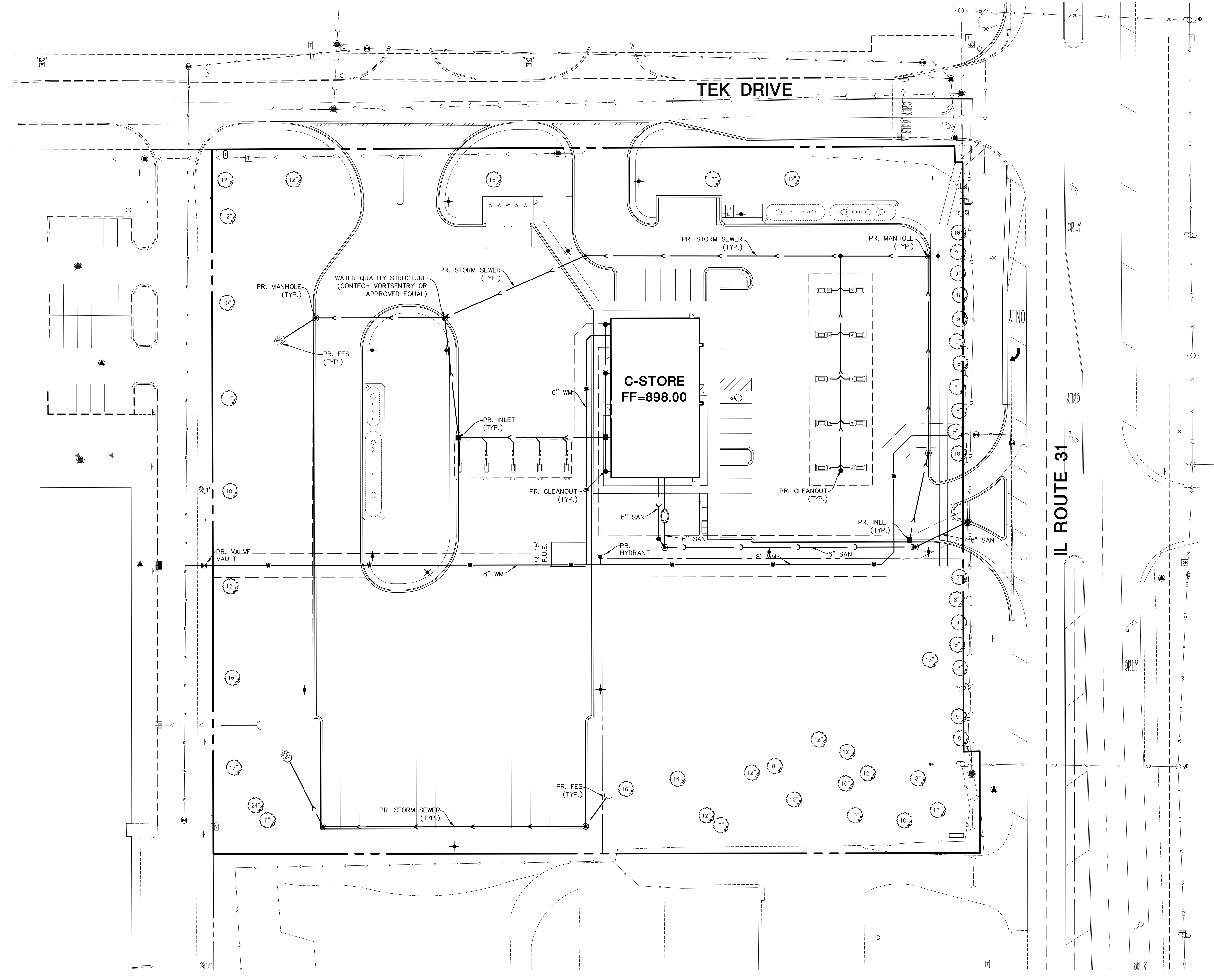
TEK DRIVE

C-STORE
FF=898.00

IL ROUTE 31

WATER QUALITY
TREATMENT
BMP SWALE

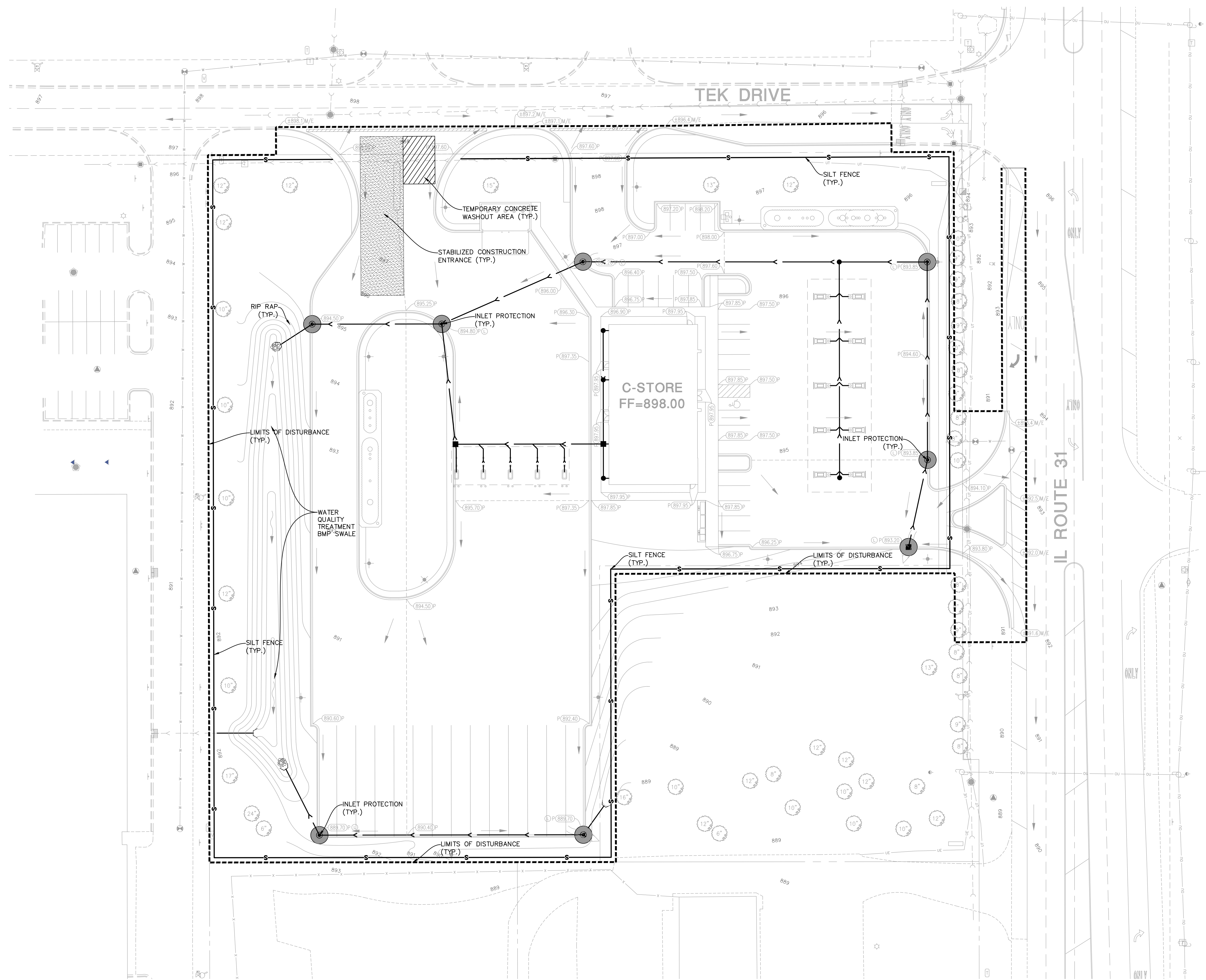




TEK DRIVE

C-STORE
FF=898.00

IL ROUTE 31



4.0 RECOMMENDATIONS AND CONCLUSIONS

Based on the analyses detailed in this report, the following recommendations were identified for the study intersections under future conditions:

- Along Tek Drive:
 - At IL 31, extend the existing eastbound right-turn lane on Tek Drive to provide maximum storage and taper lengths between IL 31 and Access B (estimated 140-foot storage/50-foot taper).
 - Post “Do Not Block Intersection” signs facing eastbound traffic on Tek Drive at Access B and at Access C.
- On IL 31 at Tek Drive, construct a southbound right-turn lane (240-foot storage/240-foot taper) per BDE warrant criteria.
- On IL 31 at Access A, construct a southbound right-turn lane per BDE warrant criteria.

Per the above conclusions and with implementation of this study’s recommendations, it is anticipated that site-generated traffic would be adequately accommodated at the proposed access locations.

red leonard associates

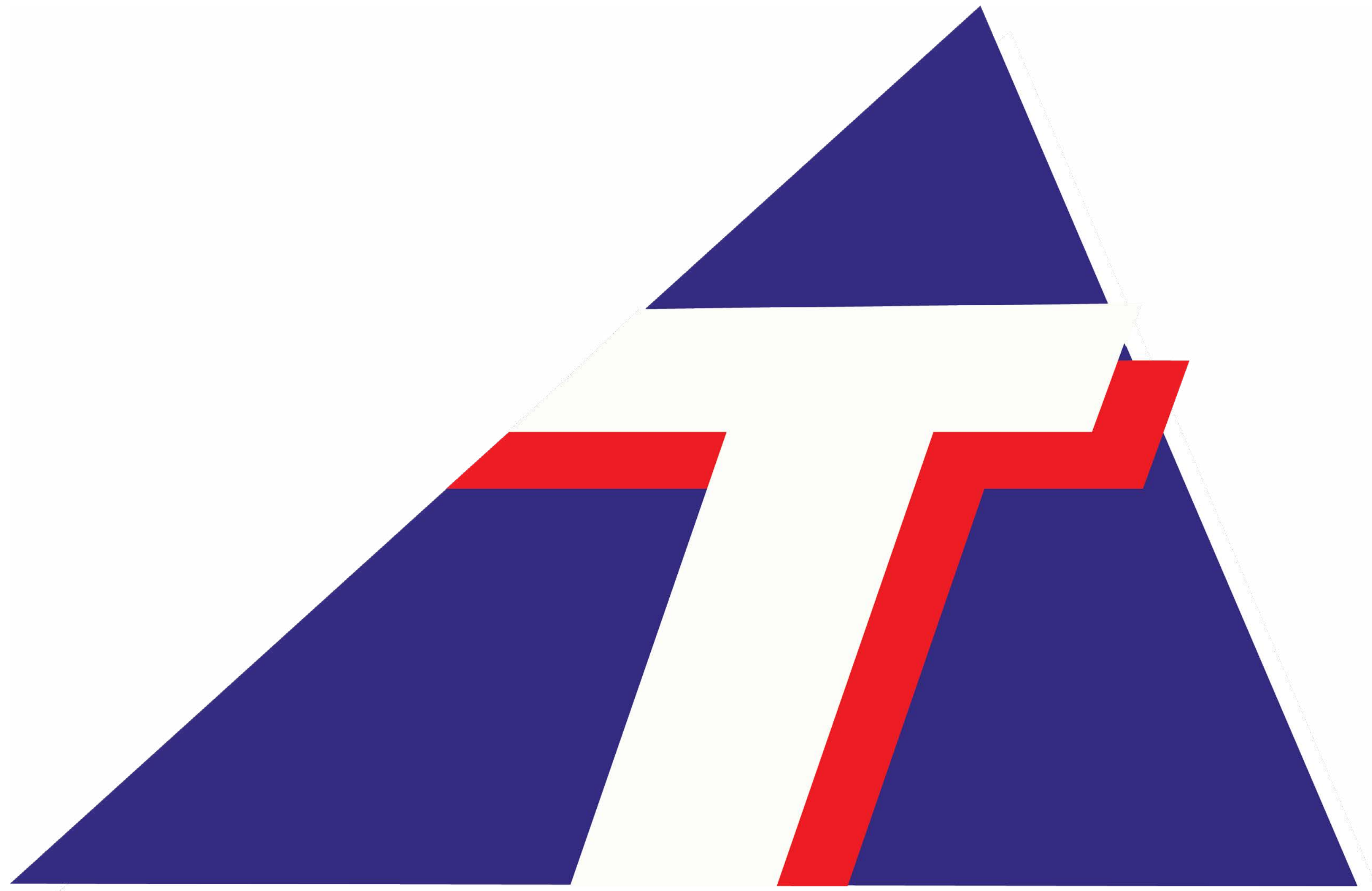
1340 KEMPER MEADOW DR. | FOREST PARK, OH 45240 | 513-574-9500

WWW.REDLEONARD.COM

THORNTON'S

TEK DR. & ROUTE 31
CRYSTAL LAKE, IL

EXTERIOR LIGHTING LAYOUT



LOGIN

CLICK TO LEARN HOW TO USE
YOUR INTERACTIVE SITE PLAN



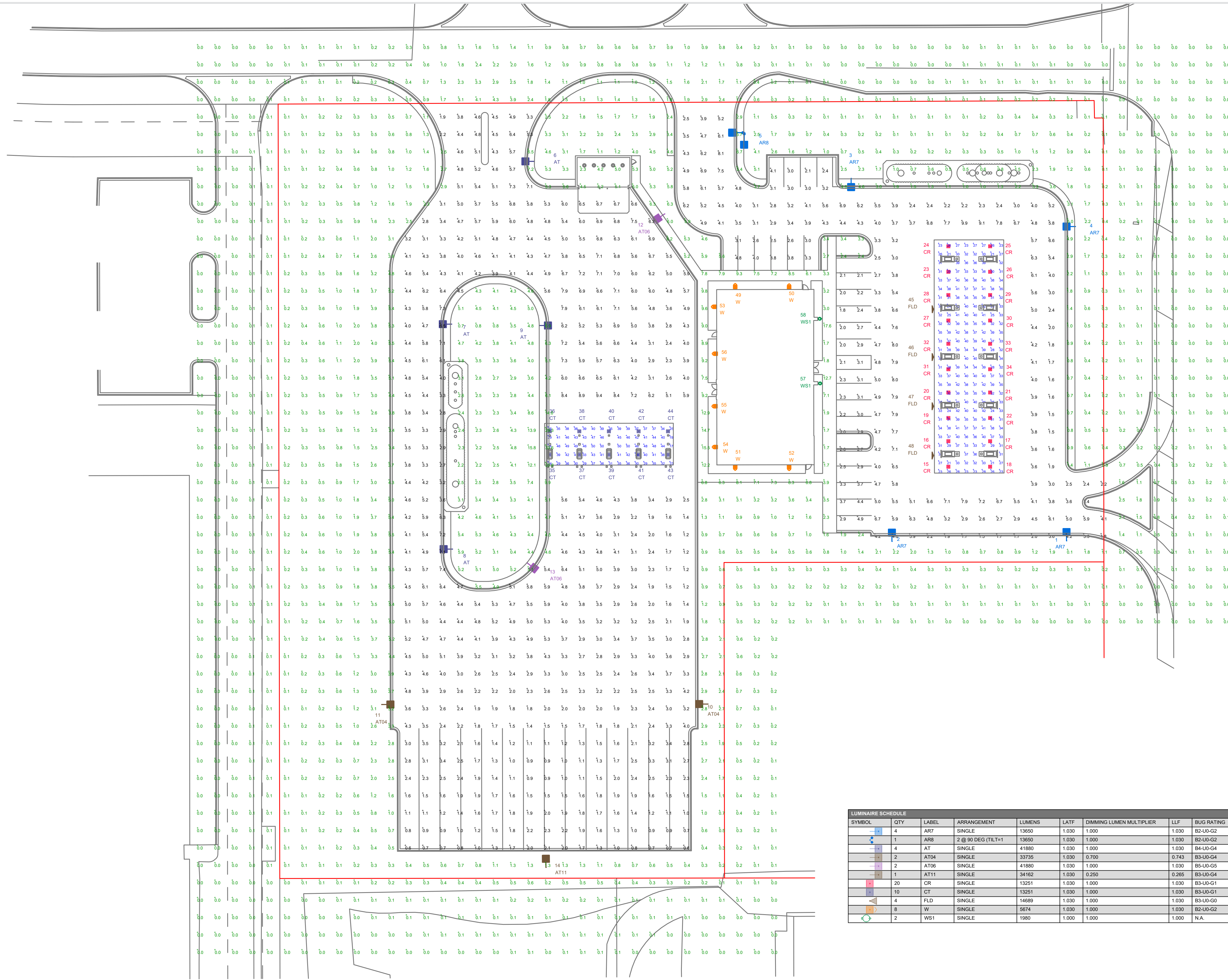
CLICK FOR ADDITIONAL
INFORMATION & LINKS



redleonard.com/planinfo

RL-6288-S1-R1

08/02/19



ROUTE 31

NOTE:
- POLE MOUNTED FIXTURES ARE MOUNTED ATOP A 36 INCH HIGH CONCRETE BASE.
- POLES 10, 11, AND 14 REQUIRED A DIMMING CIRCUIT.

LUMINAIRE LOCATION SUMMARY	LUMINAIRE LOCATION SUMMARY				
LUM. NO.	LABEL	MTG. HT.	LUM. NO.	LABEL	MTG. HT.
1	AR7	23	30	CR	15
2	AR7	23	31	CR	15
3	AR7	23	32	CR	15
4	AR7	23	33	CR	15
5	AR8	23	34	CR	15
6	AT	33	35	CT	15
7	AT	33	36	CT	15
8	AT	33	37	CT	15
9	AT	33	38	CT	15
10	AT04	33	39	CT	15
11	AT04	33	40	CT	15
12	AT06	33	41	CT	15
13	AT06	33	42	CT	15
14	AT11	33	43	CT	15
15	CR	15	44	CT	15
16	CR	15	45	FLD	20
17	CR	15	46	FLD	20
18	CR	15	47	FLD	20
19	CR	15	48	FLD	20
20	CR	15	49	W	10
21	CR	15	50	W	10
22	CR	15	51	W	10
23	CR	15	52	W	10
24	CR	15	53	W	10
25	CR	15	54	W	10
26	CR	15	55	W	10
27	CR	15	56	W	10
28	CR	15	57	WS1	10
29	CR	15	58	WS1	10

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVGMIN	MAXMIN
RETAIL CANOPY	34.02	42	21	1.62	2.00
RETAIL PAVED AREA	4.17	9.9	1.5	2.78	6.60
TRUCK CANOPY	38.11	50	17	2.24	2.94
TRUCK PAVED AREA	3.70	9.4	0.6	6.17	15.67
UNDEFINED AREA	1.12	33.6	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE												
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
AR7	4	AR7	SINGLE	13650	1.030	1.000	1.030	B2-U0-G2	130	520	Cree Inc	OSQ-DA-XX + OSQ-A-NM-3ME-K-57K-UL-XX-Q9 w_OSQ-BLSMF
AR8	1	AR8	2 @ 90 DEG (TILT+1)	13650	1.030	1.000	1.030	B2-U0-G2	130	260	Cree Inc	OSQ-DA-XX + OSQ-A-NM-3ME-K-57K-UL-XX-Q9 w_OSQ-BLSMF
AT	4	AT	SINGLE	41980	1.030	1.000	1.030	B4-U0-G4	336	1344	Cree Inc	OSQ-DA-XX + OSQ-HO-A-NM-3ME-40L-57K-UL-XX-Q9
AT04	2	AT04	SINGLE	33735	1.030	0.700	0.743	B3-U0-G4	341	682	Cree Inc	OSQ-DA-XX + OSQ-HO-A-NM-4ME-40L-57K-UL-XX-Q9 w_OSQ-HO-BLSF (3.3V)
AT06	1	AT06	SINGLE	41180	1.030	1.000	1.030	B5-U0-G5	336	672	Cree Inc	OSQ-DA-XX + OSQ-HO-A-NM-4ME-40L-57K-UL-XX-Q9
AT11	1	AT11	SINGLE	34162	1.030	0.250	0.265	B3-U0-G4	341	341	Cree Inc	OSQ-DA-XX + OSQ-HO-A-NM-2ME-40L-57K-UL-XX-Q9 w_OSQ-HO-BLSF (2.1V)
CR	20	CR	SINGLE	13251	1.030	1.000	1.030	B3-U0-G1	134	2680	CREE, INC	CAN-304-SL-RS-06-E-UL-XX-700-57K
CT	10	CT	SINGLE	13251	1.030	1.000	1.030	B3-U0-G1	134	1340	CREE, INC	CAN-304-SL-RS-06-E-UL-XX-700-57K
FLD	4	FLD	SINGLE	14689	1.030	1.000	1.030	B3-U0-G0	133	532	Cree Inc	FLD-EDG-N6-AA-06-E-UL-XX-525-57K
W	8	W	SINGLE	5674	1.030	1.000	1.030	B2-U0-G2	68	544	CREE, INC	SEC-EDG-3M-WM-04-E-UL-XX-625-40K
WS1	2	WS1	SINGLE	1980	1.000	1.000	1.000	N.A.	27.7	55.4	CREE	CL-P5642-31-30K + CL-P8798-31

REV.	BY	DATE	DESCRIPTION
R1	TAS	8/2/19	ADDED DIMMING TO POLES 10, 11, AND 14

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ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED, USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL FIELD RESULTS MAY VARY FROM THESE ILLUSTRATIONS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: 1" = 30'
LAYOUT BY: TAS
DATE: 7/31/19
DWD SIZE: D

PROJECT NAME:
THORNTONS
CRYSTAL LAKE, IL
DRAWING NUMBER:
RL-6288-S1-R1



PRODUCT DETAIL & PLACEMENT

COLOR CODED LABELS, PRODUCT INFORMATION, 3D INTERACTIVE MODEL



AREA
AR7
AREA 2 @ 90°
AR8



AREA HO
AT **AT04**
AREA HO
AT06 **AT11**



CANOPY
CR **CT**



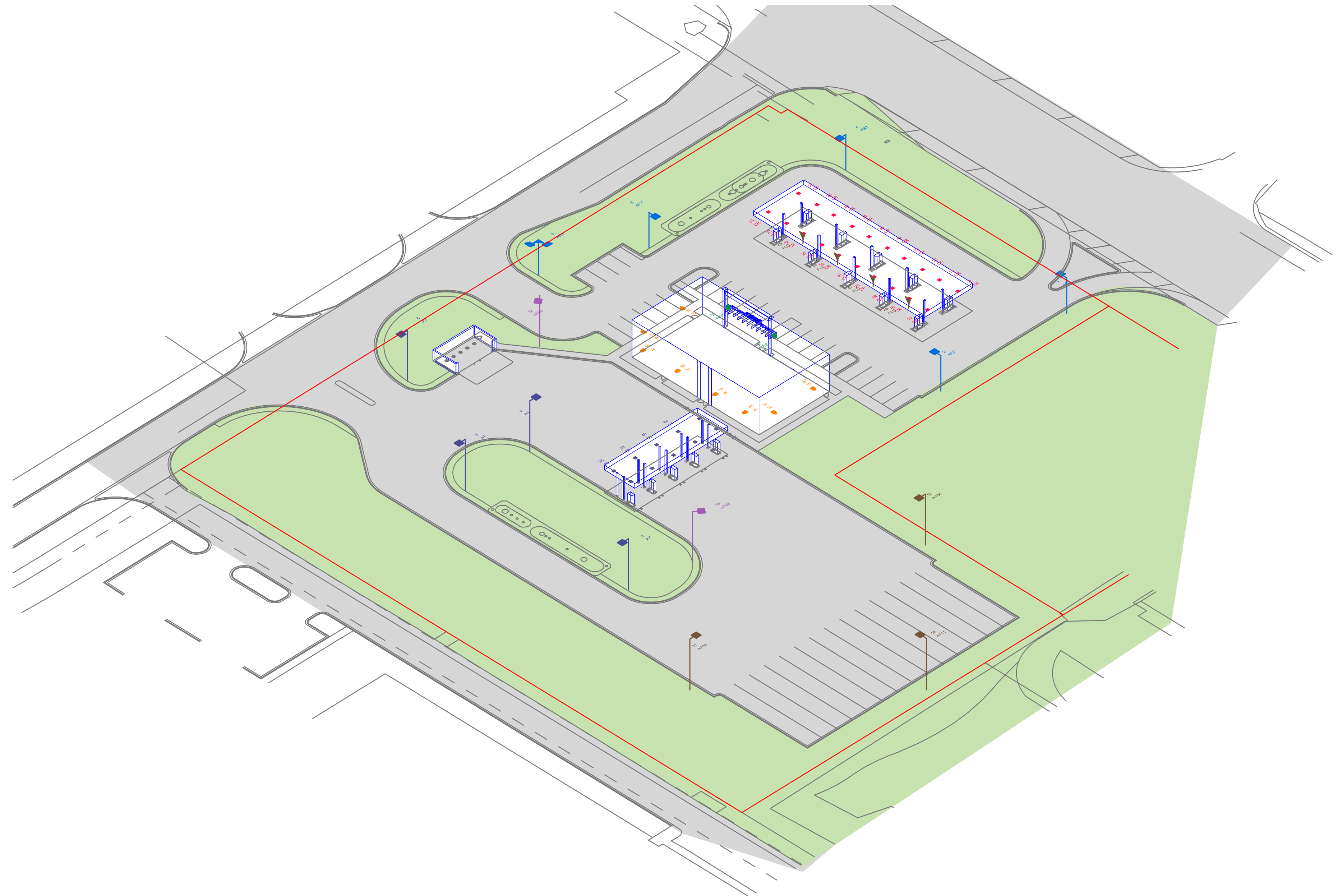
FLOOD
FLD



WALL MOUNTED
W



WALL MOUNT
WS1



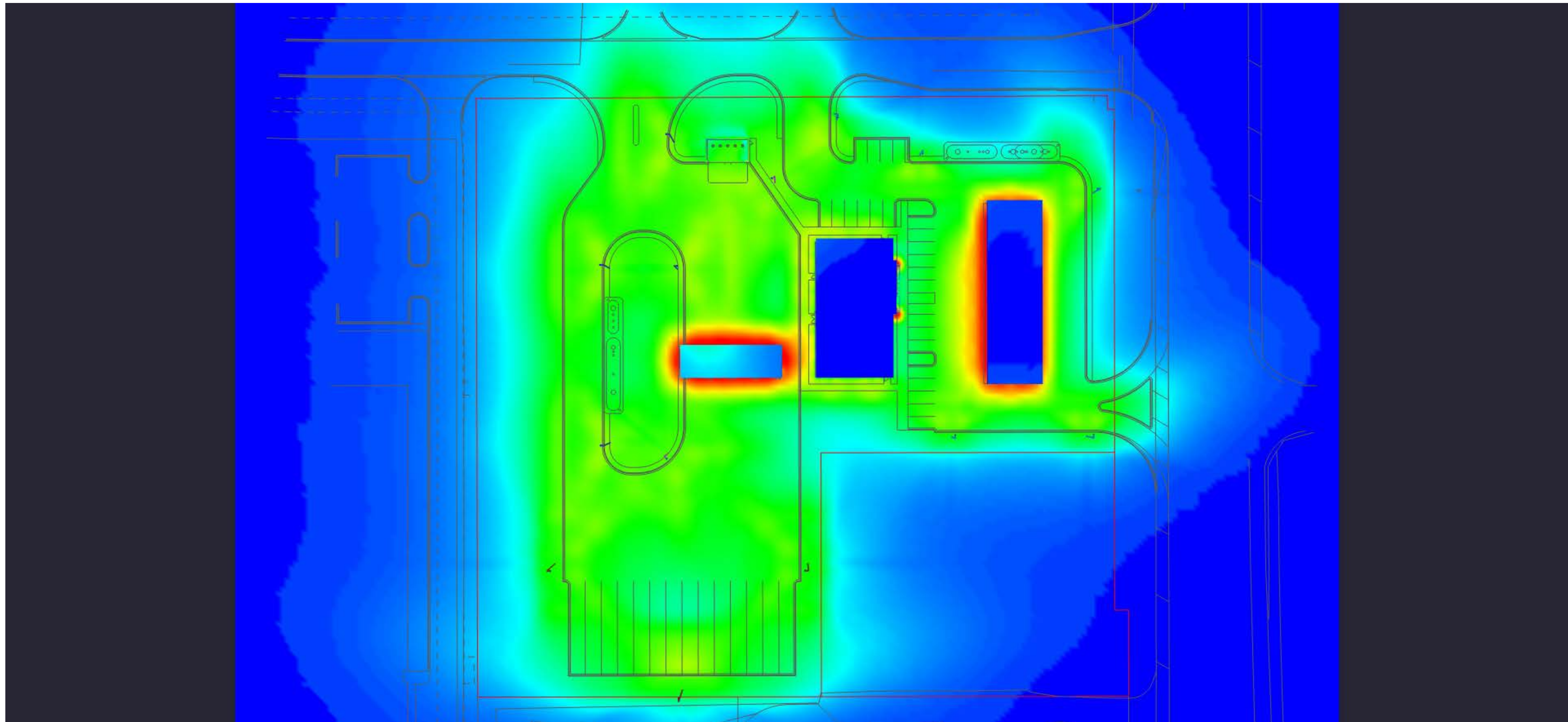
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+	1	AR8	2 @ 90 DEG (TILT=1)	13650	1.030	1.000	1.030	B2-U0-G2	130	260	Cree Inc	OSQ-DA-XX + OSQ-ANM-3ME-K-5TK-UL-XX-09 w_ OSQ-BLSMF
+	4	AT	SINGLE	41880	1.030	1.000	1.030	B4-U0-G4	336	1344	Cree Inc	OSQ-DA-XX + OSQ-HO-ANM-3ME-40L-5TK-UL-XX-09
+	2	AT04	SINGLE	33735	1.030	0.700	0.743	B3-U0-G4	341	682	Cree Inc	OSQ-DA-XX + OSQ-HO-ANM-4ME-40L-5TK-UL-XX-09 w_ OSQ-HO-BLSF (5.3V)
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+	20	CR	SINGLE	13251	1.030	1.000	1.030	B3-U0-G1	134	2680	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-700-57K
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CREE TRUEWHITE® TECHNOLOGY
LEARN MORE ABOUT THE POWER OF TRUEWHITE®

WHY CREE LED?
TRUEWHITE TECHNOLOGY
EMERGENCY LIGHTING





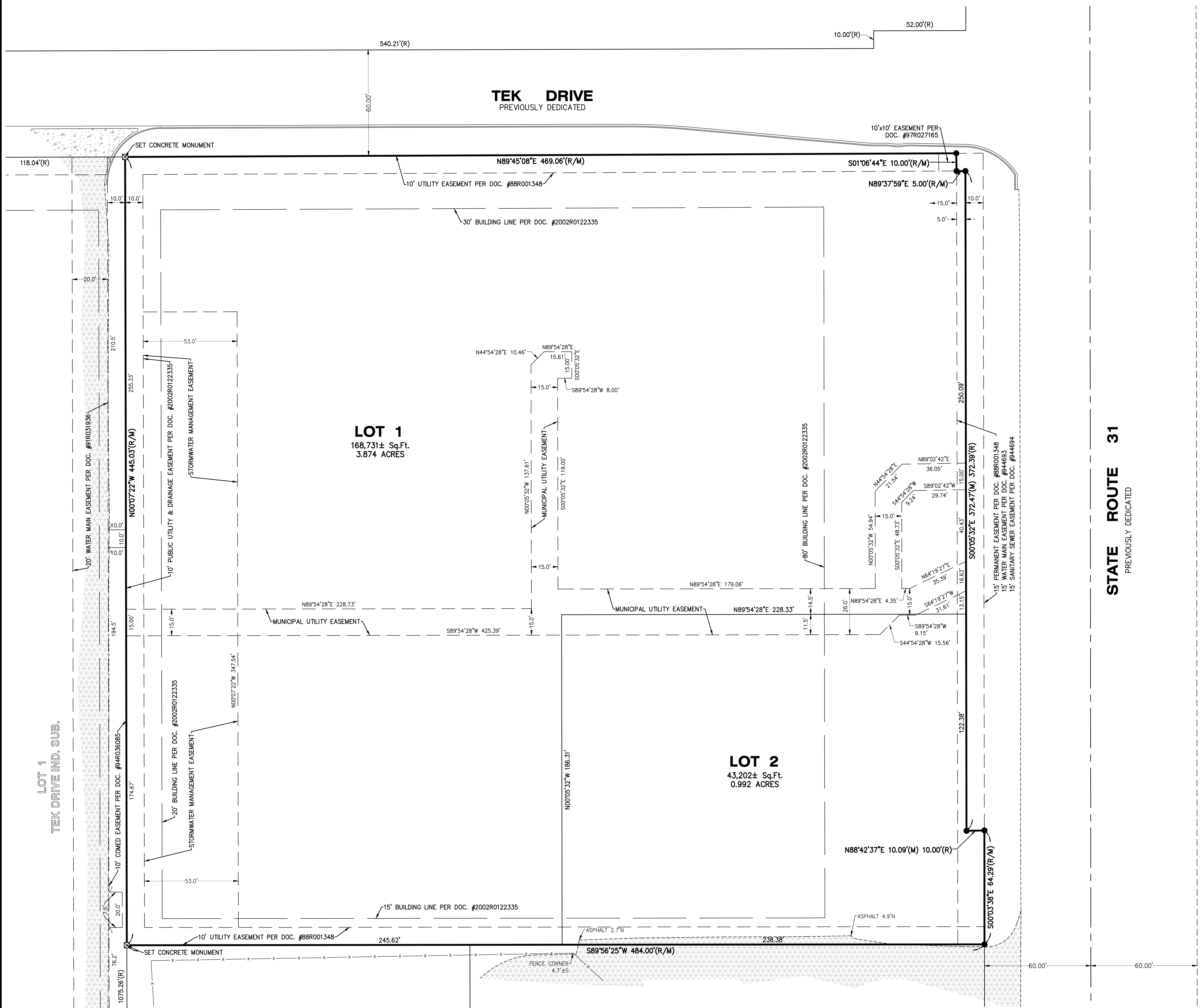
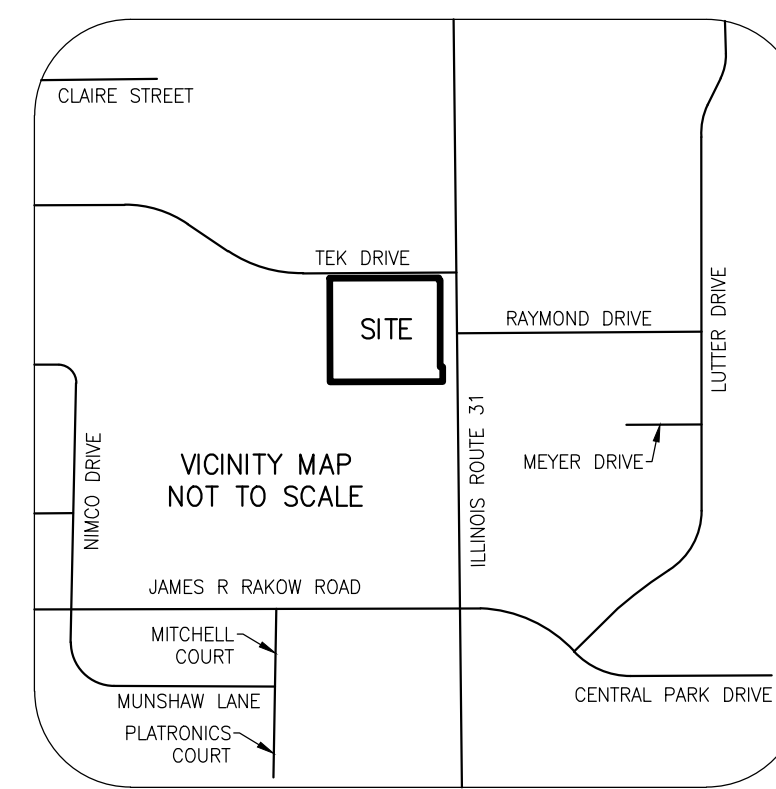
UNDERSTAND YOUR LIGHTING SOLUTION
CLICK TO VIEW AN INTERACTIVE PHOTOMETRY COMPARISON

PHOTOMETRIC COMPARISON TOOL
LIGHTING DISTRIBUTION TOOL
IP RATINGS EXPLAINED



FINAL PLAT OF SUBDIVISION TEK 31 SUBDIVISION

A RESUBDIVISION OF LOT 2 IN TEK DRIVE INDUSTRIAL SUBDIVISION, RECORDED DECEMBER 23, 2002 AS
DOCUMENT NO. 2002R0122335.
ZONED "M" MANUFACTURING
CITY OF CRYSTAL LAKE



LOT 1
TEK DRIVE IND. SUB.

STATE ROUTE 31
PREVIOUSLY DEDICATED

- NOTES:
1. THERE SHALL BE AT MOST ONE RIGHT-IN/RIGHT OUT ONLY ACCESS TO IL ROUTE 31 FROM LOT 1.
 2. THERE SHALL BE NO DIRECT VEHICULAR ACCESS TO IL ROUTE 31 FROM LOT 2.
 3. ALL OTHER ACCESS SHALL BE VIA INTERNAL CIRCULATION OR TEK DRIVE.

THE SETBACKS SHOWN HEREON ARE SUBJECT TO CHANGE AND SHALL BE BASED ON THE CURRENT SETBACKS IN THE CITY OF CRYSTAL LAKE ZONING CODE.

BUILDING SETBACKS:	
FRONT:	30 FEET MINIMUM
SIDE:	15 FEET MINIMUM
REAR:	20 FEET MINIMUM
ABUTTING A STREET:	30 FEET MINIMUM
COMBINED INT. SIDE:	30 FEET MINIMUM
ABUTTING RES. DIST.	50 FEET SETBACK

CLIENT: BLUESTONE SINGLE TENANT PROPERTIES

DRAWN BY: SES CHECKED BY: WJV

SCALE: 1"=30' SEC. 10 T. 43. R. 8 E.

BASIS OF BEARING: ASSUMED

P.I.N.: 19-10-376-011

JOB NO.: 190734 I.D. FPS

FIELDWORK COMP.: N/A BK. PG.

ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF CORRECTED TO 68° F.

OWNER/SUBDIVIDER:
AMP REAL ESTATE HOLDINGS, LLC
8001 S. ROUTE 31
CRYSTAL LAKE, IL 60014

PREPARED BY:
VANDERSTAPPEN LAND SURVEYING, INC.
1316 N. MADISON ST., WOODSTOCK, IL, 60098
SEPTEMBER 30, 2019



FINAL PLAT OF SUBDIVISION
TEK 31 SUBDIVISION

A RESUBDIVISION OF LOT 2 IN TEK DRIVE INDUSTRIAL SUBDIVISION, RECORDED DECEMBER 23, 2002 AS
DOCUMENT NO. 2002R0122335.
ZONED "M" MANUFACTURING
CITY OF CRYSTAL LAKE

CORPORATE OWNERS CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

This is to certify that

_____ is the owner of the land described on the plat hereon drawn and shown hereon as subdivided; that he (they) has (have) caused said land to be surveyed, subdivided, staked and platted as shown hereon, for the purpose of having this plat recorded provided by law; and to the best of my (our) knowledge and belief the drainage of surface waters will not be changed by the construction of such subdivision or part thereof, or, that if such surface water drainage will be changed, reasonable provision has been made for the collection and diversion of such surface waters into public areas, or drains which the subdivider has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of the subdivision. To the best of my knowledge the lands described hereon lie within:

Elementary School District 47
Community High School District 155

In witness where I (we) have hereunder set my (our) hand (s) of

Seal (s) this _____ day of _____, A.D., 20____

President

Secretary

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

I, _____ a Notary Public in and for said County, in the State aforesaid, do hereby certify that

_____ personally known to me to be the _____ of _____ corporation, and _____ personally known to me to be the _____ of said corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument appeared before me this day in person and severally acknowledged that as such _____ and _____ signed and delivered the said instrument as _____ and _____ of said corporation, and caused the Corporate Seal of said corporation to be affixed thereto, pursuant to the authority given by the Board of Directors of said corporation as their own free and voluntary act, and as the free and voluntary act and deed of said corporation, for uses and purposes therein set forth, Given under my hand and Notarial Seal this _____ day of _____, A.D., 20_____.

Notary Public _____ My Commission Expires _____

STORMWATER MANAGEMENT EASEMENT PROVISIONS

Stormwater Management Easement (SME): Each individual entity or other party accepting title to all or any part of the Stormwater Management Easement (SME) shall conclusively be deemed to have covenanted and agreed, jointly and severally, to:
i. Care for and maintain the surface of that portion of the Stormwater Management Easement which is located on such party's property as a well landscaped, high-quality parcel (which maintenance shall include, but shall not be limited to, the regular seeding, watering, and mowing of all lawns), and
ii. Keep all surface openings of the drainage pipes underlying the Stormwater Management Easement free of all grass clippings, leaves, or other related or foreign materials.
No titleholder of any part or portion of the Stormwater Management Easement (or any party acting on behalf of the titleholder) shall:
i. Construct, install, direct, or place or plant any building, structures, improvements or vegetation (other than grass or approved plantings) upon the Stormwater Management Easement including, but not limited to, fences, walls, patios, sheds or posts, or
ii. Alter, modify, or change in any way the topography or elevations of the Stormwater Management Easement.
Maintenance of the storm sewers and storm structures within the Stormwater Management Easement shall be the sole responsibility of the Association pursuant to the covenants contained herein.
The planting of shrubs, hedges, bushes, flowers, ornamental grasses, and lawn by any owner shall be permitted subject to a landscape plan approved by the City of Crystal Lake. However, the replacement of these items due to damage or removal resulting from repair of the stormwater management basin by the homeowner's association of the City of Crystal Lake and its successors and assigns shall be the responsibility of the owner.
If the City of Crystal Lake determines that the homeowner's association is in default of said maintenance obligations and upon fifteen (15) days notice to the homeowner's association served by certified mail, the City of Crystal Lake and its successors and assigns shall be granted an easement over the area described on this deed restriction for the right, privilege and authority, without obligation, to perform said maintenance and repairs. The City of Crystal Lake may, at its sole election, record notice of lien with the recorder of deeds for McHenry County as described above against the subject real property. Said lien shall include the applicable expense to the homeowner's association plus attorney's fees and court costs. Upon payment of said lien, the City of Crystal Lake shall issue the appropriate release of lien to the homeowner's association. It shall not be the obligation of the City of Crystal Lake to record the release of the lien but shall be the obligation of the party procuring the release.

MUNICIPAL UTILITY EASEMENT PROVISIONS

An easement for serving the subdivision and other property with domestic water, sanitary sewer and storm water drainage is hereby reserved for and granted to the City of Crystal Lake, Illinois, their successors and assigns, to install, operate, maintain, relocate, renew and remove facilities used in connection with sewer and water mains, in, under, across, along, and upon the surface of the property shown on the plat within the areas marked as Municipal Utility Easement (M.U.E.) and those parts designated on the plat as dedicated for public street, together with the right to cut, trim, or remove trees, bushes, and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes.
Each individual entity or other party accepting title to all or any part of the Municipal Utility Easement (MUE) shall conclusively be deemed to have covenanted and agreed, jointly and severally, to maintain the surface of that portion of the Municipal Utility Easement which is located on such party's property so that it is in good condition for its intended purpose as a Municipal Utility Easement (which maintenance shall include, but shall not be limited to, the regular seeding, watering and mowing of all lawns). No titleholder of any part or portion of the Municipal Utility Easement (or any party acting on behalf of the titleholder) shall:
i. Install, construct, erect, place or plant any building, structures, improvements or vegetation (other than grass or approved plantings) upon the Municipal Utility Easement, including, but not limited to fences, walls, patios, sheds, posts, trees, plants or shrubbery, except as shown on the approved landscape plan, or
ii. Alter, modify or change in any way the topography or elevations of the Municipal Utility Easement.
Said easements may be used for driveways and parking. However, the grade of the subdivided property shall not be altered in any manner so as to interfere with the proper operation and maintenance thereof, or with the surface drainage thereon. The property owner and or the property owner association are completely responsible for landscape and/or paving restoration, should maintenance of the utility be required.
The City of Crystal Lake is responsible of repairing water services between the water main, to and including the buffalo box. The property owner and/or the property owner's association are responsible for the restoration of the surface after any such water service repair.
Only perpendicular crossings of the M.U.E. are permitted by public utilities. The M.U.E.'s are exclusive of the blanket easement.

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

I, _____ County Clerk in McHenry County, Illinois do hereby certify that there are no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, and no redeemable tax against any of the land included in the annexed plat. I further certify that I have received all statutory fees in connection with the annexed plat.

Given under my hand and seal of the County at Woodstock, Illinois, this _____ day of _____, 20____, A.D.

McHenry County Clerk

CRYSTAL LAKE PLANNING AND ZONING COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

I hereby certify that on _____ the annexed plat was presented to and duly approved by the Planning & Zoning Commission of the City of Crystal Lake and that said plat conforms in all respects to the requirements of the Subdivision Control Ordinance of the City of Crystal Lake, Illinois.

Chairman, Planning and Zoning Commission

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

Approved by the City Council of Crystal Lake, Illinois this _____ day of _____, 20____, A.D.

Mayor

Attest: City Clerk

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

I, _____, Owner(s) and I,

_____, Professional Engineer of the State of Illinois, do hereby certify that to the best of our knowledge and belief that the drainage of surface waters will not be changed by the construction of this subdivision of any part thereof, or, if such changes occur, adequate provisions have been made for the collection and diversion of such surface waters into public areas or drains which the subdivider has a right to use, and that such surface waters will not be deposited on adjoining land owners in such concentration as may cause damage to the adjoining property because of the construction of this subdivision.

Owner(s)

Registered Professional Engineer of Illinois

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

This is to certify that I, William J. Vanderstappen, an Illinois Registered Land Surveyor, have surveyed, subdivided and platted the following described property, located within the City of Crystal Lake, Illinois, consisting of:

Lot 2 in Tek Drive Industrial Subdivision, being a Resubdivision of Lot 1 in Herald Square Unit 2 and of Lot 19 in Lakeview Business Center, all in the Southwest Quarter of Section 10, Township 43 North, Range 8 East of the Third Principal Meridian, according to the Final Plat thereof recorded December 23, 2002 as Document No. 2002R0122335, in McHenry County, Illinois.

I further certify that all regulations enacted by the City of Crystal Lake relative to plats and subdivisions have been complied with in the preparation of this plat, the above described property is located in the following Flood Zone: "X" areas determined to be outside the 0.2% annual chance floodplain. These zones are as identified by the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 17111C03354, dated November 16, 2006. Upon completion of the construction phase, 5/8" iron bars at all lot corners and concrete monuments at opposing exterior corners shall be set as required by the Plat Act (Illinois Revised Statutes 2008, 765ILCS 205/1) and that this property is located within the City of Crystal Lake, Illinois.

This Plat conforms to the current Illinois minimum standards of a boundary survey as it applies to a Final Plat of Subdivision. Improvements within 5 feet of the property limits have been shown. Other improvements exist on the property above described.

Dated at Woodstock, Illinois, this 30th day of September, A.D., 2019.

William J. Vanderstappen, No. 035-002709
VANDERSTAPPEN LAND SURVEYING INC.
1316 N. Madison Street
Woodstock, Illinois 60098
(815) 337-8310

RECORDERS CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF McHENRY)

This instrument filed for record in the Recorder's Office of McHenry County, Illinois, on this _____ day of _____, 20____, A.D.,

at _____ o'clock _____M. and recorded as Document

Number _____

McHenry County Recorder

ILLINOIS DEPARTMENT OF TRANSPORTATION
This plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to Paragraph 2 of "An Act to revise the law in relation to plats," as amended. A plan that meets the requirements contained in the Department's "Policy on Permits for Access Driveways to State Highways" will be required by the Department.

Anthony J. Quigley, P.E.
Region One Engineer

THIS PLAT PRESENTED FOR RECORDING BY:

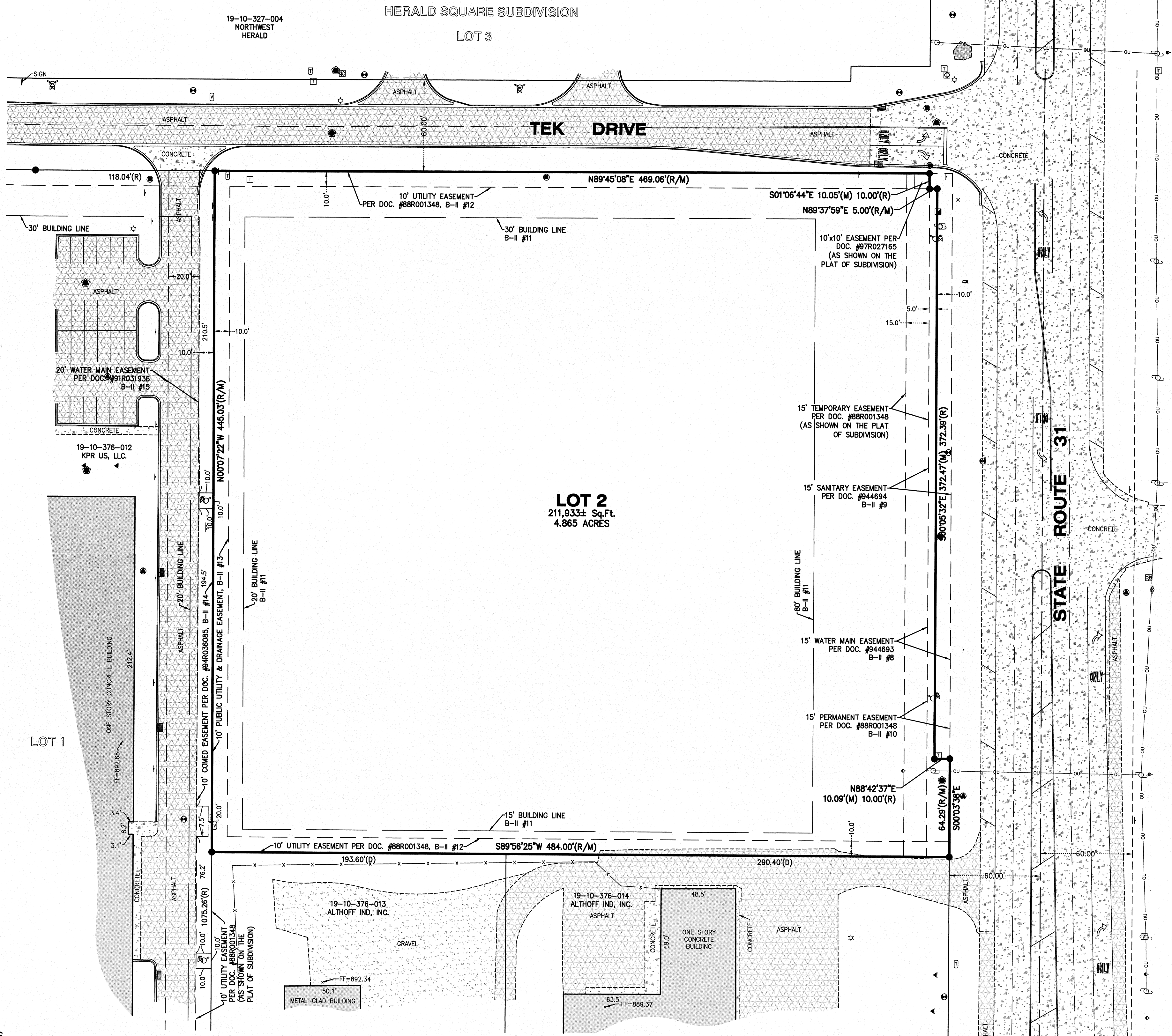
Table with 4 columns: NO., DATE, DESCRIPTION, BY. Header row: REVISIONS. Final row: TEK 31 SUBDIVISION, SHEET NO. 2 OF 2.



CLIENT: BLUESTONE SINGLE TENANT PROPERTIES
DRAWN BY: SES CHECKED BY: WJV
SCALE: 1"=30' SEC. 10 T. 43 R. 8 E.
BASIS OF BEARING: ASSUMED
P.I.N.: 19-10-376-011
JOB NO.: 190734 I.D. FPS
FIELDWORK COMP.: N/A BK. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF CORRECTED TO 66' F. REF: 180646
PREPARED BY:
VANDERSTAPPEN LAND SURVEYING, INC.
1316 N. MADISON ST. WOODSTOCK, IL, 60098
SEPTEMBER 30, 2019

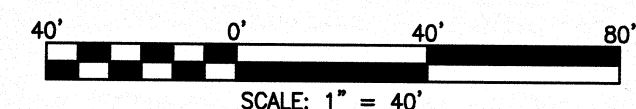
ALTA/NSPS LAND TITLE SURVEY

Lot 2 in Tek Drive Industrial Subdivision, being a Resubdivision of Lot 1 in Herald Square Unit 2 and of Lot 19 in Lakeview Business Center, all in the Southwest Quarter of Section 10, Township 43 North, Range 8 East of the Third Principal Meridian, according to the Final Plat thereof recorded December 23, 2002 as Document No. 2002R0122335, in McHenry County, Illinois.



SURVEYOR'S NOTES

- The legal description and utility easements shown hereon have been provided by Old Republic National Title Insurance, Commitment policy #1893294 dated June 12, 2018. The title information shown hereon is exclusively that provided to the Surveyor by the Title Insurer or the client. The Surveyor does not warrant the exact location of the Utility Easements shown hereon, but does state that they are located as accurately as possible from the information provided.
- Based on Flood Insurance Rate Map, Panel No. 17111C0335J, dated November 16, 2006, the subject property lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain.
- Distances are marked in feet and decimal places thereof, no dimension shall be assumed by scale measurement hereon. Distances and/or bearings shown with a "D" in parenthesis (D) are record or deed values, not field measured.
- Compare this plat, legal description and all survey monuments before building, and immediately report any discrepancies to the surveyor.
- The location of the property lines shown on the face of this plat are based on the legal description contained in the title commitment and shown hereon. This information has been furnished by the client and compared to record deeds to check for gaps and/or overlaps. However, this survey may not reflect historical matters of title and ownership that have not been disclosed by the title commitment.
- Only the improvements which were visible from above ground at time of survey and through a normal search and walk through of the site are shown on the face of this plat. Lawn sprinkler systems, if any, are not shown on this survey.
- Manholes, inlets and other utility rims or grates shown hereon are from field location of such, and only represent such utility improvements which are visible from above ground survey at the time of survey, through a normal search and walk through of the site. The labeling of these manholes (sanitary, water, etc) are based solely on the "stamped" markings on the rim. No underground observations have been made to verify the actual use or existence of underground utilities.
- Surface indications of utilities on the surveyed parcel have been shown. Underground and offsite observations have not been made to determine the extent of utilities serving or existing on the property, public and/or private records have not been searched to provide additional information. Overhead wires and poles (if any) have been shown, however their function and dimensions have not been shown.
- This survey may not reflect all utilities or improvements, if such items are hidden by landscaping, or are covered by such items as dumpsters or trailers or when the site was covered with snow. At the time of survey, the site was not covered by snow.
- Underground utilities shown hereon are based on paint or flag markings provided by others in conjunction with J.U.L.I.E. dig #A2361724, #A2361729 & #A2361739. This survey makes no statement regarding the actual presence or absence of any service or utility line. Controlled underground exploratory effort together with "JULIE" markings is recommended to determine the full extent of underground service and utility lines. Contact J.U.L.I.E. at 1-800-892-0123.
- Restrictions that may be found in local buildings and/or zoning codes have not been shown. Height and bulk restrictions (if any) have not been shown. Only those setback restrictions shown on the recorded subdivision plat or in the title commitment have been shown.
- There is a total of 0 striped parking spaces. (Pertains to Table A, item 9).
- There was no observable evidence of earth moving work, building construction or building additions at time of fieldwork. (Pertains to Table A, item 16).
- Exception 1 - Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are not met. (Not survey related)
- Exception 2 - Rights or claims of parties in possession not shown by the public records (Not survey related)
- Exception 3 - Easements, or claims of easements, not shown by the public records (Not survey related)
- Exception 4 - Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises (Shown hereon, if any)
- Exception 5 - Any lien, or right to a lien, for services, labor, or material heretofore and hereafter furnished, imposed by law and not shown by the public records (Not survey related)
- Exception 6 - Taxes or special assessments which are not shown as existing liens by the public records. (Not survey related)
- Exception 7 - General real estate taxes for the year(s) 2017, 20 18 and subsequent years. Permanent Index Number: 19 -10- 376-011. (Not survey related)
- Exception 8 - Watermain Easement, per Doc. 944693 as shown on the Plat of Subdivision. (Affects and is shown hereon)
- Exception 9 - Sanitary Easement, per Doc. 944694 as shown on the Plat of Subdivision. (Affects and is shown hereon)
- Exception 10 - Permanent Easement, per Doc. 88R001348 as shown on the Plat of Subdivision. (Affects and is shown hereon)
- Exception 11 - Building setback line as shown on the Plat of Subdivision. (Affects and is shown hereon)
- Exception 12 - Utility Easement, per Doc. 88R001348 as shown on the Plat of Subdivision. (Affects and is shown hereon)
- Exception 13 - Utility and Drainage Easement as shown on the Plat of Subdivision. (Affects and is shown hereon)
- Exception 14 - Commonwealth Edison Easement, per Doc. 94R036085 as shown on the Plat of Subdivision. (Lies adjacent to the above described lands and is shown hereon)
- Exception 15 - Watermain Easement, per Doc. 91R031936 as shown on the Plat of Subdivision. (Lies partially adjacent to the above described lands and is shown hereon)
- Exception 16 - Notation on Plat of Tek Drive Industrial Subdivision recorded as document 2002R-0122335:
No direct access to Rakow Road or IL Route 31 shall be permitted from Lots 1, 2 and 5.
All drainage easements, private storm easements, and detention easements shall be maintained by the owner of the lot on which the easement is located.
For subdivision easements, covenants and restrictions including use and maintenance of 30 foot access easement within Lot 4 and Grant of Drainage Easement to owners of other lots on final plat to use detention area on Lot 1 see document number 2002R-0122336. Buildings, trees or plantings are not allowed in P.U.E. or S.W.D.E. (As stated on the Plat of Subdivision)
- Exception 17 - Surveyor notation on Plat of Tek Drive Industrial Subdivision recorded as document 2002R-0122 335:
The described property is located in Zone C Area of Minimal Flooding, as identified by the Federal Management Agency on Flood Insurance Rate Map, Community Panel Number 170476 0004 C, as dated September 4, 1985. (See Note #2)
- Exception 18 - Terms and provisions contained in the Declaration of Easements and Protective Covenants for Tek Drive Industrial Subdivision recorded as document 2002R-0122336. (Not survey related)
- Exception 19 - Terms and provisions contained in the Declaration of Terms and Conditions of Dedication of Addition of 20 Foot Right of Way for Rakow Road in Connection with Tek Drive Industrial Subdivision recorded as document 2002R-01223 37. (Not survey related)
- Exception 20 - Existing unrecorded leases, if any. (Not survey related)
- Exception 21 - Rights of parties in possession of the subject property by reason of unrecorded leases, if any. (Not survey related)



LEGEND	
	CABLE HANDHOLE
	CATCH BASIN
	CURB INLET
	DOWN GUY
	ELECTRIC RISER
	FIRE HYDRANT
	FOUND IRON BAR
	GAS PIPELINE MARKER
	LIGHT
	MANHOLE
	SANITARY MANHOLE
	SIGN
	STORM MANHOLE
	TELEPHONE HANDHOLE
	TELEPHONE RISER
	TRAFFIC CONTROL BOX
	TRANSFORMER
	TREE
	UTILITY POLE
	VALVE VAULT
	WATER VALVE
	YARD LIGHT
(D)	DEED
(M)	MEASURED
(R)	RECORD

B-II # = TITLE COMMITMENT SCHEDULE B-II REFERENCE

12/4/18 - REVISED PER CLIENT COMMENTS DATED 11/30/18. DAM.

STATE OF ILLINOIS)
) S.S.
 COUNTY OF MCHENRY)

Certified to: 1) Old Republic National Title Insurance
 2) GMX Real Estate Group Acquisitions, LLC, an Illinois limited liability company
 3) BSTP Midwest, LLC
 4) BSTP Crystal Lake I, LLC
 5) Thorntons, Inc.

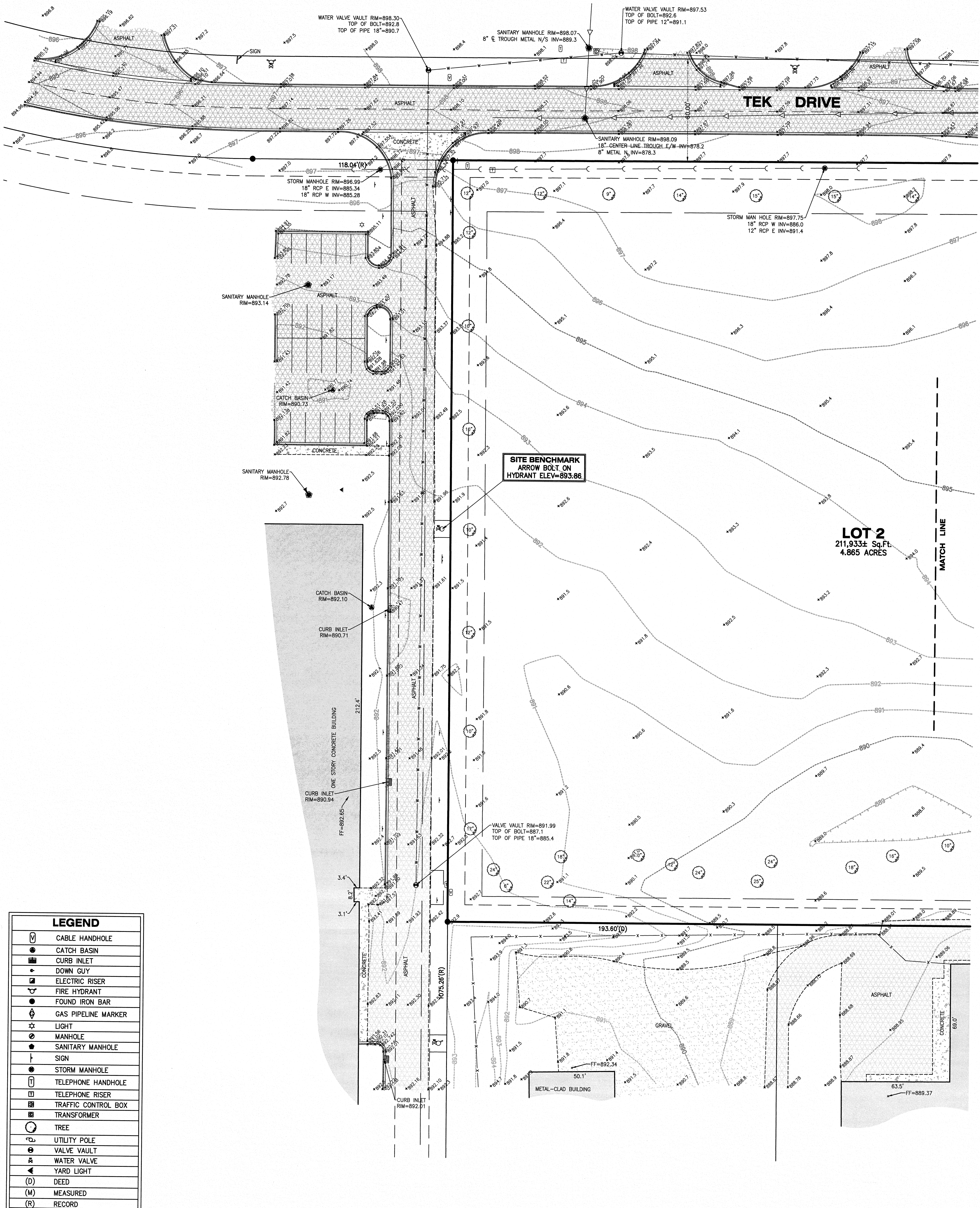
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 7(b), 8, 9, 10(a), 11, 13, 14, 16, 17 & 20 of Table A thereof. The field work was completed on August 28th, 2018.

Dated this 10th day of September, A.D., 2018.

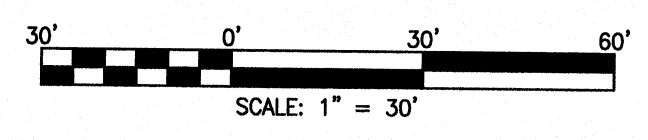
VANDERSTAPPEN LAND SURVEYING INC.
 Design Firm No. 184-002792

WILLIAM J. VANDERSTAPPEN, 035-002709 (seal)
 PROFESSIONAL LAND SURVEYOR

ALTA/NSPS LAND TITLE SURVEY



LEGEND	
	CABLE HANDHOLE
	CATCH BASIN
	CURB INLET
	DOWN GUY
	ELECTRIC RISER
	FIRE HYDRANT
	FOUND IRON BAR
	GAS PIPELINE MARKER
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	UTILITY POLE
	VALVE VAULT
	WATER VALVE
	YARD LIGHT
(D)	DEED
(M)	MEASURED
(R)	RECORD



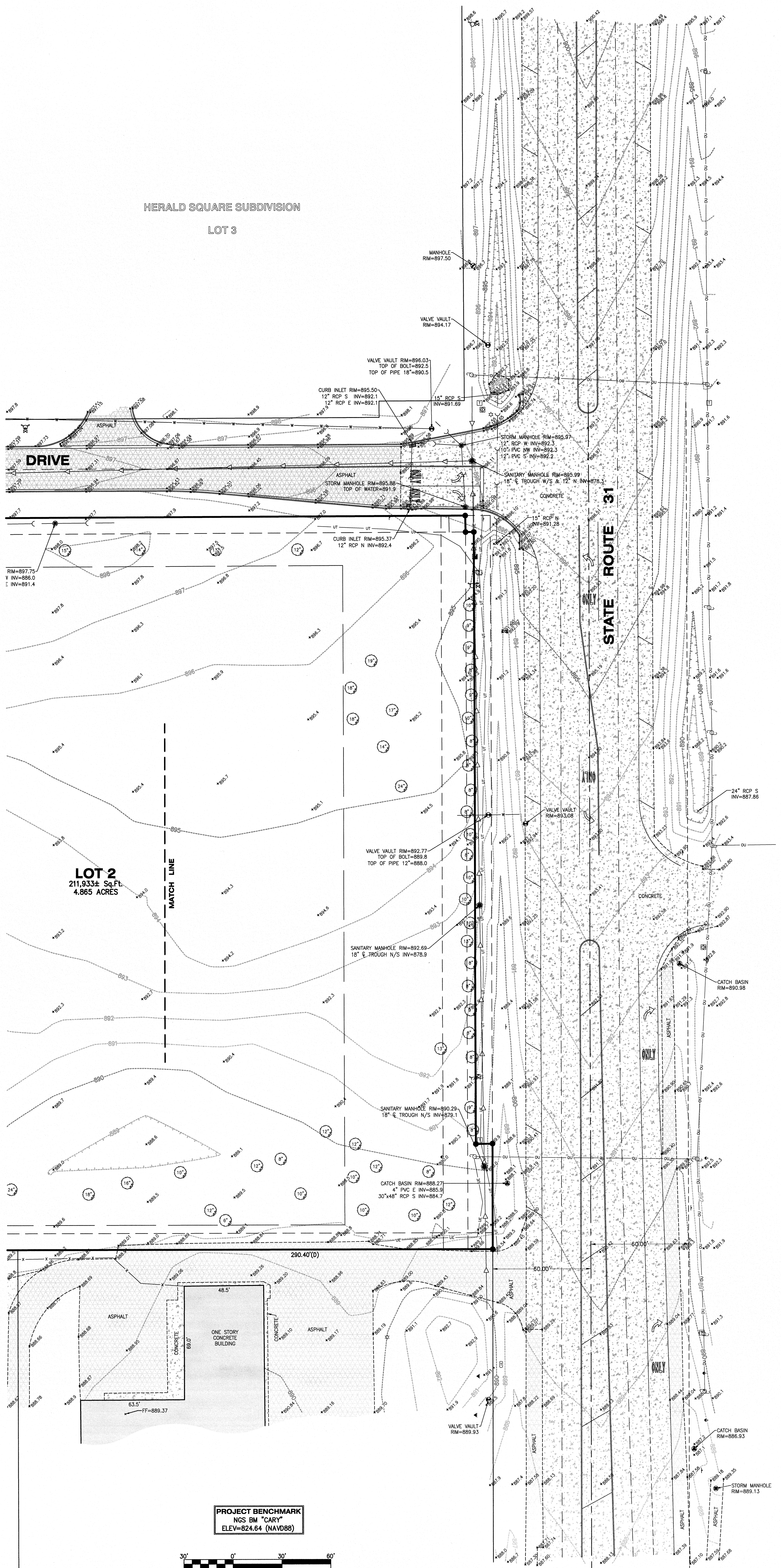
PROJECT BENCHMARK
NGS BM "CARY"
ELEV=824.64 (NAVD88)

CLIENT: BLUESTONE SINGLE TENANT PROPERTIES
DRAWN BY: DAM CHECKED BY: WJV
SCALE: 1"=30' SEC. 10 T. 43 R. 08 E.
BASIS OF BEARING: ASSUMED
P.I.N.: 19-10-376-011
JOB NO.: 180646 I.D. ALT
FIELDWORK COMP.: 8/28/18 BK. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL F.
PARTS THEREOF CORRECTED TO 88° F.

ALTA/NSPS LAND TITLE SURVEY

HERALD SQUARE SUBDIVISION

LOT 3



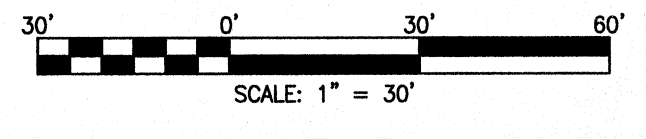
LEGEND	
	CABLE HANDHOLE
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	TRANSFORMER
	TREE
	UTILITY POLE
	VALVE VAULT
	WATER VALVE
	YARD LIGHT
(D)	DEED
(M)	MEASURED
(R)	RECORD

LOT 2
 211,933± Sq.Ft.
 4.865 ACRES

MATCH LINE

STATE ROUTE 31

PROJECT BENCHMARK
 NGS BM "CARY"
 ELEV=824.64 (NAVD88)



CLIENT: BLUESTONE SINGLE TENANT PROPERTIES
 DRAWN BY: DAM CHECKED BY: WJV
 SCALE: 1"=30' SEC. 10 T. 43 R. 08 E.
 BASIS OF BEARING: ASSUMED
 P.I.N.: 19-10-376-011
 JOB NO.: 180646 I.D. ALT
 FIELDWORK COMP.: 8/28/18 BK. PG.
 ALL DISTANCES SHOWN IN FEET AND DECIMAL REF.
 PARTS THEREOF CORRECTED TO 68° F.