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#2020-48
District 47 Coventry School Special Use Permit Amd.
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	May 6, 2020
<u>Request:</u>	Special Use Permit Amendment for Coventry Elementary School, allowing an addition to Coventry School.
<u>Location:</u>	820 Darlington Lane
<u>Acreage:</u>	Approximately 11 acres
<u>Existing Zoning:</u>	R-2 Single-Family Residential
<u>Surrounding Properties:</u>	North: R-2 Single-Family Residential South: R-2 Single-Family Residential East: R-2 Single-Family Residential West: R-2 Single-Family Residential
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

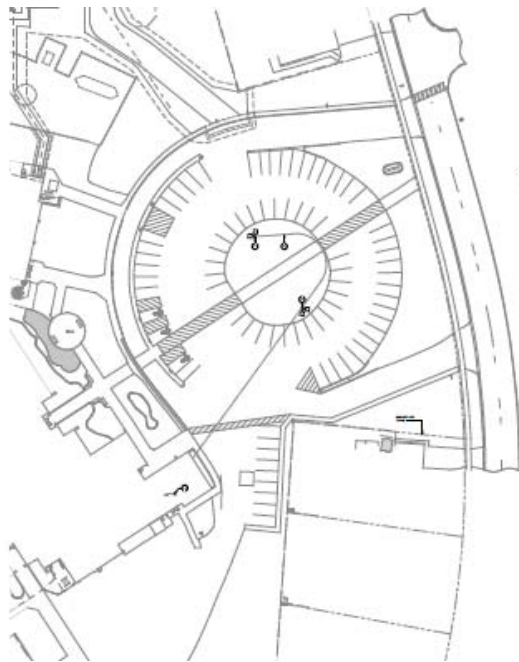
- **Previous Approvals:**
 - In May 2019, a temporary use permit was issued for mobile classrooms.
 - In August 2019, a Special Use Permit was issued to allow an addition to the school.
- **General:**
 - This request is seeking approval for the reconstruction of an existing parking lot. This will realignment of the driveways, adding a third driveway connection to Darlington, and the addition of 9 new parking spaces behind the residences.

Development Analysis:

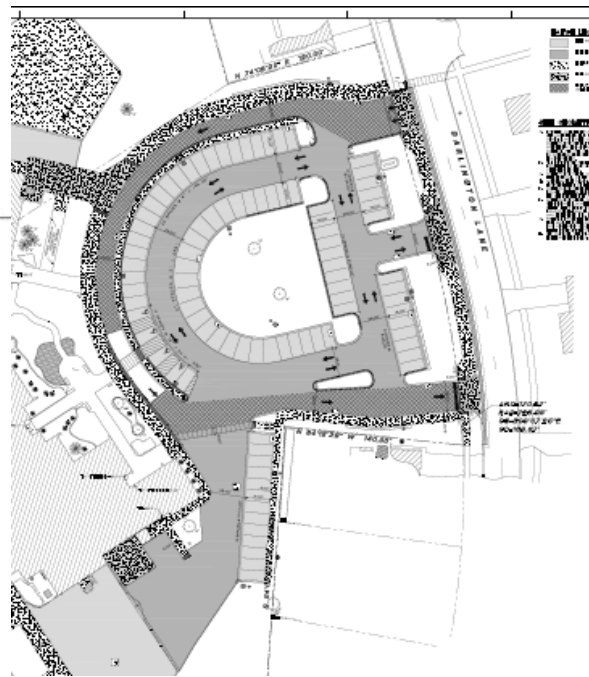
- Zoning:
 - The site is zoned R-2 Single-Family Residential. Schools are permitted within this zoning district.
- Land Use:
 - The land use map shows the area as Public & Semi-Public. This is the most appropriate land use designation for a school.

Site Analysis:

- The existing parking lot is a circle with two driveways onto Darlington Lane.
- The new layout will be a semi-circle with a portion paralleling Darlington Lane. The existing driveways will be realigned and a third driveway will be added.
- New parking spaces will be added in the single loaded row south of the semi-circular parking lot behind the residences. An additional 9 spaces will be added.



Existing



Proposed

Landscape:

- The landscape plan illustrates a straight hedge along the new parking row parallel to Darlington. The UDO asks for a variety of landscape materials in an undulating pattern.
- Additional landscape should also be planned behind the parking spaces adjacent to the residences
- A condition of approval requires the petitioner to work with staff to add some landscape materials to better screen the parking lot.

Findings of fact:

SPECIAL USE PERMIT

The petitioner has requested an Amendment to the Special Use Permit for an Elementary School to allow the reconstruction of the parking lot, realignment of the driveways, the addition of a driveway and the addition of nine parking spaces. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 B of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Public & Semi-Public, which allows for existing and future public and semi-public facilities. The following goals are applicable to this request:

Land Use – Public and Semi-Public

Goal: Provide area for high quality public and semi-public facilities, such as schools, libraries, municipal facilities and private service providers, throughout the City to support the diverse and evolving needs of the people in the City.

This can be accomplished with the following supporting action:

Supporting Action: The City shall support the school districts, library, park district, neighboring municipalities, private service providers and other public and semi-public

Success Indicator: The number of zoning approvals for public/semi-public projects

Community Facilities – Public Facilities

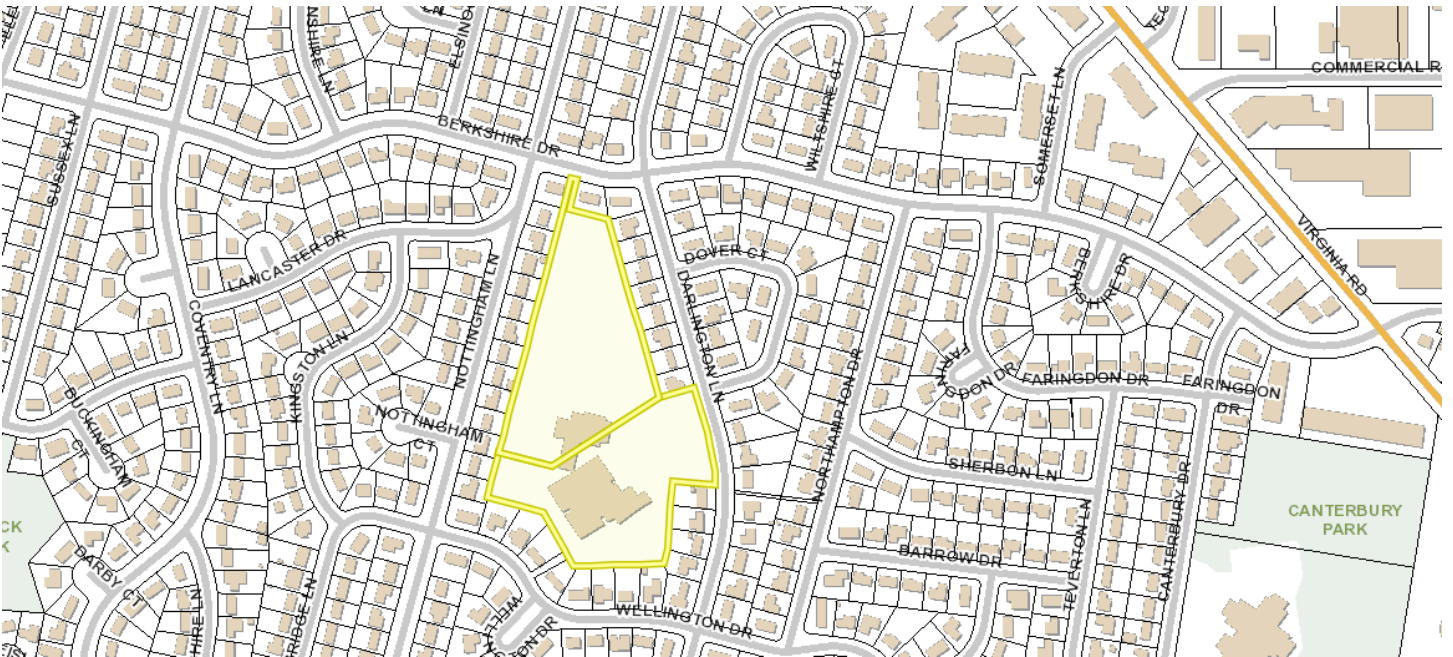
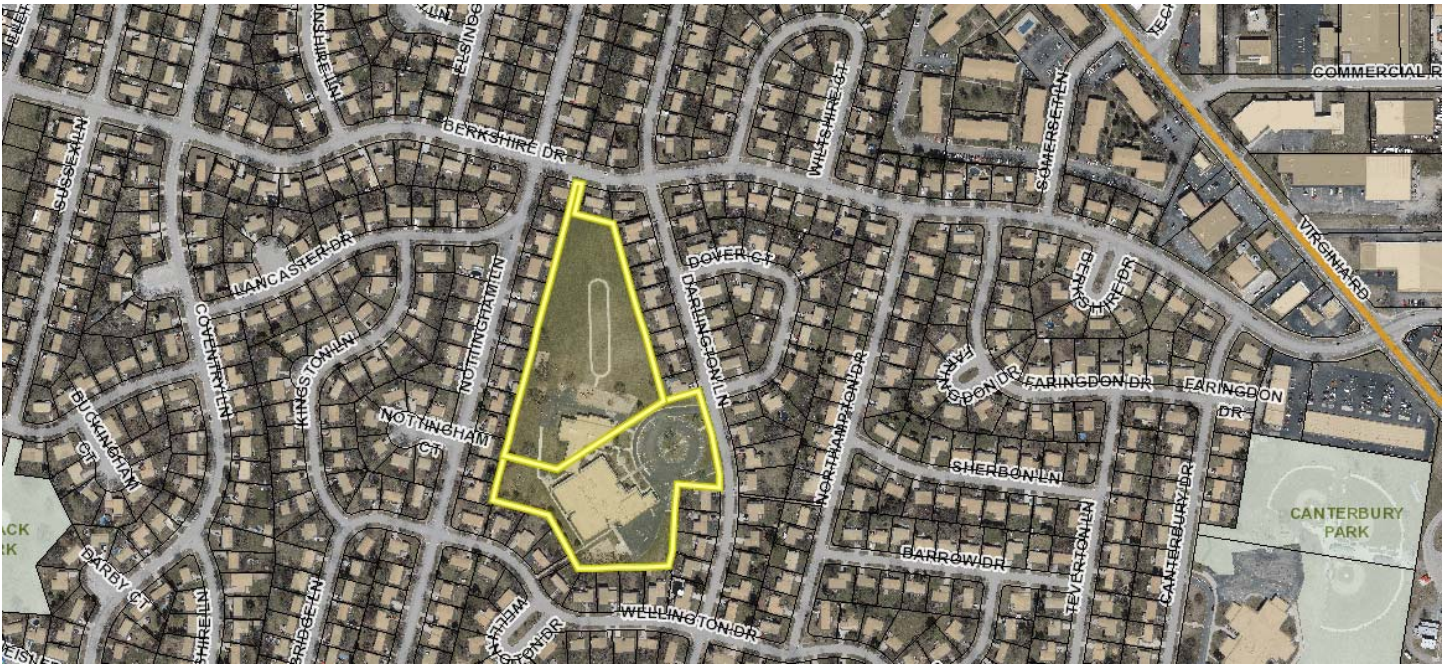
Goal: Support the specific needs and goals of public facilities to ensure cooperation between the public and city facilities for the health, safety and needs of the community.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (WT Group, received 04/08/20)
 - B. Engineering Plans (WT Group, dated 04/06/20, received 04/08/20)
 - C. Site Renovation Plans (WT Group, dated 04/06/20, received 04/08/20)
2. The school shall work with staff to meet the intent of the ordinance for screening and parking lot landscaping by creating an aesthetically pleasing undulating pattern of landscape between the parking lot and Darlington Lane. Screening landscape is also required between the parking area and the residences.
3. The petitioner must address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments.

PLN-2020-048 COVENTRY EMS – 820 DARLINGTON LN



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Coventry Elementary School

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: WT Group (Jason Green)
Address: 2675 Pratum Ave
Hoffman Estates, IL 60192
Phone: (224) 293-6333
Fax: (224) 293-6444
E-mail: jason.green@wtengineering.com

Owner Information (if different)

Name: Crystal Lake School District 47 (David Schuh)
Address: 820 Darlington Ln
Crystal Lake, IL 60014
Phone: (815) 788-5061
Fax: _____
E-mail: dsschuh@d47.org

Property Information

Project Description: _____

The school district is seeking approval for parking and site improvements.

Project Address/Location: 820 Darlington Ln

PIN Number(s): 19-08-326-010 19-08-326-011

Development Team

Please include address, phone, fax and e-mail

Crystal Lake School District 47 (David Schuh), 221 Liberty Road, Crystal Lake, IL 60014

Developer: 815-788-0561 dsschuh@d47.org

DLR Group, 333 West Wacker Drive, Suite 850, Chicago, IL 60606

Architect: 312-780-1076 kwhite@dlrgroup.com

Attorney: _____

WT Group (Jason Green), 2675 Pratum Ave, Hoffman Estates, IL 60192

Engineer: 224-293-6333 jason.green@wtengineering.com

Landscape Architect: _____

Planner: _____

WT Group, 2675 Pratum Ave, Hoffman Estates, IL 60192

Surveyor: 224-293-6333 kevin.human@wtengineering.com

Other: _____

Signatures



04/08/2020

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

David Schuh



04/08/2020

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Northwest Herald

NORTHWEST HERALD

Publication Name:
Northwest Herald

Publication URL:
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Publication County:
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Notice Keywords:
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Notice Publish Date:
Friday, April 17, 2020

Notice Content

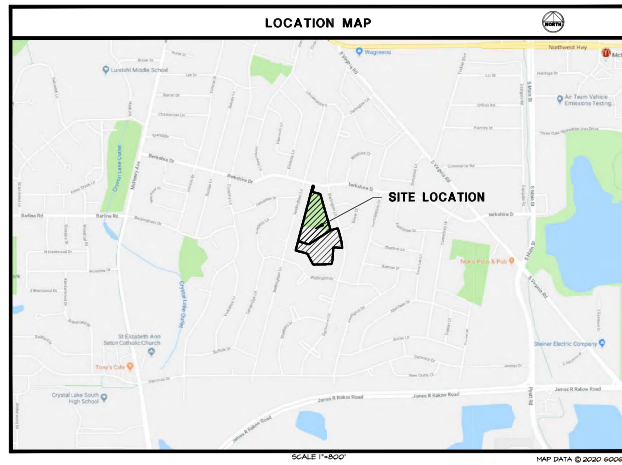
PUBLIC NOTICE LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by WT Group, representing Crystal Lake School District 47, for a Special Use Permit relating to the following described real estate commonly known as 820 Darlington Lane, Crystal Lake, Illinois 60014, PINs: 19-08-326-010, 19-08-326-011. This application is filed for the purposes of seeking a Special Use Permit to allow the reconfiguration of the parking lot, adding new curb cut at the Darlington Lane, shifting south access farther south and the addition of 9 new parking spaces with 4 being adjacent to the residences to the south along Darlington Lane; pursuant to Article 2, Article 4, and Article 9 of the Unified Development Ordinance. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday May 6, 2020, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Tom Hayden, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald April 17, 2020)1772544

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COVENTRY ELEMENTARY SCHOOL PARKING LOT AND ASPHALT PLAYGROUND IMPROVEMENTS

820 DARLINGTON LANE, CRYSTAL LAKE, IL 60014

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	04-08-2020
SP-1.1	OVERALL SITE PLAN - ALTERNATE	04-08-2020
SP-1.2	SIGNAGE PLAN	04-08-2020
C-1.1 - C-1.2	SITE DEMOLITION PLAN - ALTERNATE	04-08-2020
C-2.1 - C-2.2	SITE GEOMETRIC PLAN - ALTERNATE	04-08-2020
C-3.1 - C-3.2	SITE DEVELOPMENT PLAN - ALTERNATE	04-08-2020
C-3.3 - C-3.6	SITE DEVELOPMENT DETAILS	04-08-2020
C-4.1 - C-4.2	SITE GRADING PLAN - ALTERNATE	04-08-2020
C-5.1 - C-5.2	SITE UTILITY PLAN - ALTERNATE	04-08-2020
C-5.3	SITE UTILITY DETAILS	04-08-2020
C-6.1	STORM WATER POLLUTION PREVENTION PLAN - ALTERNATE	04-08-2020
C-6.2	STORM WATER POLLUTION PREVENTION PLAN - ALTERNATE	04-08-2020
C-6.3	STORM WATER POLLUTION PREVENTION DETAILS	04-08-2020
C-7.0	CRYSTAL LAKE SPECIFICATIONS	04-08-2020
C-7.1	PROJECT SPECIFICATIONS	04-08-2020
EX-2.0 - EX-2.1	CIRCULATION PLAN - ALTERNATE	04-08-2020
L-1.1	LANDSCAPE PLAN - ALTERNATE	04-08-2020
L-1.2	LANDSCAPE SPECIFICATIONS AND DETAILS	04-08-2020
SUR-1 - SUR-5	BOUNDARY AND TOPOGRAPHIC SURVEY (PREPARED BY WT GROUP - LAND SURVEYING DIVISION)	03-02-2020



SECTION 8
TOWNSHIP 43N
RANGE 8E

CIVIL ENGINEERING STATEMENT AND SEAL

I, JASON GREEN, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORMS TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (160 ILCS 20) AND THE ILLINOIS ACCESSIBILITY CODE (78 ILL. ADM. CODE 400).

JASON E. GREEN - P.E. A002-059460 DATE OF EXPIRATION - NOVEMBER 30, 2021
DATE: 4-7-2020
NOTES: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH L-1.2



CALL JULIE
SIMPLY BY OR TOLL FREE (800)842-0125 OPERATES
24 HOURS A DAY, 365 DAYS A YEAR.



CALL (800)842-0125
48 HOURS BEFORE YOU DIG.
CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA
OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.

JASON E. GREEN - P.E. A002-059460
DATE OF EXPIRATION - NOVEMBER 30, 2021
NOTES: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH L-1.2

BENCHMARKS:

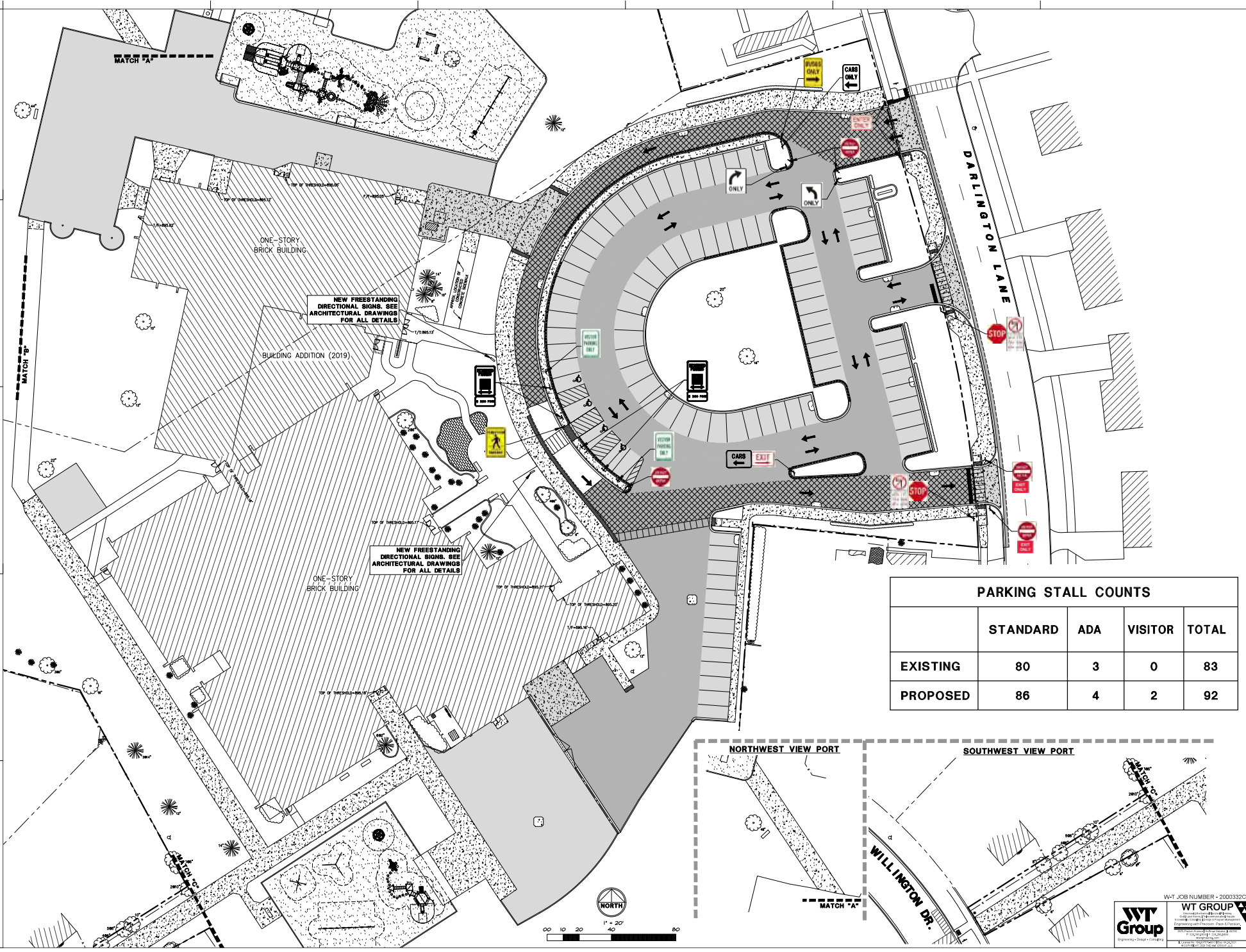
- ON-SITE BENCHMARK 1 - NORTHWEST BOLT ON HYDRANT ON THE EAST SIDE OF DARLINGTON LANE DIRECTLY EAST OF NORTH ENTRANCE TO SCHOOL, AS SHOWN. ELEVATION = #46.55' (NAVD83)
- ON-SITE BENCHMARK 2 - CUT GRASS ON BOLT OF HYDRANT LOCATED NEAR THE SOUTHEAST BUILDING CORNER AS SHOWN. ELEVATION = #46.55' (NAVD83)

COVENTRY ELEMENTARY SCHOOL
PARKING LOT AND ASPHALT PLAYGROUND IMPROVEMENTS
ISSUED FOR SET & PERMIT
04/09/2020
Revisions

Project Number
TITLE SHEET

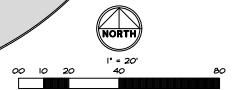
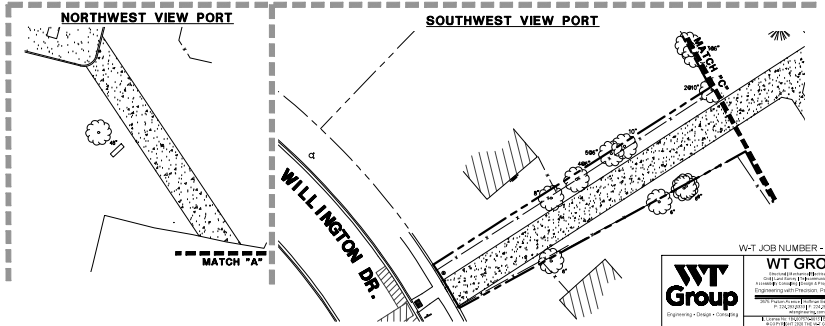
WT JOB NUMBER - 2000232C

WT GROUP
Engineering • Design • Construction



PARKING STALL COUNTS

	STANDARD	ADA	VISITOR	TOTAL
EXISTING	80	3	0	83
PROPOSED	86	4	2	92



SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL CONSULTATION WITH THE MUNICIPALITY AND OTHERS REPRESENTATIVE TO INSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND IN PLACE IN ORDER TO MAINTAIN DUST CONTROL. PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURE, INCLUDING THE REMOVAL OF ALL UTILITIES, SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- C. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- D. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR SHALL MAKE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONTRACTOR AND SHALL CONTACT THE SITE ENGINEER IN A WRITTEN FORMAT.
- E. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- F. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR SHALL MAKE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONTRACTOR AND SHALL CONTACT THE SITE ENGINEER IN A WRITTEN FORMAT.
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- J. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
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- R. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- S. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- T. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- U. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- V. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO HOIST OWN AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.

PROJECT NOTES:

1. EXISTING BUILDING TO REMAIN.
2. EXISTING ASPHALT PAVEMENT TO REMAIN.
3. EXISTING CONCRETE TO REMAIN.
4. EXISTING HYDRANT AND EXISTING PIPING TO REMAIN.
5. EXISTING FENCE TO REMAIN.
6. EXISTING SIGN TO REMAIN.
7. EXISTING PAVEMENT FINISHING TO REMAIN.
8. EXISTING BRICK WALL TO REMAIN.
9. EXISTING BRICK TO REMAIN.
10. EXISTING TRANSPORTER AND CONCRETE PAD TO REMAIN.
11. EXISTING TREE TO BE REMOVED.
12. EXISTING DUMPSTER TO REMAIN.
13. EXISTING TRUSS ROOFER TO BE REMOVED.
14. EXISTING TRANSPORTER AND CONCRETE PAD TO REMAIN.
15. EXISTING SHED TO REMAIN.
16. EXISTING GAS METER TO REMAIN.
17. EXISTING DETECTABLE HAVING PLATE TO REMAIN.
18. EXISTING DETECTABLE HAVING PLATE TO BE REMOVED.
19. EXISTING GARD AND GUTTER TO REMAIN.
20. EXISTING GARD AND GUTTER TO REMAIN.
21. NEW 6" BUTT JOINT.
22. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO THE BOTTOM OF THE PROPOSED PAVEMENT SECTION. SEE DETAILS.
23. EXISTING GARD AND GUTTER TO BE REMOVED.
24. EXISTING GARD AND GUTTER TO BE REMOVED.
25. NEW FULL DEPTH PATCH OF EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO THE BOTTOM OF THE PROPOSED PAVEMENT SECTION. SEE DETAILS.
26. EXISTING CONCRETE TO REMAIN.
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49. EXISTING CONCRETE TO REMAIN.
50. EXISTING CONCRETE TO REMAIN.

HATCH LEGEND

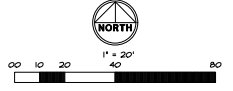
- [Hatched Box] EXISTING CONCRETE TO BE REMOVED FULL DEPTH
- [Hatched Box] EXISTING ASPHALT TO BE REMOVED FULL DEPTH

DEMOLITION LEGEND

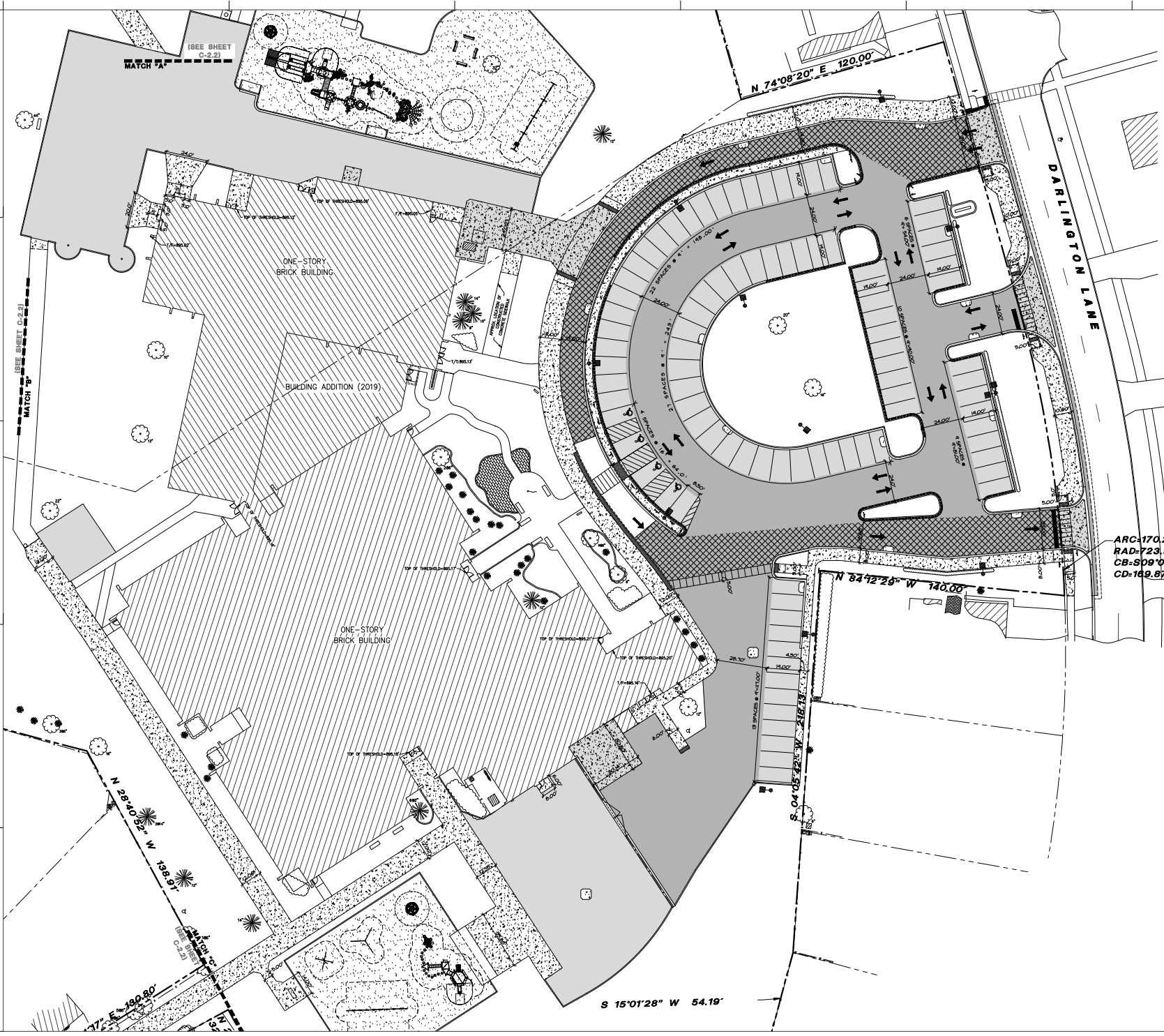
- [Symbol] EXISTING STORM SEWER
- [Symbol] EXISTING SANITARY SEWER
- [Symbol] EXISTING WATER MAIN
- [Symbol] EXISTING GAS LINE
- [Symbol] EXISTING UNDERGROUND ELECTRIC LINE
- [Symbol] EXISTING UNDERGROUND TELECO LINE
- [Symbol] EXISTING CLOSED MANHOLE
- [Symbol] EXISTING OPEN GRATE MANHOLE
- [Symbol] EXISTING BEEHIVE GRATE MANHOLE
- [Symbol] EXISTING GARD INLET
- [Symbol] EXISTING FIRE HYDRANT
- [Symbol] EXISTING GAS METER
- [Symbol] EXISTING SIGN
- [Symbol] EXISTING PRECAST (TEL CO, GAS, ELECTRIC)
- [Symbol] EXISTING TREE

EXISTING UTILITY DATA

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| <ul style="list-style-type: none"> △ 88-882.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-884.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-886.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-888.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-890.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-892.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-894.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-896.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-898.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-900.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-902.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-904.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-906.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-908.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-910.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-912.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-914.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-916.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-918.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-920.00' (CONCRETE) 48" CONCRETE STRUCTURE | <ul style="list-style-type: none"> △ 88-882.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-884.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-886.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-888.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-890.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-892.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-894.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-896.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-898.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-900.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-902.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-904.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-906.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-908.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-910.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-912.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-914.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-916.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-918.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-920.00' (CONCRETE) 48" CONCRETE STRUCTURE | <ul style="list-style-type: none"> △ 88-882.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-884.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-886.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-888.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-890.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-892.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-894.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-896.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-898.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-900.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-902.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-904.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-906.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-908.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-910.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-912.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-914.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-916.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-918.00' (CONCRETE) 48" CONCRETE STRUCTURE △ 88-920.00' (CONCRETE) 48" CONCRETE STRUCTURE |
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WT GROUP
 1000 N. WILSON AVENUE
 SUITE 200
 CHICAGO, IL 60642
 (773) 442-1000
 www.wtgroup.com



HATCH LEGEND

[Diagonal Hatching]	NEW ASPHALT PAVEMENT
[Cross-hatching]	NEW HEAVY DUTY ASPHALT PAVEMENT
[Stippled]	NEW 5" CONCRETE SIDEWALK
[Grid Pattern]	NEW CONCRETE PAVEMENT
[Diagonal Hatching]	NEW 5" CONCRETE PAVEMENT (ALTERNATE #1)

- SITE GEOMETRIC NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PRIOR TO THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 08-02-2020 PREPARED BY RT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER SPECIFIED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - ALL UTILITIES SHOWN ARE REASURED FROM EASE OF PAVEMENT TO EASE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE WITH REMOVAL OF THE MOBILE CLASSROOMS FROM THE SITE.
 - CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL CONTACT JULIE (811 OR 1-800-893-0283) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR EXCAVATION EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE ETC. LINES ARE UNKNOWN.
 - ASPHALT PAVEMENT MARKING CRISPE SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS. ALL PAVEMENT MARKINGS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC. SEE OVERALL SITE PLAN ALTERNATE #1 FOR ALTERNATE DELINEATION DETAILS.

ARC-174.27'
 RAD-723.88'
 CB-S99°07'25"E
 CD-168.87'



1" = 20'
 0 10 20 40 80

WT GROUP
 W-T GROUP
 ENGINEERS & ARCHITECTS

COVENTRY ELEMENTARY SCHOOL
 PARKING LOT AND ASPHALT PLAYGROUND IMPROVEMENTS

ISSUED FOR
 BID & PERMIT
 04/06/2020
 Revisions

Project Number
 SITE GEOMETRIC
 PLAN - ALTERNATE

C-2.1



DATE: 04/06/2020 11:20:07 AM

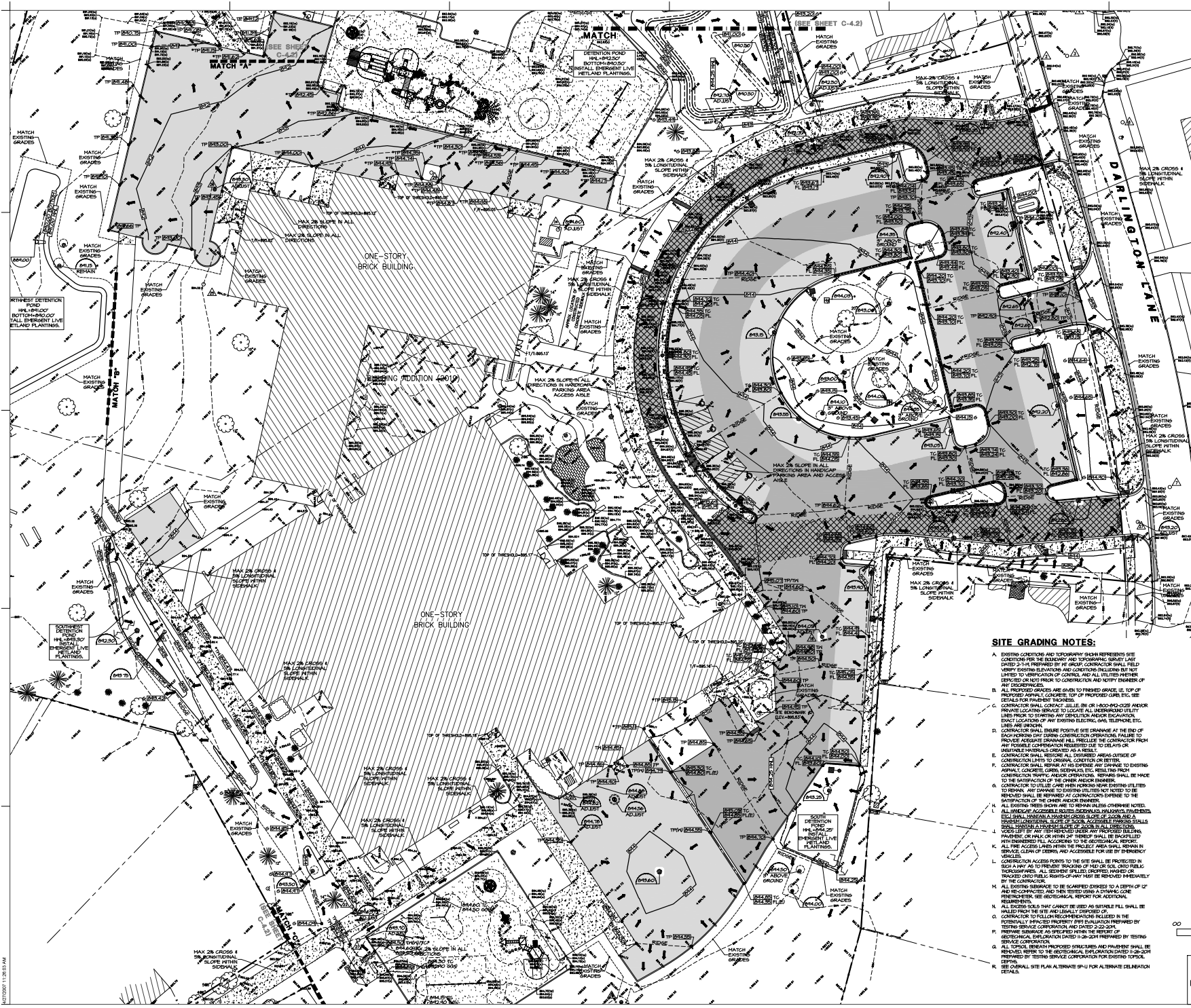


- HATCH LEGEND**
- NEW ASPHALT PAVEMENT
 - NEW HEAVY DUTY ASPHALT PAVEMENT
 - NEW 8" CONCRETE SIDEWALK
 - NEW 8" CONCRETE PAVEMENT
 - NEW 8" CONCRETE PAVEMENT (ALTERNATE #0)

- SITE DEVELOPMENT NOTES:**
1. EXISTING CONDITIONS AND TOPOGRAPHIC REPRESENTS SITE CONDITIONS FOR THE BOUNDARY AND TOPOGRAPHIC SURVEY LOT DATA COLLECTED PREPARED BY PT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO: VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER EXISTING OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY.
 2. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY WITHIN THE BOUNDARY OF ANY MANUFACTURERS AND RAMP AND STEP SYSTEM LAYOUT OTHERWISE NOTED.
 3. SEE THE MOBILE CLASSROOM MANUFACTURERS AND RAMP AND STEP SYSTEM LAYOUT DRAWINGS FOR THE DESIGN OF ALL BUILDING ENTRANCES.
 4. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
 6. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
 7. ASPHALT DRIVEWAYS SHALL BE MAINTAINED WITH HIGH QUALITY FANT CONCERNING TO ARTICLE 108.02 OF THE CITY OF BIRMINGHAM. EXISTING DRIVEWAYS WITHIN PUBLIC RIGHT OF WAY SHALL BE REPAIR/REPLACE. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS SPACES WITH 6\"/>
 - 8. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
 - 9. CONTRACTOR SHALL RE-ESTABLISH ALL STRIPES DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
 - 10. CONTRACTOR SHALL MAKE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE BIRMINGHAM CITY DEPARTMENT OF PUBLIC WORKS FOR THE LOCATION OF UTILITIES.
 - 11. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
 - 12. ALL EXISTING SURFACE TO BE SCARIFIED/DISKED TO A DEPTH OF 1" AND RE-CONCRETE, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - 13. CONTRACTOR TO COORDINATE ALL WORK, SITE ACCESS, STAGING, ETC. WITH PLAYGROUND IMPROVEMENTS AND BUILDING ADDITION CONTRACTORS AT ALL PHASES OF CONSTRUCTION.
 - 14. SEE OPERATIONAL PLAN FOR ALTERNATE #0 FOR ALTERNATE #0 PLAN DETAILS.

- PROJECT NOTES:**
1. EXISTING BUILDING TO REMAIN.
 2. EXISTING ASPHALT PAVEMENT TO REMAIN.
 3. EXISTING CONCRETE TO REMAIN TO REMAIN.
 4. EXISTING HYDRANT AND EXISTING PIPING TO REMAIN.
 5. EXISTING FENCE TO REMAIN.
 6. EXISTING BARRIER CURB TO REMAIN.
 7. EXISTING SIGN TO REMAIN.
 8. EXISTING FLAG POLE TO REMAIN.
 9. EXISTING BENCH TO REMAIN.
 10. EXISTING EXPOSURE TO REMAIN.
 11. EXISTING EXPOSURE TO REMAIN.
 12. EXISTING EXPOSURE TO REMAIN.
 13. EXISTING DETECTABLE MARKING PLATE TO REMAIN.
 14. EXISTING SLED TO REMAIN.
 15. EXISTING SLED TO REMAIN.
 16. NEW SIGN. SEE ARCHITECTURAL PLAN FOR DETAIL.
 17. NEW BASKETBALL HOOP. SEE ARCHITECTURAL PLAN FOR DETAIL.
 18. NEW FIBERGLASS IN FRONT OF HAVY DETECTABLE MARKING TILE - COLOR BRICK. SEE ARCHITECTURAL PLAN FOR DETAIL.
 19. EXISTING BRICK PAVEMENT TO REMAIN.
 20. EXISTING CURB AND GUTTER TO REMAIN.
 21. EXISTING CURB AND GUTTER TO REMAIN. PROVIDE CLEAN CONSTRUCTION BREAK.
 22. NEW 2\"/>
 - 23. EXISTING CONCRETE CURB TO REMAIN.
 - 24. NEW HEAVY DUTY ASPHALT PAVEMENT.
 - 25. NEW FILL DEPTH SAME/OUT OF EXISTING CONCRETE/CURB TO PROVIDE CLEAN CONSTRUCTION BREAK AT NEAREST JOINT.
 - 26. NEW YELLOW PAVEMENT STRIPING.
 - 27. NEW ACCESSIBLE PARKING STRIPING AND SYMBOL.
 - 28. NEW ASPHALT PAVEMENT.
 - 29. NEW ASPHALT PAVEMENT.
 - 30. NEW AREA LIGHT. SEE ELECTRICAL PLANS FOR DETAILS.
 - 31. NEW PRECASTING CONCRETE SIGN.
 - 32. NEW ACCESSIBLE PARKING SIGN.
 - 33. NEW ACCESSIBLE PARKING SIGN.
 - 34. NEW WHITE TRAFFIC ARROW STRIPING.
 - 35. NEW WHITE 24\"/>
 - 36. NEW CONCRETE STOOP. SEE DETAIL ON SHEET C-3.2.
 - 37. EXISTING PLAYGROUND EQUIPMENT TO REMAIN.
 - 38. EXISTING CORBEL STONE TO REMAIN.
 - 39. NEW BARRIER CURB. PAINT SAFETY YELLOW.
 - 40. NEW DEPRESSION CONCRETE CURB AND GUTTER.
 - 41. NEW 8\"/>
 - 42. NEW BRG CONCRETE CURB AND GUTTER WITH REVERSE FILL.
 - 43. NEW CONCRETE COLLAR. SEE ARCHITECTURAL PLAN FOR DETAIL.
 - 44. NEW HOURLYING CONCRETE CURB AND SIDEWALK.
 - 45. NEW CURB. SEE DETAIL ON SHEET C-3.2.
 - 46. NEW TYPICAL CAST IRON DETECTABLE MARKING TILE - COLOR COLA. SEE DETAIL ON SHEET C-3.2.
 - 47. NEW "DO NOT ENTER" SIGN.
 - 48. NEW "NO LEFT TURN" SIGN.
 - 49. NEW "CAUTION" SIGN.
 - 50. NEW "STOP" SIGN.
 - 51. NEW "STOP" SIGN.
 - 52. NEW "STOP" SIGN.
 - 53. NEW HOURLYING CURB GUTTER AND SIDEWALK.
 - 54. NEW "LEFT TURN ONLY" SIGN.
 - 55. NEW "RIGHT TURN ONLY" SIGN.
 - 56. NEW NATIVE PLANTING. DO NOT MOIST SIGN.
 - 57. NEW SIGN.
 - 58. EXISTING TREE TO REMAIN AND TO BE ROOT PRUNED.
 - 59. EXISTING TREE TO REMAIN AND TO BE ROOT PRUNED.
 - 60. CONTRACTOR TO COORDINATE WITH MOBILE CLASSROOM CONTRACTOR. SCHEDULE OF WATER SERVICE EQUIPMENT REMOVAL PRIOR TO PAVING THIS AREA.
 - 61. NEW "NO LEFT TURN" SIGN. SAFARI. 40\"/>
 - 62. NEW "STOP" SIGN.
 - 63. NEW "STOP" SIGN.
 - 64. NEW PRECASTING DIRECTIONAL SIGN. SEE ARCHITECTURAL DRAWINGS FOR ALL DETAILS. TOTAL 2.
 - 65. NEW VISITOR PARKING ONLY SIGN.
 - 66. NEW METALL LANDSCAPE WALL.
 - 67. NEW CONCRETE FLUSH CURB. SEE DETAIL ON SHEET C-3.2.
 - 68. NEW PALGA. SEE SHEET L-1.1 FOR DETAIL.
 - 69. NEW 4\"/>
 - 70. NEW 4\"/>
 - 71. NEW SIGN.
 - 72. NEW SIGN IN BOLLARD.
 - 73. NEW CURB AND GUTTER WITH FENCE.
 - 74. REPLACE SLED AND RECONNECT FIRE ALARM.
 - 75. NEW TETHER BALL UNIT. SEE ARCHITECTURAL PLAN FOR DETAIL.

PROJECT NOTES (ALTERNATE #0):
 A1. NEW 8" CONCRETE PAVEMENT BUS LANE (ALTERNATE #0)



GRADING LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- LIMITS OF DISTURBANCE
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING RIM ELEVATION
- PROPOSED RIM ELEVATION
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- TOP OF PAVEMENT ELEVATION
- TOP OF SIDEWALK ELEVATION
- FINISHED GRADE ELEVATION
- PROPOSED FINISH ELEVATION
- TOP OF CURB ELEVATION
- ADJUST EXISTING RIM ELEVATION
- EXISTING GRATE HANDLE
- EXISTING ELECTRIC GRATE HANDLE
- EXISTING FIRE HYDRANT
- PROPOSED ELECTRIC HANDLE
- PROPOSED INLET
- PROPOSED CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- EXISTING CATCH BASIN
- EXISTING INLET
- FLARED END SECTION

HATCH LEGEND

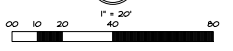
- NEW ASPHALT PAVEMENT
- NEW HEAVY DUTY ASPHALT PAVEMENT
- NEW 5" CONCRETE SIDEWALK
- NEW CONCRETE PAVEMENT
- NEW 8" CONCRETE PAVEMENT (ALTERNATE #1)

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS FOR THE BOUNDARY AND TOPOGRAPHIC SURVEY LINES DATED 2/14/18 PERFORMED BY THE OWNER. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO UTILITIES, EROSION CONTROL, AND ALL UTILITIES REFERENCED ON THIS PLAN PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED SPACES ARE GRASS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL CONFORM TO ALL LOCAL ORDINANCES AND ALL APPLICABLE REGULATIONS. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE REGULATIONS AND ALL APPLICABLE REGULATIONS. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE REGULATIONS AND ALL APPLICABLE REGULATIONS.
- C. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS. FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL REQUIRE THE CONTRACTOR TO PROVIDE TEMPORARY DRAINAGE TO MAINTAIN POSITIVE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS. FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL REQUIRE THE CONTRACTOR TO PROVIDE TEMPORARY DRAINAGE TO MAINTAIN POSITIVE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS.
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- F. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS. FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL REQUIRE THE CONTRACTOR TO PROVIDE TEMPORARY DRAINAGE TO MAINTAIN POSITIVE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS.
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- X. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS. FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL REQUIRE THE CONTRACTOR TO PROVIDE TEMPORARY DRAINAGE TO MAINTAIN POSITIVE DRAINAGE AT THE END OF EACH PAVING DRIVE DURING CONSTRUCTION OPERATIONS.
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EXISTING UTILITY DATA

Symbol	Description
	12" WATER MAIN (12" W.P. 150)
	18" WATER MAIN (18" W.P. 150)
	24" WATER MAIN (24" W.P. 150)
	30" WATER MAIN (30" W.P. 150)
	36" WATER MAIN (36" W.P. 150)
	42" WATER MAIN (42" W.P. 150)
	48" WATER MAIN (48" W.P. 150)
	54" WATER MAIN (54" W.P. 150)
	60" WATER MAIN (60" W.P. 150)
	66" WATER MAIN (66" W.P. 150)
	72" WATER MAIN (72" W.P. 150)
	78" WATER MAIN (78" W.P. 150)
	84" WATER MAIN (84" W.P. 150)
	90" WATER MAIN (90" W.P. 150)
	96" WATER MAIN (96" W.P. 150)
	102" WATER MAIN (102" W.P. 150)
	108" WATER MAIN (108" W.P. 150)
	114" WATER MAIN (114" W.P. 150)
	120" WATER MAIN (120" W.P. 150)
	126" WATER MAIN (126" W.P. 150)
	132" WATER MAIN (132" W.P. 150)
	138" WATER MAIN (138" W.P. 150)
	144" WATER MAIN (144" W.P. 150)
	150" WATER MAIN (150" W.P. 150)
	156" WATER MAIN (156" W.P. 150)
	162" WATER MAIN (162" W.P. 150)
	168" WATER MAIN (168" W.P. 150)
	174" WATER MAIN (174" W.P. 150)
	180" WATER MAIN (180" W.P. 150)
	186" WATER MAIN (186" W.P. 150)
	192" WATER MAIN (192" W.P. 150)
	198" WATER MAIN (198" W.P. 150)
	204" WATER MAIN (204" W.P. 150)
	210" WATER MAIN (210" W.P. 150)
	216" WATER MAIN (216" W.P. 150)
	222" WATER MAIN (222" W.P. 150)
	228" WATER MAIN (228" W.P. 150)
	234" WATER MAIN (234" W.P. 150)
	240" WATER MAIN (240" W.P. 150)
	246" WATER MAIN (246" W.P. 150)
	252" WATER MAIN (252" W.P. 150)
	258" WATER MAIN (258" W.P. 150)
	264" WATER MAIN (264" W.P. 150)
	270" WATER MAIN (270" W.P. 150)
	276" WATER MAIN (276" W.P. 150)
	282" WATER MAIN (282" W.P. 150)
	288" WATER MAIN (288" W.P. 150)
	294" WATER MAIN (294" W.P. 150)
	300" WATER MAIN (300" W.P. 150)





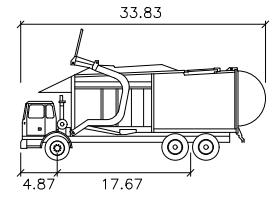
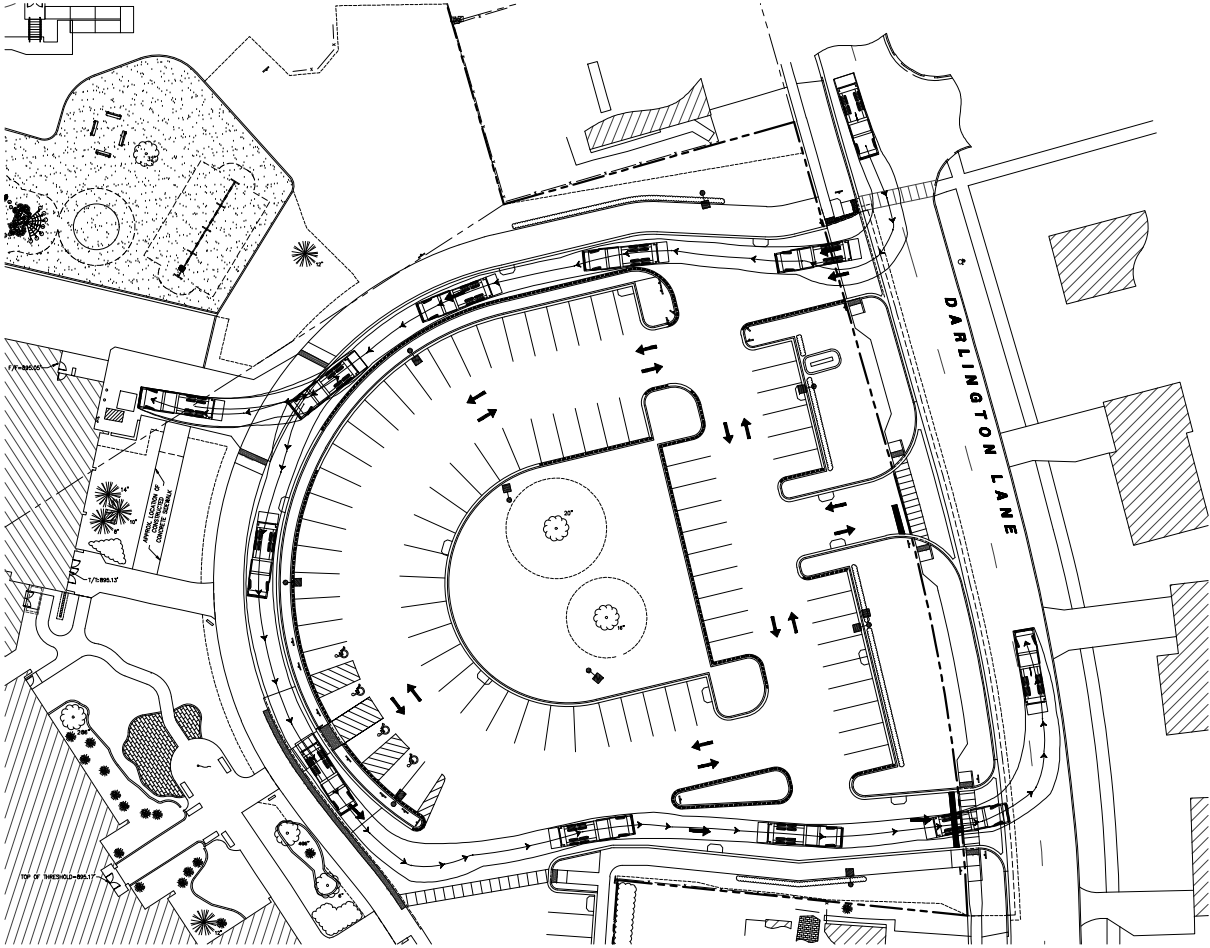
- ### SWPPP LEGEND
- EXISTING SPOT GRADE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - OVERLAND FLOW ARROW
 - ADJUST EXISTING RIM ELEVATION
 - EXISTING CLOSED GRATE MANHOLE
 - EXISTING OPEN GRATE MANHOLE
 - EXISTING GARD INLET
 - EXISTING FIRE HYDRANT
 - PROPOSED INLET
 - PROPOSED OPEN LID MANHOLE / CATCH BASIN
 - FLEXITERRA CATCH-IN INLET PROTECTION
 - RESTORE WITH #1 TOPSOIL, FINE GRADE, SEED, FERTILIZER, AND FLEXITERRA HYDROKALCH AT 1000 LB/Acre IN AREAS LESS THAN OR EQUAL TO 2% SLOPE OR IN AREAS GREATER THAN 2% USE 3500 LB/Acre/acre. CONTRACTOR TO FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - TEMPORARY CONCRETE HASKUT FACILITY
 - TEMPORARY CONSTRUCTION ENTRANCE
 - TEMPORARY TOPSOIL STOCKPILE AREA
 - TREE PRESERVATION FENCE
 - SILT FENCE INLET PROTECTION WITH STONE COLLAR RIP RAMP
 - BIODEGRADABLE GEOTEXTILE (BIODEGRADABLE GEOTEXTILE OR APPROVED EQUIVALENT)
 - SILT FENCE
 - RESTORE WITH #1 TOPSOIL, FERTILIZER, AND INSTALL PERENNIAL LIVE WETLAND PLANTINGS. INSTALL 3500 LB/Acre/acre (OR APPROVED EQUAL WITH #1 BULSTAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOWS MANUFACTURER'S INSTALLATION INSTRUCTIONS.

- ### SWPPP NOTES:
- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETTED OR TREATED AS SHOWN ON THE PLAN.
 - B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY FOLLOWING EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY LEAVED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
 - C. CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HALL SOLS TO BE LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE LEAVED IMMEDIATELY.
 - D. EROSION CONTROL BLANKETS AND TREE REINFORCEMENT MATS SHALL BE INSTALLED USING APPROVED, MANUFACTURED BY NORTH AMERICAN GREEN, METAL STAKES AND STAPLES ARE PROHIBITED.
 - E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
 - F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REPORTS, LOGS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP REVISIONS, TRAINING LOGS, AND DELIGATION CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, AND LOGS TO THE GROUP DURING THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
 - G. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
 - H. ALL OTHER REPAIRS: DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - I. ONE OR TWO TOPSOIL TRENCHES OF 2" AND REMOVE ALL SOL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF STONES, ROCKS, STICKS, GALLIES, CLODS, AND DEBRIS.
 - J. THE AREA SHALL BE FINE GRADED.
 - K. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - L. BROADCASTING WILL NOT BE ALLOWED.
 - M. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEEDING OPERATION.
 - N. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 60% HEALTHY STAND OF VEGETATION SHALL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - O. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LB/Acre, ANNUAL RYE 40 LB/Acre AND CRESTED PEEPER 40 LB/Acre TOTAL.
 - P. CONTRACTOR SHALL INSTITUTE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
 - Q. SEE OVERALL SITE PLAN ALTERNATE SWPPP FOR ALTERNATE DELINEATION DETAILS.



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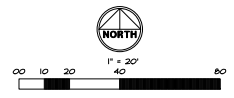
WT GROUP
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Wayne Titan

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Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

File No: 04/06/2010 11:20:07 AM



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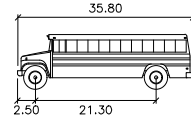
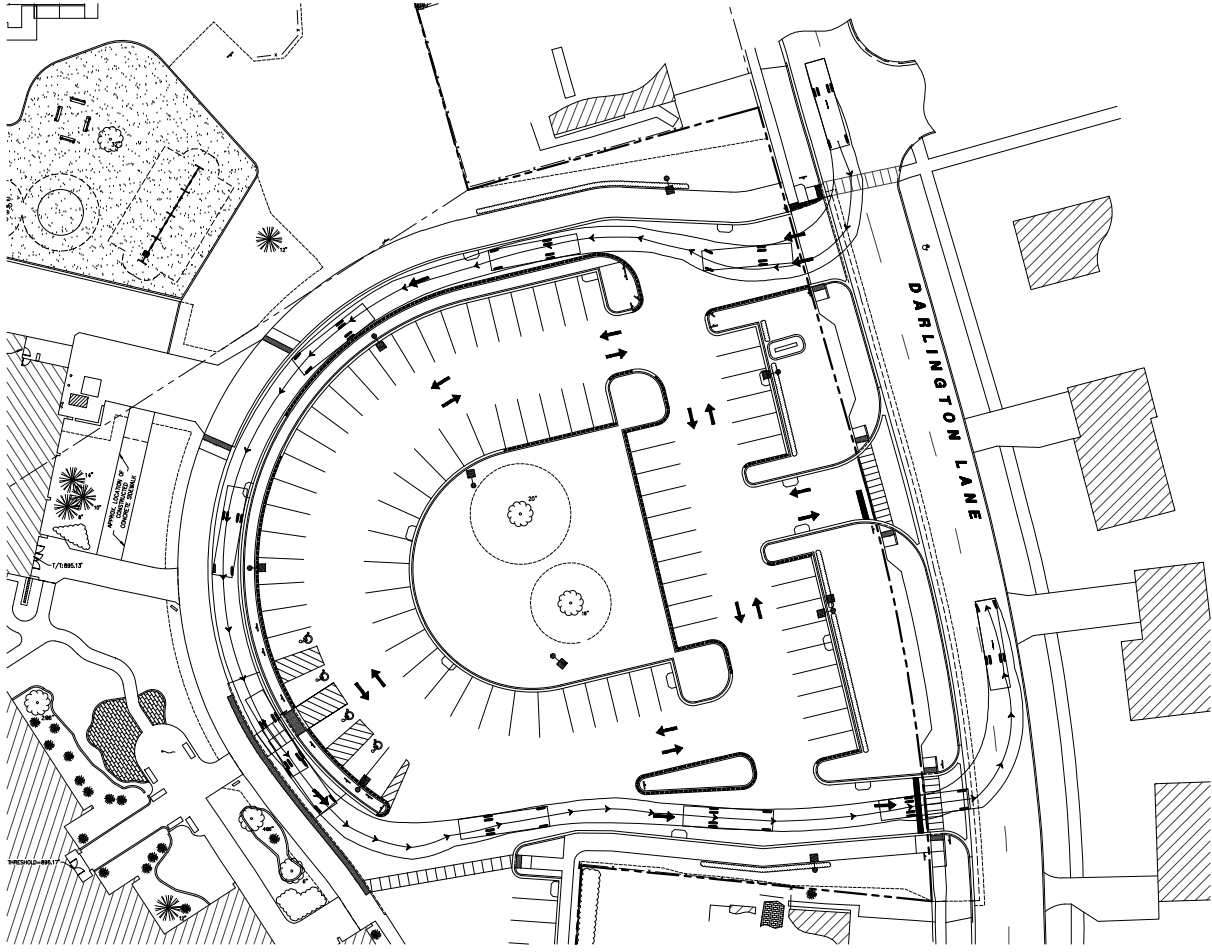
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Project Number
 CIRCULATION
 PLAN - ALTERNATE

ISSUED FOR
 BID & PERMIT
 04/06/2010
 Revisions

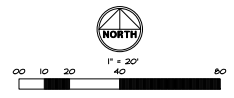
COVENTRY ELEMENTARY SCHOOL
 PARKING LOT AND ASPHALT PLAYGROUND IMPROVEMENTS
 PROJECT LOCATION
 10000 W. 10th Street, Suite 100
 Overland Park, KS 66211

EX-2.0



S-BUS-36

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 37.6



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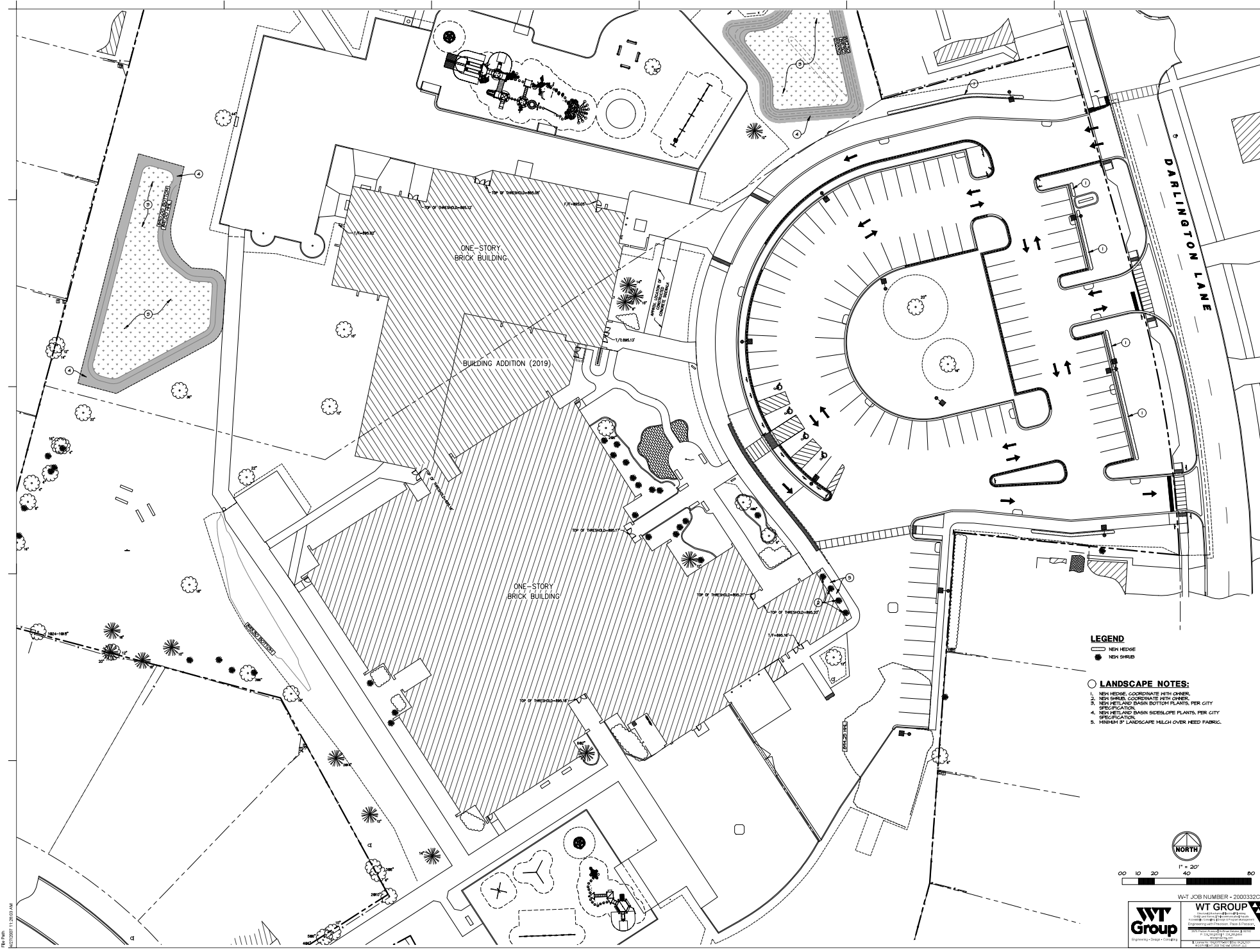
WT JOB NUMBER - 2008232C

EX-2.1

Project Number
 CIRCULATION
 PLAN - ALTERNATE

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COVENTRY ELEMENTARY SCHOOL
 PARKING LOT AND ASPHALT PLAYGROUND IMPROVEMENTS
 PREPARED BY: WT GROUP
 DATE: 04/06/2010



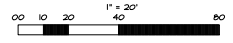
ONE-STORY BRICK BUILDING

BUILDING ADDITION (2019)

ONE-STORY BRICK BUILDING

LEGEND
 [Symbol] NEW HEDGE
 [Symbol] NEW SHRUB

- LANDSCAPE NOTES:**
1. NEW HEDGE, COORDINATE WITH OWNER.
 2. NEW SHRUB, COORDINATE WITH OWNER.
 3. NEW METAL DRAIN BOTTOM PLANTS, PER CITY SPECIFICATION.
 4. NEW METAL DRAIN SIDEWALK PLANTS, PER CITY SPECIFICATION.
 5. MINIMUM 5' LANDSCAPE HILGH OVER NEED FABRIC.



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COVENTRY ELEMENTARY SCHOOL
 PARKING LOT AND ASPHALT PLAYGROUND IMPROVEMENTS

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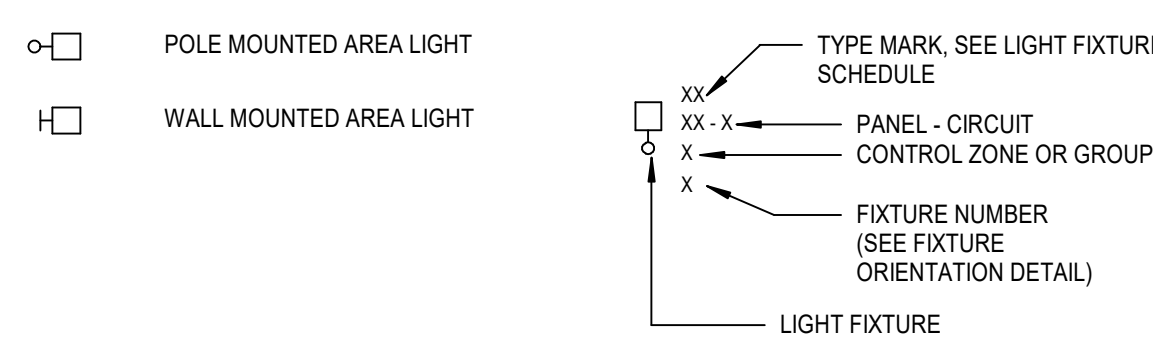
Project Number
 LANDSCAPE PLAN -
 ALTERNATE

L-1.1

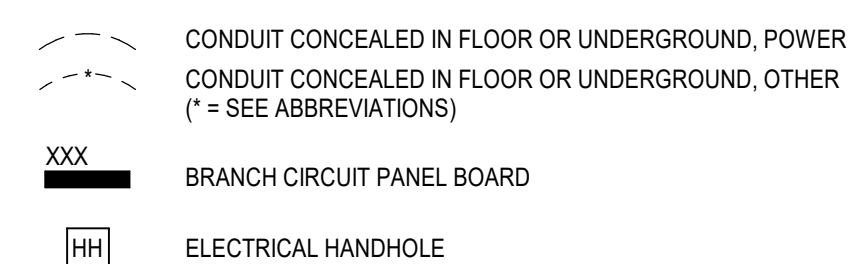
#	NUMBER	KW	KILOWATT
&	AND		
@	AT	LB(S)	POUND(S)
Ø	PHASE	LT	LIGHT
		LTG	LIGHTING
1P	SINGLE POLE		
1PH	SINGLE-PHASE	M	THOUSAND
2C	TWO-CONDUCTOR	MAX	MAXIMUM
3C	THREE-CONDUCTOR	MCA	MINIMUM CIRCUIT AMPACITY
3PH	THREE-PHASE	MCB	MAXIMUM OVERCURRENT PROTECTION
4C	FOUR-CONDUCTOR	MCC	MOTOR CONTROL CENTER
4W	FOUR-WIRE	MECH	MECHANICAL
A AMP	AMPERE	MEZZ	MEZZANINE
AAP	ALARM ANNUNCIATOR PANEL	MFR	MANUFACTURER
AC	ABOVE COUNTER	MH	MANHOLE
AC	ALTERNATING CURRENT OR ARMORED CABLE	MIN	MINIMUM
ACC	ACCESSIBLE	MISC	MISCELLANEOUS
ACCU	AIR COOLED CONDENSING UNIT	MLO	MAIN LUGS ONLY
ADA	AMERICANS WITH DISABILITY ACT	MOCP	MAXIMUM OVERCURRENT PROTECTION
ADDN	ADDITION OR ADDITIONAL	MRTS	MOTOR RATED TOGGLE SWITCH
ADD	AUTOMATIC DOOR OPENER	MSB	MAIN SWITCHBOARD
AF	AMP FRAME (CIRCUIT BREAKER)	MTD	MOUNTED
AFCL	ABOVE FINISHED COUNTER	MTG	MOUNTING
AFD	ABOVE FINISHED FLOOR	MTS	MAIN TRANSFER SWITCH
AFG	ABOVE FINISHED GRADE	N	NEUTRAL
AHJ	AUTHORITY HAVING JURISDICTION	N	NORTH
AHU	AIR HANDLING UNIT	N.C.	NORMALLY CLOSED
AIC	AMPERE INTERRUPTING CAPACITY	N.O.	NORMALLY OPEN
AL	ALUMINUM	NA	NOT APPLICABLE
ALT	ALTERNATE	NEC	NATIONAL ELECTRIC CODE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	NEC	NATIONAL ELECTRIC CODE
AP	WIRELESS ACCESS POINT	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSN.
APPROX	APPROXIMATE	NP	NON-FUSED
ARCH	ARCHITECTURAL	NIC	NOT IN CONTRACT
AT	AMP TRIP (CIRCUIT BREAKER OR FUSE)	NL	NIGHT LIGHT
ATS	AUTOMATIC TRANSFER SWITCH	NTS	NOT TO SCALE
AV	AUDIO-VISUAL	OC	ON CENTER
AWG	AMERICAN WIRE GAUGE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
		OPP	OPPOSITE
BAS	BUILDING AUTOMATION SYSTEM	OVHD	OVERHEAD
BAT	BATTERY		
BC	BARE COPPER	P	POLE(S)
BFF	BELOW FINISH FLOOR	PA	PUBLIC ADDRESS
BJ	BONDING JUMPER	PAR	PARALLEL
BKR	BREAKER	PB	PULL BOX
BLDG	BUILDING	PENT	PENTHOUSE
BMS	BUILDING MANAGEMENT SYSTEM	PERP	PERPENDICULAR
BMT	BASEMENT	PH	PHASE
		PIV	POST INDICATOR VALVE
C	CONDUIT	PLYWD	PLYWOOD
CAT	CATALOG	PML	PANEL
CATV	CABLE TELEVISION	PWR	POWER
CB	CIRCUIT BREAKER		
CBC	COUPLED BONDING CONDUCTOR	QTY	QUANTITY
CCR	CONTROL CONTRACTOR		
CCTV	CLOSED CIRCUIT TELEVISION	RAD	RADIUS
CD	CONSTRUCTION DOCUMENTS	RCP	REFLECTED CEILING PLAN
CF	CUBIC FEET	RECPT	RECEPTACLE
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	REF	REFERENCE
CKT	CIRCUIT	REQ(D)	REQUIRE(D)
CL	CENTER LINE	REV	REVISION(S)
CLG	CEILING	RM	ROOM
COMM	COMMUNICATIONS	RND	ROUND
CONC	CONCRETE	RTU	ROOF TOP UNIT
CONN(S)	CONNECTION(S)		
CONST	CONSTRUCTION	S	SOUTH
CONT	CONTINUOUS	SCCR	SHORT CIRCUIT CURRENT RATING
CONTR	CONTRACTOR	SCHED	SCHEDULE
CP	COVER PLATE	SD	SMOKE DAMPER
CT	COOLING TOWER	SEC	SECONDARY
CTR	CENTER	SECT	SECTION
CU	COPPER	SHT	SHEET
CU	CONDENSING UNIT	SM	SIMILAR
CUH	CABINET UNIT HEATER	SPD	SURGE PROTECTION DEVICE
		SPEC	SPECIFICATION(S)
D	DEPTH	STD	STANDARD
DB	DECIBEL	STL	STEEL
DC	DIRECT CURRENT	STOR	STORAGE
DEG	DEGREE	STRUCT	STRUCTURAL
DEMO	DEMOLISH OR DEMOLITION	SUSP	SUSPENDED
DET	DETAIL	SWBD	SWITCHBOARD
DIA	DIAMETER	SYM	SYMMETRICAL
DIM	DIMENSION		
DISC	DISCONNECT	TBB	TELECOMMUNICATIONS BONDING BACKBONE
DIV	SPECIFICATION DIVISION	TC	TIME CLOCK
DN	DOWN	TEMP	TEMPORARY
DP	DISTRIBUTION PANELBOARD	TGB	TELECOMMUNICATIONS GROUNDING BUSBAR
DW	DISHWASHER	TMGB	TELECOMMUNICATIONS MAIN GROUNDING BUSBAR
DWG(S)	DRAWING(S)	TO	TELECOMMUNICATIONS OUTLET
		TR	TELECOMMUNICATIONS ROOM
E	EAST	TS	TAMPER SWITCH
EA	EACH	TV	TELEVISION
EC	ELECTRICAL CONTRACTOR	TYP	TYPICAL
ECS	EMERGENCY COMMUNICATION SYSTEM		
EL	ELEVATION	UG	UNDERGROUND
ELEC	ELECTRICAL	UL	UNDERWRITERS LABORATORIES
ELEV	ELEVATOR	UNEX	UNEXCAVATED
EMD	ESTIMATED MAXIMUM DEMAND	UNFIN	UNFINISHED
ENG	ENGINEER	UNO	UNLESS NOTED OTHERWISE
EP	EXPLOSION PROOF	UTL	UTILITY
EQ	EQUAL	UV	UNIT VENTILATOR
EQUIP	EQUIPMENT		
EQUIV	EQUIVALENT	V	VOLT
ER	EXISTING (TO BE) RELOCATED	VA	VOLT-AMPERE
EW	ELECTRIC WATER COOLER	VERT	VERTICAL
EXIST	EXISTING	VEST	VESTIBULE
EXT	EXTERIOR	VFD	VARIABLE FREQUENCY DRIVE
		VSMP	VARIABLE SPEED MOTOR CONTROLLER
F.V.	FIELD VERIFY		
FA	FIRE ALARM	W	WIRE
FAA	FIRE ALARM ANNUNCIATOR	W	WEST
FACP	FIRE ALARM CONTROL PANEL	W	WATT
FC	FOOT CANDLE	W	WITH
FCU	FAN COOL UNIT	WO	WITHOUT
FIN	FINISHED	WA	TELECOMMUNICATIONS WORK AREA
FL	FLOOR	WG	WIRE GUARD
FLA	FULL LOAD AMPS	WP	WEATHER-PROOF (NEMA 3R)
FLUOR	FLUORESCENT	XFMR	TRANSFORMER
FS	FLOW SWITCH		
FT	FEET		
FUT	FUTURE		
G	EQUIPMENT GROUNDING CONDUCTOR		
GC	GENERAL CONTRACTOR		
GEN	GENERATOR		
GFCI	GROUND FAULT CIRCUIT INTERRUPTER		
GND	EQUIPMENT GROUNDING CONDUCTOR		
GOVT	GOVERNMENT		
H	HEIGHT		
HH	HANDHOLE		
HOA	HAND-OFF-AUTOMATIC		
HORIZ	HORIZONTAL		
HP	HORSE POWER		
HZ	HERTZ (FREQUENCY)		
I.e.	THAT IS		
IBC	INTERNATIONAL BUILDING CODE		
IC	INTERCOM		
IES	ILLUMINATING ENGINEERING SOCIETY		
IG	ISOLATED GROUND		
IN	INCH		
INT	INTERIOR		
JB	JUNCTION BOX		
KAIC	THOUSAND AMPERE INTERRUPTING CIRCUIT		
KV	KILOVOLT		
KVA	KILOVOLT AMPERES		

ELECTRICAL SYMBOLS

LIGHTING



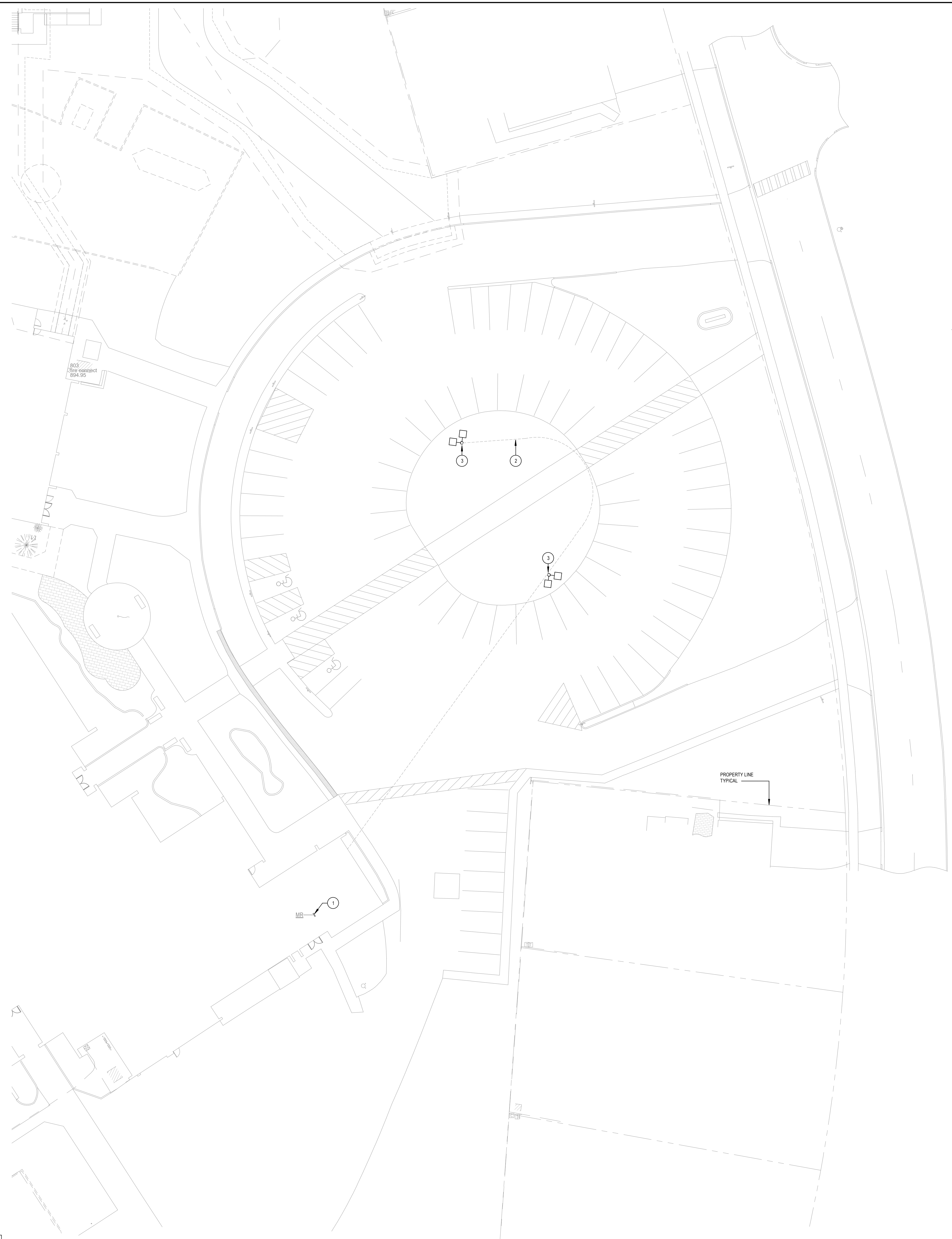
POWER



GENERAL SYMBOLS



BM_380_022-19112-00 Coventry/22-19112-00 Coventry_mep_2019.rvt
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ELECTRICAL DEMOLITION SITE PLAN
SCALE: 1" = 20'-0"

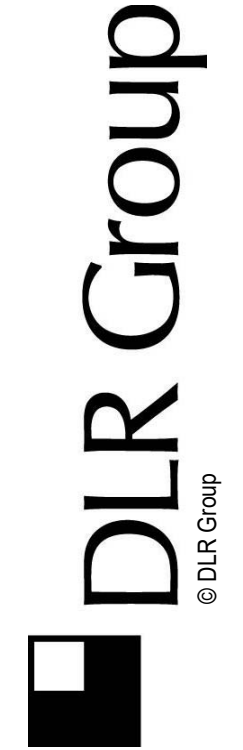
LEGEND NOTES

GENERAL DEMOLITION PLAN NOTES

- A. EXISTING CONDITION DRAWINGS INDICATE CONDITIONS AS THEY WERE PLANNED FOR UNDER PREVIOUS PROJECTS, AND ARE INCLUDED FOR REFERENCE ONLY. NOT ALL EXISTING DEVICES/ITEMS MAY BE SHOWN AND ACTUAL CONDITIONS MAY VARY FROM THE PLANNED CONDITIONS. PROVIDE DETAILED EVALUATION OF BUILDING SYSTEMS PRIOR TO CONSTRUCTION AND REPORT DISCREPANCIES AND DEFICIENCIES TO ENGINEER. SYSTEMS SHALL BE IN SIMILAR OR BETTER CONDITIONS AFTER COMPLETION OF WORK.
- B. ITEMS INDICATED ON DEMOLITION PLANS ARE BASED ON AS-BUILT DRAWINGS AND FIELD OBSERVATIONS AND ARE INTENDED TO GIVE THE BIDDER A GENERAL REPRESENTATION OF EXISTING CONDITIONS.
- C. REMOVE ALL ITEMS SHOWN FULL-TONE OR NOTED ELSEWHERE IN THE DOCUMENTS TO BE REMOVED OR DEMOLISHED. DEMOLISH ADDITIONAL ITEMS NOT SHOWN ON DRAWINGS, BUT WHICH MUST BE REMOVED TO COMPLETE THE PROJECT.
- D. CONDUITS CONCEALED IN MASONRY WALLS OR UNDER CONCRETE SLABS MAY BE CUT BACK, SEALED AND ABANDONED.
- E. ITEMS SHOWN HALF-TONE ARE EXISTING TO REMAIN.
- F. MAINTAIN POWER TO END-OF-LINE OR DOWNSTREAM DEVICES THAT ARE TO REMAIN. PROVIDE RACEWAYS, BOXES, CONDUCTORS AND ALL OTHER NECESSARY MATERIALS AS REQUIRED TO RE-ESTABLISH DAMAGED OR INTERRUPTED FEEDERS AND BRANCH CIRCUITS. INTERCEPT EXISTING FEEDERS OR BRANCH CONDUCTORS AT NEAREST ACCESSIBLE SPACE OR DEVICE AND RECONNECT TO ORIGINAL FEEDER OR BRANCH CIRCUIT SOURCE.
- G. EXISTING CONDUIT MAY REMAIN IF ALL THE FOLLOWING ARE TRUE:
 - IT CAN BE REUSED TO FEED DEVICES INSTALLED UNDER THIS CONTRACT.
 - IT DOES NOT INTERFERE WITH OTHER TRADES.
 - IT WAS ORIGINALLY INSTALLED MEETING SPECIFICATIONS RELATED TO THIS PROJECT.
 - IT WILL NOT BE EXPOSED IN A FINISHED AREA (UNLESS NOTED OTHERWISE).
- H. MAINTAIN FUNCTIONALITY OF ALL NEARBY UTILITIES NOT AFFECTED UNDER THIS CONTRACT.

SITE PLAN KEYNOTES

- 1. EXISTING PANELBOARD 'MR' LOCATED IN LOBBY 14A OUTSIDE OF ENCORE CLASSROOM CURRENTLY SERVING PARKING LOT LIGHTING SHALL REMAIN IN PLACE.
- 2. DASHED LINE REPRESENTS EXISTING UNDERGROUND ELECTRICAL BRANCH CIRCUIT SERVING PARKING LOT BASED ON CIVIL SURVEY DRAWINGS. PROTECT BRANCH CIRCUIT DURING SITE DEMOLITION FOR REUSE.
- 3. DEMOLISH LIGHT FIXTURE WITH POLE AND POLE BASE. EXISTING CIRCUITS AND CONDUIT AT BASE SHALL REMAIN IN PLACE FOR EXTENSION.

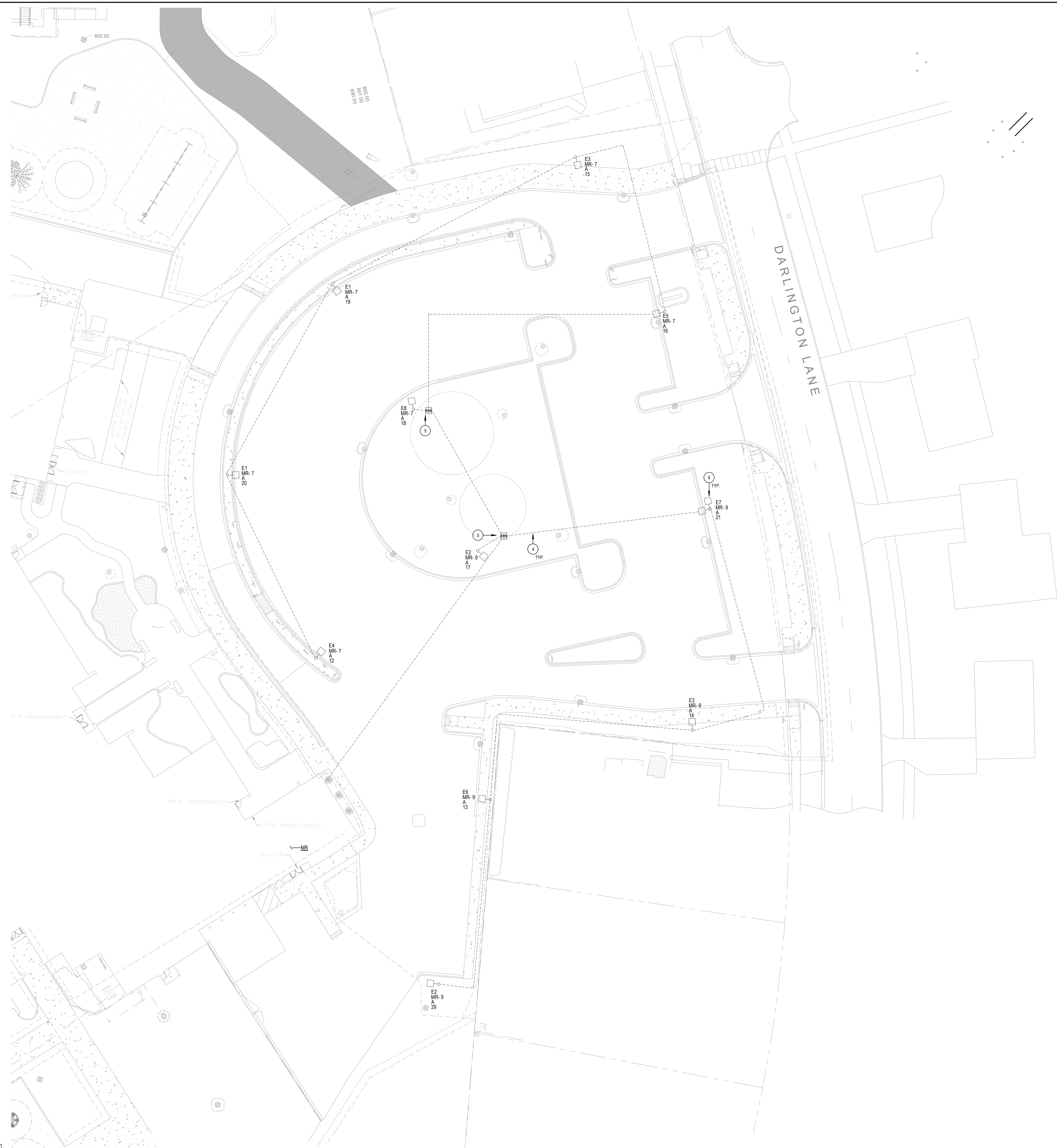


COVENTRY ELEMENTARY SCHOOL
SITE RENOVATION
820 DARLINGTON LANE
CRYSTAL LAKE, IL 60014

ISSUED FOR
BID & PERMIT
04/06/2020
Revisions

22-19112-15
ELECTRICAL
DEMOLITION SITE
PLAN

ED1.1



LEGEND NOTES

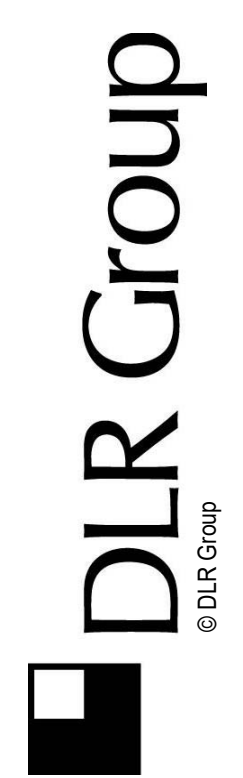
GENERAL SITE PLAN NOTES

- A. COORDINATE INSTALLATION AND LOCATION OF POLE MOUNTED LIGHT FIXTURES WITH CIVIL DRAWINGS AND NEARBY UNDERGROUND UTILITIES.
- B. CONDUIT ROUTINGS INDICATED ARE FOR SCHEMATIC PURPOSE ONLY. ELECTRICAL CONTRACTOR TO DETERMINE EXACT ROUTING IN FIELD.
- C. FIELD LOCATE ALL EXTRANEOUS EXISTING UTILITIES NOT AFFECTED BY CONSTRUCTION AND AVOID DAMAGE.
- D. ALL UNDERGROUND SITE WORK CONDUIT SHALL BE MINIMUM 36" BELOW FINISH GRADE.
- E. ELECTRICAL CONTRACTOR SHALL WEATHERPROOF ALL OPENINGS AND PENETRATIONS THROUGH FOUNDATIONS AND EXTERIOR WALLS CREATED BY FIXTURE AND CONDUITS TO PREVENT MOISTURE FROM ENTERING THROUGH.
- F. ALL TRENCHING, CORING, BACKFILLING, AND COMPACTING RELATED TO THE ELECTRICAL INSTALLATION IS BY THE ELECTRICAL CONTRACTOR. ALL EXCESS DEBRIS FROM TRENCHING AND CORING SHALL BE REMOVED FROM THE SITE BY THE ELECTRICAL CONTRACTOR.
- G. PER NEC SHARED HOMERUNS ARE NOT ALLOWED. ENSURE EXISTING CIRCUITS BEING REUSED HAVE DEDICATED HOMERUNS. PROVIDE ADDITIONAL CONDUCTOR OR BREAKER TIES PER NEC.
- H. SEE ELECTRICAL DETAILS & SCHEDULES SHEET FOR FIXTURE POLE LENGTH AND POLE BASE HEIGHT. HEIGHT OF POLE MOUNTED FIXTURES SHALL NOT EXCEED 20 FEET AFF.
- I. HEAD OF POLE MOUNTED FIXTURE SHALL BE ORIENTED PER LUMINAIRE ORIENTATION DETAIL ON ELECTRICAL DETAILS & SCHEDULES SHEET.
- J. UTILIZE A MINIMUM CONDUCTOR GAUGE OF #8AWG FOR ALL NEW EXTERIOR LIGHTING BRANCH CIRCUIT PHASE CONDUCTORS. UPSIZE EQUIPMENT GROUND CONDUCTOR PER NEC DUE TO INCREASED PHASE CONDUCTOR SIZES IN ORDER TO DECREASE VOLTAGE DROP.

SITE PLAN KEYNOTES

- 4. DASHED FULL-TONE LINES REPRESENT APPROXIMATE TRENCHING AND ROUTING OF CONDUITS NECESSARY TO EXTEND BRANCH LIGHTING CIRCUITS TO NEW FIXTURE LOCATIONS. UTILIZE SCHEDULE 40 PVC CONDUIT. EC TO COORDINATE ROUTING PER NEC 300.5 WITH ALL OTHER TRADES ON SITE.
- 5. INSTALL MINIMUM 30" X 18" X 24" DEEP GRADE LEVEL HANDHOLE PULLBOX. CONTRACTOR SHALL INCREASE BOX SIZE AS REQUIRED BY N.E.C. TO ACCOMMODATE QUANTITIES AND SIZES OF CONDUITS ENTERING AND LEAVING BOX. PROVIDE ADDITIONAL BOXES AS NEEDED TO REDUCE LENGTH AND/OR BENDS PER PULL.
- 6. AT EACH POLE LIGHT FIXTURE LOCATION, PROVIDE A CONCRETE BASE PER TYPICAL POLE LIGHT BASE DETAIL ON ELECTRICAL DETAIL & SCHEDULES SHEET. SET LIGHT POLE BASES 3'-0" BACK MEASURED FROM CENTER OF THE POLE BASE TO THE OUTSIDE EDGE OF THE CURB (OR, IF NO CURB, THE EDGE OF PAVEMENT).

ELECTRICAL SITE PLAN - ALTERNATE
 NORTH SCALE: 1" = 20'-0"



COVENTRY ELEMENTARY SCHOOL
 SITE RENOVATION
 820 DARLINGTON LANE
 CRYSTAL LAKE, IL 60014

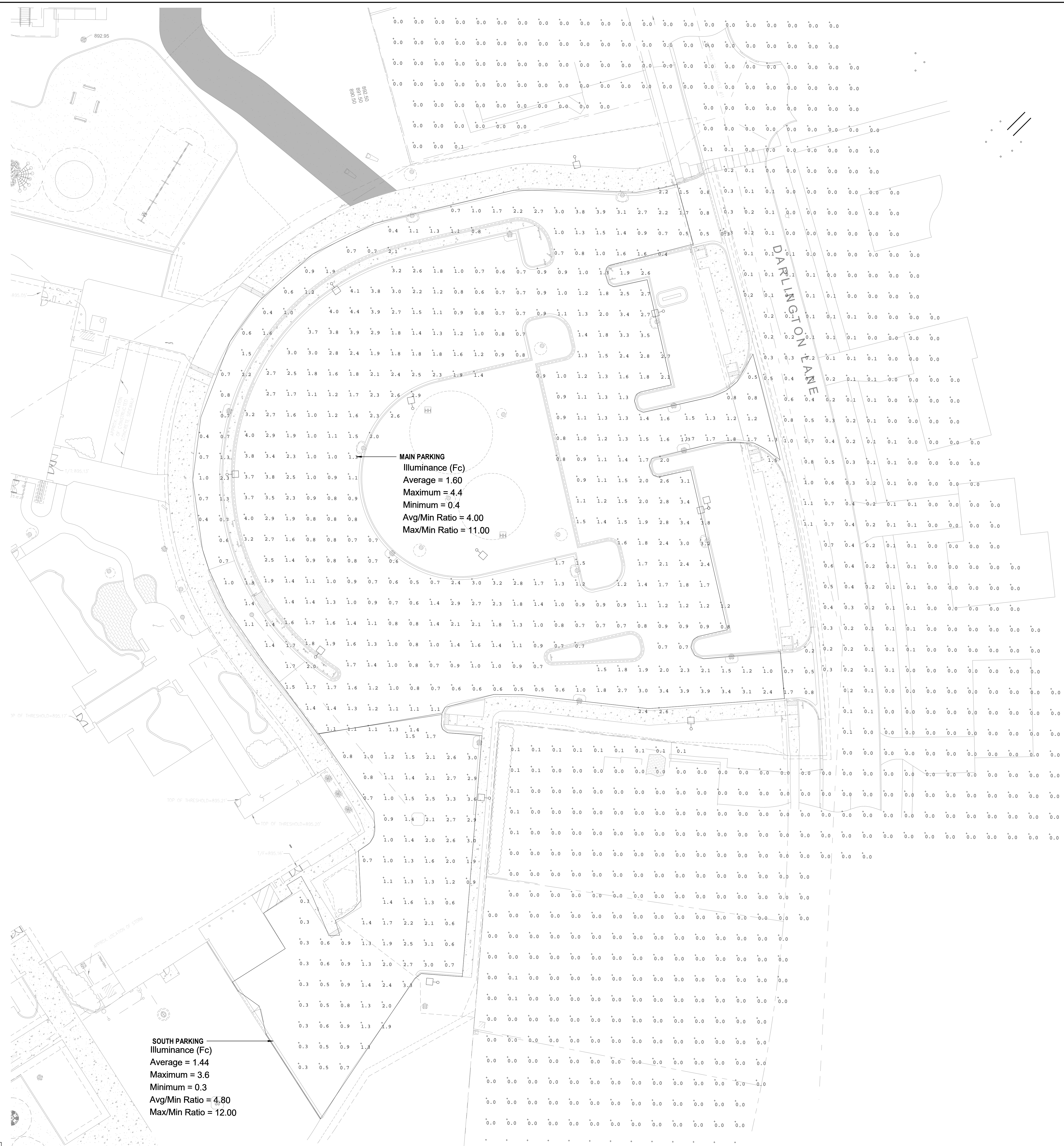
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 04/06/2020
 Revisions

22-10112-15
 ELECTRICAL SITE
 PLAN -
 ALTERNATE

ES1.1A

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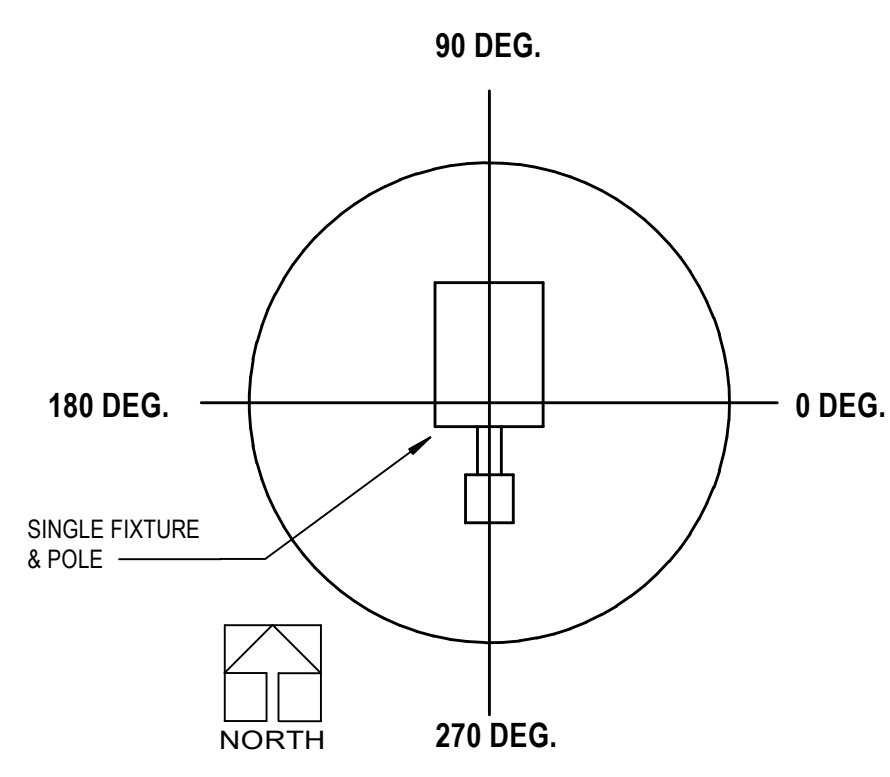
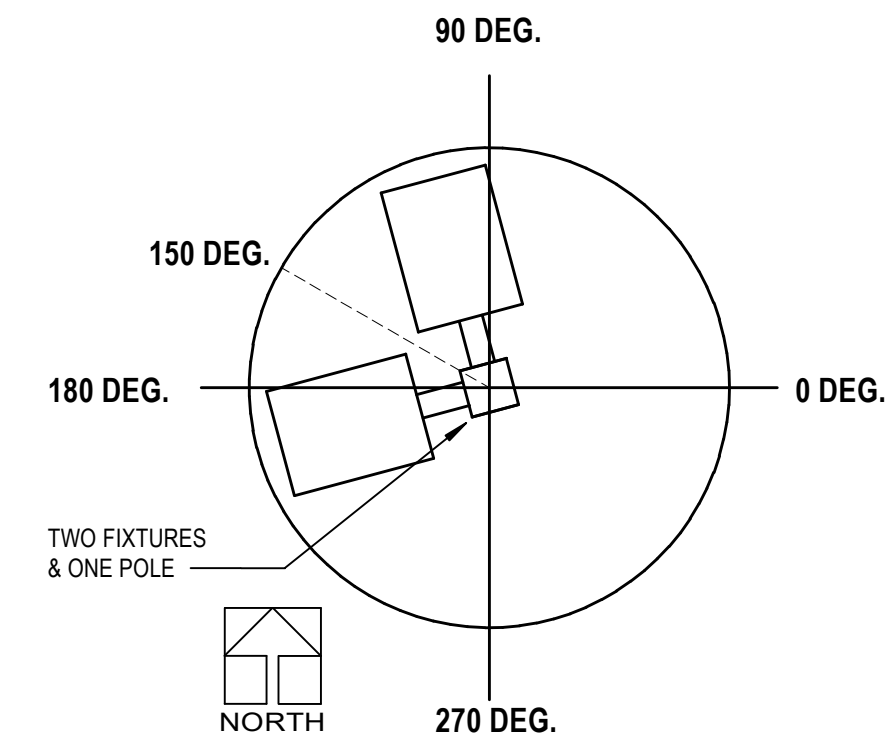
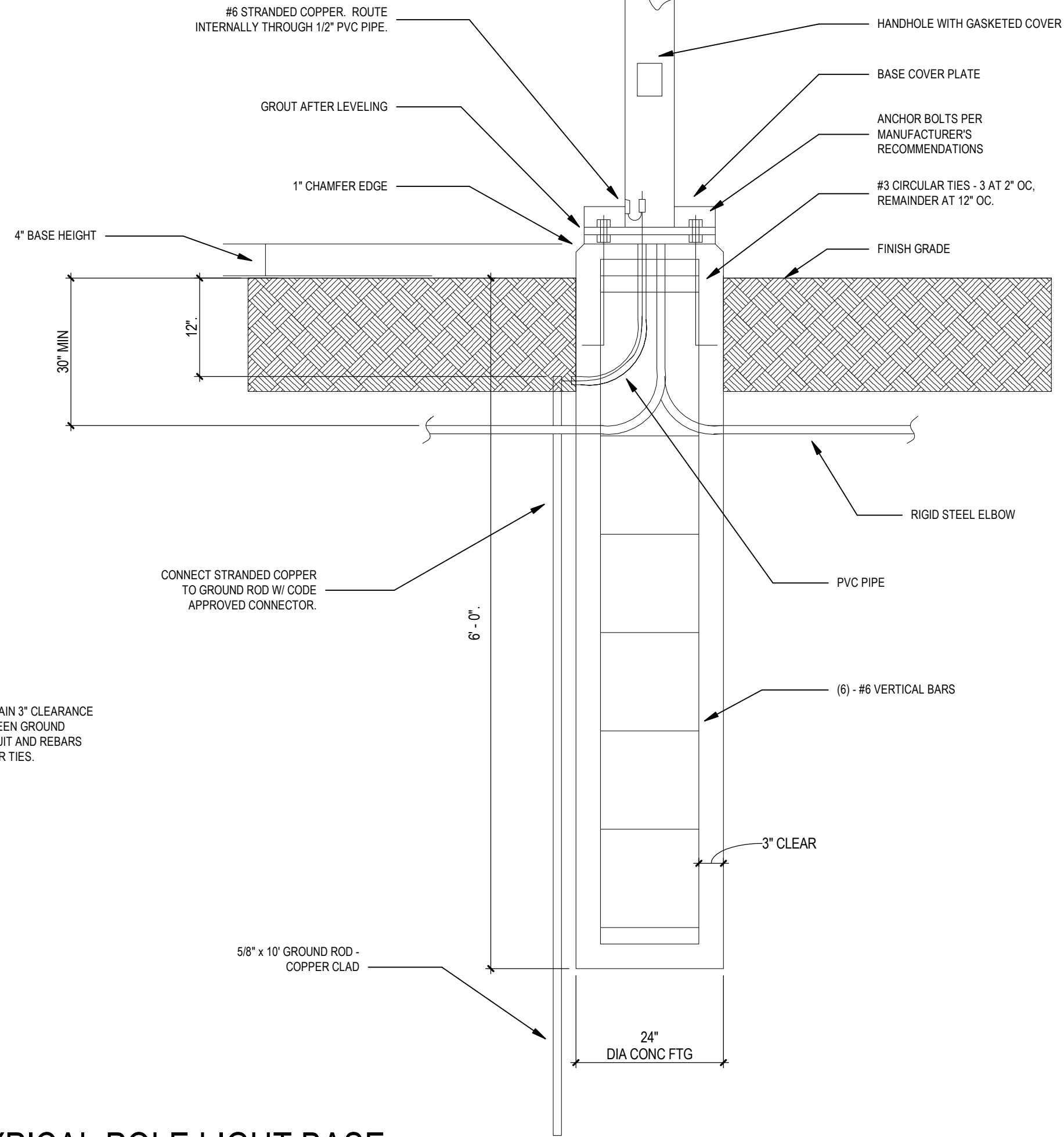


MAIN PARKING
 Illuminance (Fc)
 Average = 1.60
 Maximum = 4.4
 Minimum = 0.4
 Avg/Min Ratio = 4.00
 Max/Min Ratio = 11.00

SOUTH PARKING
 Illuminance (Fc)
 Average = 1.44
 Maximum = 3.6
 Minimum = 0.3
 Avg/Min Ratio = 4.80
 Max/Min Ratio = 12.00

PHOTOMETRIC SITE PLAN - ALTERNATE
 SCALE: 1" = 20'-0"





LumNo	Orient
13	180
15	270
29	160
31	30
34	200
35	320
36	100
37	270

NOTE: SEE LIGHT FIXTURE TAGS FOR LUMINAIRE NO. ON SITE PLANS

1 TYPICAL POLE LIGHT BASE
ES2.0 SCALE: 1/2" = 1'-0"

2 LUMINAIRE ORIENTATION
ES2.0 SCALE: 1/16" = 1'-0"

EXTERIOR LIGHT FIXTURE SCHEDULE - BASE BID

TYPE	MANUFACTURER	MODEL	LAMP	LOAD TYPE	LUMEN PACKAGE	MOUNTING	ELECTRICAL DATA	FINISH	DESCRIPTION
E2	McGRAW-EDISON	GLEON-AF-02-LED-E1-SL4-BZ-ZW-SWPD5BZ	4000K LED	0-10V	11838	20' ON SQUARE POLE	120 V/1-113 VA	29	TYPE 4 DISTRIBUTION WITH SPILL CONTROL, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINK WIRELESS SENSOR 20' MOUNTING HEIGHT
E3	McGRAW-EDISON	GLEON-AF-02-LED-E1-SL4-HSS-BZ-ZW-SWPD5BZ	4000K LED	0-10V	12205	20' ON SQUARE POLE	120 V/1-113 VA	15	TYPE 2 DISTRIBUTION WITH SPILL CONTROL AND HOUSE SIDE SHIELD, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINK WIRELESS SENSOR 20' MOUNTING HEIGHT
E6	McGRAW-EDISON	GLEON-AF-02-LED-E1-SL4-HSS-BZ-ZW-SWPD5BZ	4000K LED	0-10V	11838	20' ON SQUARE POLE	120 V/1-113 VA	13	TYPE 4 DISTRIBUTION WITH SPILL CONTROL, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINK WIRELESS SENSOR 20' MOUNTING HEIGHT
E9	McGRAW-EDISON	GLEON-AF-02-LED-E1-T4W-BZ-ZW-SWPD5BZ	4000K LED	0-10V	12371	20' ON SQUARE POLE	120 V/1-113 VA		TYPE 4 WIDE DISTRIBUTION, TWO LIGHT SQUARES, TWO HEADS AT 90 DEGREES, BRONZE FINISH, WAVELINK WIRELESS SENSOR 20' MOUNTING HEIGHT. APPARENT LOAD AND LUMEN PACKAGE NOTED FOR SINGLE HEAD
E10	McGRAW-EDISON	GLEON-AF-02-LED-E1-T3-BZ-ZW-SWPD5BZ	4000K LED	0-10V	12461	20' ON SQUARE POLE	120 V/1-113 VA		TYPE 3 DISTRIBUTION, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINK WIRELESS SENSOR 20' MOUNTING HEIGHT

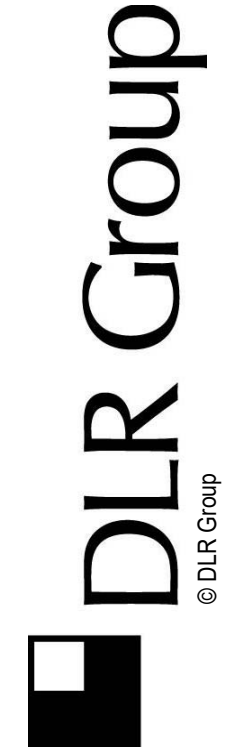
GENERAL NOTES:
1. PROVIDE LIGHT FIXTURE MANUFACTURER RECOMMENDED SQUARE POLE FOR FIXTURE MOUNTING. POLE SHALL HAVE EPA WIND LOAD RATINGS ACCORDING TO PROJECT LOCATION, TYPE OF HEAD, AND NUMBER OF HEADS ON POLE. POLE LENGTH SHALL BE MODIFIED SUCH THAT NO FIXTURE HEAD IS 20 FEET ABOVE FINISHED GRADE INCLUDING BASE HEIGHT.

EXISTING PANEL: MR														
LOCATION: LOSSBY A14				VOLTS: 208Y / 120				MOUNTING: FLUSH						
BUS RATING: 100 A				PHASES: 3				FED FROM: NSB-1						
MAIN BREAKER: MLO				WIRES: 4				INTEGRAL SPD: NO						
				SCCR: 10K				LUG ACCESSORIES: NONE						
CKT	CIRCUIT DESCRIPTION	BKR TRIP	P	BKR TYPE	LOAD TYPE	PHASE A (VA)	PHASE B (VA)	PHASE C (VA)	LOAD TYPE	BKR TYPE	P	BKR TRIP	CIRCUIT DESCRIPTION	CKT
1	EXISTING LIGHTING CLASSROOM	20	1	--	--	0	0		--	1	20	20	FURNACE	2
3	EXISTING LIGHTING CLASSROOM	20	1	--	--		0	0	--	1	20	20	FAN	4
5	SPARE	20	1	--	--				--	1	20	20	RECEPTACLES	6
7						0			--	2	40	40	AC UNIT ON ROOF	8
9							0	0	--	--	--	--		10
11	SPACE ONLY	--	--	--	--				--	1	20	20	SPARE	12
						TOTAL LOAD:								
						TOTAL AMPS:			0 A			0 A		

LOAD TYPE	LOAD DESCRIPTION	CONNECTED LOAD (VA)	DEMAN D.	ESTIMATED DEMAND (VA)	DEMAND FACTOR NOTES	BKR TYPE	PANEL TOTALS
L	LIGHTING	0 VA	0.00%	0 VA	CONTINUOUS LOAD @ 125%	G = GFCI (5mA)	CONNECTED LOAD: 0 KVA
R	RECEPTACLES	0 VA	0.00%	0 VA	FIRST 10KVA @ 100%, REMAINDER @ 50%	GP = GFCI (30mA)	ESTIMATED DEMAND: 0 KVA
K	KITCHEN	0 VA	0.00%	0 VA	NON-DWELLING KITCHEN LOADS, NEC ART. 220	ST = SHUNT TRIP	CONNECTED CURRENT: 0 A
LM	LARGEST MOTOR	0 VA	0.00%	0 VA	LARGEST MOTOR, NEC ART. 430	LO = LOCK OUT	EMD CURRENT: 0 A
M	MOTOR	0 VA	0.00%	0 VA			
C	COOLING	0 VA	0.00%	0 VA			
H	HEATING	0 VA	0.00%	0 VA			
O	OTHER	0 VA	0.00%	0 VA			
Spare	SPARE	0 VA	0.00%	0 VA			

NOTES:
1. EXISTING SINGLE POLE 20A CIRCUIT BREAKER SHALL BE REUSED FOR NEW PARKING LOT LIGHT FIXTURES.

EXTERIOR LIGHTING CONTROLS SCHEDULE			
SCHEDULE #1		CONTROL GROUP	SCHEDULE
TIME	% BRIGHTNESS	A	#1
7:00 AM - 5:00 PM	0		
5:00 PM	100		
7:00 PM	100		
8:00 PM	100		
9:00 PM	100		
10:00 PM	50		
11:00 PM	50		
12:00 AM	50		
1:00 AM	50		
2:00 AM	50		
3:00 AM	50		
4:00 AM	50		
5:00 AM	50		
6:00 AM	50		

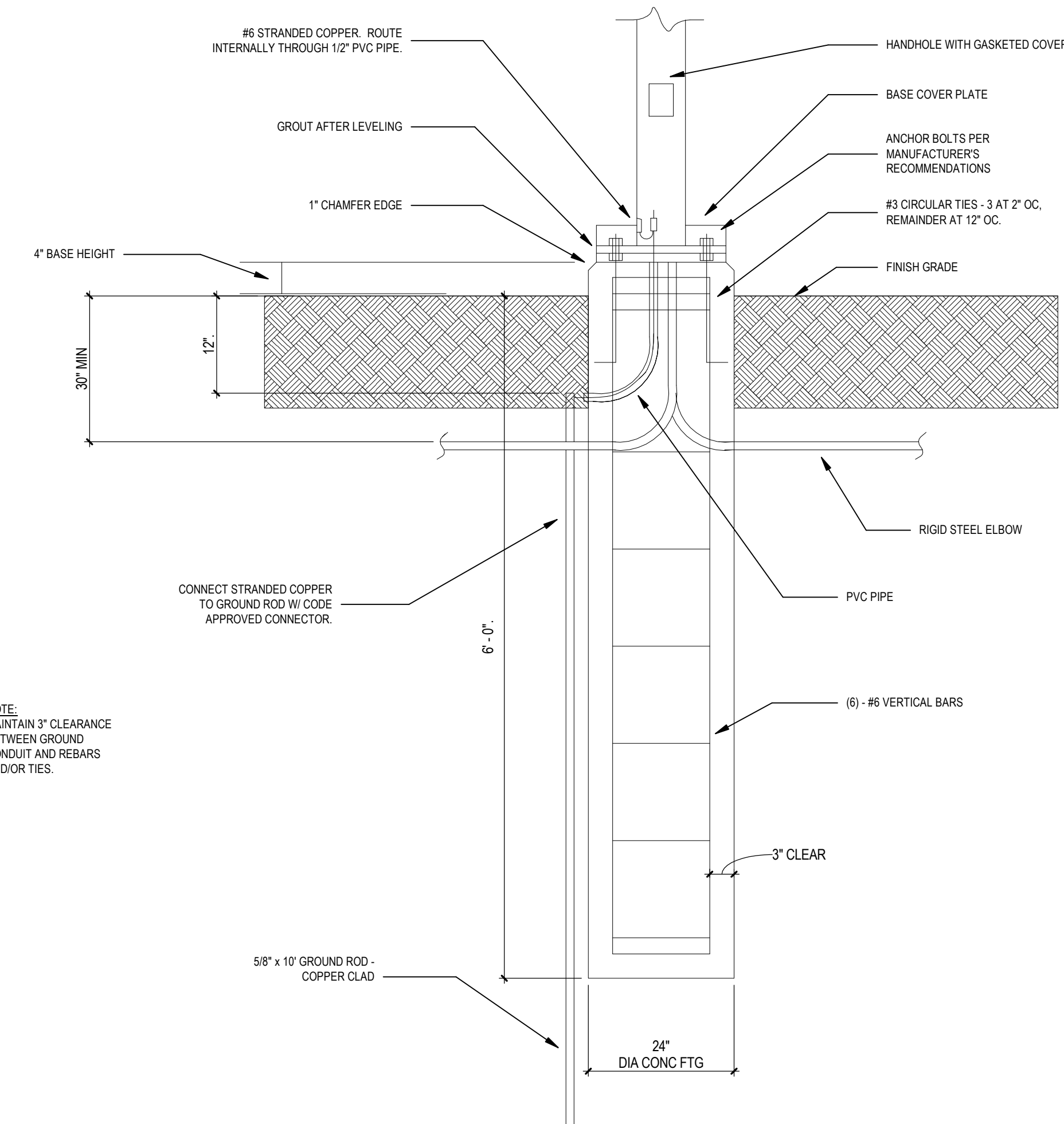


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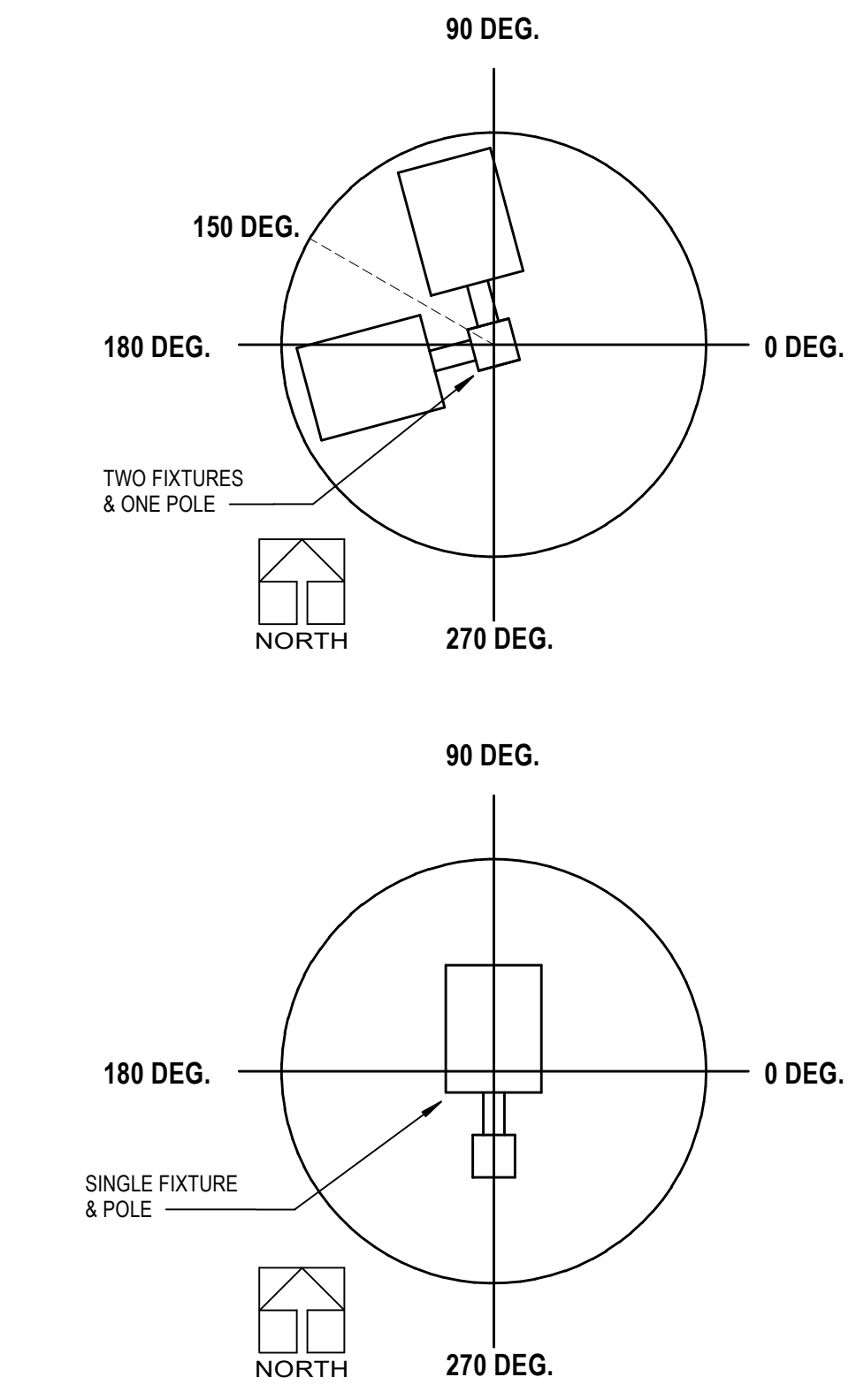
ISSUED FOR BID & PERMIT
04/06/2020
Revisions

22-10112-15
ELECTRICAL DETAILS & SCHEDULES - BASE BID

ES2.0



1 POLE LIGHT BASE DETAIL
ES2.0A NO SCALE



2 LUMINAIRE ORIENTATION
ES2.0A SCALE: 1/16" = 1'-0"

LumNo	Height
12	50
13	180
14	90
15	270
16	200
17	300
21	150
29	180

NOTE: SEE LIGHT FIXTURE TAGS FOR LUMINAIRE NO. ON SITE PLANS

EXTERIOR LIGHT FIXTURE SCHEDULE - ALTERNATE

TYPE	MANUFACTURER	MODEL	LAMP	LOAD TYPE	LUMEN PACKAGE	MOUNTING	ELECTRICAL DATA	FINISH	DESCRIPTION
E1	McGRAW-EDISON	GLEON-AF-02-LED-E1-T2-BZ-ZW-SWPD5BZ	4000K LED	0-10V	12225	20" ON SQUARE POLE	120 V/1-113 VA		TYPE 2 DISTRIBUTION, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E2	McGRAW-EDISON	GLEON-AF-02-LED-E1-SL4-BZ-ZW-SWPD5BZ	4000K LED	0-10V	11838	20" ON SQUARE POLE	120 V/1-113 VA		TYPE 4 DISTRIBUTION WITH SPILL CONTROL, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E3	McGRAW-EDISON	GLEON-AF-02-LED-E1-SL4-HSS-BZ-ZW-SWPD5BZ	4000K LED	0-10V	12205	20" ON SQUARE POLE	120 V/1-113 VA		TYPE 2 DISTRIBUTION WITH SPILL CONTROL AND HOUSE SIDE SHIELD, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E4	McGRAW-EDISON	GLEON-AF-02-LED-E1-SWQ-BZ-ZW-SWPD5BZ	4000K LED	0-10V	13122	20" ON SQUARE POLE	120 V/1-113 VA	12	TYPE 5 SQUARE WIDE DISTRIBUTION, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E5	McGRAW-EDISON	GLEON-AF-02-LED-E1-T4FT-BZ-ZW-SWPD5BZ	4000K LED	0-10V	12333	20" ON SQUARE POLE	120 V/1-113 VA	16	TYPE 4 FORWARD THROW DISTRIBUTION, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E6	McGRAW-EDISON	GLEON-AF-02-LED-E1-SL4-HSS-BZ-ZW-SWPD5BZ	4000K LED	0-10V	11838	20" ON SQUARE POLE	120 V/1-113 VA	13	TYPE 4 DISTRIBUTION WITH SPILL CONTROL, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E7	McGRAW-EDISON	GLEON-AF-02-LED-E1-SWQ-BZ-ZW-SWPD5BZ	4000K LED	0-10V	13122	20" ON SQUARE POLE	120 V/1-113 VA	21	TYPE 5 SQUARE WIDE DISTRIBUTION, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT
E8	McGRAW-EDISON	GLEON-AF-03-LED-E1-SWQ-BZ-ZW-SWPD5BZ	4000K LED	0-10V	19580	20" ON SQUARE POLE	120 V/1-166 VA	18	TYPE 5 SQUARE WIDE DISTRIBUTION, TWO LIGHT SQUARES, BRONZE FINISH, WAVELINX WIRELESS SENSOR 20" MOUNTING HEIGHT

GENERAL NOTES:
1. PROVIDE LIGHT FIXTURE MANUFACTURER RECOMMENDED SQUARE POLE FOR FIXTURE MOUNTING. POLE SHALL HAVE EPA WIND LOAD RATINGS ACCORDING TO PROJECT LOCATION, TYPE OF HEAD, AND NUMBER OF HEADS ON POLE. POLE LENGTH SHALL BE MODIFIED SUCH THAT NO FIXTURE HEAD IS 20 FEET ABOVE FINISHED GRADE, INCLUDING BASE HEIGHT.

EXISTING PANEL: MR		LOCATION: LOBBY A14		VOLTS: 208Y/120		MOUNTING: FLUSH	
BUS RATING: 100 A		MAIN BREAKER: MLO		PHASES: 3		FED FROM:	
				WIRES: 4		INTEGRAL SPD: NO	
				SCCR: 10K		LUG ACCESSORIES: NONE	

CKT	CIRCUIT DESCRIPTION	BKR TRIP	P	BKR TYPE	LOAD TYPE	PHASE A (VA)	PHASE B (VA)	PHASE C (VA)	LOAD TYPE	BKR TYPE	P	BKR TRIP	CIRCUIT DESCRIPTION	CKT
1	EXISTING LIGHTING CLASSROOM	20	1	--	--	0	0		--	1	20		FURNACE	2
3	EXISTING LIGHTING CLASSROOM	20	1	--	--				--	1	20		FAN	4
5	SPARE	20	1	--	--				--	1	20		RECEPTACLES	6
7	PARKING LOT (NOTE 1)	20	1	L	L	731	0		--	2	40		AC UNIT ON ROOF	8
9	PARKING LOT (NOTE 1)	20	1	L	L		678	0	--	--	--		SPARE	10
11	SPACE ONLY	--	--	--	--				--	1	20		SPARE	12
		TOTAL LOAD:				731 VA	678 VA	0 VA						
		TOTAL AMPS:				7 A	7 A	0 A						

LOAD TYPE	LOAD DESCRIPTION	CONNECTED LOAD (VA)	DEMAN D...	ESTIMATED DEMAND (VA)	DEMAND FACTOR NOTES	BKR TYPE	PANEL TOTALS
L	LIGHTING	1409 VA	125.00%	1761 VA	CONTINUOUS LOAD @ 125%	G = GFCC (5mA)	
R	RECEPTACLES	0 VA	0.00%	0 VA	FIRST 10KVA @ 100%, REMAINDER @ 50%	GP = GFCC (30mA)	CONNECTED LOAD: 1 kVA
K	KITCHEN	0 VA	0.00%	0 VA	NON-DWELLING KITCHEN LOADS, NEC ART. 220	ST = SHUNT TRIP	ESTIMATED DEMAND: 2 kVA
LM	LARGEST MOTOR	0 VA	0.00%	0 VA	LARGEST MOTOR, NEC ART. 430	LO = LOCK OUT	CONNECTED CURRENT: 4 A
M	MOTOR	0 VA	0.00%	0 VA			EMD CURRENT: 5 A
C	COOLING	0 VA	0.00%	0 VA			
H	HEATING	0 VA	0.00%	0 VA			
O	OTHER	0 VA	0.00%	0 VA			
Spare	SPARE	0 VA	0.00%	0 VA			

NOTES:
1. EXISTING SINGLE POLE 20A CIRCUIT BREAKER SHALL BE REUSED FOR NEW PARKING LOT LIGHT FIXTURES.

EXTERIOR LIGHTING CONTROLS SCHEDULE		
SCHEDULE #1	CONTROL GROUP	SCHEDULE
TIME	% BRIGHTNESS	
7:00 AM - 5:00 PM	0	A #1
6:00 PM	100	
7:00 PM	100	
8:00 PM	100	
9:00 PM	100	
10:00 PM	50	
11:00 PM	50	
12:00 AM	50	
1:00 AM	50	
2:00 AM	50	
3:00 AM	50	
4:00 AM	50	
5:00 AM	50	
6:00 AM	50	



COVENTRY ELEMENTARY SCHOOL
INTERIOR RENOVATION AND ADDITION
803 DARLINGTON LANE
CRYSTAL LAKE, IL 60014

ISSUED FOR
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10/07/2019
Revisions

22-19112-00
ELECTRICAL
DETAILS &
SCHEDULES -
ALTERNATE

ES2.0A