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#2020-00049

491 Golf Rd Special Use Permit

Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	May 6, 2020
<u>Requests:</u>	A Special Use Permit for a detached garage that is 1,080 square feet in area.
<u>Location:</u>	491 Golf Road
<u>Acreage:</u>	Approximately .36 acres (15,500 square feet)
<u>Zoning:</u>	R-2 – Single-Family Residential
<u>Surrounding Properties:</u>	North: R-2 – Single-Family Residential South: R-2 – Single-Family Residential East: R-2 – Single-Family Residential West: R-2 – Single-Family Residential
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3615)

Background:

- Existing Use: The subject property is a single-family home with a detached garage.
- The subject property is a conforming lot.

Development Analysis:

- Request: The petitioner is requesting a Special Use Permit for a 1,080 square-foot detached garage.
- UDO Standard: The UDO requires accessory structures that are greater than 900 square feet to obtain a Special Use Permit.
- Land Use: The land use map shows the area as Urban Residential. This land use designation is appropriate for the area.

- Zoning: The site is zoned R-2 Single-Family Residential. This is an appropriate zoning designation for the area.

Proposed Plan:

- The existing detached garage would be removed.
- The proposed detached garage would be located where the existing garage is located.
- The proposed detached garage meets the R-2 zoning district principal structure setback requirements.
 - The garage is setback 60 feet 10 inches and the required setback is 30 feet.
 - The garage is setback approximately 16 feet. The minimum side yard setback is 7 feet. The combined total side yard setback is 18 feet, both requirements are met.
- The proposed total impervious surface coverage is 22.4%, which meets the 50% impervious surface coverage allowance.
- The height of the proposed detached garage is 14.91 feet (measured to the mid-point of the gable) and meets the accessory structure height allowance of 15 feet.
- The plans illustrate a shake siding on the proposed garage which would match the existing home.

Existing View



Proposed Front View



Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit for a 1,080 square-foot detached garage. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*

2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*

4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*

5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*

6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*

7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*

8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*

9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.
 Meets *Does not meet*

10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.
 Meets *Does not meet*

Recommended Conditions:

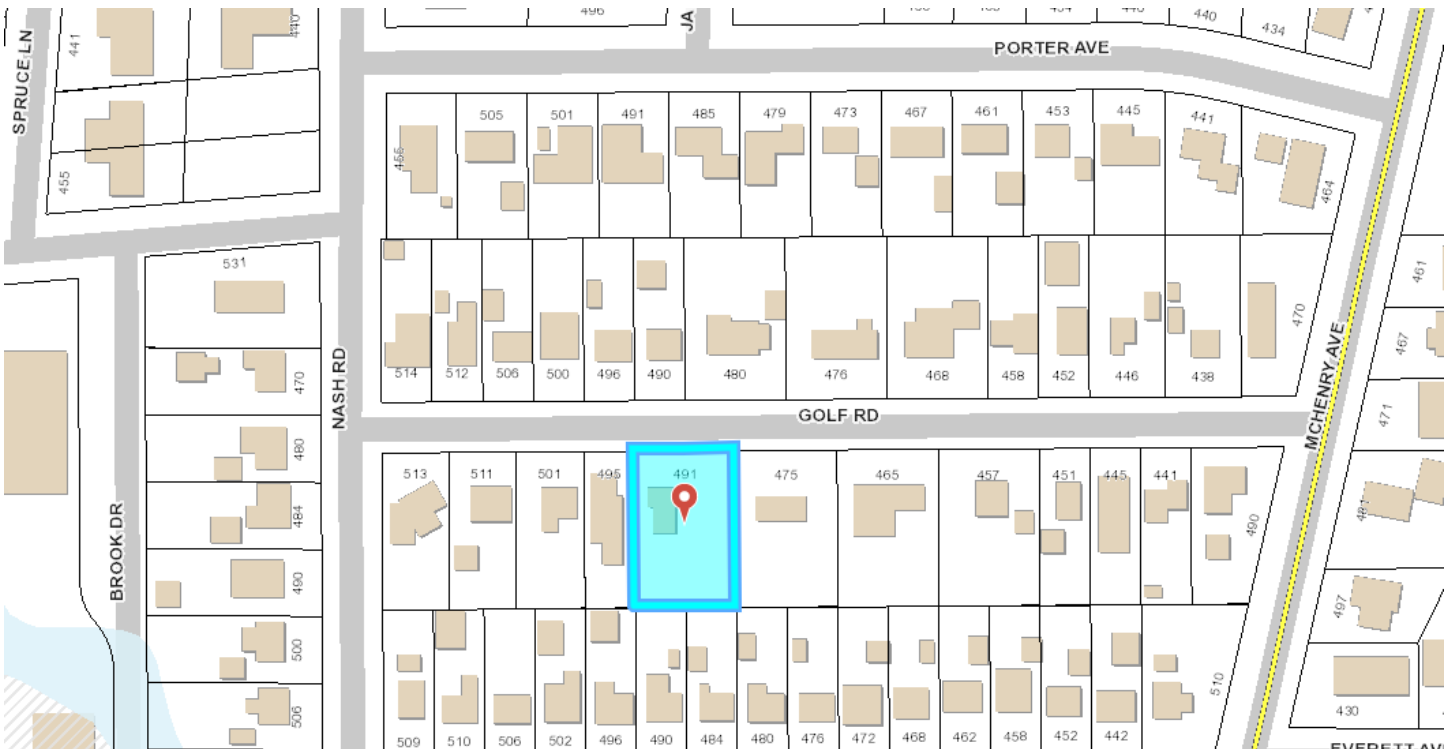
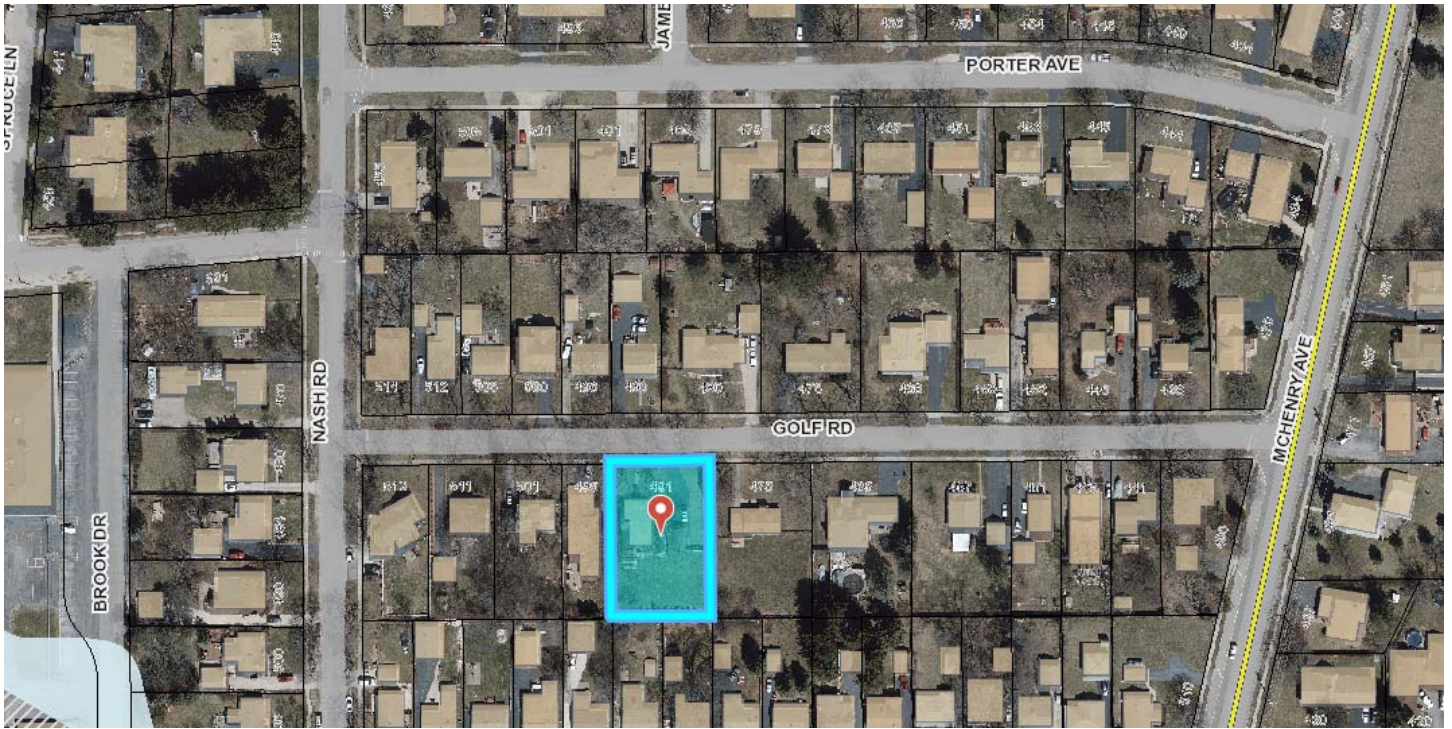
If a motion is made to recommend approval of the petitioner's request, the following conditions are recommended:

1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Krause, dated 4/10/2020, received 4/10/2020)
 - B. Elevations (Krause, dated 4/13/2020, received 4/14/2020)
 - C. Site Plan (Krause, dated 4/13/2020, received 4/14/2020)

2. The proposed garage must match the building material and color of the existing home.

3. The petitioner shall comply with all of the requirements of the Community Development Department.

PLN-2020-00049 491 GOLF RD – SUP DETACHED GARAGE





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: Matthew Krause

Address: 491 Golf Rd.

Crystal Lake, IL. 60014

Phone: 815-276-9601

E-mail: matthob240@gmail.com

Project Name & Description: 491 Golf Rd. 27'x40' Garage

Garage that existing is to be taken down.

New Building is 27'x40'deep

Project Address/Location: 491 Golf Rd. Crystal Lake IL. 60014

Signature Matthew R Krause

Matthew R Krause Matthew R Krause 4-10-20

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Northwest Herald

NORTHWEST HERALD

Publication Name:
Northwest Herald

Publication URL:
www.nwherald.com

Publication City and State:
Crystal Lake, IL

Publication County:
McHenry

Notice Popular Keyword Category:

Notice Keywords:
Hayden

Notice Authentication Number:
202004291028418346897
213731298

Notice URL:

[Back](#)

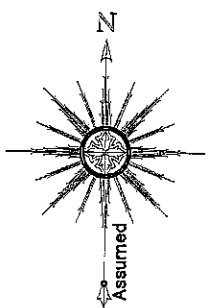
Notice Publish Date:
Saturday, April 18, 2020

Notice Content

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE PETITION OF Matthew Krause LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Matthew Krause, for a Special Use Permit for a detached garage, relating to the property at 491 Golf Road, Crystal Lake, Illinois 60014. PIN: 19-06-479-005. This application is filed for the purpose of seeking a Special Use Permit for a detached garage that is 1,080 square feet pursuant to Article 4-600 of the Unified Development Ordinance. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday, May 6, 2020, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Tom Hayden, Chairperson Planning and Zoning Commission City of Crystal Lake (Published In the Northwest Herald April 18, 2020) 1772528

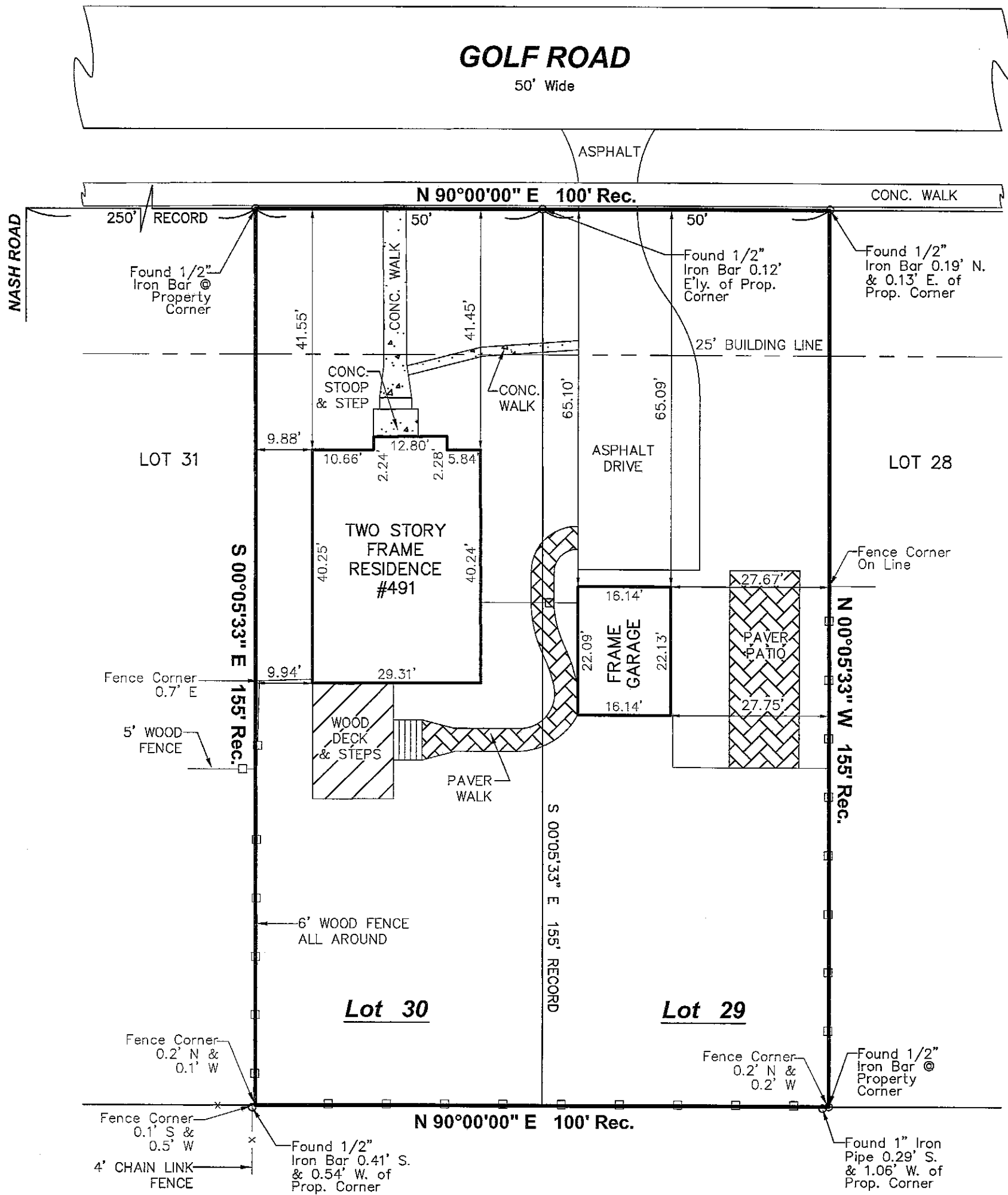
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Plat of Survey



LEGAL DESCRIPTION: LOTS 29 AND 30 IN BLOCK 1 OF GOLF ROAD SUBDIVISION OF CRYSTAL LAKE, ILLINOIS, FORMERLY RIGBY'S GOLF ROAD SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK 5 OF PLATS, PAGE 62, ON RECORD IN THE RECORDER'S OFFICE OF MCHENRY COUNTY, ILLINOIS, SITUATED IN THE CITY OF CRYSTAL LAKE IN THE COUNTY OF MCHENRY IN THE STATE OF ILLINOIS.

PARCEL AREA: 15,500 SQ. FEET



THIS DOCUMENT IS NOT VALID WITHOUT THE SURVEYOR'S SEAL.

STATE OF ILLINOIS } ss.
COUNTY OF MCHENRY }

IN MY PROFESSIONAL OPINION, AND BASED ON MY OBSERVATIONS, I HEREBY CERTIFY THAT THE PLAT HEREON DRAWN IS A TRUE REPRESENTATION OF SAID SURVEY.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 19th DAY OF March, A.D. 2020

Jeffrey A. Spirek
JEFFREY A. SPIREK
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3898
REGISTERED AGENT FOR LUCO SURVEYING
LICENSE TO BE RENEWED NOVEMBER 30, 2020



NOTES:
*COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED AND REPORT ANY DIFFERENCE, IMMEDIATELY.
*ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
*BEARINGS AS SHOWN ARE ASSUMED AND ARE SO INDICATED FOR INTERIOR ANGLES ONLY.
*BUILDING LINES AND EASEMENTS AS SHOWN ARE BASED SOLELY ON PROVIDED DOCUMENTS.
*UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES, INCLUDING, BUT NOT LIMITED TO CONDUITS AND CABLES (IF ANY) HAVE NOT BEEN SHOWN HEREON.

LEGEND	
●	Set IP
○	Fnd IP
x	Fnd "x"
⊗	Fnd P.K.
—□—□—□	Wood Fence
—x—x—x	CL Fence
▒	Concrete
▨	Wood Deck
▩	Brick
⊙	STREET LIGHT
⊚	B-BOX
⊛	WATER VALVE VAULT
⊜	FIRE HYDRANT
⊝	MANHOLE
⊞	STORM MANHOLE
⊟	JUNCTION BOX
⊠	POWER POLE
⊡	ELECTRIC TRANSFORMER



Luco Surveying
Professional Design Firm No. 184.007972
54 Lou Avenue, Crystal Lake, IL 60014
Phone: 815.526.3974 Email: admin@lucosurveying.com

Common Address: 491 Golf Road, Crystal Lake, IL.
PIN # 19-06-479-005

Job Number: 20 - 51444 Drawn By: LAH

Client: MATT KRAUSE Reference:

Field Work Completion: 03-18-2020

Revisions:



House and Garage Street View

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Two Car Garage

491 Golf Rd. Crystal Lake
 491 Golf Rd.
 Crystal Lake, IL 60014

DRAWINGS PROVIDED BY: Matthew Krause
 1-815-276-4601

DATE:

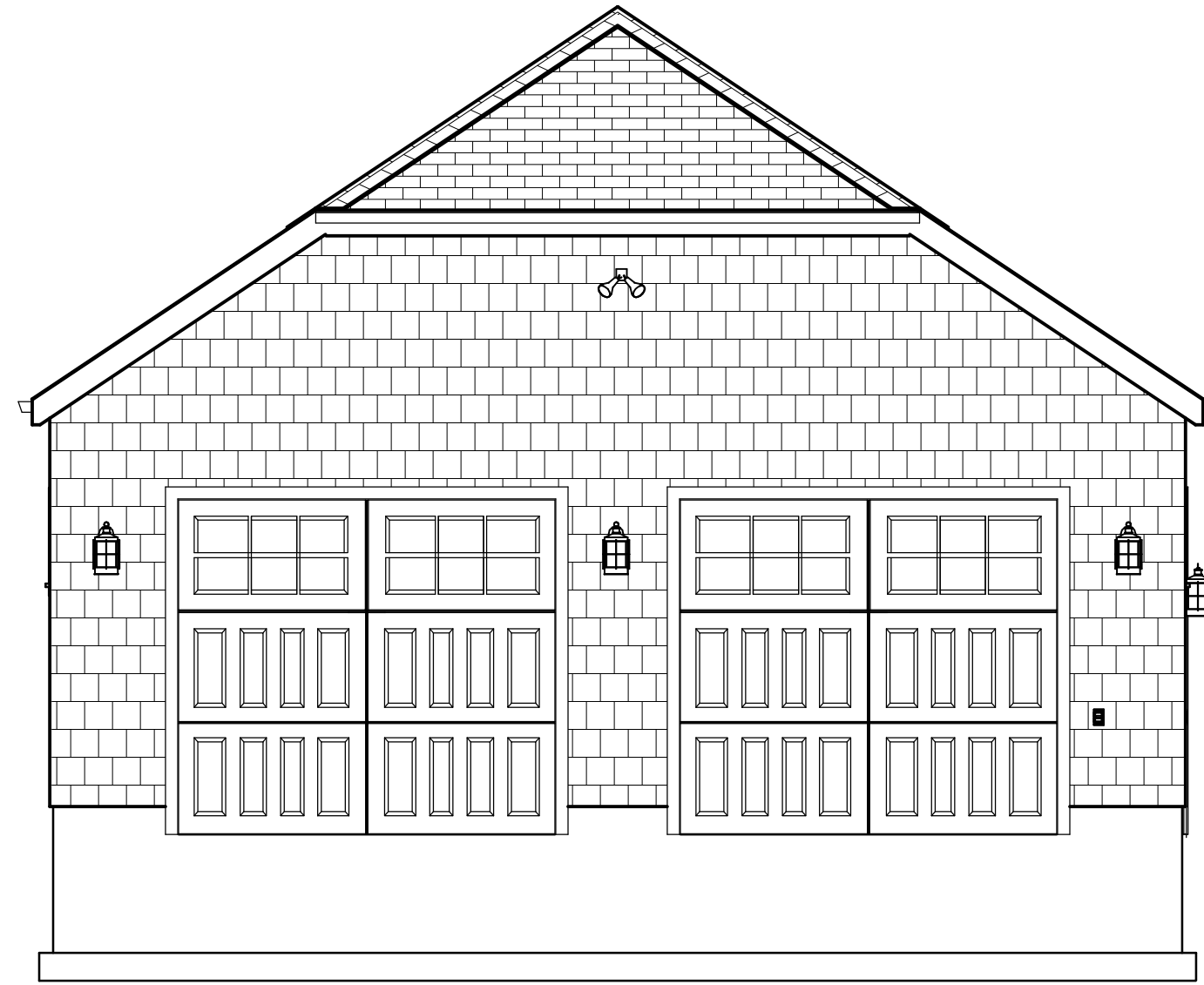
4/13/20

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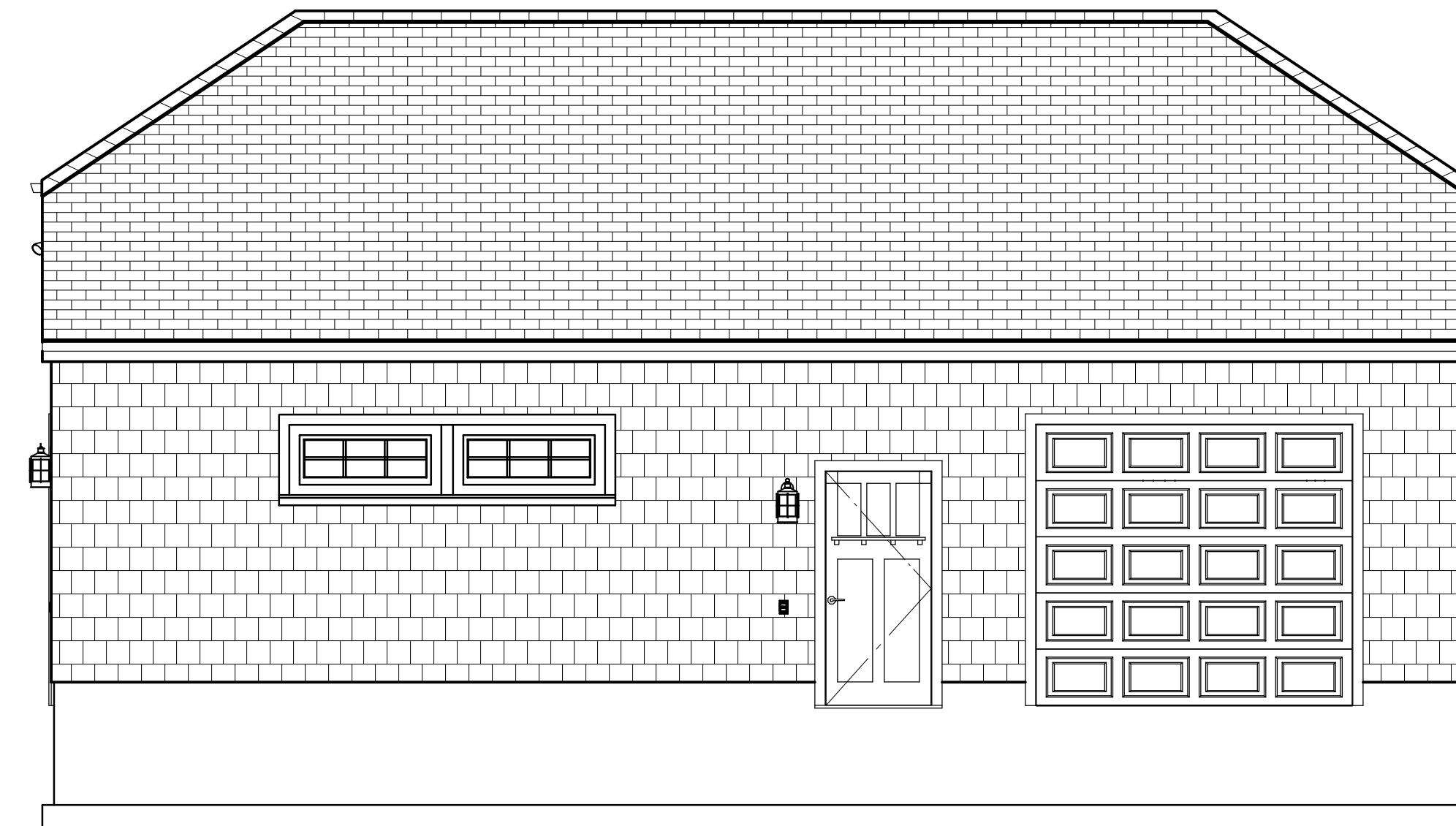
1/4" = 1'

SHEET:

P-1



North Side



West Side

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Elevations North and West

DRAWINGS PROVIDED BY: Matthew Krause
1-815-276-4601

DATE:

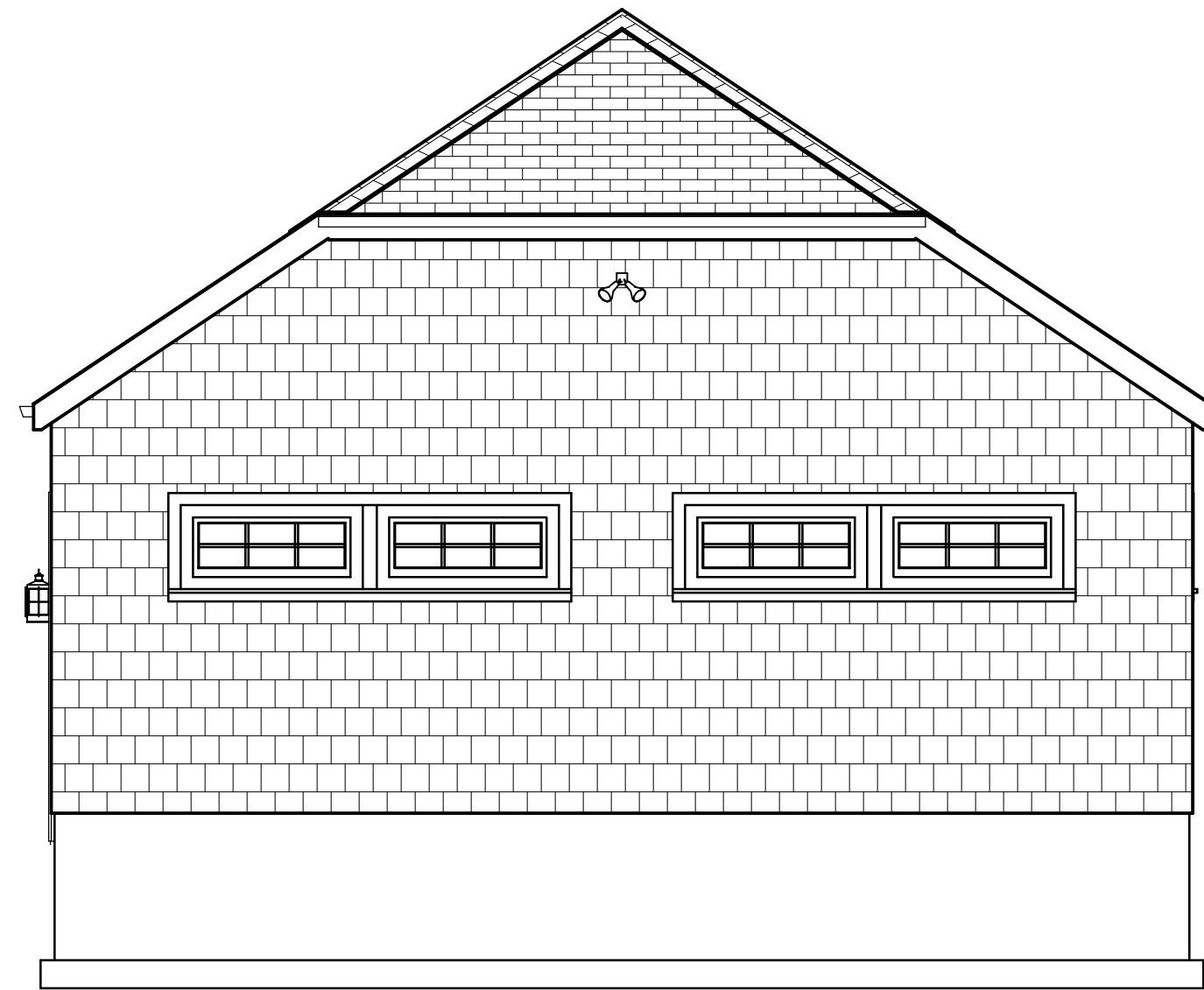
4/13/20

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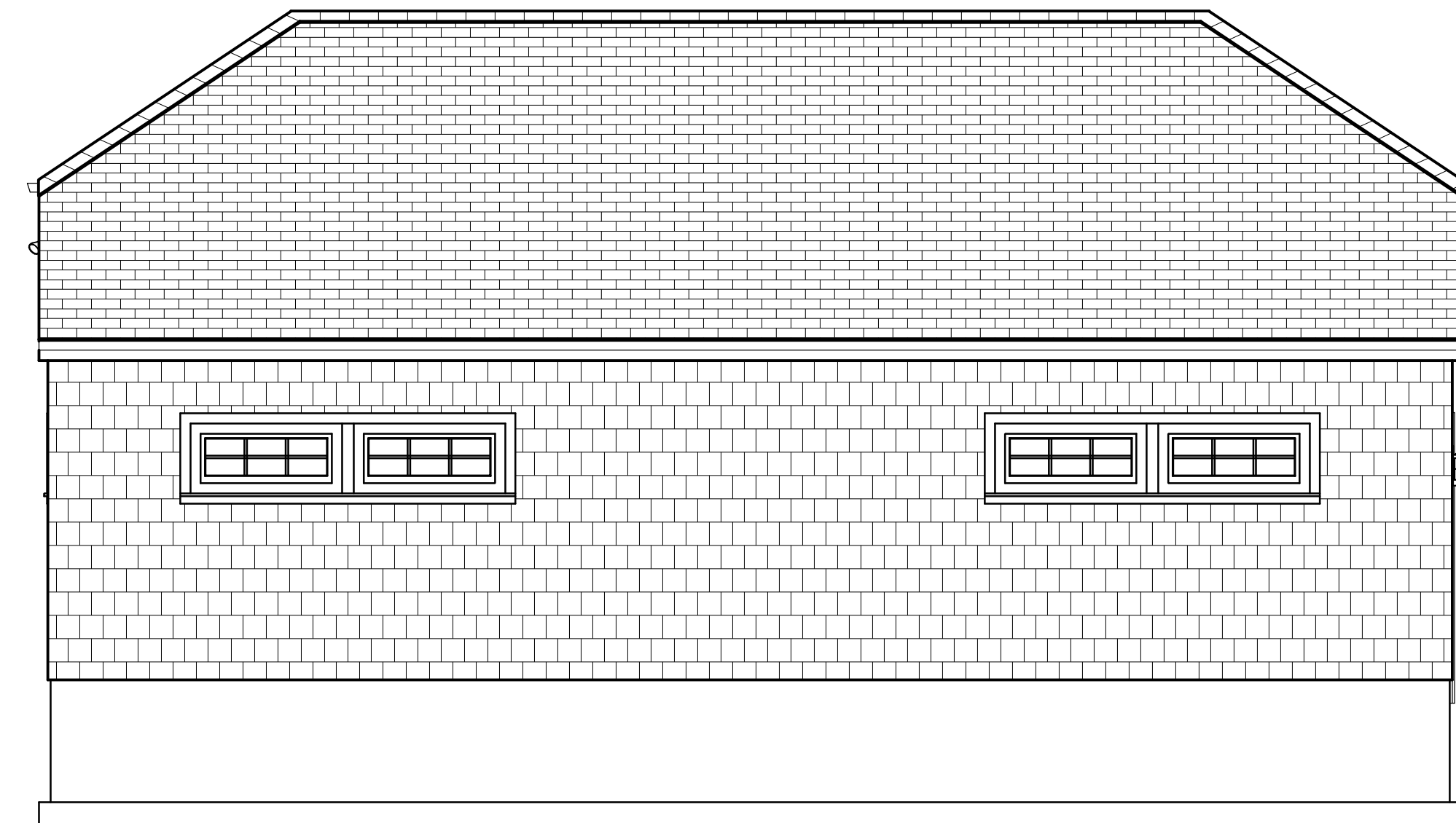
1/4" = 1'

SHEET:

P-2



South Side



East Side

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Elevations South and East

DRAWINGS PROVIDED BY: Matthew Krause
1-815-276-4601

DATE:

4/13/20

SCALE:

1/4" = 1'

SHEET:

P-3

8/12 ROOF PITCH AS PER ROOF PLAN
 240# ASPHALT SHINGLES
 ICE AND WATER SHIELD NOT TO BE LESS THAN 24" FROM EXTERIOR WALL
 15# BUILDING FELT
 2X10 ROOF RAFTERS
 COLLAR TIE IN UPPER THIRD OF ROOF
 (no smaller than 2x4 spaced 4 ft. on center)
 hurricane ties to be installed on all rafters

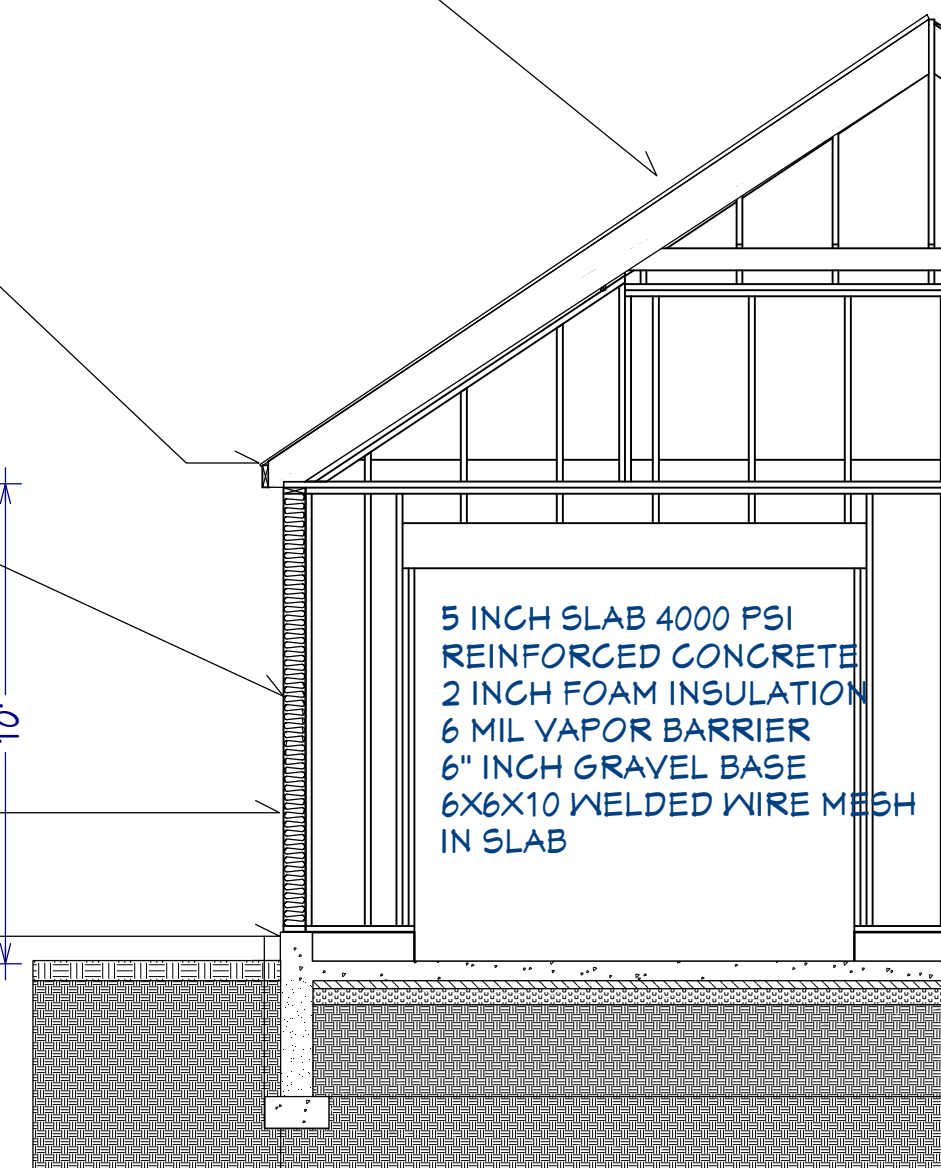
ALUMINUM DRIIP EDGE
 1X8 FASCIA

SIDING PER ELEVATION TO MATCH HOUSE
 CEDAR SHAKE OR HARDY CEDAR SHAKE SIDING
 TYVEK VAPOR BARRIER
 1/2 OSB
 R-19 INSULATION
 2X6 WALL STUDS

PRESSURE PRESERVATIVE SILL PLATE
 ANCHOR BOLTS 6 FEET ON CENTER OR LESS MINIMUM OF 2 BOLTS PER PLATE
 BOLTS TO BE WITHIN 12" OF END OF PLATES

8' X 16' FOOTING
 WALL 8" X 36"
 EXTEND 8 INCHES ABOVE GRADE
 MINIMUM FOUNDATION DEPTH 42"
 AT ALL POINTS
 2 #4 REBAR TOP AND BOTTOM IN WALL

WALL SECTION



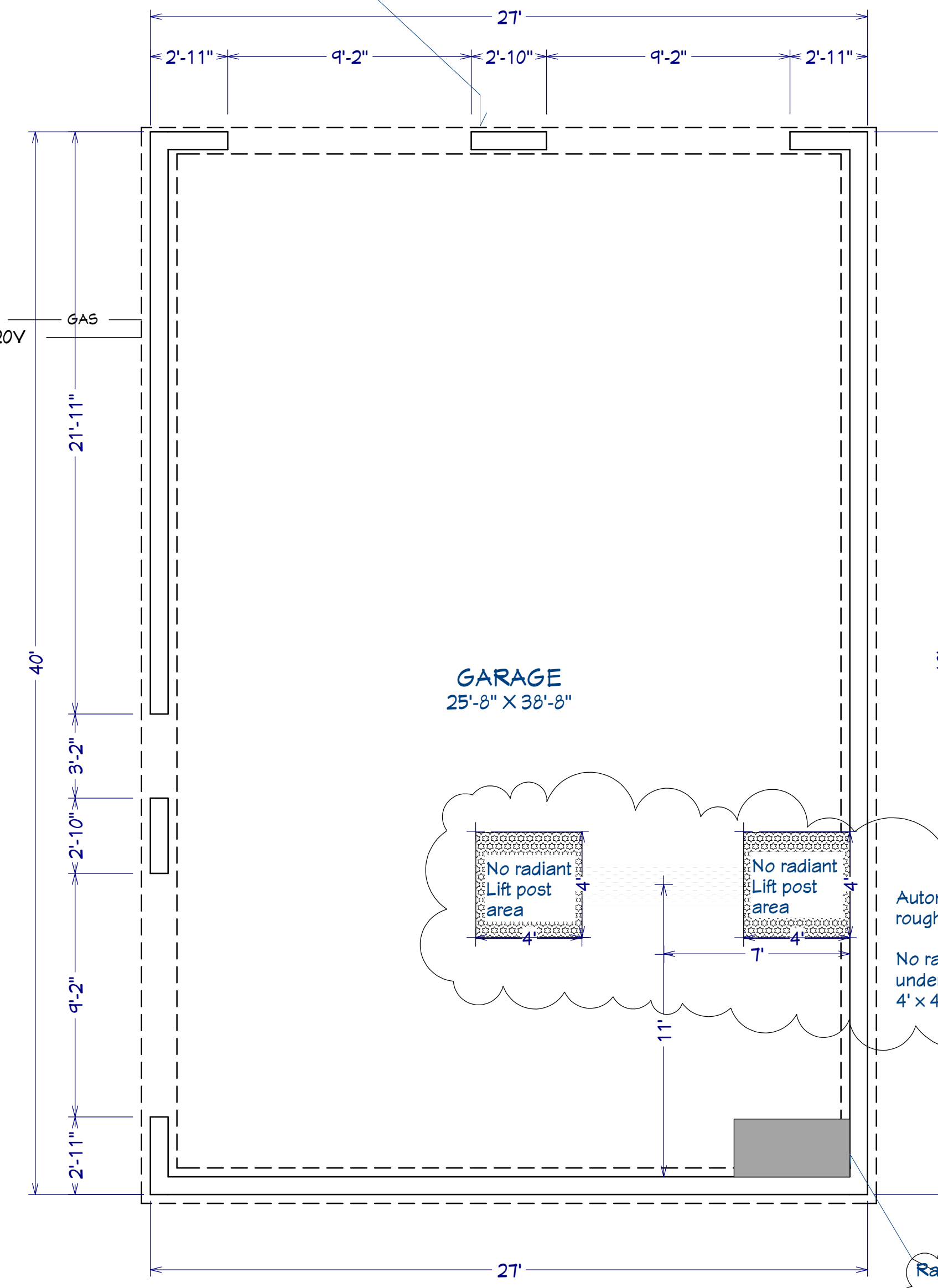
5 INCH SLAB 4000 PSI REINFORCED CONCRETE
 2 INCH FOAM INSULATION
 6 MIL VAPOR BARRIER
 6" INCH GRAVEL BASE
 6X6X10 WELDED WIRE MESH IN SLAB

Existing Gas and Electric buried underground to remain

3/4" gas line to be roughed into building for future radiant heat or gas overhead heater. Cut sheet to be verified at rough inspection for heater of choice.

Rough in for Slab to be heated using hot water heating. System to be filled with glycol to prevent freezing.

All exterior walls to be covered in 7/16" osb plywood
 North and South Walls to be fastened to foundation with sheer wall anchors
 Plywood to be fastened to wall per nail/screw pattern for sheer walls per current building code. City inspector Brett has indicated city can provide copy or sheer wall requirements at the time of review for permit. Spoke with Brett 04-13-20



Foundation

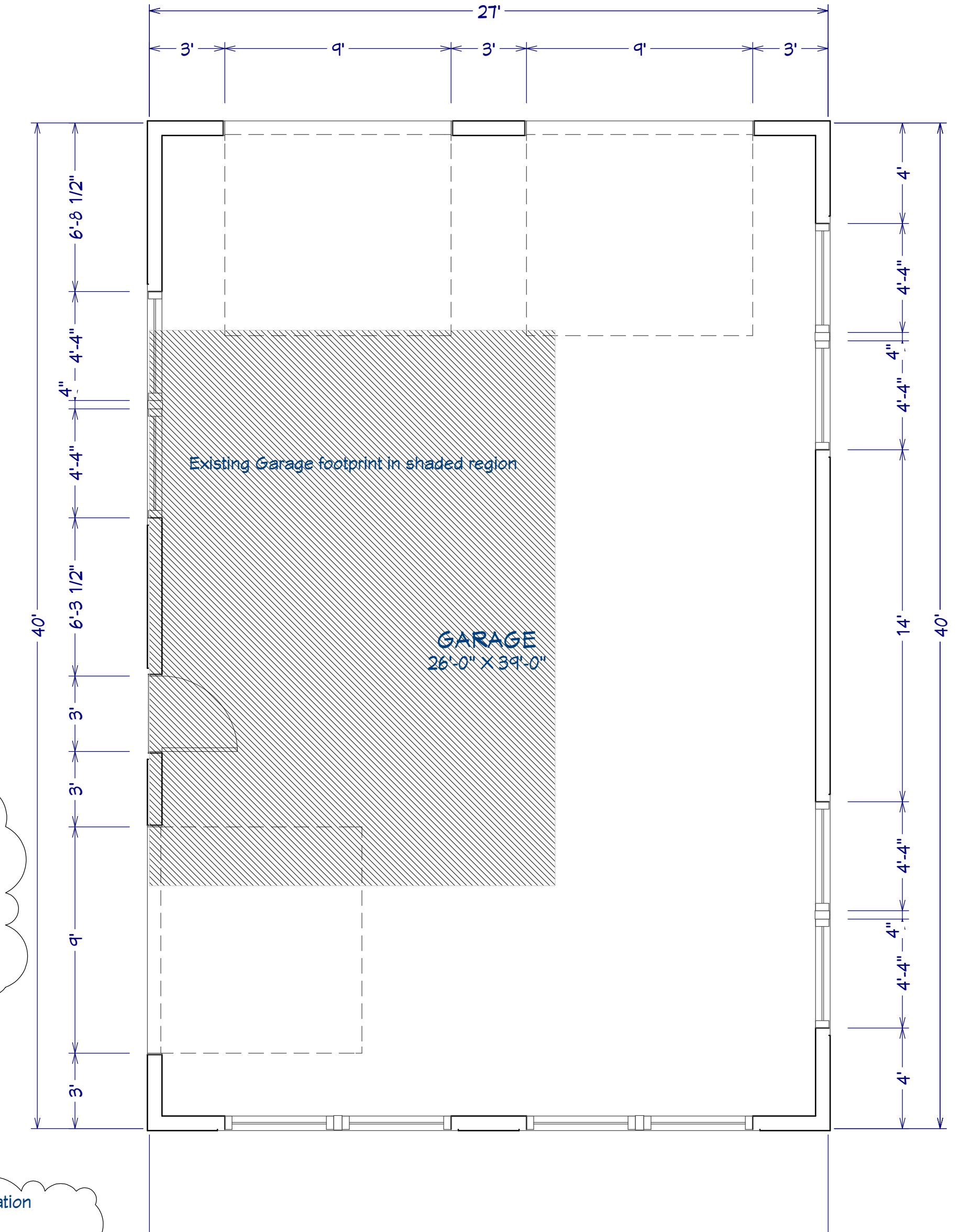
GARAGE
 25'-8" X 38'-8"

No radiant lift post area

No radiant lift post area

Automotive lift rough-in location
 No radiant to be placed under lift posts in 4' x 4' foot area

Radiant Manifold location
 Radiant tubing to be roughed in at time of slab pour. No boiler or heat source determined at this time. Waiting on layout from HVAC supplier. Spoke with Dave about rough in of piping only at this time to keep costs down.



Ground Level Floor Plan

GARAGE
 26'-0" X 39'-0"

Existing Garage footprint in shaded region

DOOR SCHEDULE									
SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	CODE	MANUFACTURER	COMMENTS
3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)	1 3/4"			
4080	108"	96"	110"X99"	GARAGE-GARAGE DOOR CHD05	2X12X116" (2)	1 3/4"			
4080	108"	96"	110"X99"	GARAGE-GARAGE DOOR F02	2X12X116" (2)	1 3/4"			

WINDOW SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
W01	4420FX	10	1	4420FX	52"	24"	53"X25"		FIXED GLASS	2X6X56" (2)			

REVISION TABLE	
NUMBER	DATE

FOUNDATION AND WALLS

FOUNDATION AND WALLS

DRAWINGS PROVIDED BY: Matthew Krause
 1-815-276-4601

DATE:

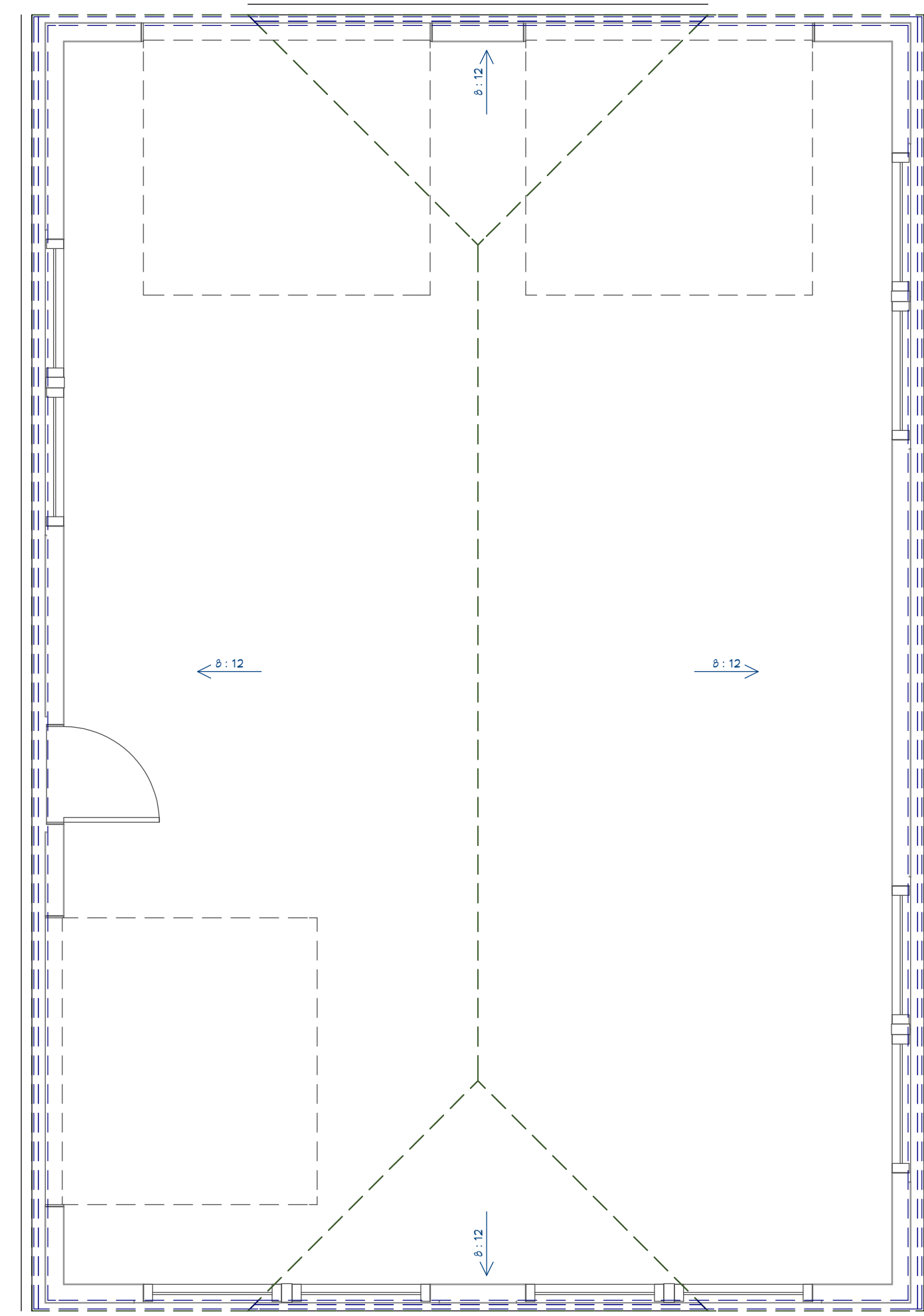
4/13/20

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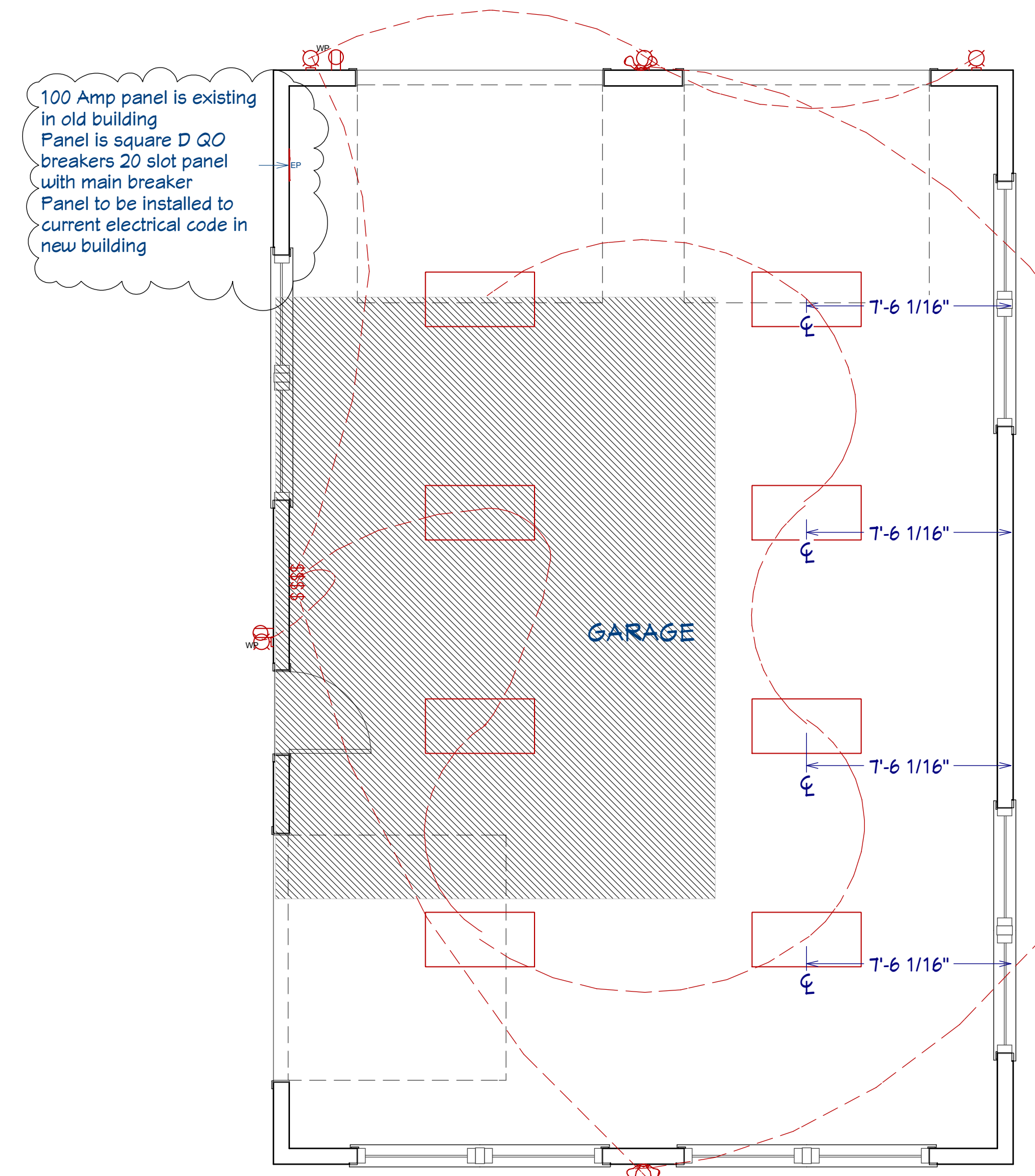
1/4" = 1'

SHEET:

P-4



Roof Plan



Electrical Plan

ELECTRICAL SCHEDULE										
NUMBER	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	ATTACHED TO	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
E01	2	1	13 3/8 "	6 7/16 "	8 3/16 "	WALL	SPOTLIGHT 2			
E02	1	1	14 1/4 "	3 3/8 "	23 "	WALL	ELECTRICAL PANEL Square D QO Breaker 100 AMP panel 20 slot to be transferred from old building			
E03	2	1	2 7/8 "	7/16 "	4 9/16 "	WALL	DUPLEX (WEATHERPROOF)			
E04	4	1	3 "	3/4 "	5 "	WALL	SINGLE POLE			
E05	8	1	48 "	21 "	3 "	CEILING	MEDIUM DOUBLE SURFACE MOUNTED TUBE LIGHT (48W21D)			
E06	4	1	7 9/16 "	7 3/8 "	15 "	WALL	MINER'S SCONCE			

REVISION TABLE	
NUMBER	DESCRIPTION

Roof Planes and Electric

DRAWINGS PROVIDED BY: Matthew Krause
1-815-276-9601

DATE:

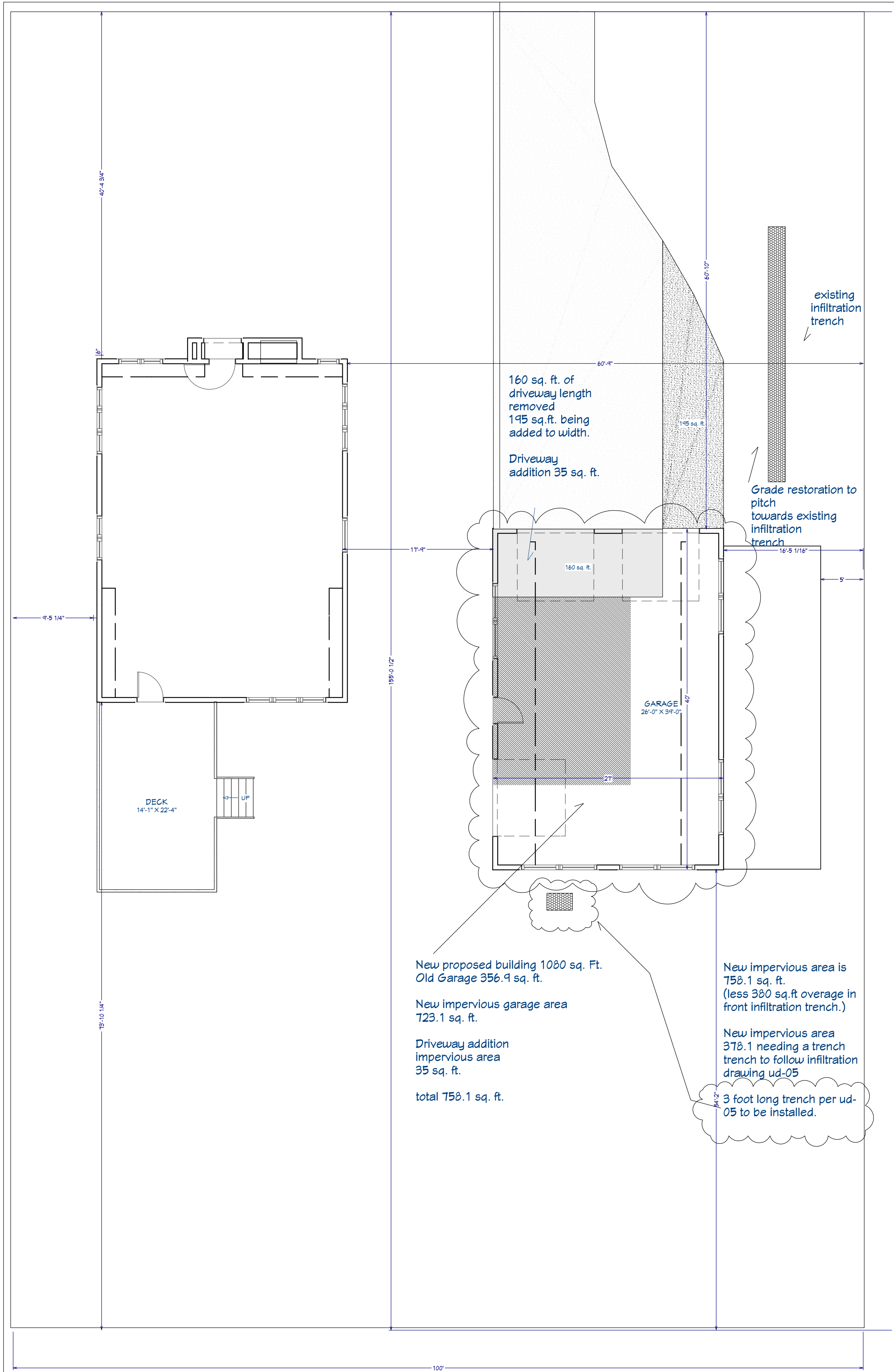
4/13/20

SCALE:

1/4" = 1'

SHEET:

P-5

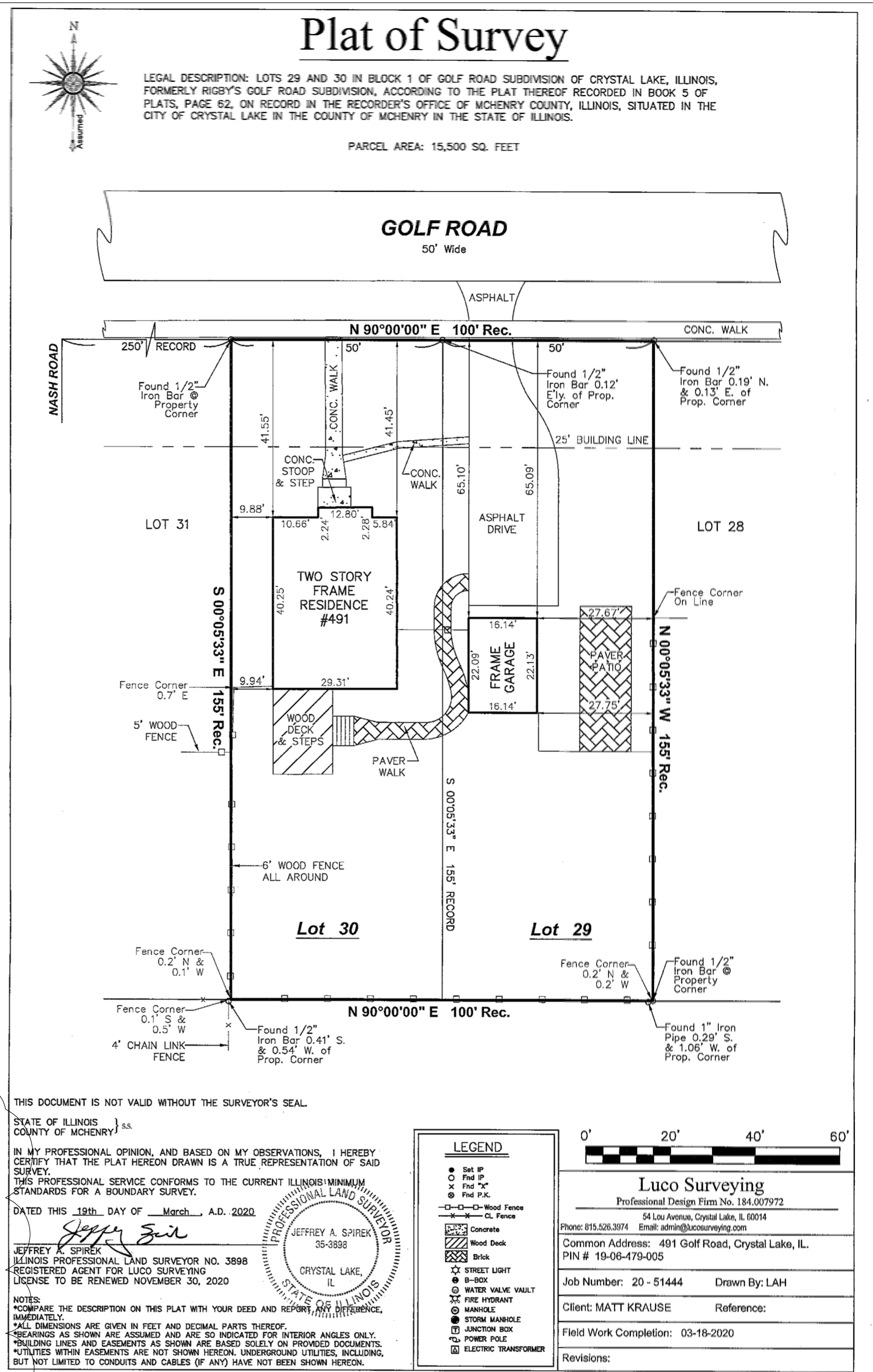
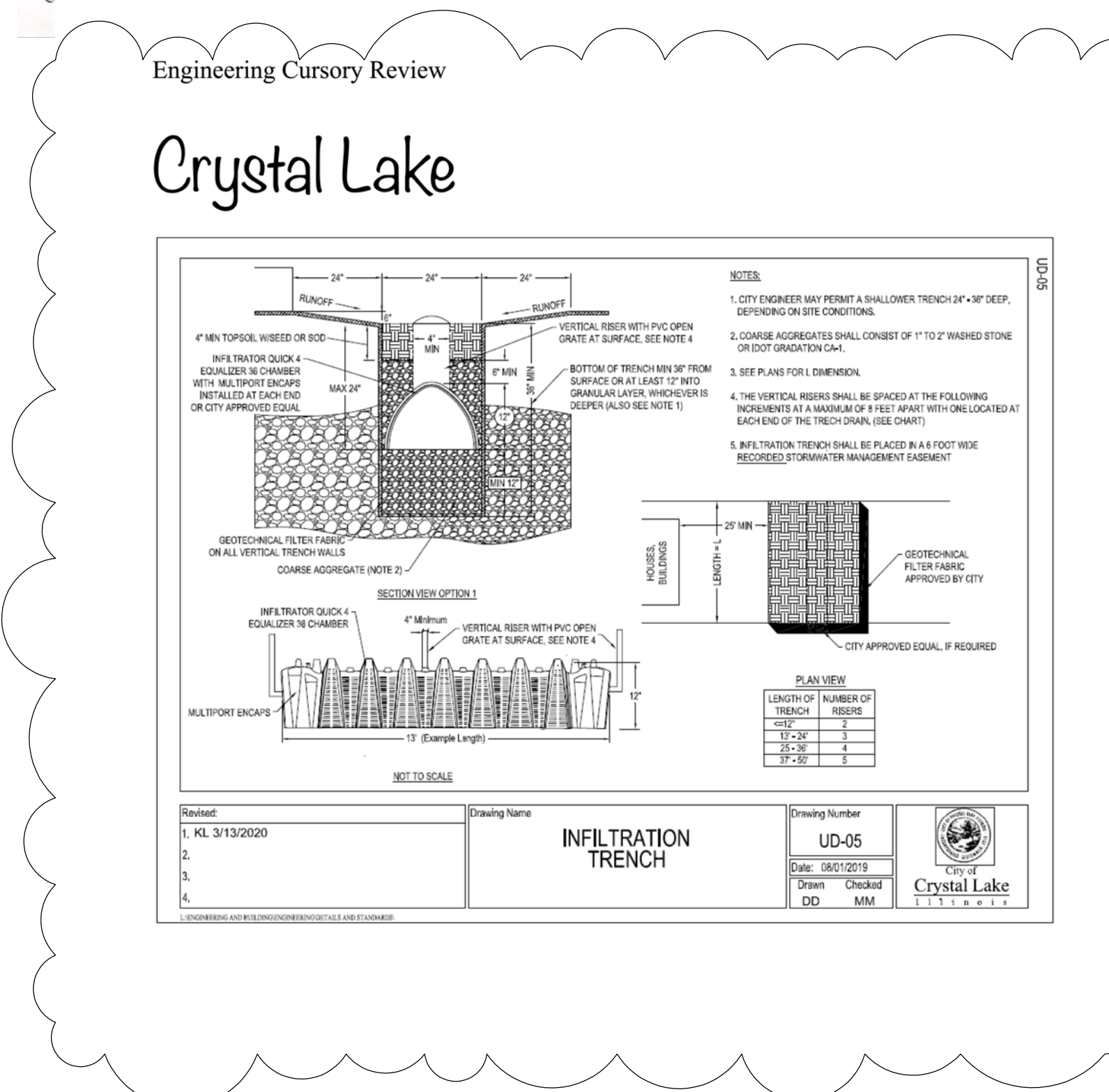


Site overview w/setbacks

Engineering Permit Review **OWNER COPY** *Crystal Lake*

Site Address: 491 Golf Rd. Project Name: Paver parking pad
 Review Status: Approved with Comments Date: July 16, 2019
 Review: Permit Conditions Reviewer: Carl Papp
 Items Reviewed: Site plan & 5-31-17 inspection report

- Comments:
1. This property is located in the Crystal Lake Watershed and has been reviewed by one of our civil engineers. This parking pad is 12'x35' and is 420 square feet. Back in 2017 the owner added a paver walk and at that time built a 30' long trench drain in anticipation of this work. Only 14' trench drain was required for that walk so there was a credit of 16' which is equivalent to 800 square feet impervious. Including this improvement, there is still a credit of 380 square feet.
 2. Be sure to remove black dirt in the area of the new parking pad.
 3. The pad must be a minimum of 5' from the property line.
 4. The base for the brick pavers is to be 4-6 inches of gravel with 1 inch of sand on top as bedding material for the pavers.
 5. Do not store, stage, or dump materials into the street or right-of-way.
 6. The base material must be inspected before laying the pavers. Please call the Community Development Department at 815-356-3605 the day before the inspection is needed. Call for final inspection once the pad is completed and landscape restoration is done.



REVISION TABLE	REVISION BY	DESCRIPTION

DRAWINGS PROVIDED BY: Matthew Krause 1-815-276-5601

DATE: 4/13/20

SCALE: 1/8"=1'

SHEET: P-6