



#2020-10
The Springs by Continental Properties –
Conceptual PUD
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	March 4, 2020
<u>Request:</u>	Conceptual review for a 280-unit apartment development.
<u>Location:</u>	1120 Central Park Drive
<u>Acreage:</u>	Approximately 18.18 acres
<u>Zoning:</u>	R-3B PUD – Multi-Family Residential PUD
<u>Surrounding Properties:</u>	North: R-3B PUD – Multi-Family Residential PUD South: R-3 – Multi-Family Residential (Cary) East: R-3 – Multi-Family Residential (Cary) West: B-2 PUD – General Commercial PUD
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3798)

Background:

- The subject property was part of the Lutter Center annexation and Planned Unit Development. The PUD included the commercial property along Route 31 and the proposed townhome property east of Lutter Drive.
- The Preliminary PUD for the subject property included approval of 600 townhome units. The 600 townhome unit development was on approximately 66 acres.

Development Analysis:

Land Use/Zoning

- The site is currently zoned R-3B PUD – Multi-Family Residential Planned Unit Development. This is the appropriate zoning district for an apartment development.
- The current Comprehensive Plan land use designation is High Density Residential. This is the appropriate land use designation for an apartment development.

General

- The subject property is a portion of the residential section of the Lutter Center PUD.

- A plat of subdivision would be required for the request.
- The proposed development would consist of 14 two-story apartment buildings. The buildings have 20 units in each building. There would be a total of 280 apartment units.
- Per the UDO, 546 parking spaces would be required, the petitioner is providing the following parking options for a total of 525 parking spaces:
 - 112 attached garage units
 - 30 detached garage spaces
 - 382 surface parking spaces
- Per the petitioner's narrative, the development would comply with the setback requirements of the R-3B zoning district.
- The proposed impervious surface coverage is 63%, which meets the zoning district requirement of 65%.

Site Layout - Access

- Central Park Drive would be extended to the edge of the property line.
- There are two entrances into the development and a third entrance for the clubhouse.
- The entrances into the residential development are gated. The Fire Rescue and Police Departments would have access through a Knox Box for emergency services.
- A traffic study, including a study of the intersection at Central Park and Lutter Drives would be completed by a city approved Traffic Consultant. This development would have to pay its fair share of the roadway improvements.

Site Layout - Amenities

- The proposal includes the following amenities for residents:
 - Clubhouse with a fitness center, indoor common area with a kitchen, coffee bar, patio and pool;
 - A fire pit and community area is located to the north of the clubhouse;
 - Two pet parks, including pet playgrounds and a pet spa;
 - Storage lockers;
 - A picnic area; and
 - A car care center is located by the maintenance building.
- The entire site is fenced with a 5-foot decorative fence.
- The existing landscape buffer along the property line would be preserved and enhanced where gaps or dying trees are located.

Building Elevations

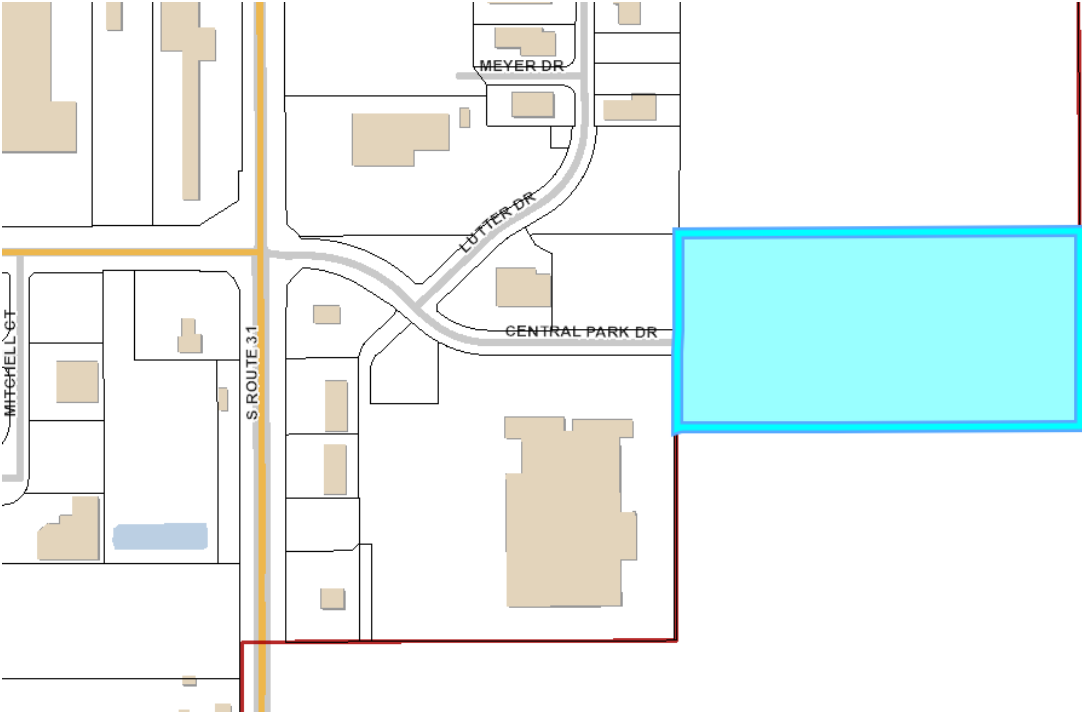
- The buildings are two-stories and have articulation which breaks up the elevations. The design evokes a townhome feeling.
- Each unit has a ground level individual entrance.
- The proposed building materials are brick and Hardie board fiber cement siding.
- The proposed architecture includes the following architectural accents:
 - Porch columns with stone bases;
 - Craftsman's style window trim;
 - Brick that extends to the second level;
 - Mix of board & batten and horizontal siding;
 - Gable brackets; and
 - Varying window sizes.
- The detached garages and maintenance building match the proposed elevations.

Planning and Zoning Commission Discussion:

The following comments are for discussion and consideration of future submittals:

1. The original Preliminary PUD was approved for townhomes. The current market demand is for rental units, is this an appropriate location for the apartment development?
2. The proposed layout includes a clubhouse with a fitness center, pool, fire pit area and two dog park areas. The petitioner has requested feedback on the site amenities, are there any other types of amenities that would be recommended?
3. The proposed density is approximately 15.44du/acre. Below are the densities of other multi-family housing in Crystal Lake, is the proposed density comparable to other multi-family developments in the city?
 - a. The Residences: 8du/acre
 - b. Pedcor: 10du/acre
 - c. Sky Ridge: 11.42du/ac
 - d. Church Street Apartments: 13.8du/acre
 - e. Coventry Apartments: 15.45du/acre
 - f. LSSI: 20du/acre

PLN-2020-00010 CONTINENTAL PROPERTIES – CONCEPTUAL REVIEW



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Continental 544 Fund LLC - Springs at Center Park Drive

Action Requested

Annexation

Comprehensive Plan Amendment

Conceptual PUD Review

Final PUD

Final PUD Amendment

Final Plat of Subdivision

Preliminary PUD

Preliminary Plat of Subdivision

Rezoning

Special Use Permit

Variation

Other

Petitioner Information

Name: Eric Thom on behalf of Continental 544 Fund LLC

Address: W134N8675 Executive Pkwy.

Menomonee Falls, WI 53051

Phone: (262) 532-9343

Fax: (262) 502-5522

E-mail: ethom@cproperties.com

Owner Information (if different)

Name: DMJ Lakes, LLC

Address: 104 S. Wynstone Park Dr.

N. Barrington, IL 60010

Phone: _____

Fax: _____

E-mail: _____

Property Information

Project Description: Continental 544 Fund LLC is proposing an amendment to the existing

Lutter Center PUD, in the form of an upscale, market-rate, multifamily community. As proposed, the

Project will contain (14) 20-unit residential buildings, along with a clubhouse, pet park, community open

spaces, attached and detached garages, and an extension to Center Park Drive

Project Address/Location: Approx. 18.18 acres off of Central Park Drive, East of Lutter Drive and Walmart

Address: 1120LT Central Park Drive.

PIN Number(s): 19-15-200-011 and a portion of 19-10-476-011

Development Team

Please include address, phone, fax and e-mail

Developer: Continental C544 fund LLC - W134N8675 Executive Pkwy, Menomonee Falls, WI 53051 - (262) 532-9343 - ethom@cproperties.com

Architect: Jeff Liebergen - Excel Engineering - 100 Camelot Drive, Fond du Lac, WI 54935 (920) 926-9800 - Jeff.L@ExcelEngineer.com

Attorney: _____

Engineer: Brett Biwer - Manhard - One Overlook Point, Suite 290, Lincolnshire, IL 60069 - (847) 325-7083 - bbiwer@manhard.com

Landscape Architect: Brett Biwer - Manhard - One Overlook Point, Suite 290, Lincolnshire, IL 60069 - (847) 325-7083 - bbiwer@manhard.com

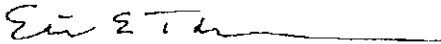
Planner: Continental C544 fund LLC - W134N8675 Executive Pkwy, Menomonee Falls, WI 53051 - (262) 532-9452 - blang@cproperties.com

Surveyor: Brett Biwer - Manhard - One Overlook Point, Suite 290, Lincolnshire, IL 60069 - (847) 325-7083 - bbiwer@manhard.com

Other: _____

Signatures

Continental 544 Fund LLC
By: Continental Properties Company, Inc., its manager
W134N8675 Executive Parkway
Menomonee Falls, WI 53051

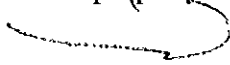


2/19/2020

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.



2/20/20

OWNER: Print and Sign name WADE Light Member of beneficiary LLC Date 2/20/20

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

February 26, 2020

Re: Concept PUD Amendment
Crystal Lake, IL
Continental Properties Company, Inc.
Proposed Multifamily Development

Introduction

Continental 544 Fund LLC (“Continental”) is pursuing an amendment of the Lutter Center PUD pursuant to the development of approximately 18.18 acres of land at the East end of Center Park Drive East of Lutter Drive (“Site”) in the City of Crystal Lake, IL for its proposed multifamily community and 1.26 acres adjacent to the multifamily development to be dedicated as Public R.O.W. for an extension of Center Park Drive. Continental’s proposed Springs community is a branded, upscale, market-rate 280-home multifamily community (“Springs”) consisting of (14) residential buildings, a clubhouse, pet playgrounds, and both attached and detached garages placed throughout the site.

Springs communities are located within vibrant, growing municipalities across the nation that feature convenient access to employment, prime shopping, dining, and entertainment venues. Crystal Lake, IL offers all the modern conveniences and civic amenities that attract certain people who prefer to rent rather than own their homes including both young professionals and active adults 55+. Nationally, trends continue to show that of new households created 59 percent are rental households (National Multi-Housing Council, 2015). Within Crystal Lake, trends are showing a decrease in the development of market-rate, rental housing, with the permitting of only a handful of 5+ unit multifamily communities in the past 20 years. Continental’s intention is to supply the community with a housing option that is currently underserved in the area and satisfy the demand for a new, high-quality multifamily community with desirable, modern amenities in the City of Crystal Lake.

PUD Amendment Overview:

1. **Unit Count** - The Lutter Center PUD approved 600 townhomes on two parcels that total approximately 67 acres. In lieu of townhomes, Continental is proposing to develop 280 of the 600 homes as multifamily units on 18.18 acres. This multifamily use would provide a fluid gradient in the intensity of use; starting with the commercial development to the West, becoming less dense as development ensues to the North along the proposed Center Park Drive extension.
2. **Bulk Requirements** – The Lutter Center PUD approved a reduction of setbacks along roads. Continental’s Proposed Development is providing the following in the proposed site plan, which align with the “R-3B” Zoning District:
 - a. Minimum Yard Abutting Residential Districts: 50’
 - i. Applies to North South and East Property Lines
 - b. Minimum Front Setback/yard abutting a street: 30’
 - i. Applies to property line abutting Center Park Drive

- c. In addition, the proposal is providing the following buffers (as dimensioned on the enclosed site plan):
- i. Northern Property line:
 1. 13' to Accessory Buildings
 2. 17' to Fence line
 3. 20' to Parking
 - ii. Eastern Property Line:
 1. 29' to fence line
 - iii. Southern Property Line
 1. 13' to accessory building
 2. 17' to fence line
 3. 20' to parking
 - iv. Western Property Line Adjacent to Walmart Property:
 1. 27' to accessory building
 - v. Property Line Adjacent to Center Park Drive
 1. Minimum of 17' to fence line
 - vi. Pervious/Impervious Area
 1. Pervious – 37%
 2. Impervious - 63%
3. **Architectural Design** – The Lutter Center PUD approved a townhome use. The proposed multifamily community features a townhome style design with private, ground level entrances to each apartment home. Each residential building contains a mix of studio, one, two, and three-bedroom units all of which offer an open concept design with dark wood cabinetry, stainless steel appliances, and granite countertops throughout. The building elevations provide a high level of architectural interest through the implementation of exterior accents, a high percentage of glazing, varying articulation horizontally and vertically, as well as the use of high-end finishes which include brick masonry and a mixture of fiber cement (Hardie) siding materials. This quality translates to the clubhouse and the accessory buildings within the community as well by utilizing the same high-end finishes and design values. Please reference the enclosed conceptual elevations for the proposed application of said materials and their color schemes.
4. **Roadway Design** - The Lutter Center PUD approved a Subdivision Ordinance Variation to the “required collector road design.” Continental is proposing an “L-1” local road extension which specifies a 60' R.O.W. as shown in plan. We feel the proposed section may help reduce any potential semi-truck traffic through the future residential communities. Continental is working with the City of Crystal Lake staff and Sam Schwartz to conduct a traffic study.

Site Layout & Landscaping

The Springs community is a gated and fenced community, with its main access being located on the proposed extension of Center Park Drive (as shown in the Site Plan), providing a full movement to and from the community. The secondary emergency access point is planned at the North end of said extension. All service and maintenance related community

amenities (such as trash removal) are screened from the public and residents' view via enhanced landscaping and thoughtful placement. These amenities are centrally located within the Springs for safe and convenient access. Ample open space is provided throughout the site to enhance passive and active community engagement. As plans progress these open space opportunities could include, common courtyards, picnic areas, grilling stations, pergola shaded seating, firepits and two (2) pet playgrounds. Pedestrian connectivity throughout the Site fosters neighbor interaction and a strong sense of community that the Springs properties offer. Surface parking and garages are screened from the public's view via landscaping. Onsite lighting is specifically designed to minimize any spillage of light onto adjacent properties, while also providing adequate lighting along pedestrian paths for safety throughout the Springs. Lighting along the Center Park Drive extension is designed to meet required specs of the City of Crystal Lake and ComEd. All on-ground HVAC units are screened via landscaping, including evergreen shrubs and tall ornamental grasses that provide year-round screening. Landscaping within the community is designed to meet the standards set forth in Crystal Lake's ordinances and includes building foundation plantings, open space plantings, and parking lot plantings.

Tenant Amenities

In order to enhance the sense of place that this community will provide; several amenities are included within the site. Among the facilities is a 4,000+ square foot clubhouse. The clubhouse includes a large gathering room, 24-hour fitness center, kitchen, coffee bar, and resort style pool. During warm months, the garage-style door in the fitness center can be opened to the pool deck for an open-air workout experience. The pool deck includes ample patio furniture with a lounge space, grilling areas, and shaded seating. To the north of the pool deck, a community fire pit area and picnic area is shown, which rounds-out this portion of the site as the community hub and social catalyst. The clubhouse is also home to Continental's premiere in-house community management team. Our management team offers resident- focused service that meets and exceeds resident expectations. The community also features picnic areas, a car care center, pet spa, storage lockers, bike parking, private pet yards and pet playgrounds.

Conclusion

In conclusion, the proposed Springs community will benefit the City of Crystal Lake and the surrounding area. This Springs community helps meet the demand for an underserved housing option in the community while providing a unique, quality housing opportunity for local employers and residents. Thank you for considering this Conceptual PUD submittal and please let me know if there are any questions on the items enclosed. We look forward to working with the City of Crystal Lake during this process.

Sincerely,



Eric Thom,
Senior Development Director
Continental Properties Company, Inc.
(262) 532-9343
ethom@cproperties.com



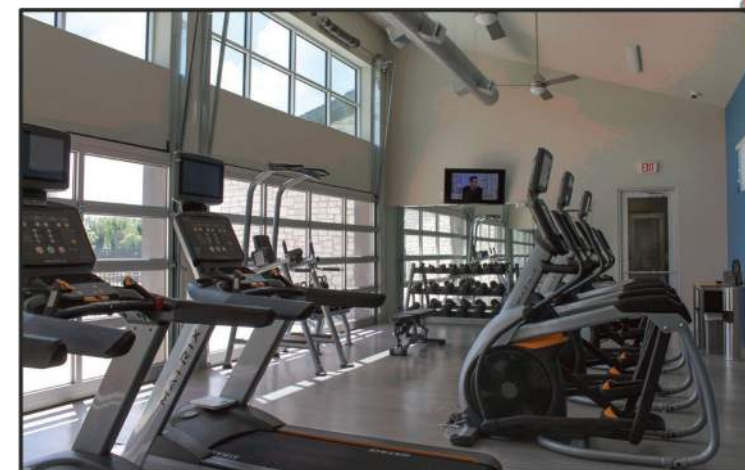
SITE INFORMATION		
MULTIFAMILY AREA	18.18 ACRES	
TOTAL AREA	18.18 ACRES	
DENSITY	15.40 DU/ACRE	
BUILDING / LANDSCAPE SETBACKS	NORTH	50'/20'
	SOUTH	50'/20'
	EAST	50'/20'
	WEST	30'/20'
IMPERVIOUS AREA	497,323 SF	63%
PERVIOUS AREA	294,597 SF	37%
BUILDING INFORMATION		
CLUBHOUSE	4,340 SF	
RESIDENT BUILDINGS	QUANTITY	HEIGHT
B20E (20 DU/BUILDING)	14	2-STORY / 35'
TOTAL RESIDENT BUILDINGS	14	
GENERAL HOME MIX	HOMES	PERCENTAGE
STUDIO	28	10%
1-BEDROOM	112	40%
2-BEDROOM	112	40%
3-BEDROOM	28	10%
TOTAL HOMES	280	100%
<small>*BUILDINGS LABELED A OR B TO DESIGNATE COLOR SCHEME PER ATTACHED ELEVATIONS</small>		
PARKING INFORMATION		
PARKING	QUANTITY	
ATTACHED GARAGES	112	
ATTACHED TO HOME	98	
FLOATER	14	
TANDEM SPACES	NOT INCLUDED	
DETACHED GARAGES	30	
6G (6-BAY)	5	
MAINTENANCE GARAGE (MG-P)	1	
TOTAL COVERED PARKING	143	
SURFACE PARKING	379	
APRON SPACES	NOT INCLUDED	
TOTAL UNCOVERED PARKING	379	
TOTAL PARKING PROVIDED	522	
PARKING REQUIRED PER CODE	546	
HOME PARKING RATIO	1.86	
OVERALL GARAGES/HOME	0.51	
COVERED PARKING RATIO	0.27	
CLUBHOUSE PARKING	17	
ADA PARKING	21	
PARKING DIMENSIONS		
STANDARD STALL	9'X18'	
ADA STALL	9'X18'	
COMPACT STALL	9'X18'	
DRIVE WIDTH	24'	
SITE AMENITIES		
AMENITY	QTY / SF / NOTES	
SWIMMING POOL	INCLUDED	
FITNESS CENTER	INCLUDED	
CAR CARE CENTER	INCLUDED	
PET PLAYGROUND TYPE A	3,600 SF	
PET PLAYGROUND TYPE C	8,730 SF	
PARCEL PICKUP	INCLUDED	
OPEN SPACE AMENITY	Community Fire pit and Picnic Area	

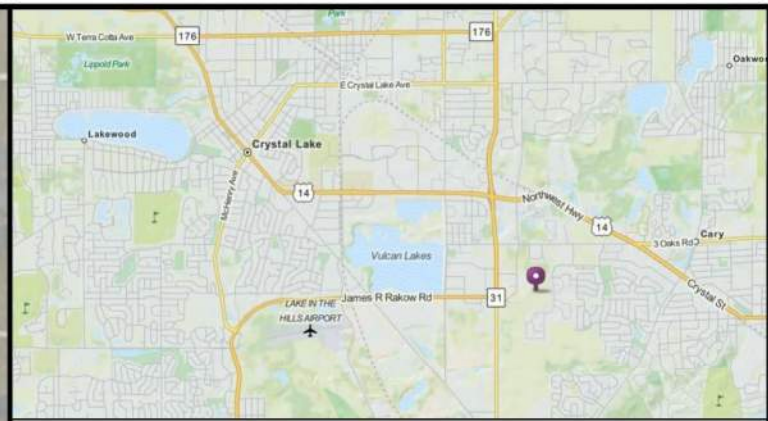
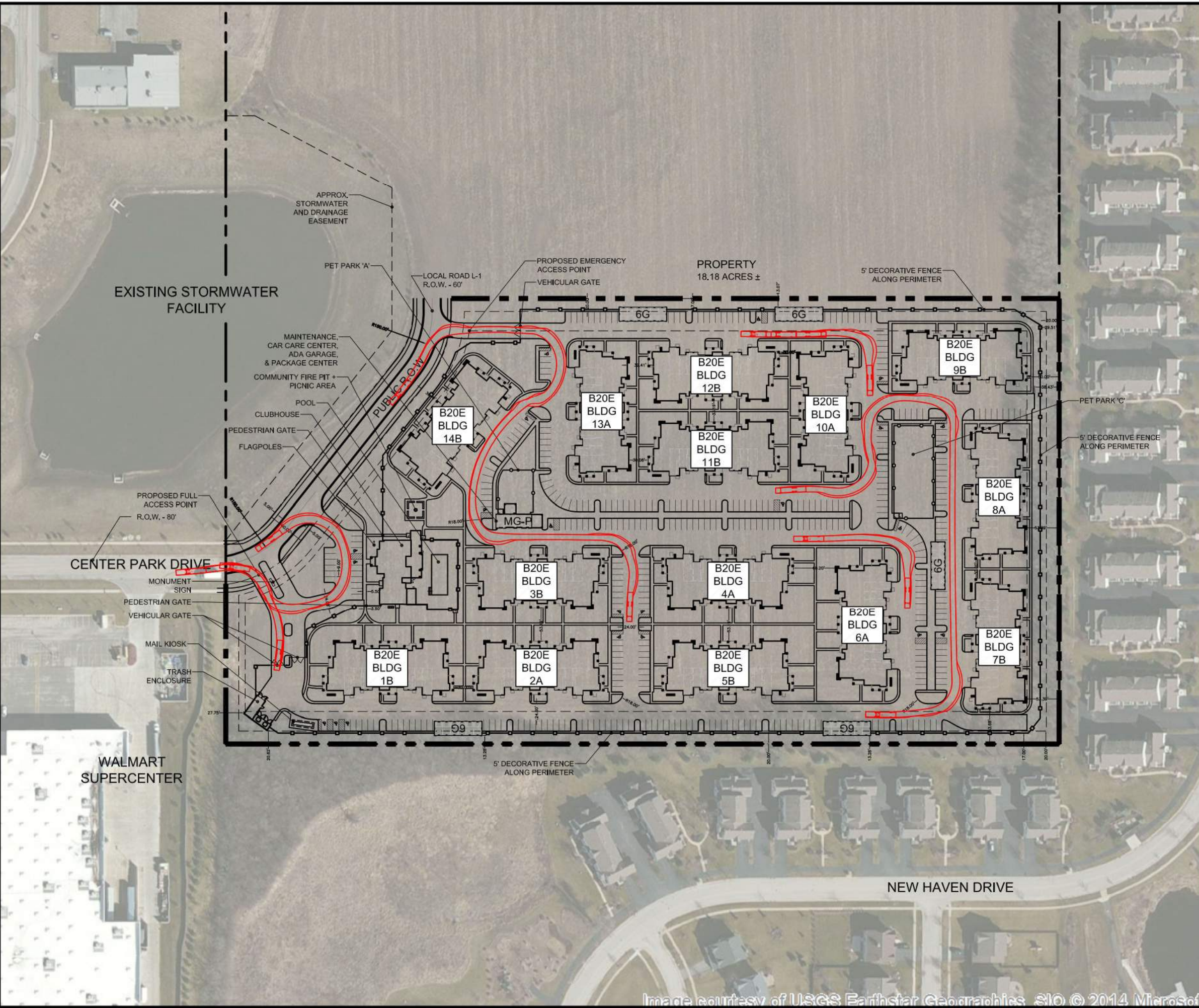
SPRINGS AT CENTER PARK DRIVE

CRYSTAL LAKE, IL



Community Amenities





VICINITY MAP
SCALE: NTS

SITE INFORMATION	
MULTIFAMILY AREA	18.18 ACRES
TOTAL AREA	18.18 ACRES
DENSITY	15.40 DU/ACRE
BUILDING / LANDSCAPE SETBACKS	NORTH 50'/20' SOUTH 50'/20' EAST 50'/20' WEST 30'/20'

BUILDING INFORMATION		
CLUBHOUSE	4,340 SF	
RESIDENT BUILDINGS	QUANTITY	HEIGHT
B20E (20 DU/BUILDING)	14	2-STORY / 35'
TOTAL RESIDENT BUILDINGS 14		
GENERAL HOME MIX	HOMES	PERCENTAGE
STUDIO	28	10%
1-BEDROOM	112	40%
2-BEDROOM	112	40%
3-BEDROOM	28	10%
TOTAL HOMES 280 100%		

PARKING INFORMATION	
PARKING	QUANTITY
ATTACHED GARAGES	112
ATTACHED TO HOME	98
FLOATER	14
TANDEM SPACES	NOT INCLUDED
DETACHED GARAGES	30
6G (6-BAY)	5
MAINTENANCE GARAGE (MG-P)	1
TOTAL COVERED PARKING	143
SURFACE PARKING	379
APRON SPACES	NOT INCLUDED
TOTAL UNCOVERED PARKING	379
TOTAL PARKING PROVIDED 522	
PARKING REQUIRED PER CODE	546
HOME PARKING RATIO	1.86
OVERALL GARAGES/HOME	0.51
COVERED PARKING RATIO	0.27
CLUBHOUSE PARKING	17
ADA PARKING	21
TOTAL PARKING PROVIDED 522	
PARKING DIMENSIONS	
STANDARD STALL	9'X18'
ADA STALL	9'X18'
COMPACT STALL	9'X16'
DRIVE WIDTH	24'

SITE AMENITIES	
AMENITY	QTY / SF / NOTES
SWIMMING POOL	INCLUDED
FITNESS CENTER	INCLUDED
CAR CARE CENTER	INCLUDED
PET PLAYGROUND TYPE A	3,600 SF
PET PLAYGROUND TYPE C	8,730 SF
PARCEL PICKUP	INCLUDED
OPEN SPACE AMENITY	Community Fire pit and Picnic Area
PROPERTY BOUNDARY	AERIAL

CONTINENTAL xxx FUND LLC
An affiliate of
CONTINENTAL PROPERTIES
1134 N875 Escalante Parkway
Menomonee Falls, WI 53051
Phone: 262-502-5500 Fax: 262-502-5022

DRAWN BY:	BL	DATE:	12/30/19
STATE:	IL	INITIAL DATE DRAWN:	
REVISIONS			
REV	DESCRIPTION	DATE	REV

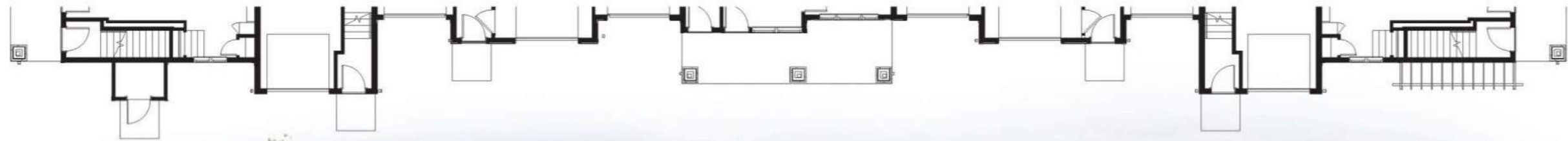
CITY: CRYSTAL LAKE
STREET: JAMES R RAKOW RD & LUTTER DR.
NORTH
SHEET: EXHIBIT





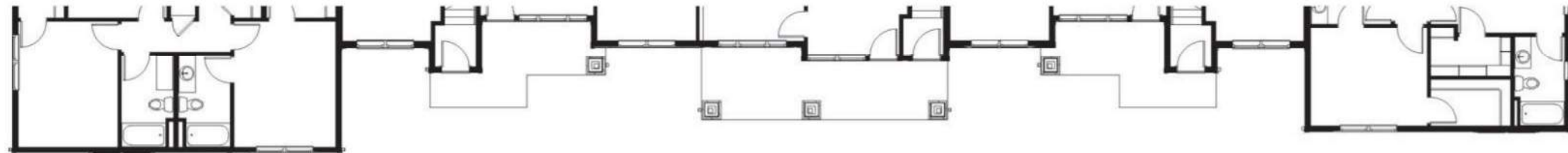
Front Elevation

SCALE: 1/16"=1'-0" sheet 1



Rear Elevation

SCALE: 1/16"=1'-0" sheet 1

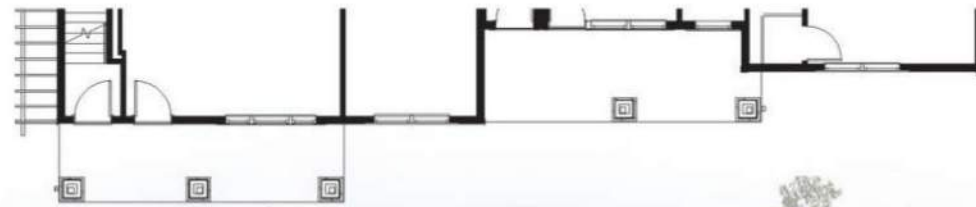


APARTMENTS B20E
COLOR SCHEME 'A'



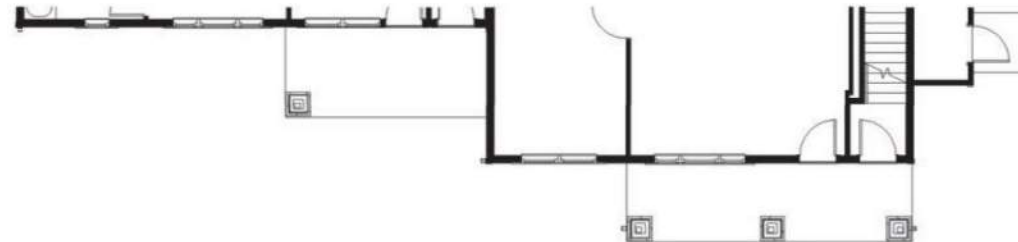
Right Elevation

SCALE: 1/16"=10' sheet 1



Left Elevation

SCALE: 1/16"=10' sheet 1



APARTMENTS B20E
COLOR SCHEME 'A'



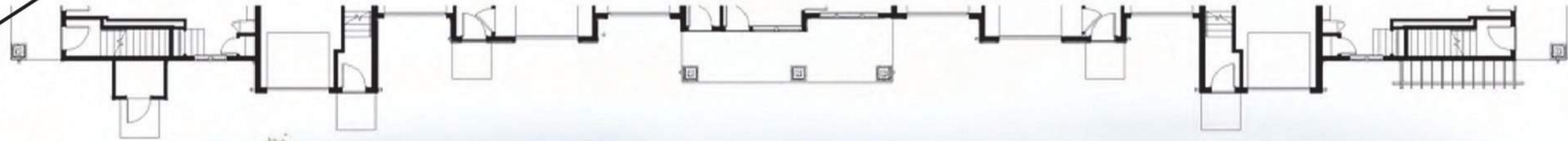
Board & Batten
"Classic French Gray"
SW 0077



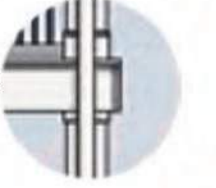
Brick
Glen-Gery Modular
"Lockport"



Front Elevation
SCALE: 1/8"=1'-0"



Doors
"Tempe Star"
SW 6229



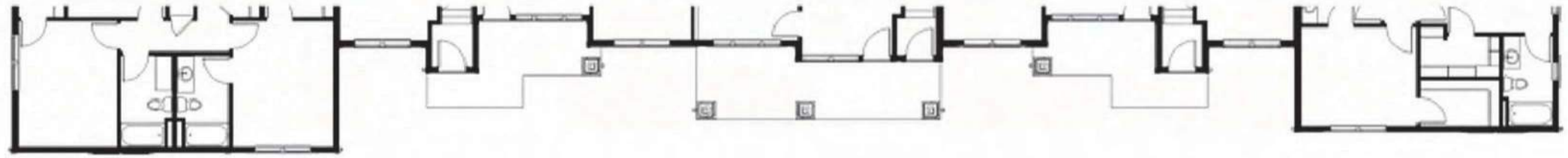
Trim
"Extra White"
SW 7006



Lap Siding
"Peppercorn"
SW 7674



Rear Elevation
SCALE: 1/8"=1'-0"



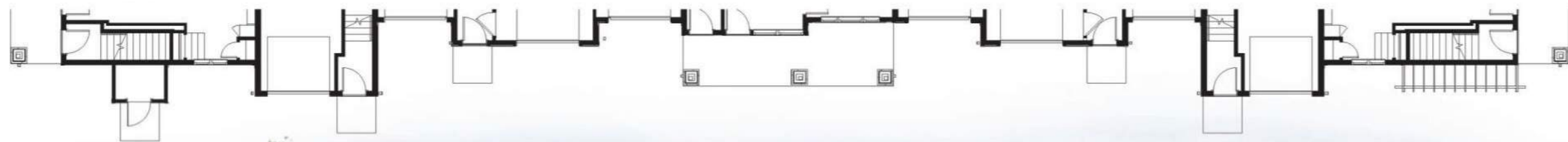
Lap Siding
"Dorian Gray"
SW 7017

APARTMENTS B20E
COLOR SCHEME 'A'



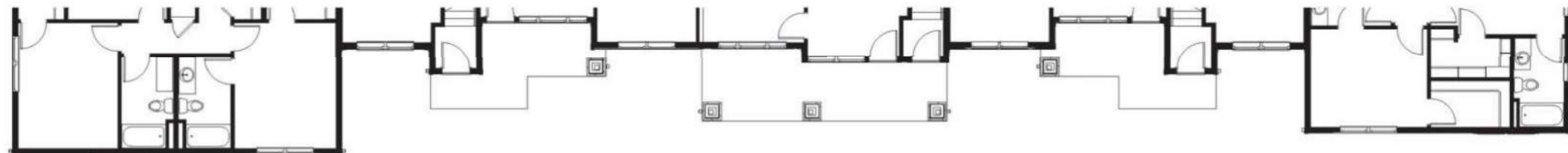
Front Elevation

SCALE: 1/16"=1'-0" 10/11/17



Rear Elevation

SCALE: 1/16"=1'-0" 10/11/17



APARTMENTS B20E
COLOR SCHEME 'B'



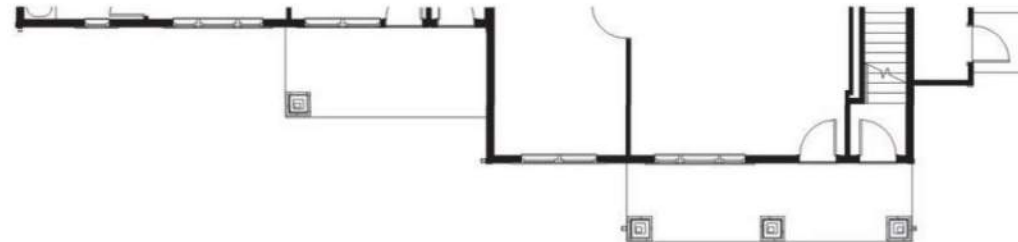
Right Elevation

SCALE: 1/16"=1'-0" APP-1



Left Elevation

SCALE: 1/16"=1'-0" APP-1



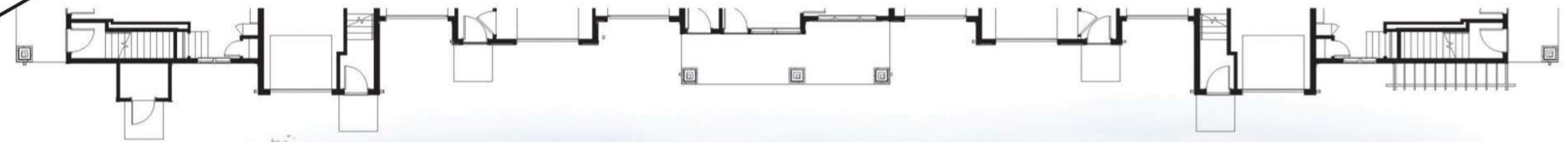
APARTMENTS B20E
COLOR SCHEME 'B'

Board & Batten
"Slate Tile"
SW 7624

Brick
Glen-Gery Modular
"Lockport"



Front Elevation
SCALE: 1/16"=1'-0"



Doors
"Tempe Star"
SW 6229

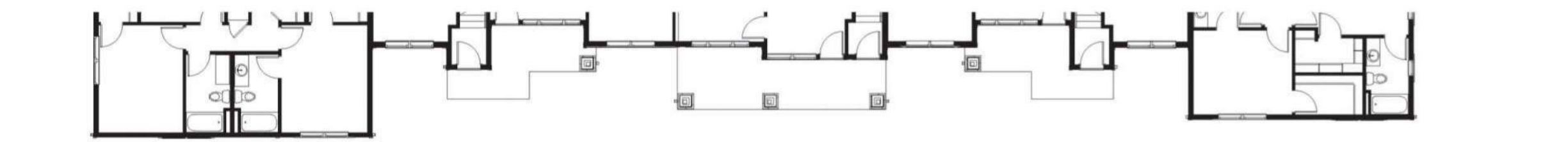
Trim
"Extra White"
SW 7006



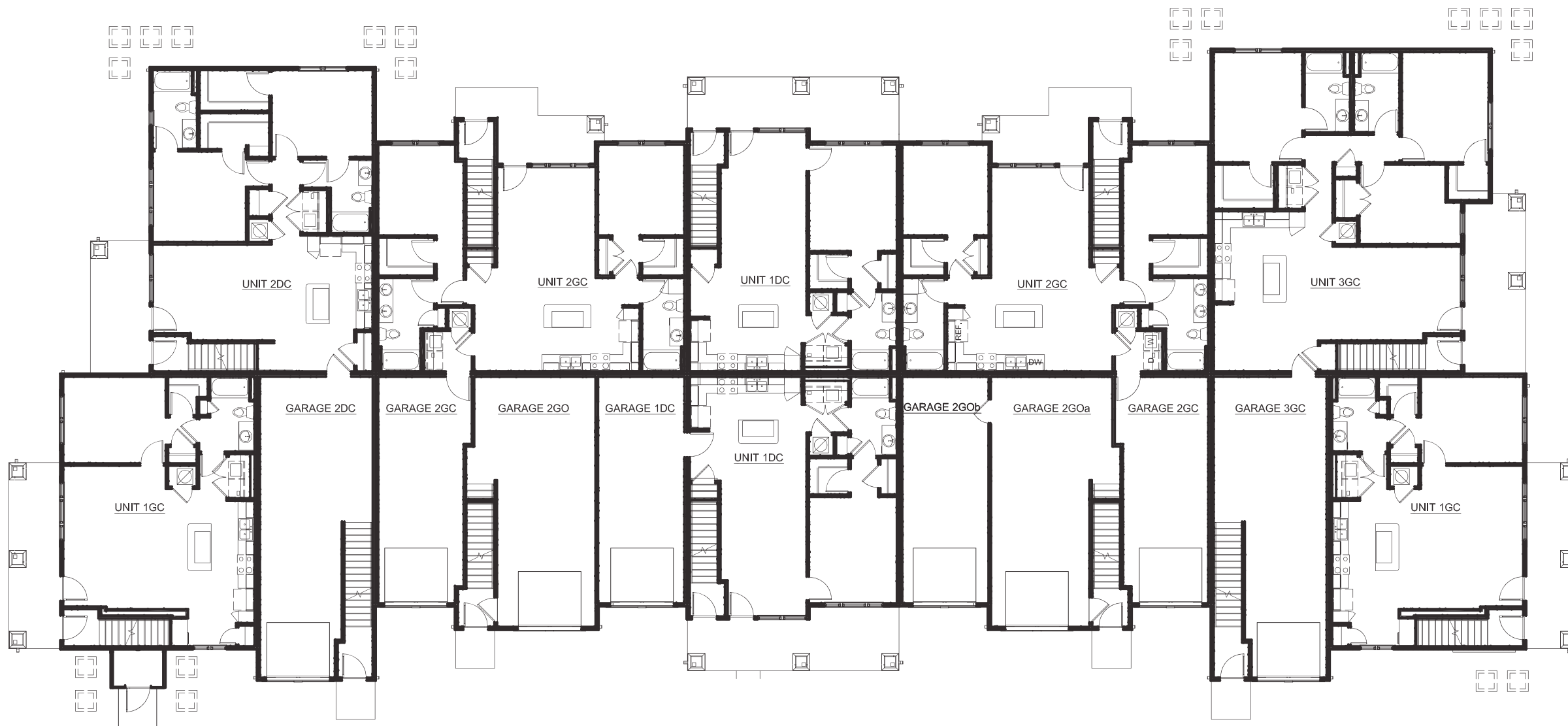
Rear Elevation
SCALE: 1/16"=1'-0"

Lap Siding
"Dorian Gray"
SW 7674

Lap Siding
"Dorian Gray"
SW 7674



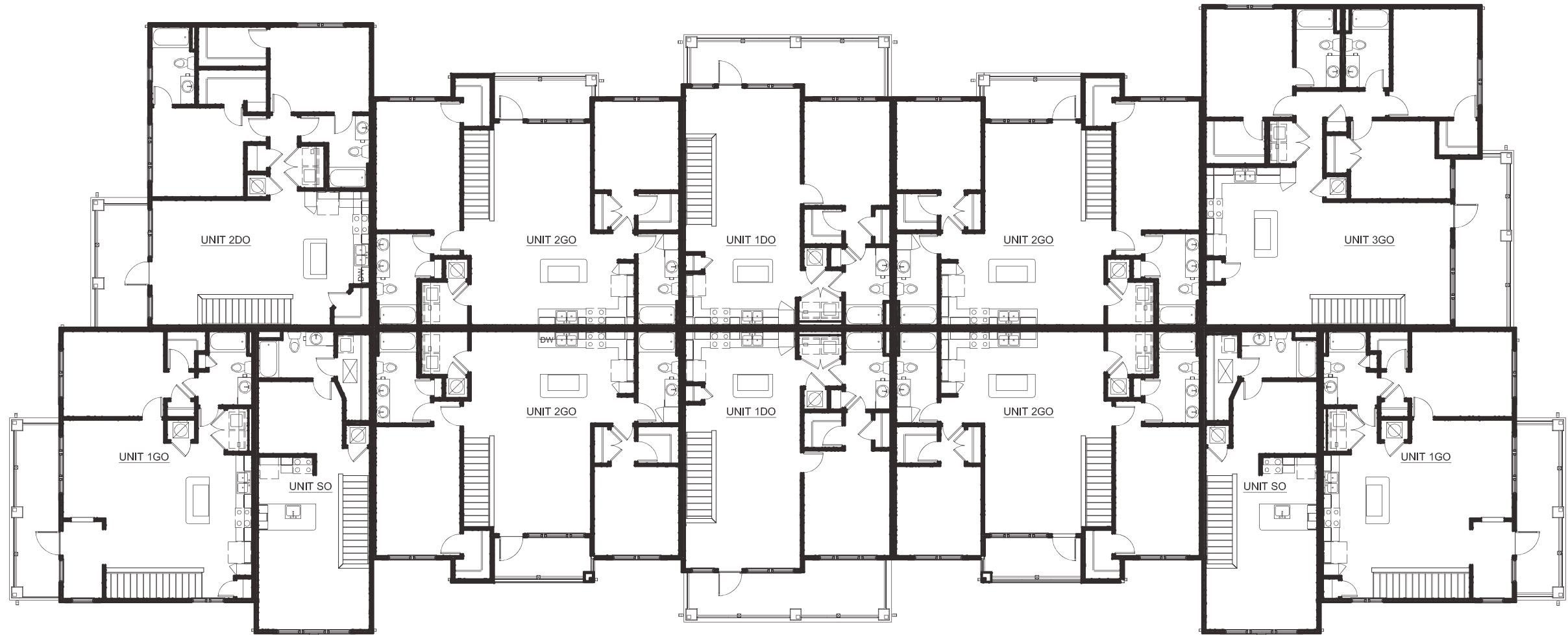
APARTMENTS B20E
COLOR SCHEME 'B'



First Floor Plan

SCALE: 1/16"=10"

X010V-1



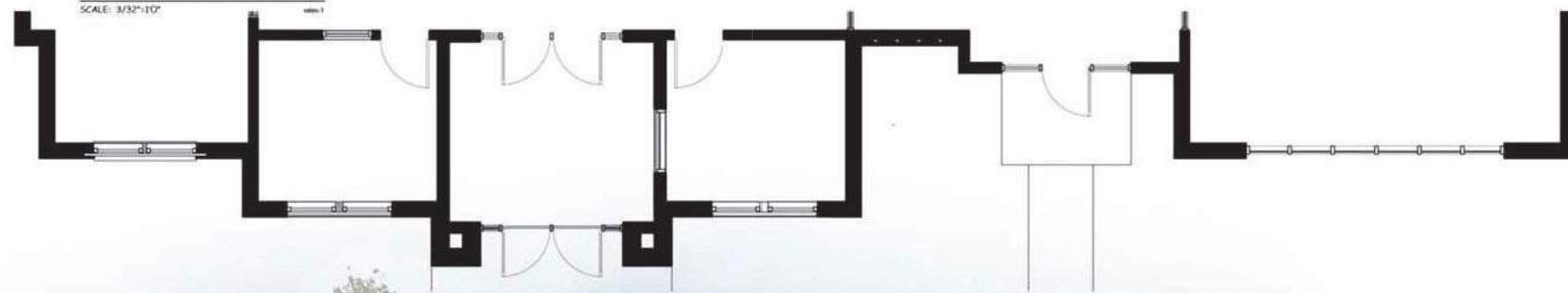
Second Floor Plan

SCALE: 1/16"=10" K202P-1

APARTMENTS B20E



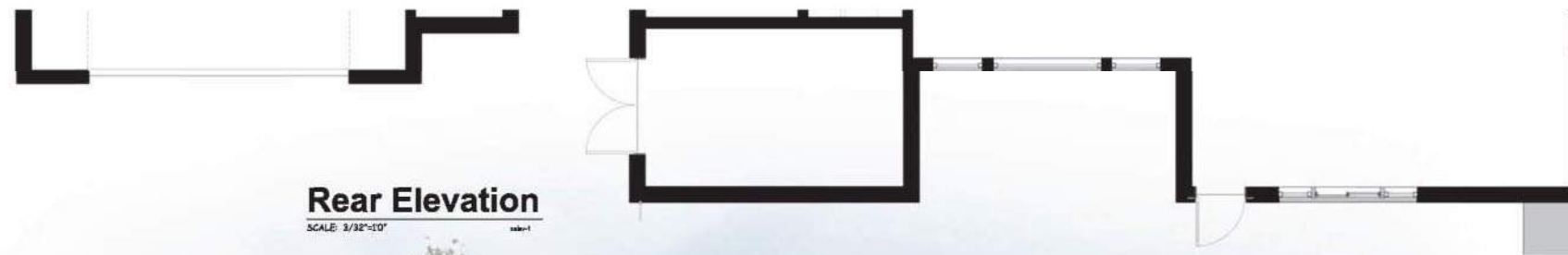
Front Elevation



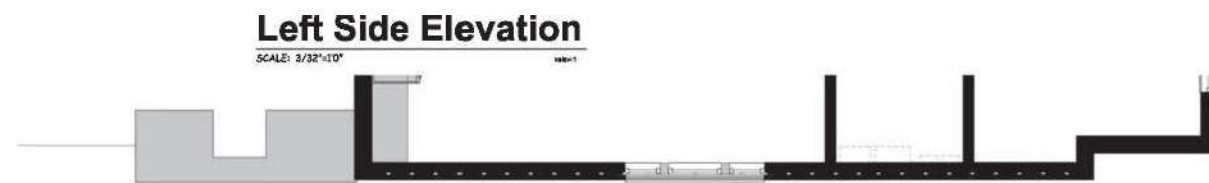
Right Side Elevation



CLUBHOUSE

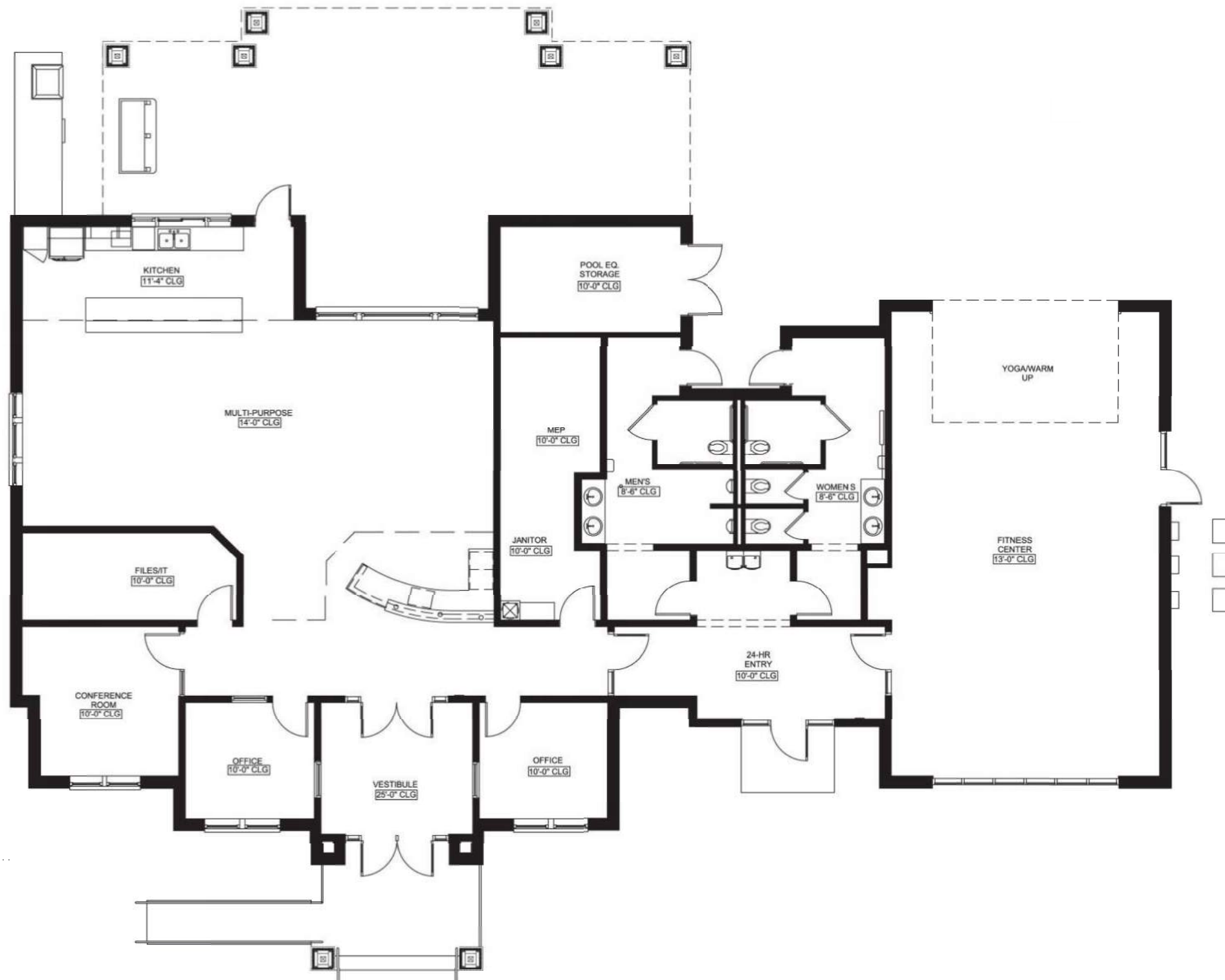


Rear Elevation
SCALE: 3/32"=10'
sheet 1



Left Side Elevation
SCALE: 3/32"=10'
sheet 1

CLUBHOUSE



Clubhouse Floor Plan

SCALE: 3/32"=10'

MM-1

CLUBHOUSE FLOOR PLAN



Front Elevation
SCALE: 3/32"=1'0"

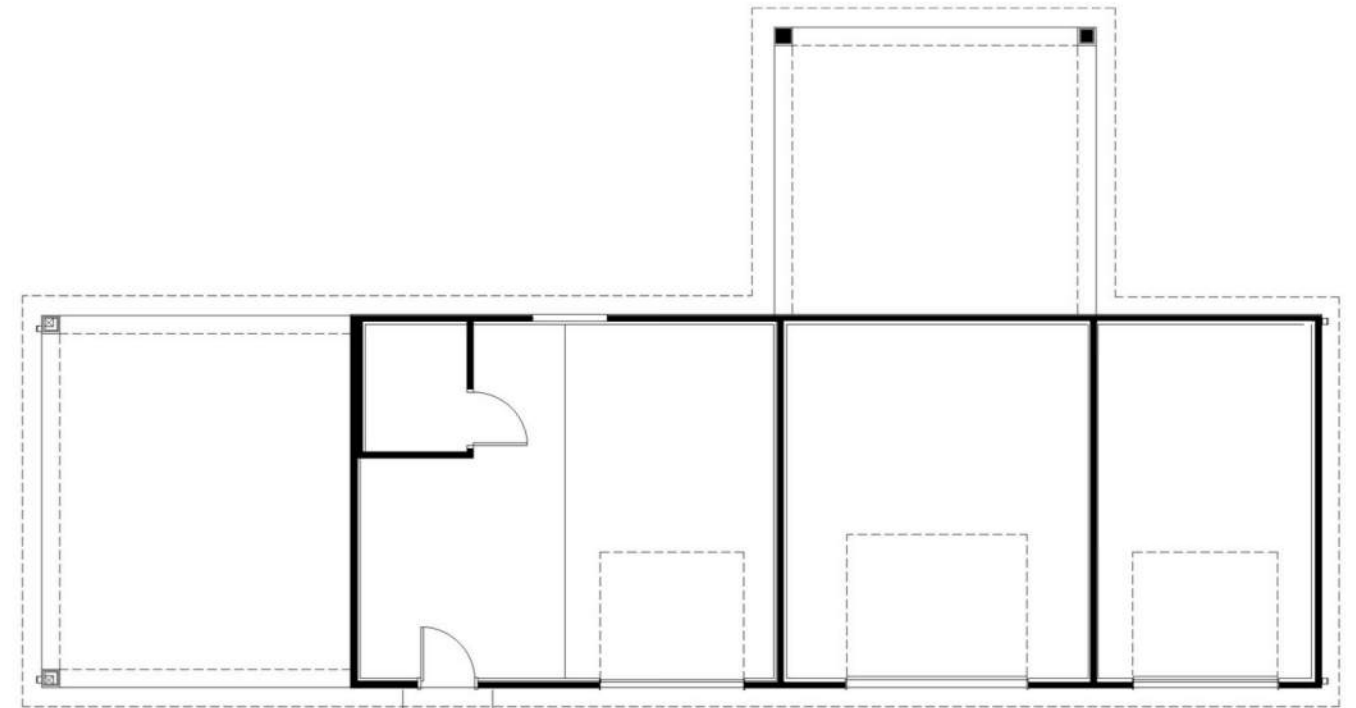


Left Elevation
SCALE: 3/32"=1'0"

Right Elevation
SCALE: 3/32"=1'0"



Rear Elevation
SCALE: 3/32"=1'0"



Floor Plan Elevation
SCALE: 3/32"=1'0"

MAINTENANCE BUILDING



Front Elevation

SCALE: 3/32"=10" view 1

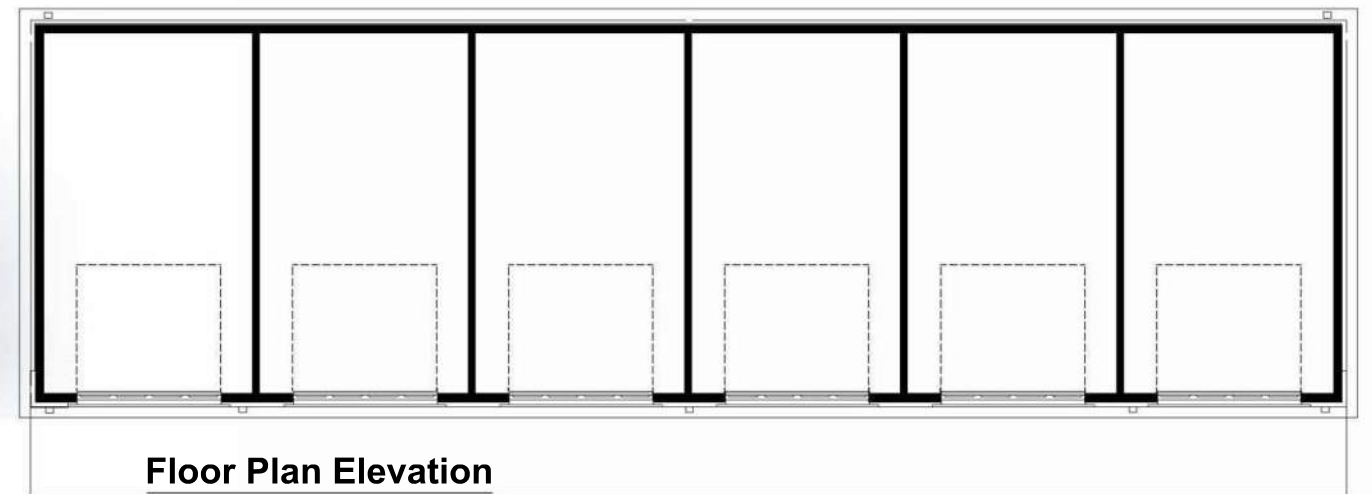


Left Elevation

SCALE: 3/32"=10" view 1

Right Elevation

SCALE: 3/32"=10" view 1



Floor Plan Elevation

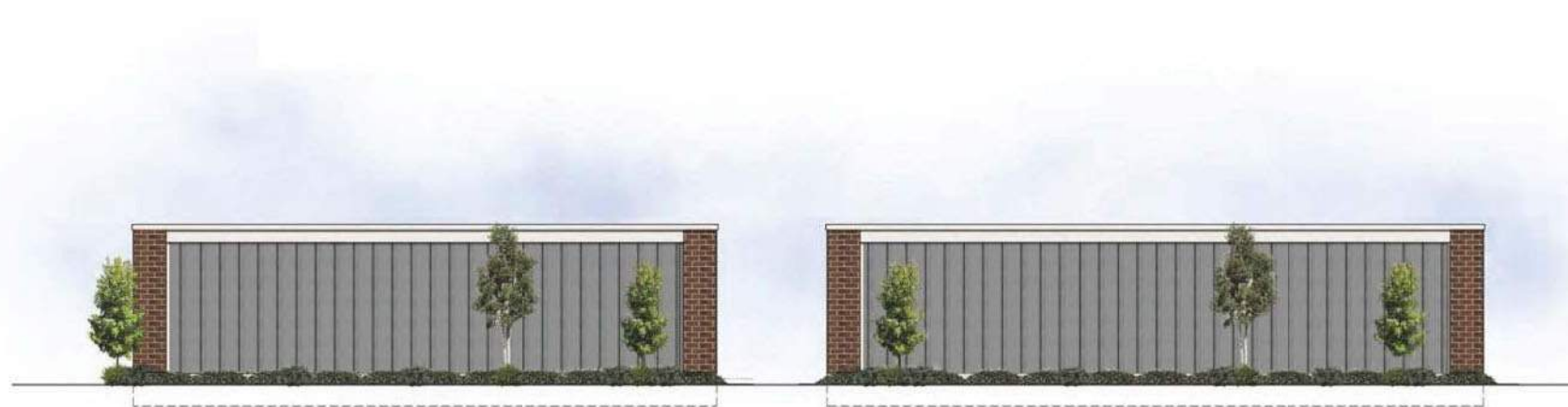
SCALE: 3/32"=10" view 1



Rear Elevation

SCALE: 3/32"=10" view 1

6G-2 GARAGE



Left Elevation

SCALE: 3/32"=10'

Rear Elevation

SCALE: 3/32"=10'

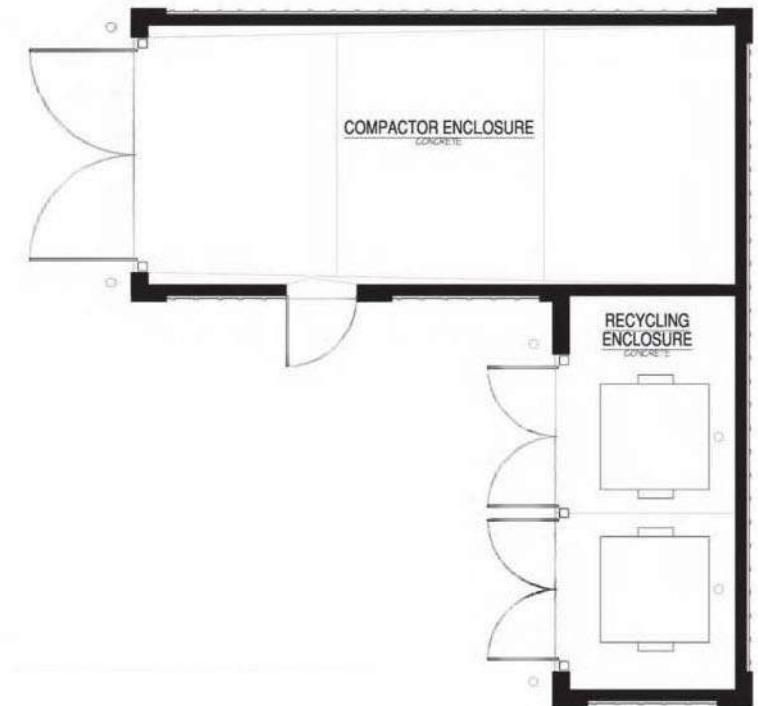


Right Elevation

SCALE: 3/32"=10'

Front Elevation

SCALE: 3/32"=10'



Floor Plan Elevation

SCALE: 3/32"=10'

TRASH ENCLOSURE

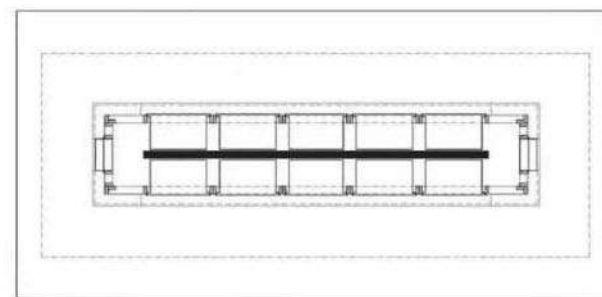


Front Elevation

SCALE: 3/32"=1'0" sheet 1

Side Elevation

SCALE: 3/32"=1'0" sheet 1



Floor Plan

SCALE: 3/32"=1'0" sheet 1

MAIL KIOSK





CONTINENTAL
PROPERTIES

