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#2019-113

**Raising Canes – Preliminary and Final PUD
Project Review for Planning and Zoning Commission**

<u>Meeting Date:</u>	May 6, 2020 public meeting and May 20, 2020 public hearing
<u>Request:</u>	Preliminary and Final Planned Unit Development for a new 3,316 square-foot limited service restaurant.
<u>Location:</u>	5417 Northwest Highway
<u>Acreage:</u>	Approximately 1.15 acres
<u>Existing Zoning:</u>	B-2 PUD General Commercial Planned Unit Development
<u>Surrounding Properties:</u>	North: B-2 PUD General Commercial South: M Manufacturing (Three Oaks Recreation Area) East: B-2 PUD General Commercial West: B-2 PUD General Commercial
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The site was a parking lot for the previous office building then a used car lot for Pauly Toyota. The previous buildings have been demolished and the site is now vacant.
- The site sits along Route 14 and backs to the Three Oaks Recreation Area. It is part of the Three Oaks Recreation Area Planned Unit Development Overlay District. It is the intent of the Three Oaks PUD Overlay District to promote orderly and high-quality development that is compatible with the character and use of Three Oaks, consistent with and complementary of the area's recreational uses and amenities and supportive of a strong and stable tax base.

Land Use Analysis:

ZONING

- The site is currently zoned B-2 PUD General Commercial. Limited Service Restaurant is a permitted use in the B-2 zoning district.
- The Comprehensive Land Use Plan designates this area as Commerce. The proposed restaurant use fits in the Commerce land use designation.

SITE PLAN

- The site is along Northwest Highway east of the Three Oaks Recreation Area entrance. There are two existing lots to the west that would be slated for redevelopment in the future.
- The site backs to the north lake of the Three Oaks Recreation Area. A future boardwalk is planned behind these lots. Raising Canes has provided a 20-foot area reserved for the future boardwalk. They have also planned for a connection from their site to this connection.
- The main access into the site functions as the entrance and exit. A cross-access easement would go west allowing other businesses to connect to this driveway with the anticipation that IDOT will limit the driveway connections along Route 14.
- The main access leads to the parking lot and then to the double drive-through lanes. A bypass lane is provided around the drive-through lane.
- The building is setback 80 feet from Route 14. There is a 50-foot building setback from the south property line established by the slope stabilization study. The building is outside of this rear yard setback.
- A sidewalk extends along the west side of the building and connects to the crosswalk leading to the future Three Oaks Recreation Area boardwalk.

TRAFFIC STUDY

- A traffic study was completed by Gewalt Hamilton on behalf of the petitioner. The traffic study meets the City's requirements.
- Final review and conditions will be determined by IDOT.

PARKING

- Parking for a Limited Service Restaurant is based on 1 space per 100 gross square feet, plus stacking for drive-through.
- The site is providing 36 spaces and 8 stacking spaces, 34 parking spaces and 8 stacking spaces are required. This meets our requirements.

ELEVATIONS

- The entire building is constructed with brick veneer with accent areas of Dryvit, stone ledges and other architectural accents.
- The front façade, facing Route 14, will accommodate an outside patio eating area.
- The color scheme blends reds, browns and white to best differentiate the façade planes and functions of the building like the Alpine white tower elements for doors and drive-through windows.

- Banding of soldier course brick defines the top portion of the façade and is found above the doors and windows.
- Dark awnings, metal framed windows and doors and metal top cap provide additional accents around the building.
- Staff has reviewed the elevations based on the criteria listed in the Design Standards. The project meets 8 of the 10 criteria with one being no and one being not applicable. Six of 10 are required to be considered meeting the design standards for architecture.
- Illumination is not permitted to outline portions of the building, the cove lighting shall be removed and a condition of approval has been added.

LANDSCAPE PLAN

- Landscaping parking lot screening strip is provided along the western perimeter of the site.
- Between the building and the parking area is a generous landscape strip containing, knockout rose bushes, dogwood, spirea and yews.
- Planted along the building are small boxwood bushes for the foundation base landscaping.
- Within the 20-foot area reserved for the future boardwalk are some Pyramid Pines and White Pines.
- Screening is provided around the trash enclosure and the transformer.

FLOOR PLAN

- Approximately 1/3 of the restaurant has been allocated for seating through booths, tables and counter seating. Additional seating is featured in the patio area.

SIGNAGE

- There are three (3) “Raising Cane’s” ID signs, a One Love sign above the front awning, a painted wall mural and a blue dog poster sign. Freestanding buildings are permitted 150 square feet of signage. Raising Canes is proposing 279.57 square feet, which will require a variation. The wall signage is detailed in the chart below.
- Inside the window, two illuminated signs are shown with one being an “open” sign, which is permitted. The other reads “chicken fingers,” which requires a variation to have an illuminated window sign.
- One freestanding monument sign is proposed at 8 feet in height and 31 square feet in area. This sign meets the requirements.
- The drive-through lanes will have a pre-order board of 8.3 square feet and a menu board of 32 square feet. There are two drive-through lanes. The drive-through lane signage can be 60 square feet; this meets that requirement.
- Flags are illustrated on top of the parapets along the front section of the building on the front and two side facades. 9 flags are shown at 24 x 36 each for a total of 54 square feet.

Sign Type	Square Footage	Total Square Feet
Raising Canes ID	32 SF x 3 each	96 SF
One Love	17.57 SF	17.57 SF
Raising Canes Mural	80 SF	80 SF

Blue Dog	32 SF	32 SF
Top Flags	6 SF x 9 each	54 SF

TOTAL SF 279.57 square feet

Findings of fact:

Preliminary and Final Planned Unit Development

The petitioner is requesting approval of a Preliminary and Final Planned Unit Development to allow the construction of a Limited Service Restaurant for a Raising Canes fast food restaurant with variations for signage. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*

9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition, PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.
 Meets Does not meet
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets Does not meet
3. PUDs must provide transitional uses to blend with adjacent development.
 Meets Does not meet
4. PUD phases must be logically sequenced.
 Meets Does not meet
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets Does not meet
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets Does not meet
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets Does not meet
8. Any private infrastructure shall comply with the city standards.
 Meets Does not meet
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets Does not meet
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets Does not meet

Planned Unit Development Variation

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations.

Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements, which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development, which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO, which are proposed as part of the Planned Development, be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variations from the UDO:

- 1) Article 4-1000 Signs. Freestanding buildings are permitted a total of 150 square feet of signage. Raising Canes is proposing 279.57 square feet. This is a variation of 129.57 square feet.
- 2) Article 4-1000 Signs. Window signs are to be non-illuminated; they have proposed a 5 square foot illuminated “Chicken Fingers” sign. This is a variation to allow the sign to be illuminated.
- 3) Article 4-800 D 3.a.(i).II Exterior Lighting. To allow exterior lighting to illuminate entire portions of the building through the proposed cove lighting.
- 4) Deferral from the burial of the overhead utility lines until an area-wide program is established.

Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan designates the subject property as Commercial, which allows for existing and future commercial and business uses. The following goal is applicable to this request:

Land Use – Commercial

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting actions:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Success Indicator: The number of new “chain store” occupancies.

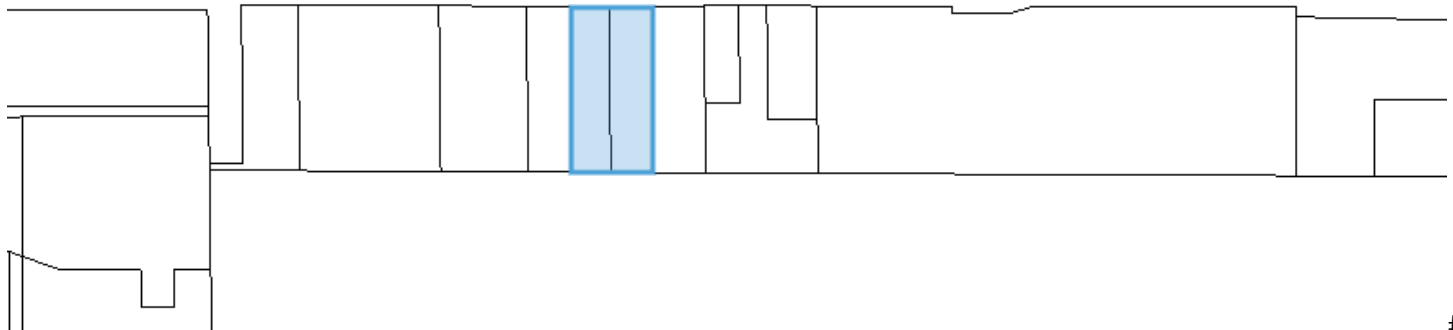
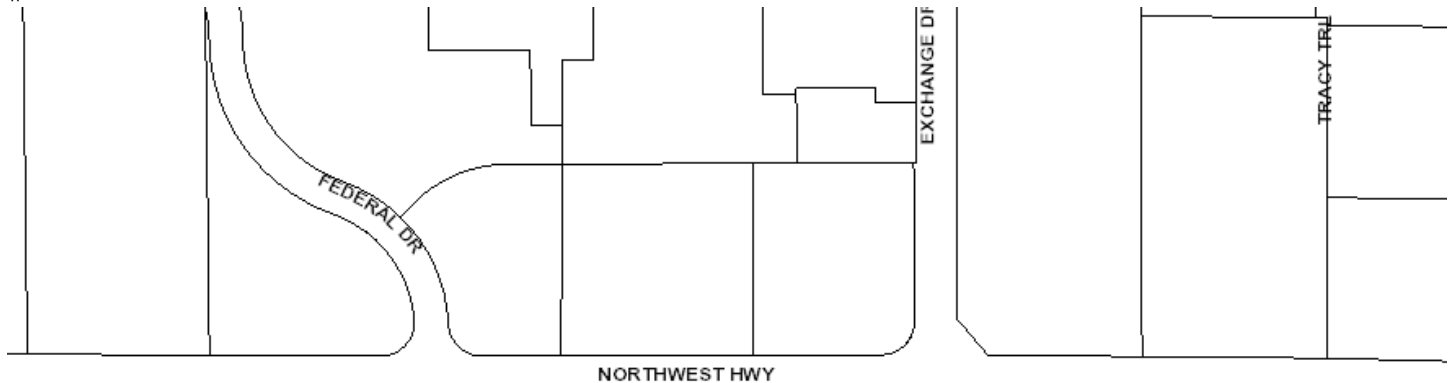
Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Raising Canes, received 07/03/19)
 - B. Plan Set (ADA Architects, dated 03/06/20, received 03/06/20)
 - C. Architecture (ADA Architects, dated 07/08/20, received 03/10/20)
 - D. Elevations (ADA Architects, undated , received 03/06/20)
 - E. Signage (AGI ,dated 02/25/20, received 04/25/20)
 - F. Stormwater Report (Kimley-Horn and Assoc., dated 03/06/20, received 03/06/20)
 - G. Traffic Study (Gewalt Hamilton, dated 06/11/19, updated 03/13/20, received 03/13/20)
2. Site Plan
 - A. All municipal utilities are required to be in a Municipal Utility Easement (MUE). A Plat of Easement is required to be provided to the City.
 - B. Provide a sidewalk along the frontage of the lot.
3. Landscape Plan
 - A. Add a tree and 5 shrubs to the landscape end island just to the east of the monument sign.
 - B. Add some landscape shrubs along the curve of the drive-through to screen any headlights exiting the drive-through to Route 14.
4. Elevations
 - A. Remove all cove lighting or illuminated banding around the building.
 - B. Eliminate all flags mounted on the parapets.
5. The brick base of the sign shall match the EWF-4 Alamo with Sack Rub.
6. Raising Canes shall participate with the City during the construction of the boardwalk and related amenities like benches, gazebos, etc. along their property.
7. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments, as well as the City's Stormwater Consultant and the final approved Traffic Study.

PLN-2019-00113 RAISING CANE'S RESTAURANT – 5417 NORTHWEST HWY

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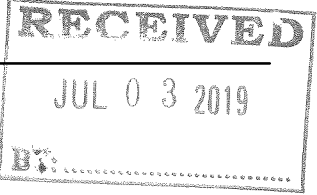
City of Crystal Lake Development Application

PLN-2019-00113

Office Use Only

File # _____

Project Title: RAISING CANE'S RESTAURANT



Action Requested

- | | |
|-------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Annexation | <input checked="" type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Jeff Gould
Address: 17710 Detroit Ave
Lakewood OH 44107
Phone: 216-521-5134
Fax: 216-521-4824
E-mail: jgould@adaarchitects.cc

Owner Information (if different)

Name: GW Crystal Lake LLC
Address: 2211 N. Elston Suite 304
Chicago, IL 60614
Phone: 773-382-0590
Fax: 773-796-3037
E-mail: mitch@gwproperties.com

Property Information

Project Description: Proposed drive-through restaurant. Work includes demolition of existing structure, construction of new restaurant building, including parking lot, drive-through aisle, lighting, signage, and landscaping.

Project Address/Location: 5417 Northwest Highway Crystal Lake, IL

PIN Number(s): 1909201001

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: ADA Architects Inc. 17710 Detroit Ave Lakewood OH 44107 216-521-5134 jgould@adaarchitects.cc

Attorney: _____

Engineer: Kimley-Horn 1001 Warrenville Road, Suite 350, Lisle, IL 60532 630-487-3449 jason.cooper@kimley-horn.com

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

Jeffery Gould Jeff Gould 7/2/19
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Mitch Goltz Mitch Goltz 07/02/2019
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

K:\CHS_DEV\1841801_404\working\crystal\1841801_404.dwg - COVER SHEET.dwg
 This document, together with the complete design presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, has no other legal effect or value, and its use for any other purpose without the written authorization of the engineer and architect is prohibited. No part of this document shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the engineer and architect.

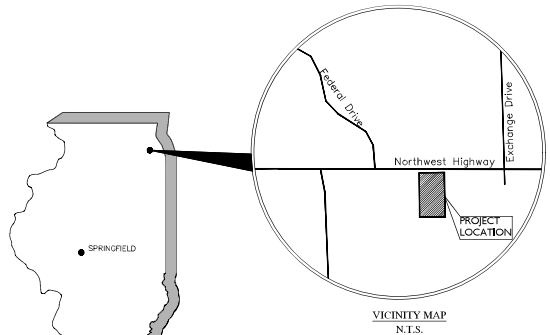
PRELIMINARY CIVIL CONSTRUCTION PLANS FOR



RESTAURANT # 496 NORTHWEST HIGHWAY CITY OF CRYSTAL LAKE MCHENRY COUNTY, IL 60014

GOVERNMENT/UTILITY CONTACTS

PUBLIC WORKS DEPARTMENT DEPARTMENT	CITY OF CRYSTAL LAKE 100 WEST WOODSTOCK STREET CRYSTAL LAKE, IL 60014
CONTACT: MICHAEL MAGNUSSEN (BUILDING COMMISSIONER) ELIZABETH MAXWELL (CITY PLANNER) MARTY BROWN (COMMERCIAL PLANS EXAMINER) DAVID KAUS (PLUMBING INSPECTOR) ART LUTHERUS (FIRE INSPECTOR)	(815) 355-3797 (815) 355-3797 (815) 355-2625 X 4002 (815) 355-2625 (815) 355-3700 X 4137
SANITARY/STORM SEWER	CITY OF CRYSTAL LAKE 100 WEST WOODSTOCK STREET CRYSTAL LAKE, IL 60014
CONTACT: TBD	(815) 355-3797
POWER COMPANY	COMED
CONTACT: TBD	
NATURAL GAS COMPANY	NICOR GAS
CONTACT: TBD	
TELEPHONE COMPANY	AT&T
CONTACT: TBD	



SITE LOCATION MAP

(NOT TO SCALE)

- NOTES:
- IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

INDEX OF SHEETS

Sheet Number	Sheet Title
C1.0	COVER SHEET
V0.0	ALTA SURVEY
C5.0	SITE KEYNOTE PLAN
C5.1	DIMENSION CONTROL PLAN
C5.2	STRIPING AND SIGNAGE PLAN
C6.0	GRADING PLAN
C7.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES & DETAILS

PLANS SUBMITTAL/REVIEW LOG

NO.	DESCRIPTION	DATE	MILESTONE

ENGINEER
Kimley-Horn
1001 WARRENVILLE ROAD
SUITE 300
Lisle, IL 60532
PH. (331) 481-7330
CONTACT: TOM SZAFRANSKI, P.E.

OWNER/DEVELOPER
Raising Cane's
RAISING CANES RESTAURANT, LLC
6800 BISHOP ROAD
PLANO, TX 75024
(P) (972) 786-3364
CONTACT: LUARON FOSTER

ARCHITECT
ADA
ARCHITECTS, INC.
17710 DETROIT AVENUE
LAKEWOOD, OH 44107
(P) (216) 521-5154
CONTACT: JEFF POUNTNEY

BENCHMARKS

REFERENCE BENCHMARK #1: CRYSTAL LAKE 26 STATION #654 STEEL ROD BY LODG CAP AT THE SOUTHWEST CORNER OF THE WOODSTOCK STREET AND MARK STREET. DATUM: NAVD83	ELEVATION = 928.25
REFERENCE BENCHMARK #2: MCHENRY COUNTY BENCHMARK STATION #953 DATUM: NAVD83	ELEVATION = 880.67
SITE BENCHMARKS:	
SITE BENCHMARK #1 NORTH BOLT ON LIGHT POLE BASE LOCATED 20 FEET NORTH AND 70 FEET EAST OF THE NORTHEAST CORNER OF SUBJECT PROJECT'S BUILDING.	ELEVATION = 915.61
SITE BENCHMARK #2 NORTH BOLT ON FIRE HYDRANT IN SOUTH RIGHT OF WAY OF US ROUTE 14 (NORTHWEST HIGHWAY).	ELEVATION = 913.95

PROFESSIONAL ENGINEER'S CERTIFICATION

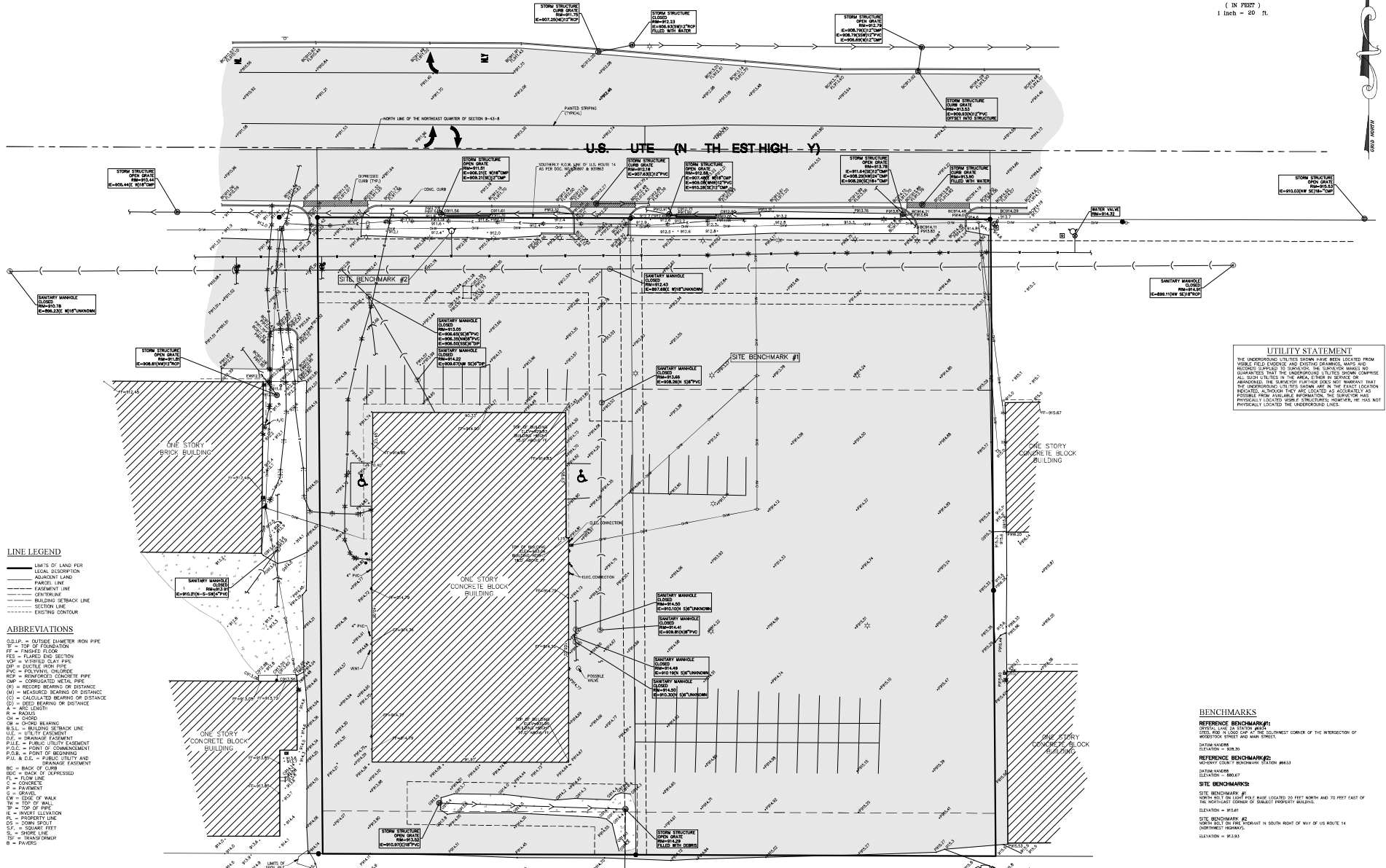
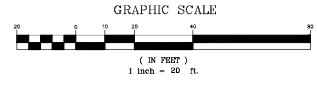
I, THOMAS J. SZAFRANSKI, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF RAISING CANES, LLC BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 6TH DAY OF MARCH, A.D., 2020.

Thomas J. Szafanski
IL LICENSED PROFESSIONAL ENGINEER 062-070698
MY LICENSE EXPIRES ON NOVEMBER 30, 2021.



ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

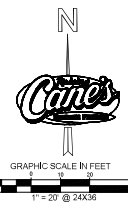
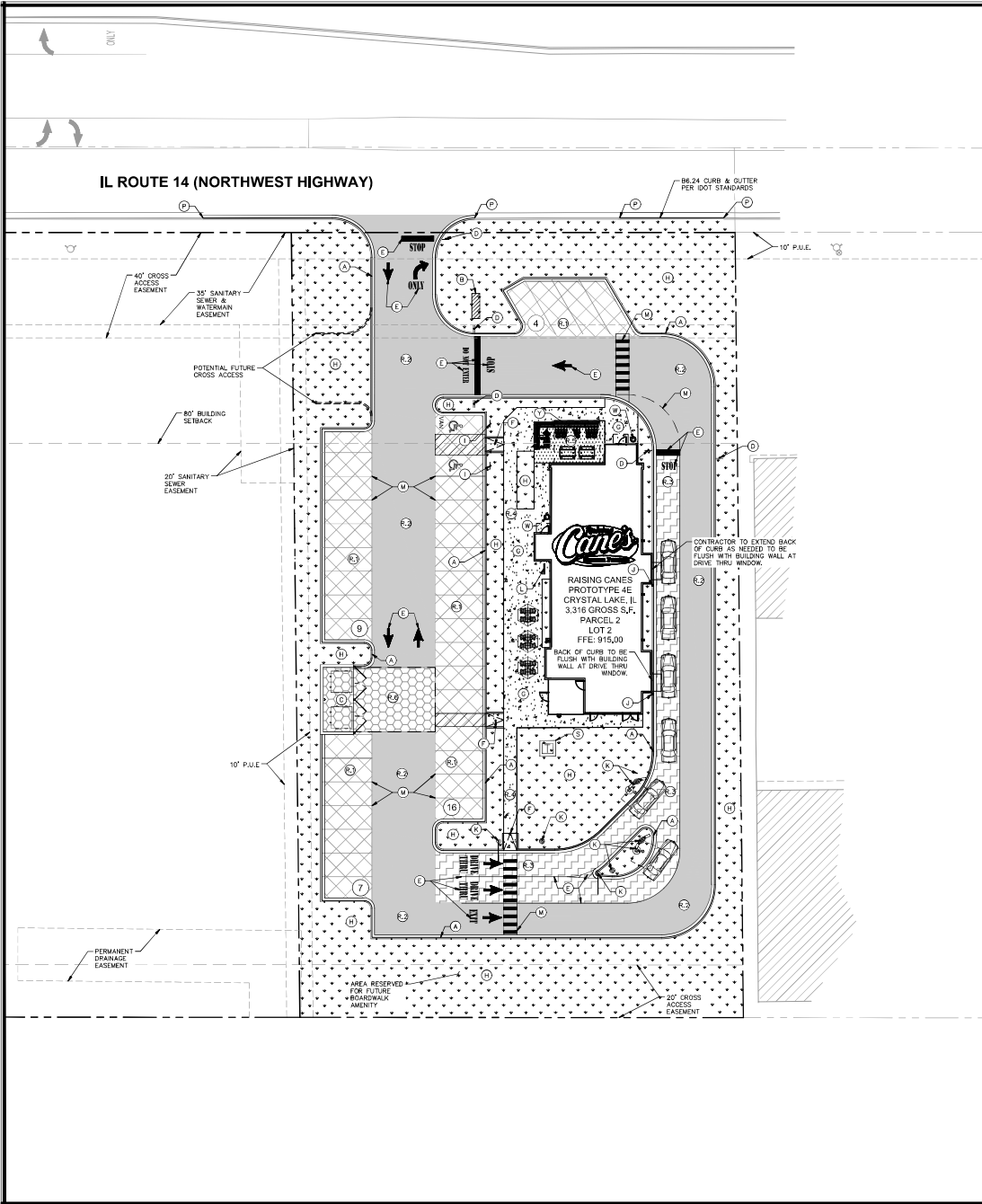


UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISUAL FIELD SURVEY AND EXISTING RECORDS. VISUAL FIELD RECORDS LIMITED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA. LIMITS IN SERVICES OR APPROXIMATE. THE SURVEYOR FOR OR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION, THE SURVEYOR HAS PHYSICALLY LOCATED SOME UTILITIES. HOWEVER, WE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

- LINE LEGEND**
- LIMITS OF LAND PER LEGAL DESCRIPTION
 - ADJACENT LAND
 - PARCEL LINE
 - EASEMENT LINE
 - CENTERLINE
 - BUILDING SETBACK LINE
 - SECTION LINE
 - EXISTING CONTOUR
- ABBREVIATIONS**
- ODUP = OUTSIDE DIAMETER IRON PIPE
 - SL = TOP OF FOUNDATION
 - FF = FINISHED FLOOR
 - FES = FINISHED EASEMENT
 - VSP = VITRIFIED CLAY PIPE
 - CRP = CORRUGATED METAL PIPE
 - PVC = POLYVINYL CHLORIDE
 - RCF = REINFORCED CONCRETE PIPE
 - MB = MEASURED BEARING OR DISTANCE
 - CD = CALCULATED BEARING OR DISTANCE
 - X = ARC LENGTH
 - R = RADIUS
 - CH = CHORD
 - CB = CURVE BEARING
 - B.S.L. = BUILDING SETBACK LINE
 - U.E. = UTILITY EASEMENT
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - P.O.B. = POINT OF BEGINNING
 - ST.A.E.S. = PUBLIC UTILITY AND STRANGE EASEMENT
 - S.D. = BACK OF CURB
 - FL = FLOW LINE
 - C = CONCRETE
 - F = FINISHMENT
 - E.W. = EDGE OF WALK
 - T.O.P. = TOP OF WALL
 - B. = BENCHMARK ELEVATION
 - D.S. = DOWN SPOUT
 - S.C. = SQUARE FEET
 - S.L. = SINKHOLE
 - R.F. = RECONSTRUCTED
 - P. = PAVED

- BENCHMARKS**
- REFERENCE BENCHMARK #1:**
SITE: SEE U.S. DOT MAP, THE SOUTHWEST CORNER OF THE INTERSECTION OF WOODSLEY STREET AND WASH. STREET
- REFERENCE BENCHMARK #2:**
SHENNY COUNTY BENCHMARK STATION #8623
ELEVATION = 366.47
- DATE:** 04-1-19
- PROJECT:** COMPASS SURVEYING LTD
ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY
3501 GARDNER WOODS PARKWAY, SUITE 100
AUBURN, IL 62602
PHONE: (618) 297-7774 FAX: (618) 297-7773
WWW.COMPASSSURVEYING.COM
- SCALE:** 1" = 50'
- V0.0**
- PROJECT NO: 19.0075

DATE:	04-1-19
FC:	TC
BY:	BY
NO.:	NO.
CHK:	CHK
CRK:	CRK
BY:	BY
DATE:	DATE
NO.:	NO.
CLIENT:	Kimley-Horn 1001 WINDMILL AVENUE, SUITE 300 AUBURN, ILLINOIS 62602 PHONE: (618) 297-7774 WWW.KIMLEY-HORN.COM
PROJECT:	Compass SURVEYING LTD ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY 3501 GARDNER WOODS PARKWAY, SUITE 100 AUBURN, IL 62602 PHONE: (618) 297-7774 FAX: (618) 297-7773 WWW.COMPASSSURVEYING.COM
SCALE:	1" = 50'
VERSION:	V0.0
PROJECT NO:	19.0075



SITE LEGEND

(A)	86.24 BARRIER CURB & GUTTER. SEE CONSTRUCTION DETAILS.
(B)	PROPOSED CANE'S MONUMENT SIGN. SEE SIGNAGE PLAN FOR DETAILS.
(C)	TRUCK INWASH DUMPSTER LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
(D)	SITE DIRECTIONAL SIGN. SEE SHEET CS.2- STRIPING AND SIGNAGE PLAN.
(E)	DIRECTIONAL PAVEMENT MARKING. SEE SHEET CS.2- STRIPING AND SIGNAGE PLAN.
(F)	BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS.
(G)	CONCRETE SIDEWALK. SEE CONSTRUCTION DETAILS.
(H)	LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS.
(I)	ACCESSIBLE PARKING SIGN.
(J)	6" PIPE BOLLARD. SEE CONSTRUCTION DETAILS.
(K)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. SEE ARCHITECTURAL PLANS FOR DETAILS.
(L)	BIKE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
(M)	PAVEMENT STRIPING. SEE SHEET CS.2- STRIPING AND SIGNAGE PLAN.
(N)	NOT USED.
(O)	NOT USED.
(P)	PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTINUOUS TRANSITIONS.
(Q)	NOT USED.
(R)	STANDARD DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
(S)	HEAVY DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
(T)	HEAVY DUTY INTEGRAL COLORED CONCRETE PAVEMENT. SEE CONSTRUCTION DETAILS AND GENERAL NOTES.
(U)	STANDARD DUTY CONCRETE PAVEMENT. FOR SIDEWALK. SEE CONSTRUCTION DETAILS.
(V)	PAVED AREA CONCRETE PAVING. SEE ARCHITECTURAL PLANS FOR DETAILS.
(W)	HEAVY DUTY INTEGRAL COLORED CONCRETE PAVEMENT AT TRASH ENCLOSURE. SEE CONSTRUCTION DETAILS.
(X)	TRANSFORMER PAD LOCATION. SEE ELECTRICAL PLANS FOR DETAILS.
(Y)	NOT USED.
(Z)	LIGHT POLE. SEE LIGHTING PLANS FOR DETAILS.
(AA)	NOT USED.
(AB)	TRASH RECEPTACLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
(AC)	NOT USED.
(AD)	COVERED PATIO. SEE ARCHITECTURAL PLANS FOR DETAILS.
(AE)	NOT USED.

LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PROPOSED CONCRETE CURB & GUTTER
---	EXISTING CURB & GUTTER
(#)	PROPOSED PARKING COUNT
(#)	STANDARD DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
(#)	HEAVY DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
(#)	HEAVY DUTY CONCRETE PAVEMENT - INTEGRAL COLOR (NO GRANITE BROWN COLOR). SEE GENERAL NOTES - PAVING NOTES.
(#)	STANDARD DUTY CONCRETE FOR SIDEWALKS. SEE CONSTRUCTION DETAILS.
(#)	PAVED CONCRETE PAVEMENT. SEE ARCHITECTURAL PLANS.
(#)	HEAVY DUTY CONCRETE PAVEMENT AT TRASH ENCLOSURE. INTEGRAL COLOR (NO GRANITE BROWN COLOR). SEE CONSTRUCTION DETAILS.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - EXISTING STRUCTURES (WITHIN CONSTRUCTION LIMITS) ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS, POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS AND PROJECT SPEC WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
 - EXISTING SITE BOUNDARY TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY COMPASS SURVEYING, LTD. DATED MARCH 19TH 2018.
 - ALL PROPOSED PAVING IN STATE R.O.W. AND EASEMENTS TO CONFORM TO DOT STANDARDS.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
 - CONTRACTOR SHALL SAWCUT ALONG ALL EXISTING PAVEMENT TO PROVIDE CLEAN UNIFORM SURFACE TO BE BUILT PROPOSED PAVEMENT.
 - CONTRACTOR TO VERIFY STATUS OF FUTURE CROSS ACCESS DRIVE WITH ENGINEER PRIOR TO CONSTRUCTING SITE CURBS.

BENCHMARKS

REFERENCE BENCHMARK #1:
CRYSTAL LAKE 2" STATION IRON STEEL ROD IN LOGO CAP AT THE SOUTHWEST CORNER OF THE INTERSECTION OF THE WOODSTOCK STREET AND MAIN STREET. ELEVATION = 828.35
DATUM: NAVD83

REFERENCE BENCHMARK #2:
WORTHEN COUNTY BENCHMARK STATION #6533 ELEVATION = 888.47
DATUM: NAVD83

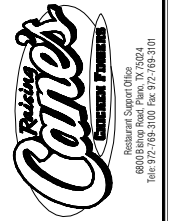
SITE BENCHMARKS

SITE BENCHMARK #1
NORTH BOLT ON LIGHT POLE BASE LOCATED 20 FEET NORTH AND 70 FEET EAST OF THE NORTHWEST CORNER OF SUBJECT PROPERTY BUILDING. ELEVATION = 815.81

SITE BENCHMARK #2
NORTH BOLT ON FIRE HYDRANT IN SOUTH RIGHT OF WAY OF US ROUTE 14 NORTHWEST HIGHWAY. ELEVATION = 913.93

SITE ANALYSIS TABLE

EXISTING ZONING	R2-GENERAL COMMERCIAL (RM PUD)
PROPOSED USE	RESTAURANT WITH DRIVE THRU
LOT AREA	50,413 SF / 1.157 AC
GROSS BUILDING AREA	3,316 SF
REQUIRED	PROVIDED
TOTAL PARKING	M SPACES 38 SPACES
ACCESSIBLE	Z SPACES 2 SPACES



PROTOTYPE ISSUE DATE: 11/02/2018
STORE: RAISING CANE'S RESTAURANT NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014 STORE #RC496



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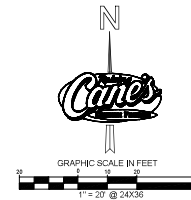
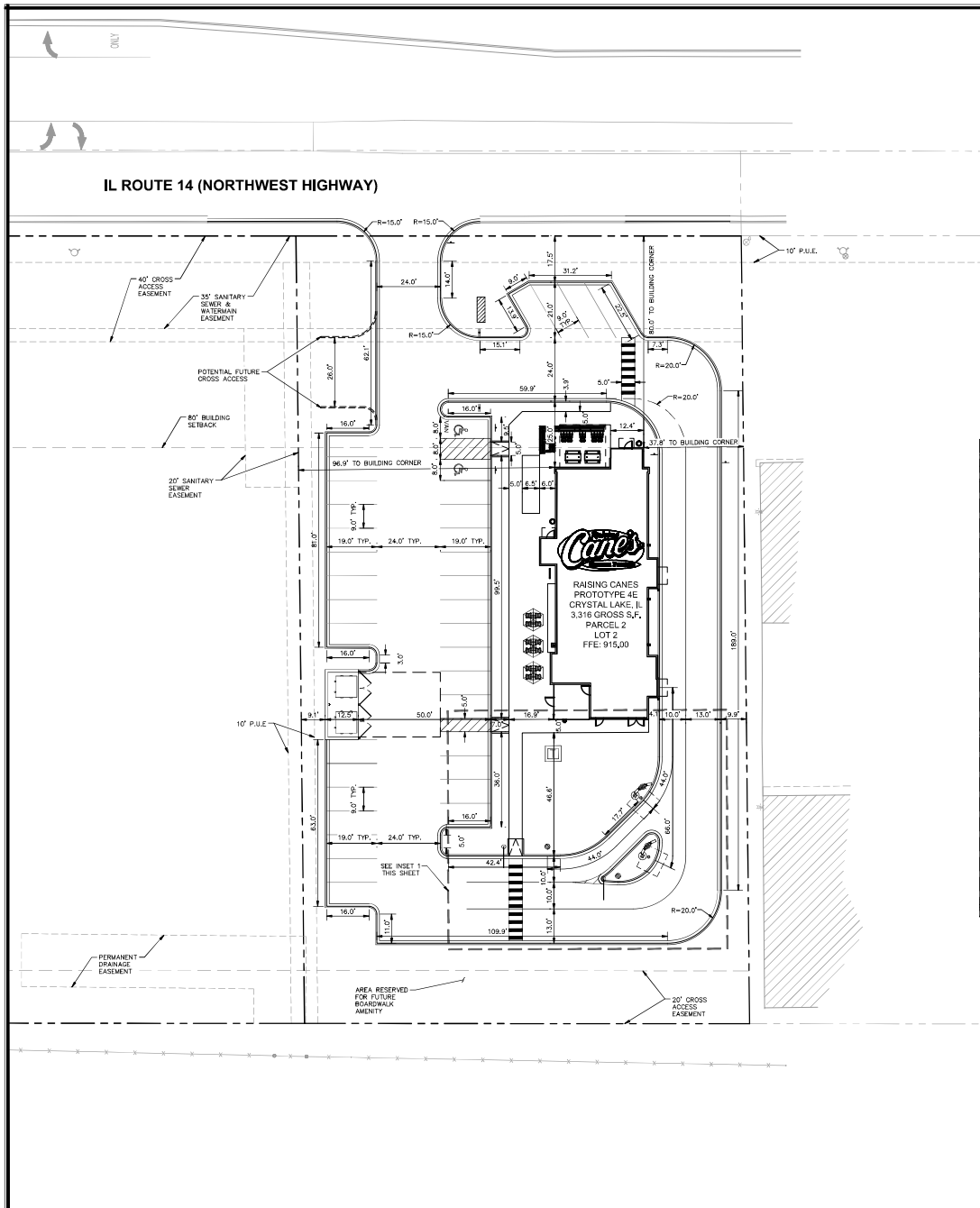
ENGINEER INFORMATION:
Kimley-Horn
100 WARENE ROAD, SUITE 300, LAWRENCEVILLE, GA 30046
PHONE: 770-962-5500
WWW.KIMLEY-HORN.COM
KH JOB NO. 168418014

SHEET REVISIONS

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SITE KEYNOTE PLAN

DATE: 03/06/2020
JOB NO.: 19101
C5.0
SHEET NO.

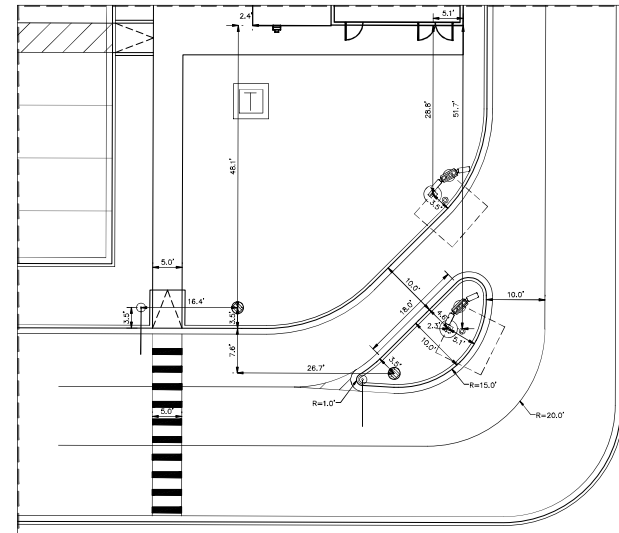


DIMENSION NOTES

1. ALL CURB RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
4. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PROPOSED CONCRETE CURB
- EXISTING CURB



REFERENCE ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATION OF MENU BOARD, HEIGHT DETECTOR AND PRE-ORDER BOARD.

BENCHMARKS

- REFERENCE BENCHMARK #1
NORTHWEST CORNER BENCHMARK STATION #8934
CRYSTAL LAKE 25 STATION #8934
STEEL ROD IN LOOP CAP AT THE SOUTHWEST CORNER OF THE WOODSTOCK STREET AND MAIN STREET.
DATUM: NAVD83 ELEVATION = 928.35
- REFERENCE BENCHMARK #2
NORTHWEST CORNER BENCHMARK STATION #8933
DATUM: NAVD83 ELEVATION = 880.87
- SITE BENCHMARKS:
- SITE BENCHMARK #1
NORTH NAIL ON LEAST PILE BASE LOCATED 30 FEET NORTH AND 70 FEET EAST OF THE NORTHEAST CORNER OF SUBJECT PROPERTY BUILDING.
ELEVATION = 915.51
- SITE BENCHMARK #2
NORTH NAIL ON FIRE HYDRANT IN SOUTH RIGHT OF WAY OF US ROUTE 14 (NORTHWEST HIGHWAY).
ELEVATION = 913.33



Restaurant & Banquet Offices
6800 Bishop Road, Frank, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE 11/02/2018

STORE
RAISING CANES RESTAURANT
NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014
STORE #RC496

PROFESSIONAL OF RECORD: MARTIN SCHWARTZ
ARCHITECTS, INC.
1710 W. 120th Street, Suite 100, Lincolnwood, IL 60467
Phone (708) 524-5134 Fax (708) 524-4824
www.adarchitects.com

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ENGINEER INFORMATION
Kimley-Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
100 WARRENVILLE ROAD, SUITE 300, IL 60522
PHONE: 630-467-3500
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418014

SHEET REVISIONS

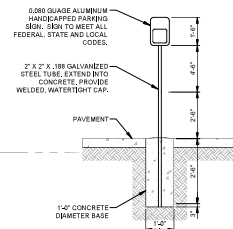
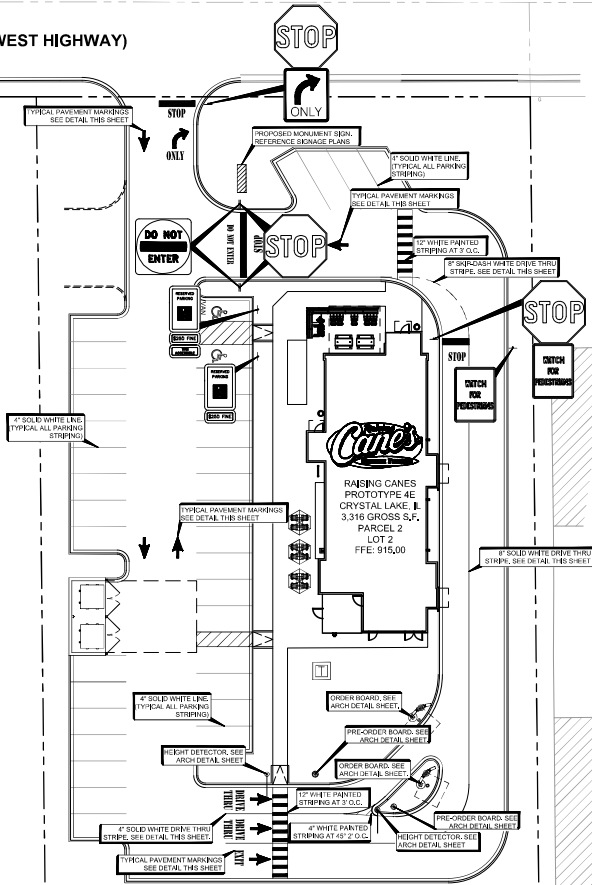
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DIMENSION CONTROL PLAN

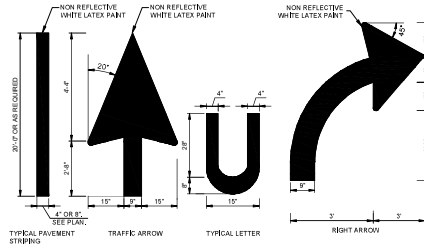
DATE 03/06/2020
JOB NO. 19101

C5.1
SHEET NO.

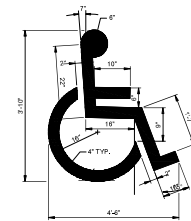
IL ROUTE 14 (NORTHWEST HIGHWAY)



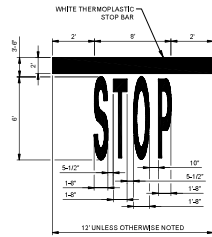
"HANDICAPPED PARKING" SIGN POST DETAIL
N.T.S.



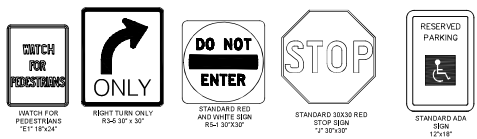
TYPICAL PAVEMENT MARKINGS
N.T.S.



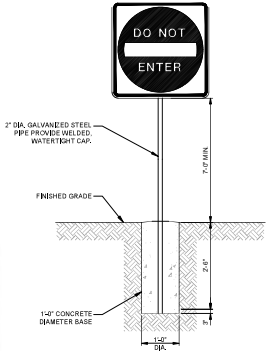
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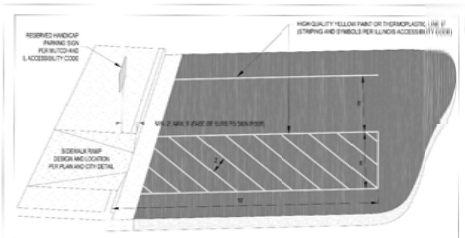
STOP BAR DETAIL
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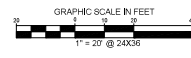
STANDARD PARKING LOT SIGNS
N.T.S.



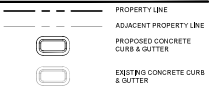
SIGN POST DETAIL
N.T.S.



TYPICAL HANDICAPPED ACCESSIBLE PARKING STALL
N.T.S.

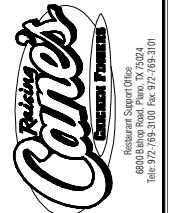


SITE LEGEND



BENCHMARKS

- REFERENCED BENCHMARK #1: CRYSTAL LAKE 2A STATION #834
STEEL ROD IN LOG CAP AT THE SOUTHWEST CORNER OF THE WOODSTOCK STREET AND MAIN STREET.
DATUM: NAVD83 ELEVATION + 928.35
- REFERENCED BENCHMARK #2: WOODEN COUNTY BENCHMARK STATION #453
DATUM: NAVD83 ELEVATION + 890.87
- SITE BENCHMARK #1: NORTH BOLT ON LIGHT POLE N.E. LOCATED 20 FEET NORTH AND 70 FEET EAST OF THE NORTHEAST CORNER OF SUBJECT PROPERTY BUILDING. ELEVATION + 915.61
- SITE BENCHMARK #2: NORTH BOLT ON TREE HYDANT IN SOUTH RIGHT OF WAY OF US ROUTE 14 (NORTHWEST HIGHWAY). ELEVATION + 913.83



PROTOTYPE ISSUE DATE 11/02/2018
STORE # RAISING CANE'S RESTAURANT NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014 STORE #RC496



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ENGINEER INFORMATION
Kimley-Horn
100 WARENDALE ROAD, SUITE 300, IL 60522
PHONE: 630-847-5500
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418014

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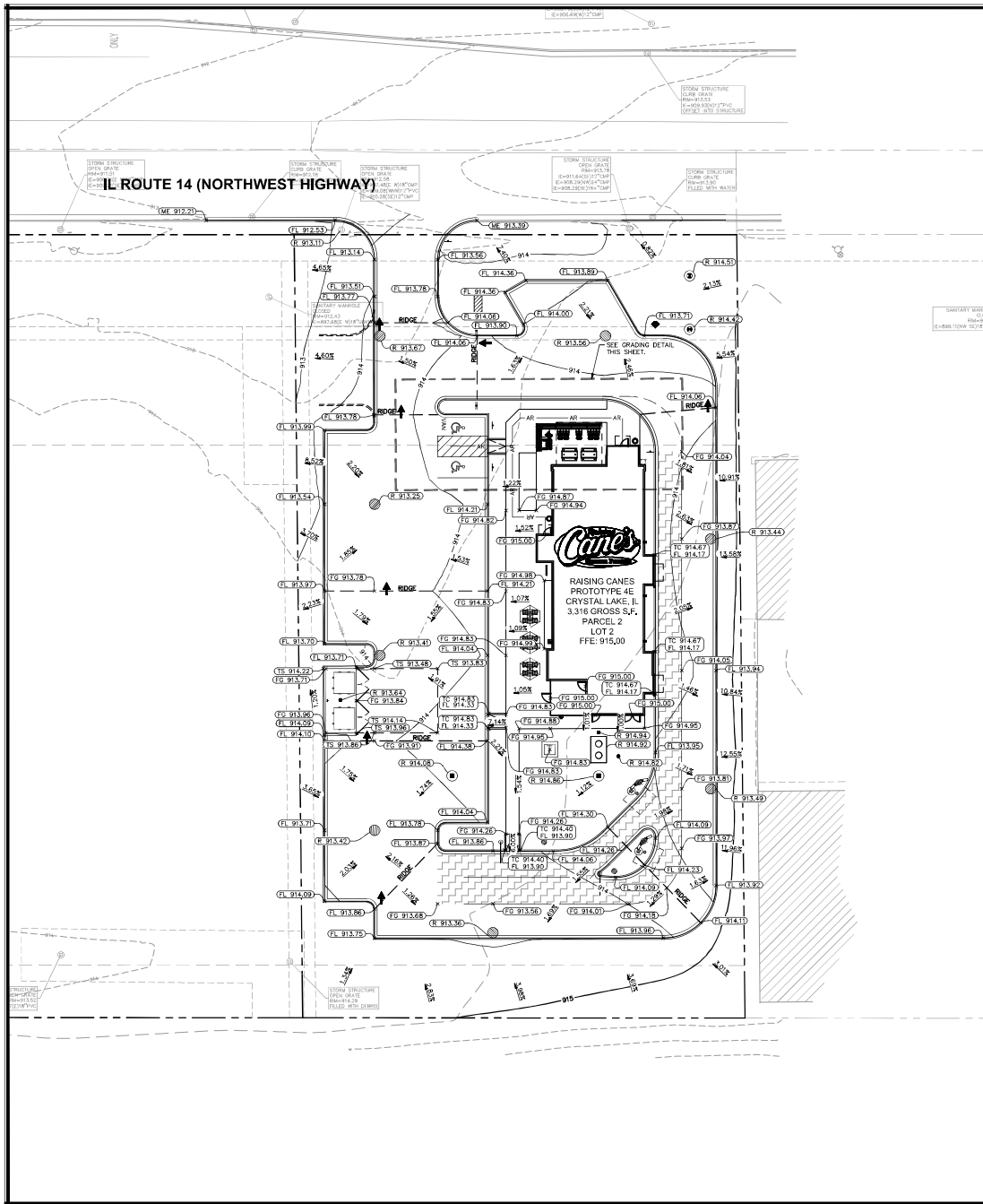
STRIPING AND SIGNAGE PLAN

DATE 03/06/2020
JOB NO. 19101

C5.2

SHEET NO.





GRADING NOTES

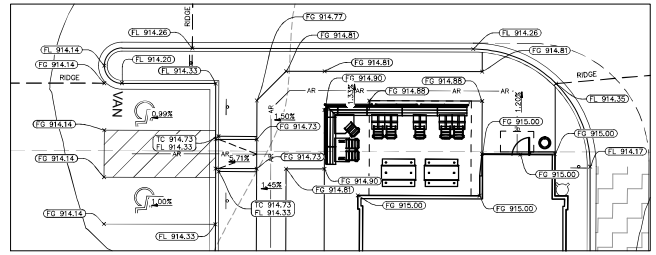
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF CRYSTAL LAKE AND DOT STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEEN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING DETAILS SHALL TIE OUT AT ALL JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. FOR CURRENT TOPOGRAPHIC INFORMATION REFER TO SHEET W04 A1A AND TOPOGRAPHIC SURVEY. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNIMPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUBGRADE PREPARATION REQUIREMENTS.
15. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLES, E EIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE. CONTRACTOR SHALL CONFIRM ALL EXISTING MANHOLES WITHIN PROJECT AREA ARE IN COMPLIANCE WITH CURRENT CITY OF CRYSTAL LAKE, MOHAWK COUNTY, AND DOT REQUIREMENTS. CONTRACTOR SHALL IMPROVE STRUCTURES AS NECESSARY TO MEET CURRENT REQUIREMENTS.
16. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
17. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING SIDEWALKS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 8% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION WITHIN THE ACCESSIBLE PARKING STATUS OR IN THE PATIO CONCRETE PAVEMENT (SEE SHEET C60). SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
18. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DISCONTINUOUS GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
19. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
20. ALL VEGETATION SHALL BE CLEARED AND GRUBBED FOR ALL AREAS TO BE DISTURBED.
21. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

GRADING LEGEND

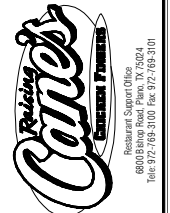
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT
- PROPOSED LIMITS OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- AR — AR — ACCESSIBLE ROUTE
- 1.00% — PROPOSED FLOW ARROW WITH SLOPE
- FL — FLOW LINE
- TS — TOP OF SLAB (DUMPS/TER PAD)
- ME — MATCH EXISTING ELEVATION
- FG — FINISHED GRADE
- EG — EXISTING GRADE
- R — RIM ELEVATION
- PROPOSED RIDGE
- PROPOSED SWALE
- ← 100 YEAR OVERLAND FLOW ROUTE

UTILITY LEGEND

- ▽ EX. HYDRANT
- EX. SANITARY SEWER MANHOLE
- EX. STORM MANHOLE
- EX. STORM STRUCTURE
- PROPOSED STORM STRUCTURE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY/CLEANOUT
- PROPOSED WATER STRUCTURE
- PROPOSED TRANSFORMER
- LIGHT POLE



GRADING DETAIL
SCALE: 1" = 10'



PROTOTYPE ISSUE DATE 11/02/2018
STORE #RC496
RAISING CANES RESTAURANT
NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014
STORE #RC496

ARCHITECTS, INC.
1000 N. WASHINGTON ST., SUITE 100
CRYSTAL LAKE, IL 60014
Phone (815) 524-5154
Fax (815) 524-4824
www.architects.com

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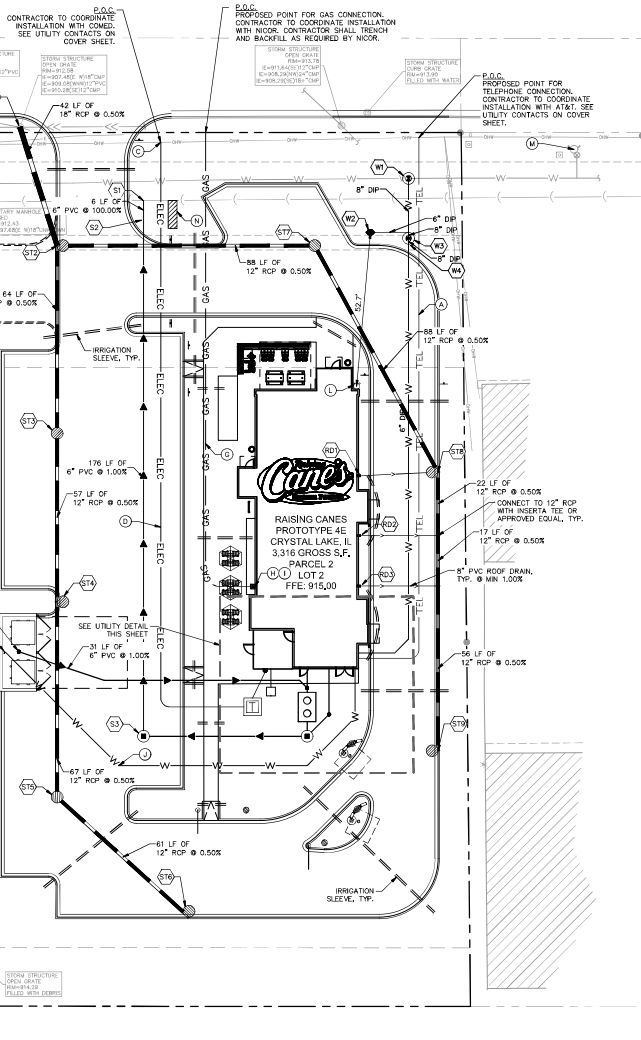
ENGINEER INFORMATION:
Kimley-Horn
100 WAREVILLE ROAD, SUITE 300, L. 60532
PHONE: 330-887-5500
WWW.KIMLEY-HORN.COM
KH JOB NO. 168418014

SHEET REVISIONS

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GRADING PLAN
DATE 03/06/2020
JOB NO. 19101
C6.0
SHEET NO.

IL ROUTE 14 (NORTHWEST HIGHWAY)



STRUCTURE NAME	DETAILS
S1	CONNECT TO EX. 18\"/>
S2	SEWER SERVICE TOP OF RISER FG ELEV: 914.491 INV IN: 905.24 (S, 4') INV OUT: 905.24 (N, 6')
S6	CONNECTION FOR WASTE, SEE MEP PLANS FOR CONTINUATION FG ELEV: 915.000 INV OUT: 908.02 (S, 6')
S10	CONNECTION FOR WASTE, SEE MEP PLANS FOR CONTINUATION FG ELEV: 915.000 INV OUT: 908.19 (S, 6')

STRUCTURE NAME	DETAILS
S3	4\"/>
S4	4\"/>
S5	45\"/>
S7	1,000 GALLON GREASE TRAP, REFER TO PLUMBING PLANS FOR ADDITIONAL TWO-WAY CLEANOUTS RIM: 914.92 INV IN: 908.06 (N, 6') INV OUT: 907.86 (N, 6')
S8	6\"/>
S9	4\"/>

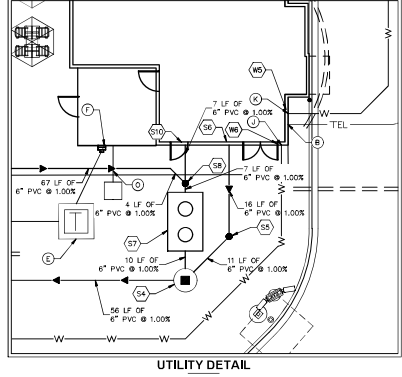
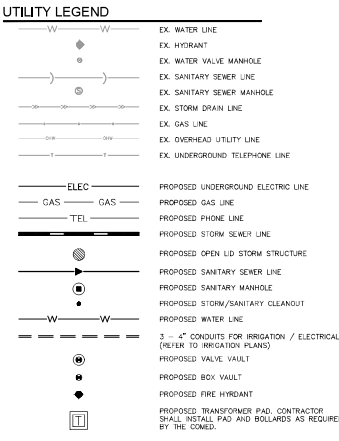
STRUCTURE NAME	DETAILS
ST1	REMOVE AND REPLACE EX. STORM MH. RIM: 913.11 INV IN: 908.48 (S, 18') INV IN: 907.48 (E, 18') INV IN: 909.08 (N, 12') INV IN: 910.28 (W, 12') INV OUT: 907.48 (N, 18')
ST2	4\"/>
ST3	4\"/>
ST4	4\"/>
ST5	4\"/>
ST6	2\"/>
ST7	4\"/>
ST8	4\"/>
ST9	2\"/>

STRUCTURE NAME	DETAILS
W1	PRESSURE CONNECT TO EX. WATER MAIN PER CITY STANDARDS FG ELEV: 914.81
W2	PR. FIRE HYDRANT PER CITY STANDARDS FG ELEV: 914.20
W3	8\"/>
W4	8\"/>
W5	SERVICE INTO BUILDING SPLIT BETWEEN POTABLE & FIRE ON INSIDE, WITH WATER SHUT-OFF OF POTABLE LINE FROM BUILDING EXTERIOR FG ELEV: 915.00
W6	3/4\"/>
W7	POST HYDRANT (REFER TO ARCH PLANS) FG ELEV: 913.79

STRUCTURE NAME	DETAILS
RD1	ROOF DRAIN INV OUT: 910.11 (E)
RD2	ROOF DRAIN INV OUT: 910.57 (E)
RD3	ROOF DRAIN INV OUT: 910.55 (E)

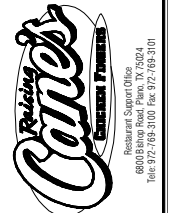
- UTILITY KEYNOTE LEGEND**
- 1. INSTALL TWO 4\"/>
 - 2. PROPOSED TELEPHONE AND INTERNET ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONNECTION.
 - 3. BEHN UNDERGROUND ELECTRIC CONDUIT.
 - 4. INSTALL TWO 4\"/>
 - 5. PROPOSED 400V MOUNTED TRANSFORMER, CONCRETE PAD BY DEVELOPER. CONTRACTOR TO INSTALL BOLLARD PER COMED REQUIREMENTS.
 - 6. PROPOSED ELECTRIC SERVICE ENTRY. REFERENCE ARCHITECTURAL PLANS.
 - 7. INSTALL ONE 2\"/>
 - 8. GAS METER LOCATION.
 - 9. GAS ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION (PLUMBING).
 - 10. PROPOSED 2\"/>
 - 11. PROPOSED 4\"/>
 - 12. PROPOSED FIRE DEPARTMENT CONNECTION, REFER TO ARCH/MEP PLANS FOR DETAILS.
 - 13. EXISTING FIRE HYDRANT.
 - 14. PROPOSED MONUMENT SIGN TO BE INTERNALLY ILLUMINATED W/ ELECTRONIC MESSAGING BOARD. SEE NOTE 16.
 - 15. FIRE HYDRANT TO BE CONNECT TO EXISTING BOX, BACKFLOW PREVENTER TO BE LOCATED INSIDE BUILDING.

- UTILITY NOTES**
1. SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 2. REFER TO CITY OF CRYSTAL LAKE STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL AND TRENCH COMPACTION REQUIREMENTS.
 3. REFER TO ARCHITECTURE PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANGIBLE UTILITIES. PRIVATE UTILITY COMPANIES AND AWWA C200.
 4. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 5. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 6. ALL SANITARY SEWER LINES SHALL BE PVC METING, ASTM D3034 SDR 35 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 UNLESS WATER MAIN CASING UTILITIES. PROVIDE 4\"/>
 7. WATER LINES SHALL BE AS FOLLOWS:
PRIVATE (LARGER THAN 3 INCHES): DUSTLE BRON PIPE, CLASS 52 OR POLYVINYL CHLORIDE PLASTIC PIPE (ASTM D2451) AND AWWA C200.
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88.
 8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF CRYSTAL LAKE WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER LINE.
 9. IF THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE AND TELEPHONE CONDUIT AND PIPES AS REQUIRED TO AVOID UTILITY CONFLICTS.
 10. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENT TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
 11. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS. INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY VILLAGE CODES AND/OR UTILITY SERVICE COMPANIES.
 12. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, CLOSANTS, VALVES, ETC.
 13. CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY OF CRYSTAL LAKE STANDARDS.
 14. WATER TIGHT CONNECTION SHALL BE MADE USING A RESILIENT CONNECTOR, SEAL BOOT PER ASTM C423.
 15. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5.5 FEET COVER ON ALL WATER LINES.
 16. CONTRACTOR TO PROVIDE POWER TO MONUMENT SIGN. REFER TO ELECTRICAL SITE PLAN FOR SIZE AND TYPE.



- BENCHMARKS**
- REFERENCE BENCHMARK #1
CRYSTAL LAKE DA STATE# 4634
DATE: NAVD83 ELEVATION = 928.35
- REFERENCE BENCHMARK #2
BOHNER COUNTY BENCHMARK STATION #6033
DATE: NAVD83 ELEVATION = 880.67
- SITE BENCHMARKS**
- SITE BENCHMARK #1
NORTH BOLT ON LEFT POLE W/ASE LOCATED 30 FEET NORTH AND 10 FEET EAST OF THE NORTHEAST CORNER OF SUBJECT PROPERTY BUILDING. ELEVATION = 915.61
- SITE BENCHMARK #2
NORTH BOLT ON FIRE HYDRANT IN SOUTH RIGHT OF WAY OF IL ROUTE 14 (NORTHWEST HIGHWAY). ELEVATION = 913.93

CAUTION!
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PROTOTYPE ISSUE DATE 11/02/2018
STORE #RAISING CANES RESTAURANT NORTHWEST HIGHWAY CRYSTAL LAKE, IL 60014 STORE #RC496



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ENGINEER INFORMATION
Kimley-Horn
100 WENDELLE ROAD, SUITE 300, L. 60532
PHONE: 815-467-5500
WWW.KIMLEY-HORN.COM
KH JOB NO. 168418014

SHEET REVISIONS

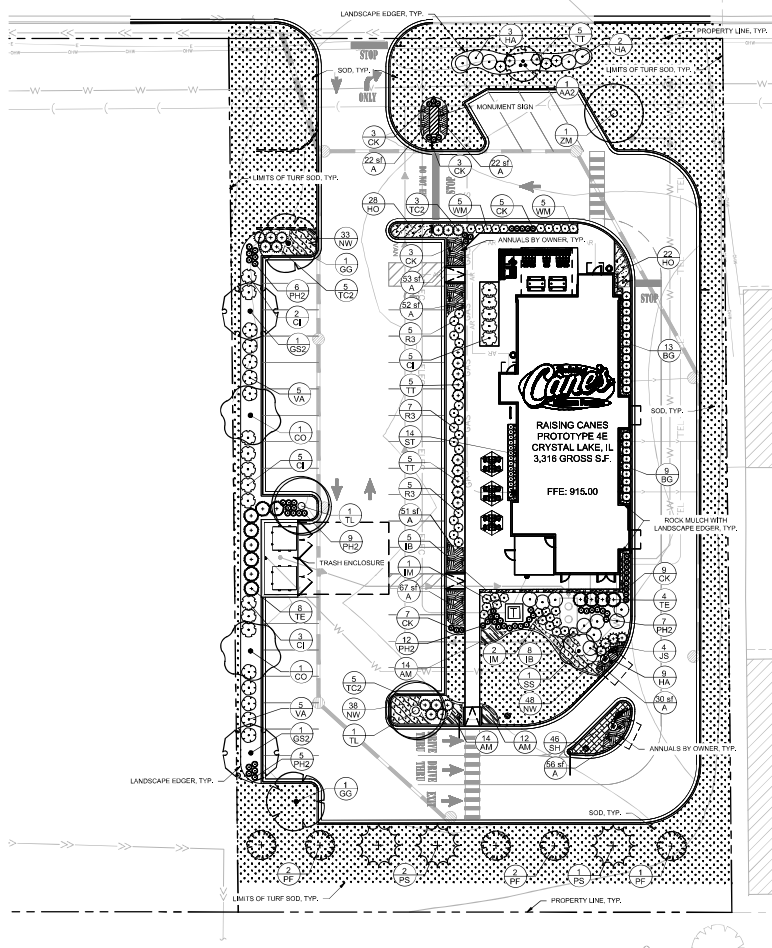
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UTILITY PLAN
DATE 03/06/2020
JOB NO. 19101
C7.0
SHEET NO.

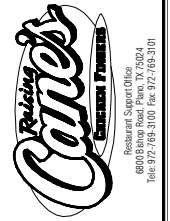
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	CO	2	CELTIS OCCIDENTALS / COMMON HACKBERRY	B & B	2.5"	CAL MIN
	GG	2	GINKGO BILOBA 'GOLDEN GLOBE' / GOLDEN GLOBE GINKGO	B & B	2.5"	CAL MIN
	GS2	2	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST	B & B	2.5"	CAL MIN
	TL	2	TILIA AMERICANA / AMERICAN LINDEN	B & B	2.5"	CAL MIN
	ZM	1	ZELKOVA SERRATA 'MUSASHINO' / SAWLEAF ZELKOVA	B & B	2.5"	CAL MIN
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	JS	4	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	B & B	4"	HT MIN
	PF	5	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B	6"	HT MIN
	PS	3	PINUS STROBUS / WHITE PINE	B & B	6"	HT MIN
	TE	12	THUJA OCCIDENTALS 'EMERALD' / EMERALD ARBORVITAE	B & B	5"	HT MIN
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AA2	1	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B & B	MULTI-TRUNK	6" HT MIN
	SS	1	SYRINGA PENNENSIS / PENNING LILAC	B & B	2" CAL, MIN	SINGLE STEM
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CI	15	CORNUS STOLONIFERA 'ISANTI' / ISANTI DOGWOOD	5 GAL		36" HT MIN
	HA	14	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	5 GAL		24" HT MIN
	IB	13	ILEX VERTICILLATA 'BERRY POPPINS' / WINTERBERRY	3 GAL		18" HT MIN
	IM	3	ILEX VERTICILLATA 'MR. POPPINS' / WINTERBERRY	3 GAL		18" HT MIN
	R3	17	ROSA X 'RADRAZZ' / KNOCK OUT SHRUB ROSE	3 GAL		24" HT MIN
	ST	14	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA	3 GAL		16" HT MIN
	VA	10	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM	5 GAL		36" HT MIN
	WM	10	WEIGELA FLORIDA 'MINUET' / MINUET WEIGELA	3 GAL		16" HT MIN
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	30	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		16" HT MIN
	PH2	39	PANICUM VIRGATUM 'HEAVY METAL' / BLUE SWITCH GRASS	3 GAL		24" HT MIN
EVERGREEN	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	BG	22	BUXUS X 'GREEN VELVET' / BOXWOOD	3 GAL		16" HT MIN
	TT	15	TAXUS X MEDIA 'TAUNTONII' / TAUNTON YEW	5 GAL		24" HT MIN
	TC2	13	THUJA OCCIDENTALS 'CONGABE TM' / FIRE CHIEF ARBORVITAE	5 GAL		24" HT MIN
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	SH	46	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSSEED	1 GAL		18" OC
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AM	40	ALLIUM X 'MILLENNIUM' / MILLENNIUM ORNAMENTAL CHIVE	1 GAL		18" OC
	HO	50	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL		16" OC
	NW	119	NEPETA X 'WALKER'S LOW' / WALKER'S LOW CATMINT	1 GAL		12" OC
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	A	352 SF	ANNUALS - SEASONAL COLOR BY OWNER			
	R		2" x 3" RIVER ROCK MULCH			
	TD		TURF SOD			

IL ROUTE 14 (NORTHWEST HIGHWAY)



CAUTION!
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PROTOTYPE ISSUE DATE 11/05/2018
STORE #RC496
RAISING CANES RESTAURANT
NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014

ARCHITECTS, INC.
Landscape Architecture
Phone (216) 532-5134
www.adarchitects.com

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ENGINEER INFORMATION
Kimley-Horn
100 WARENEVILLE ROAD, SUITE 300, IL 60052
PHONE: 630-461-5500
WWW.KIMLEY-HORN.COM
KH JOB NO. 168418014

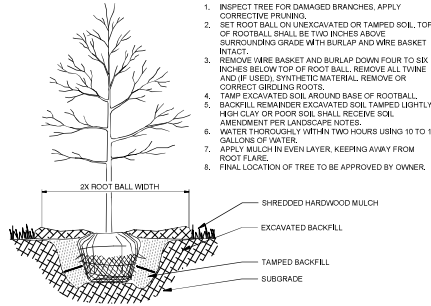
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LANDSCAPE PLAN
DATE 03/06/2020
JOB NO. 19101
L1.0
SHEET NO.

LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS.
11. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
12. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
13. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
14. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
15. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

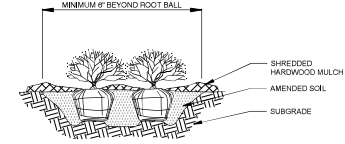
NOTES:



1. INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND IF USED, SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

2 TREE PLANTING

NTS



NOTES:

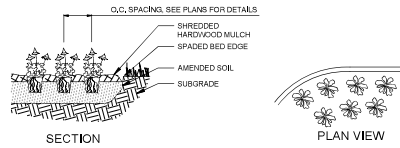
1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITH PLANTING BED AS A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL, TWINE AND IF USED, SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED, FOR CONTAINER GROWER SHRUBS. REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

3 SHRUB PLANTING

NTS

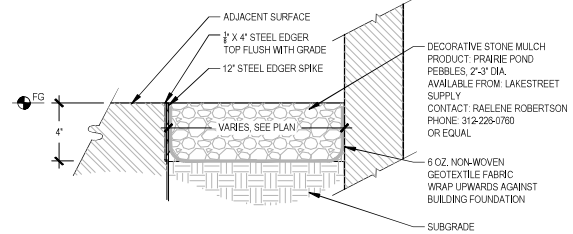
NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE Laid OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS FEASIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUND COVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



4 PERENNIAL PLANTING

NTS



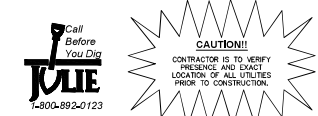
5 DECORATIVE STONE MULCH

3" x 1/4"

1 LANDSCAPE NOTES

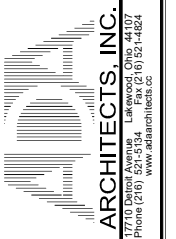
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SITE LANDSCAPE REQUIREMENT CALCULATIONS		
ZONING ORDINANCE	REQUIREMENT	PROVIDED
SECTION 4-400 LANDSCAPING AND SCREENING STANDARDS		
PARKING LOTS BETWEEN 10 SPACES AND NO MORE THAN 200 SPACES: ONE 8 FOOT BY 10 FOOT LANDSCAPE ISLAND, CONTAINING 1 CANOPY OR ORNAMENTAL TREE AND 5 SHRUBS FOR EVERY 10 PARKING SPACES AND AT THE END OF EVERY PARKING ROW	40 PARKING SPACES TOTAL REQUIRED: 5 CANOPY TREES AND 25 SHRUBS	7 CANOPY TREES (1 AT END OF PARKING ROWS, 2 INTERNAL) 33 SHRUBS
PERMETER LANDSCAPE FOR PARKING LOTS ABUTTING RIGHTS-OF-WAY: CONTINUOUS VISUAL SCREEN 15 FEET IN WIDTH USING BOTH DECIDUOUS AND EVERGREEN SPECIES PLANTED IN UNDULATING BEDS FORMING AN INTERESTING PATTERN REQUIRING 1 CANOPY, ORNAMENTAL OR EVERGREEN TREE AND 10 SHRUBS PLANTED AT VARIOUS HEIGHTS (AVERAGING 3 FEET IN HEIGHT) ALONG EVERY 40 LINEAL FEET	NORTH SIDE OF SITE: 150 FEET / 40 FEET = 3.75 REQUIRED: 4 TREES AND 38 SHRUBS	4 ORNAMENTAL TREES (DUE TO OVERHEAD POWER LINES) 38 SHRUBS (MIX OF EVERGREEN AND DECIDUOUS)
PERMETER FOUNDATION LANDSCAPE: 5' LANDSCAPE AREA AROUND ALL PERIMETERS OF BUILDING, (WITH EXCEPTION TO SIDEWALK CONNECTIONS AND DRIVE-THRU)	REQUIRED: 5' LANDSCAPE AREA ALONG NORTH, WEST, AND SOUTH OF BUILDING.	PLANTINGS PROVIDED ALONG ALL SIDES OF BUILDING, WITH NORTH ON CURB SIDE OF AMENITY AREA.
ALL PERMANENT FREESTANDING SIGNS: THE AMOUNT OF LANDSCAPE AREA REQUIRED SHALL BE 1 SQ. FOOT OF LANDSCAPE AREA PER 1 SQ. FOOT OF SIGN AREA. AT LEAST 50% OF THE REQUIRED LANDSCAPING AREA SHALL BE PLANTED WITH TREES AND/OR SHRUBS. THE REMAINING AREA SHALL CONSIST OF ANNUAL AND PERENNIAL FLOWERS AND GROUND COVERS.	SIGN AREA = 299 SQ. FEET REQUIRED: 299 SQ. FEET OF LANDSCAPING, 14.5 SQ. FEET TO BE TREES AND/OR SHRUBS	3+ LANDSCAPE AREA AROUND PERIMETER OF SIGN.



PROTOTYPE ISSUE DATE 11/02/2018

STORE #
RAISING CANE'S RESTAURANT
NORTHWEST HIGHWAY
CRYSTAL LAKE, IL 60014
STORE #RC496



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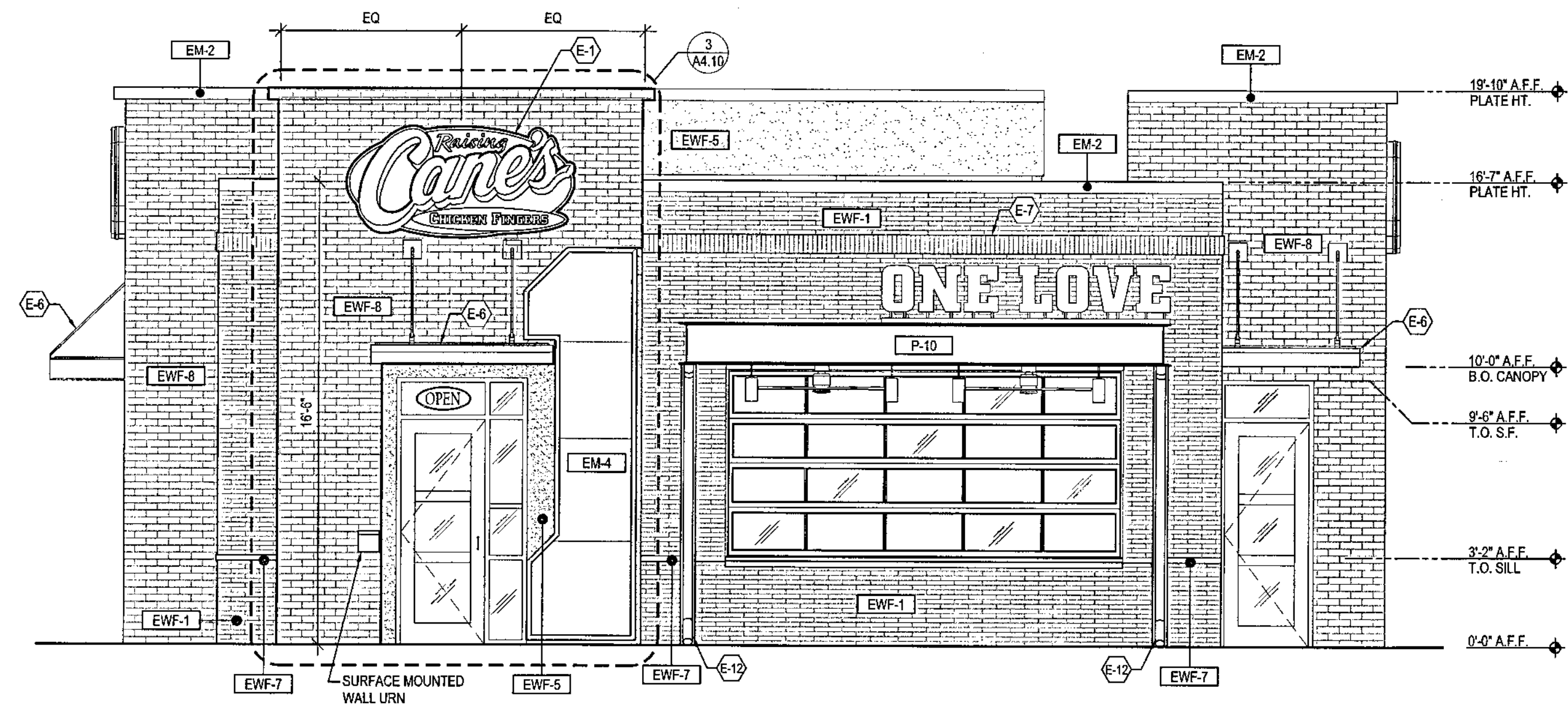
LANDSCAPE NOTES & DETAILS

DATE 03/06/2020

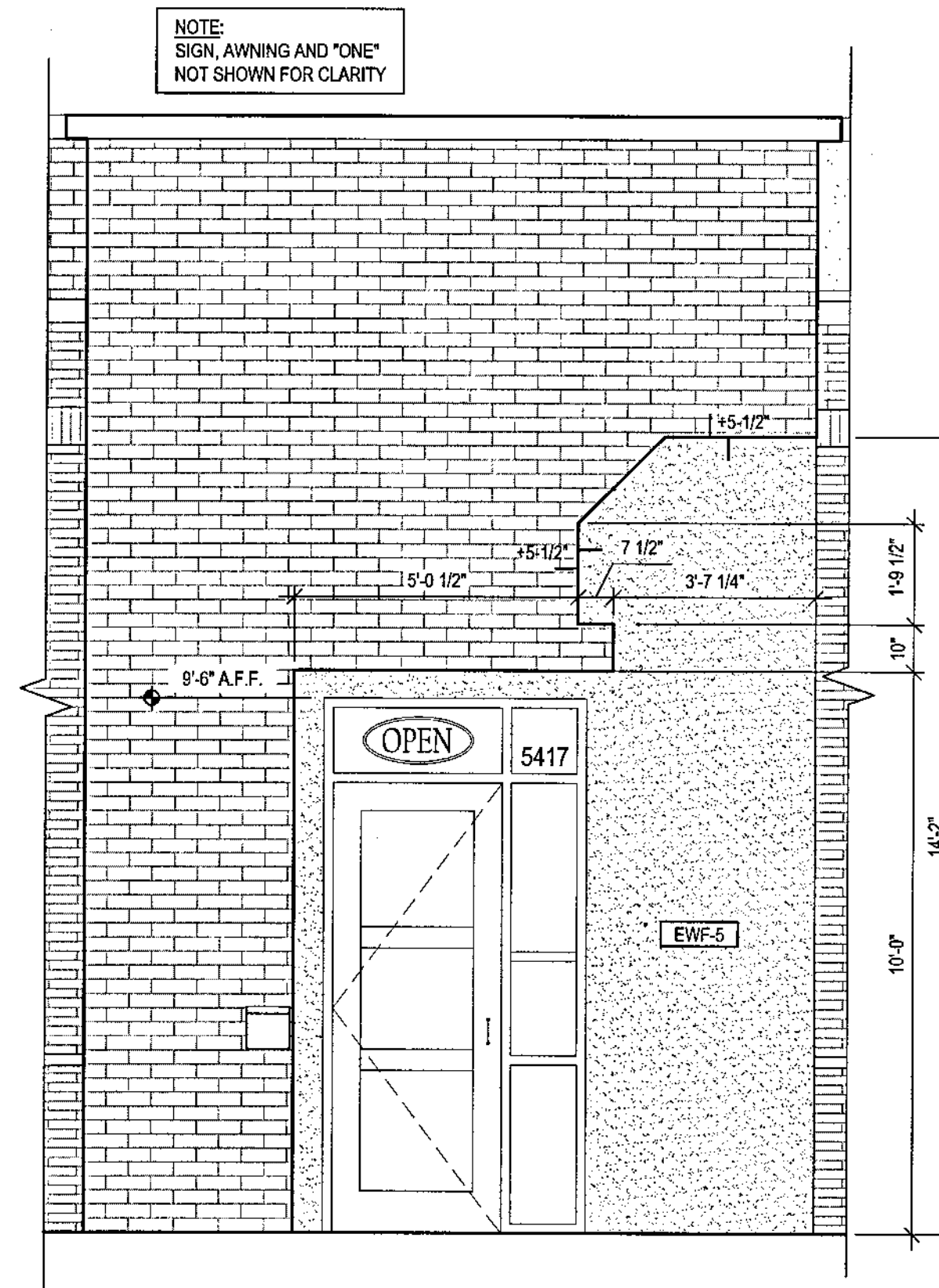
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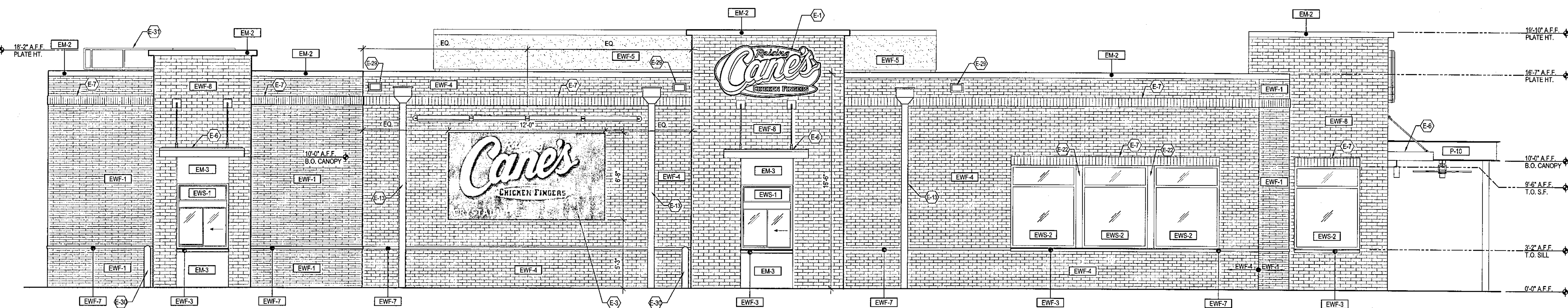


2 WEST ELEVATION
A4.10 SCALE: 1/4" = 1'-0"



3 FRONT TOWER PROFILE
A4.1 SCALE: 3/8" = 1'-0"

EXTERIOR FINISHES SCHEDULE						
KEY	MATERIAL	MANUFACTURER	MODEL NO.	COLOR	FINISH	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE MANUFACTURING COMPANY	TEE-LOCK PANEL	MATTE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR, GRACE ICE AND WATER SHIELD
EM-2	METAL CAP FLASHING	BERRIDGE MANUFACTURING COMPANY		MATTE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-3	HOT ROLLED STEEL WITH CLEAR COAT FINISH	WASSERSTROM	CUSTOM FABRICATED	RAW STEEL	CLEAR	HOT ROLLED STEEL WITH CLEAR COAT FINISH
EM-4	RECLAIMED CARHOOD PANELS	AGI	CUSTOM FABRICATED	RED - RECLAIMED	CLEAR	** SIGN TO BE APPLIED OVER EWF-5
EWF-1	BRICK VENEER	BELDEN BRICK	NORMAN STANDARD	MEDIUM RANGE IRON SPOT	SMOOTH	3-5/8" D X 2-5/8" H X 11-5/8" L, 1/2 RUNNING BOND, REFER TO DETAIL. MORTAR: SOLOMON COLORS, INC. 10X LIGHT BUFF, PROFILE: WEATHER-STUCK JOINT ON EXTERIOR BRICK
EWF-2	DRYVIT	DRYVIT	"E"	#382 TAMALE	SANDPEBBLE "E"	
EWF-3	EXTERIOR CAST STONE LEDGE	MARCSTONE		6443 - ARCHITECT'S GREY	SMOOTH	MORTAR: SOLOMON COLORS, INC. 10X LIGHT BUFF
EWF-4	BRICK VENEER	BORAL	MODULAR	ALAMO	SACK RUB	MORTAR: LAPARGE IVORY BUFF, SACK RUB FINISH
EWF-5	DRYVIT	DRYVIT	"E"	#132 MOUTAIN FOG	SANDPEBBLE	APPLIED AT EXTERIOR WALL, ROOF SCREEN
EWF-6	DRYVIT	DRYVIT	"E"	#456 OYSTER SHELL	SANDPEBBLE	APPLIED AT EXTERIOR WALLS
EWF-7	EXTERIOR CAST STONE	MARCSTONE		6443 - ARCHITECT'S GREY	SMOOTH	MORTAR: SOLOMON COLORS, INC. 10X LIGHT BUFF
EWF-8	BRICK VENEER	ACME	KING	ALPINE: 763641	HERITAGE	MANUFACTURER: ACME, MODEL: KING, COLOR: ALPINE, FINISH: HERITAGE, ITEM # 763641 - MORTAR: SOLOMON COLORS, INC. 10X LIGHT BUFF, MORTAR JOINT PROFILE: WEATHER-STUCK, 1/2 RUNNING BOND, REFER TO DETAIL.
EWS-1	DRIVE THRU WINDOW	READY ACCESS	MODEL 275 (M.O.E.R)	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
EWS-2	ALUMINUM STOREFRONT	KAWNEER	TRI-FAB 451	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	



1 NORTH ELEVATION
A4.10 SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND (E)

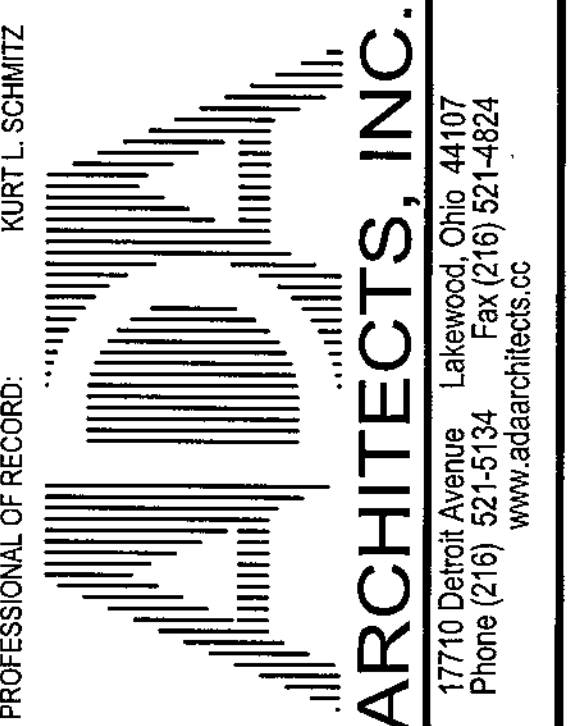
- E-1 SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)
- E-3 WALL ART BY OWNER
- E-5 NOT USED
- E-6 PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
- E-7 8" BRICK BAND AS SHOWN
- E-12 METAL, GUTTER & DOWNSPOUT EM-2
- E-13 ROOF SCUPPER & DOWNSPOUT, OMIT DRYVIT BAND @ DOWNSPOUT EM-2
- E-22 BREAK METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- E-29 SECONDARY SCUPPER
- E-30 4" BOLLARD WITH BLACK PLASTIC SLEEVE
- E-31 GUARDRAIL, SEE SHEET A1.50

NOTES

- GENERAL NOTES
- 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL)
 - 2 CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET PCS, G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
 - 3 VERIFY ROOF FLAGS, LOGO SIGNS, PAINTED MURAL W/ SIGNAGE VENDOR.
- SEALANT NOTES
- 1 PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
 - 2 TWO-PART NONSAG POLYURETHANE SEALANT RE: SPEC 07 92 00



RAISING CANE'S RESTAURANT
NW HIGHWAY
CRYSTAL LAKE, IL 60014
PROTOTYPE: 4E - V
SCHEME: STANDARD - B
STORE #RC496



PROFESSIONAL OF RECORD: KURT L. SCHWITZ
ARCHITECTS, INC.
17710 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 321-9334 Fax (216) 321-4624
www.adaarchitects.com

PLANNING REVIEW

ENGINEER INFORMATION:

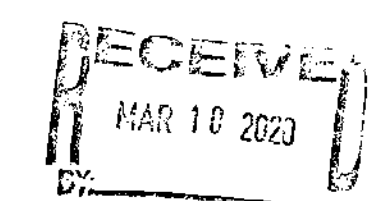
SHEET REVISIONS

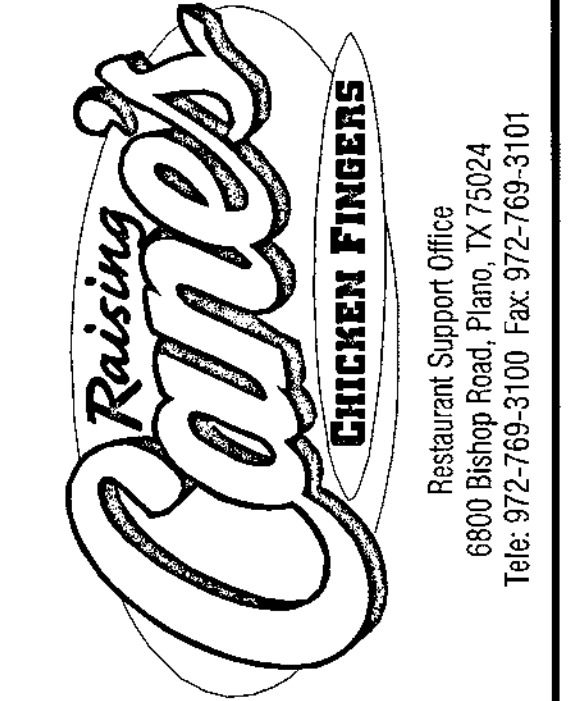
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1		
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9		

EXTERIOR ELEVATIONS

DATE 7/8/19
JOB NO. 19101

A4.10
SHEET NO.





KEYNOTE LEGEND (E)

- E-1 SIGN BY OWNER, PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)
- E-3 WALL ART BY OWNER
- E-5 NOT USED
- E-6 PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
- E-7 8" BRICK BAND AS SHOWN
- E-12 METAL, GUTTER & DOWNSPOUT EM-2
- E-13 ROOF SCUPPER & DOWNSPOUT, OMIT DRYVIT BAND @ DOWNSPOUT EM-2
- E-22 BREAK METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- E-29 SECONDARY SCUPPER
- E-30 4" BOLLARD WITH BLACK PLASTIC SLEEVE
- E-31 GUARDRAIL, SEE SHEET A1.50

NOTES

GENERAL NOTES

- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL)
- CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET PCS, G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
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SEALANT NOTES

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STORE:
RAISING CANE'S RESTAURANT
NW HIGHWAY
CRYSTAL LAKE, IL 60014
PROTOTYPE: 4E - V
SCHEME: STANDARD - B
STORE #RC496



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PLANNING REVIEW

ENGINEER INFORMATION:

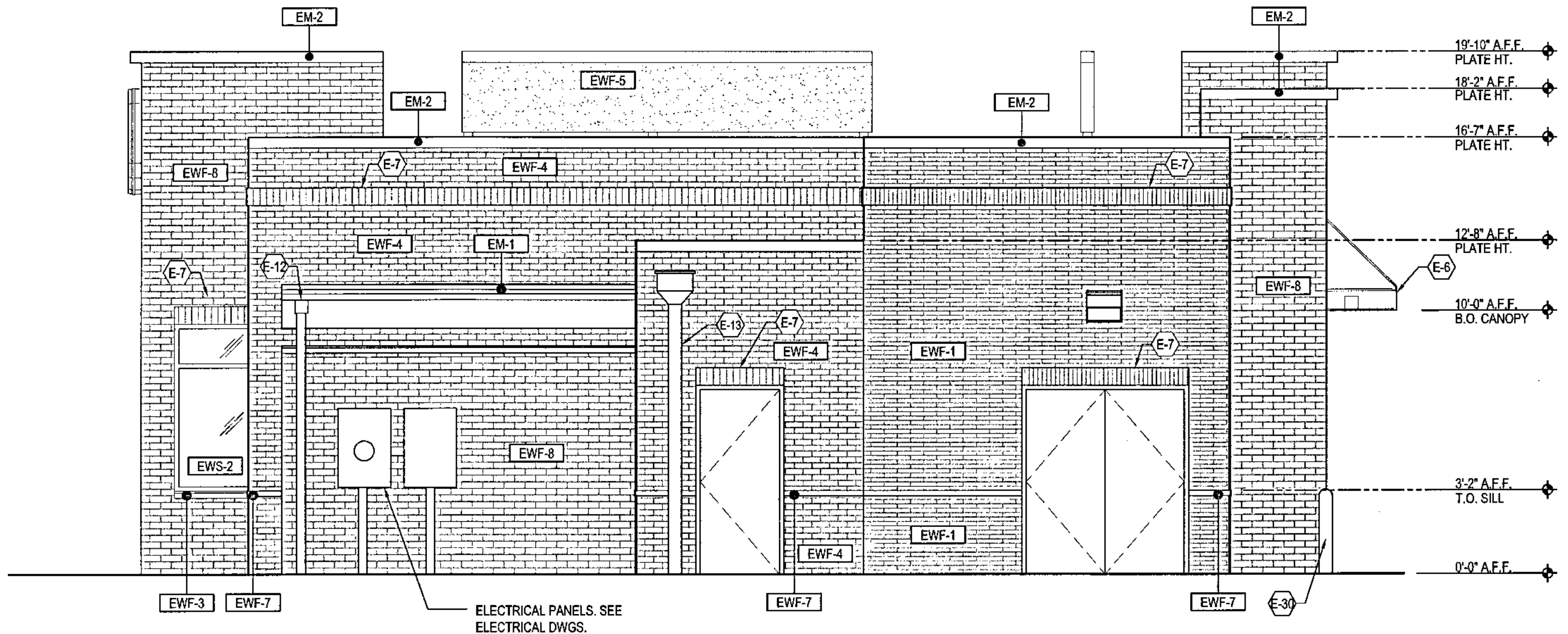
SHEET REVISIONS

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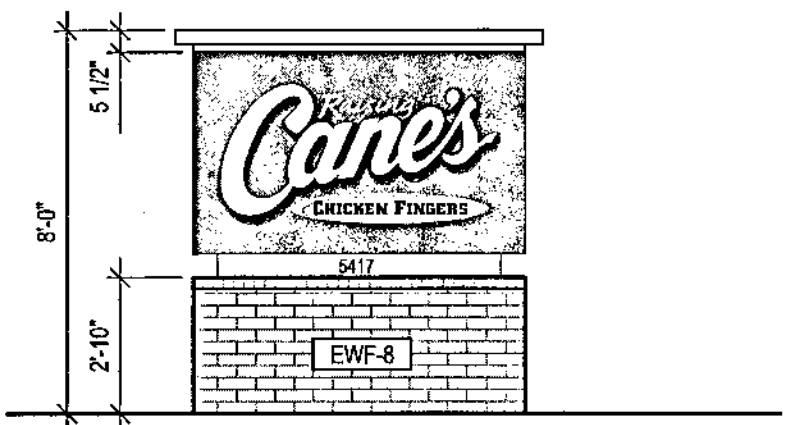
EXTERIOR ELEVATIONS

DATE 7/8/19
JOB NO. 19101

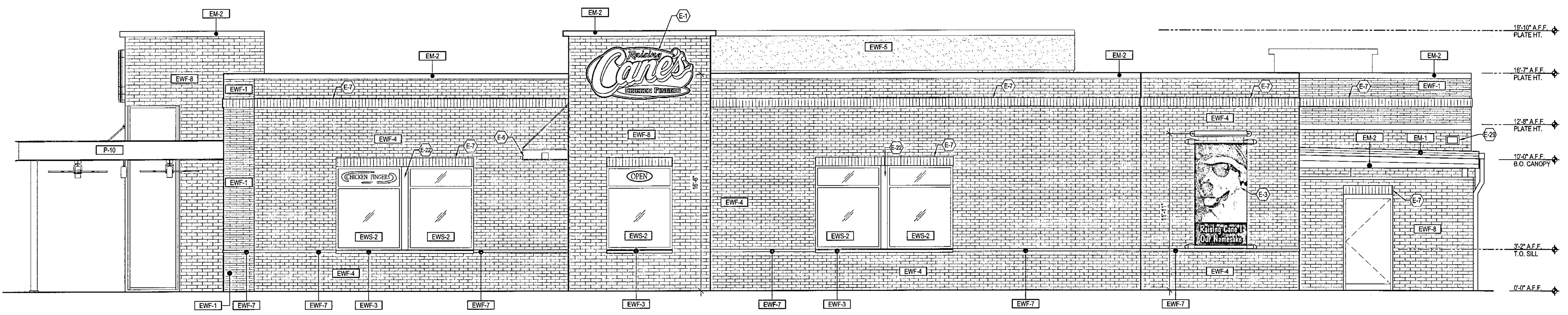
A4.20
SHEET NO.



2 EAST ELEVATION
A4.20 SCALE: 1/4" = 1'-0"



3 MONUMENT SIGN ELEVATION
A4.20 SCALE: 1/4" = 1'-0"

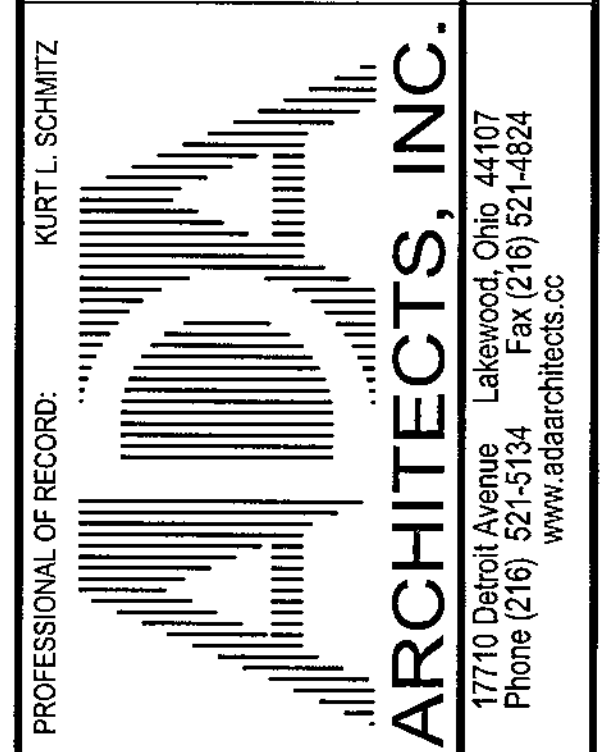


1 SOUTH ELEVATION
A4.20 SCALE: 1/4" = 1'-0"



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

STORE:
RAISING CANE'S RESTAURANT
NW HIGHWAY
CRYSTAL LAKE, IL 60014
PROTOTYPE: 4E - V
SCHEME: STANDARD - B
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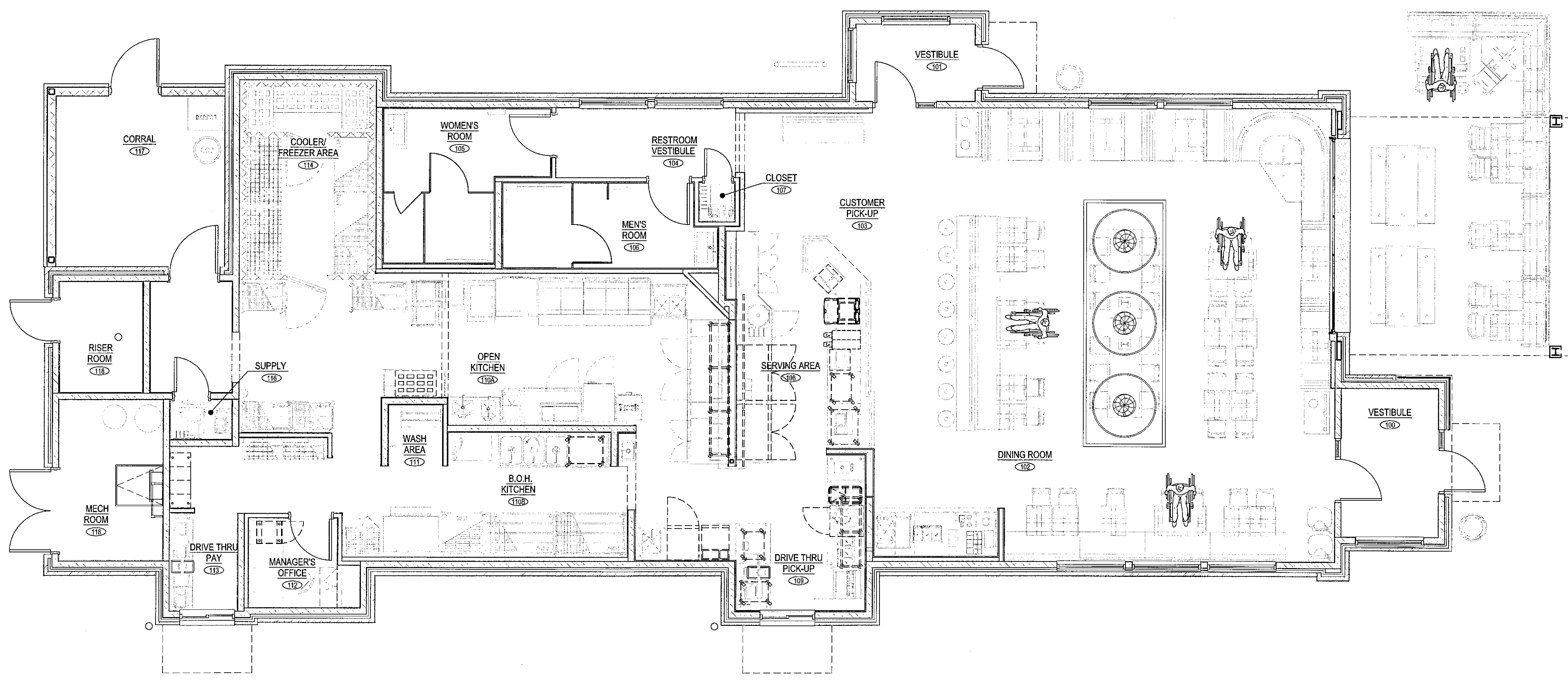


PROFESSIONAL OF RECORD: KURT L. SCHMITZ
7770 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 521-5134 Fax (216) 521-4624
www.adaarchitects.com

PLANNING REVIEW

ENGINEER INFORMATION:

SHEET REVISIONS		
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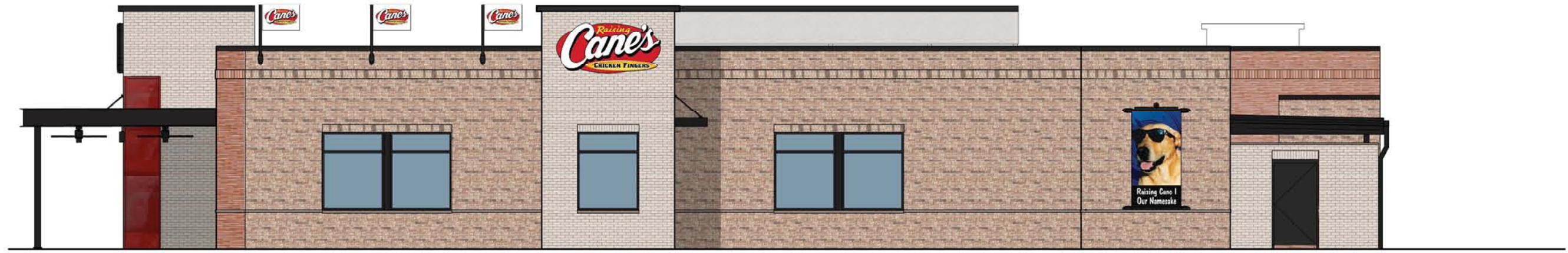
EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

EQUIPMENT FLOOR PLAN

DATE 7/8/19
JOB NO. 19101

FS1.10

SHEET NO.



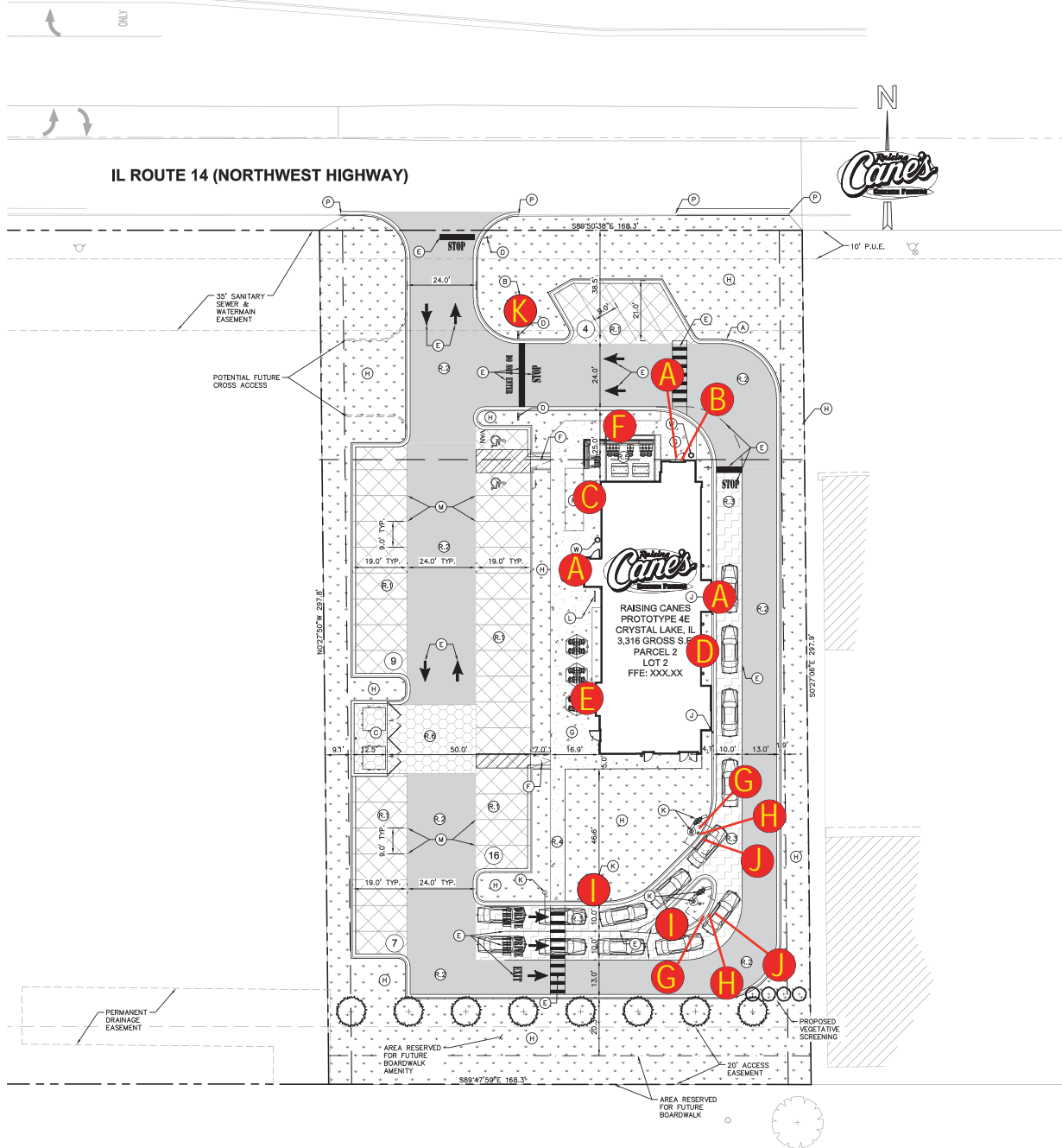


5417 Northwest Hwy/RC0496
 Crystal Lake, IL
 02/25/2020

DRAWING REVISIONS		
DATE	PM	CHANGE
7/9/19	SH	Updated monument & sign details
8/6/19	SH	Updated sign details, siteplan, & elevations
2/25/20	SH	Updated siteplan, added lemonade sign

Received 4/2/2020

SITEMAP



	QTY.	CODE	DESCRIPTION
A	3	WS-8FT	4x8 Wall Sign
B	1	ONS	Open Sign
C	1	CFNS	Chicken Fingers Neon Sign
D	1	PMRL	Painted Mural
E	1	BD-1	Blue Dog
F	1	CAN	One Love Canopy Letters
G	2	DTAW	DT Awning
H	2	DTMB	DT Menuboard
I	2	DTPS	Pre Sell Board
J	2	DTSP	Speaker Post
K	1	MON	Monument

No development or LL restrictions noted as of 4/24/19 Drive thru allows for 1 menuboard, others subject to review Allowed 210 SF for aggregate building SF based on 140 LF of street front No sign to exceed 80 SF or 9' OAH One love, cove lighting, menuboards, and blue dog are subject to review Flags are prohibited	BLUE DOG	MURAL	
	YES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	NO	<input type="checkbox"/>	<input type="checkbox"/>



Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

AGI Rep: G.W.

AGI PM: Kelly Deep

Drawn by: M. Folden

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Code Check Form

CODES

Customer Name: Raising Cane's
Project Name: RC0496 NW HWY and Pingree
Address: 5417 Northwest Hwy
City: Crystal Lake State: IL
Zip:

Zoning: B-2-USE commercial section of code
Re-zoning Required/Recommended: Yes No
Jurisdiction: City of Crystal Lake
Contact Name: Laurrie Fitzgerald
Phone: 815-356-3605
E-Mail: lfitzgerald@crystallake.org

Master Sign Program (MSP): Yes No Within PUD: Yes No

Ground Signs - Pylon (Pole) & Monument

- N/A

Are ground signs allowed? Yes No
Pylon/Pole Monument Tenant
Number of signs allowed: 1
Maximum SF allowed: 80sf
Minimum setback: 10ft from prop line
Maximum Overall Height: 8 ft. from sign base
Illumination / Lighting Restrictions: see below
Design restrictions: Base width= 80% of sign width, must have architectural elements or materials from bldg
EMC - Can there be animation? Yes No Does it have to be static? Yes No Can price be displayed? Yes No
Color restrictions: Illuminated by white or amber incandescent lights or magnetic disks.
Rate of change restrictions: 5 minute hold time, flash feature must be disabled except for time and temp, no less than 1 minute, Transition must fade or dissolve to black with next message appearing immediately
EMC SF restrictions: 32sf or 40% of signs total area, smaller of 2, must occupy bottom half of sign
Placement or residential restrictions: Limited use permit required for EMC-must be incorporated into freestanding sign. Must 200lf of frontage on Route 14 to qualify, lot must be at least 2 acres
How many faces count toward sign area? 1

Notes: No signs allowed in ROW
EMC: no flashing, moving, electronic message or video signs. Must be equipped to override commercial messages for emergency messages, must turn dark if malfunction. EMC must be outside of required setback and on middle 3rd of property. Must have programmed dimming sequence and mechanical override display to adjust to ambient light, NTE 40% of daytime brightness level.
All Internally illuminated signs: illuminated letters and logos with opaque background required. IF across from or adjacent to residential, only illuminated during business hours and no illumination from 11pm -7am. Special use permit required if all illumination conditions are not met (NOT APPLICABLE TO THIS PROPERTY)
No sign allowed to exceed 80 SF or 9' OAH.

Wall Signs

- N/A

Number of signs allowed: not regulated
Aggregate Sign Max SF allowed: 150sf total/property
Maximum SF allowed: 75sf/sign or facade
Maximum Height: N/A
Can sign project above roofline? Yes No If yes, how much?
Lighting Restrictions: External illumination must be down pointing goosenecks
How is area measured: smallest combination of squares, circles, rectangles or triangles. Entire cabinet counts for box signs

Notes: Buildings with 100 LF of primary frontage on public street are allowed 1.5 SF per LF (max. 250 SF). Also every additional character over 9 characters (up to 14 characters) allows for an additional 10 SF of wall signage.
No sign allowed to exceed 80 SF or 9' OAH.

Directionals / Regulatory

- N/A

Are directionals allowed? Yes No
Are permits required? Yes No
Number of signs allowed: not regulated
Maximum SF allowed: 4sf
Maximum Overall Height: 3ft
Directionals count towards allowed SF? Yes No
Are interior lot directionals restricted? Yes No
Name / Logos allowed? Yes No



Location: Crystal Lake, IL AGI Rep: G.W.
Site ID: RC0496 AGI PM: Kelly Deep
Date: 04/25/2019 Drawn by: M. Folden



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Specialized Signs

- N/A

Painted murals/graphics allowed on walls? Yes No If no, allowed on substrate? Yes No Count towards signs sq.ft.? Yes No
 Quantity allowed? _____ Size restriction? see wall allowance

Pin-Mounted Art without wording allowed on walls? Yes No Count towards signs sq.ft.? Yes No
 Quantity allowed? _____ Size restriction? see wall allowance

Permanent banners allowed? Yes No Count towards signs sq.ft.? Yes No
 Quantity allowed? _____ Size restriction? Subject to review

Digital Print banners on metal substrate allowed? Yes No Does it require a frame? Yes No
 Are commercial signs allowed attached to a building parapet? Yes No Restrictions on Qty. size/height/projection on roof? see notes

Neon banding allowed around border of building? Yes No LED Branding? Yes No Color restrictions? Subject to review

Interior illuminated window signs (Neon) allowed? Yes No Restrictions? _____

Notes:

No sign allowed to exceed 80 SF or 9' OAH.
 Flags allowed but not attached to roof. Can project from building like projecting sign or on a flagpole. 1 allowed 20sf, 25ft in height
 Window Signs: 25% of window or door area
 Cove Lighting not addressed in sign code
 Blue Dog counts as wall sign, subject to review

Drive - Through's

- N/A

Menu boards allowed? Yes No Quantity allowed? 1 Size restriction? 60sf
 Height restriction? 8ft OAH Are SED's required? Yes No
 Are Pre-sell boards allowed? Yes No Are menu awnings allowed? Yes No
 Restrictions? Subject to review Restrictions? _____

Notes:

Menu boards must be behind the front building line

Construction Sign

Max # allowed?: 1 Max Height?: 5ft Timeframe allowed? during construction- no permit required
 Max SF?: 32sf Setbacks?: 10ft Logo/Copy Restrictions?: none
 Preferred mounting method (no building yet): along ROW in front of property Indirect Illumination Allowed? non illuminated only
 Other restrictions?: _____

Construction Fence Wrap

Are fence wraps allowed? Yes No Timeframe allowed? _____
 Max Height?: _____ Max SF?: _____ Logo/Copy Restrictions?: _____
 Other restrictions?: No signage allowed on fence wraps

Address Numbers

Are address numbers required?: yes, 2 markers allowed for properties with entrances on 2 streets. 1 is required
 Illumination required?: no
 Size restriction?: none
 Design restriction?: none

Notes:

Does not count towards sqft for signage



Location: Crystal Lake, IL AGI Rep: G.W.

Site ID: RC0496

AGI PM: Kelly Deep

Date: 04/25/2019

Drawn by: M. Folden



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Now Hiring Banner(s)



Construction Banner

Now Hiring Banner



Construction Fence Wrap



Max # allowed?: 1 Max Height?: 5ft Timeframe allowed? 39 day per year-30 days prior 2 days after. 4/year
 Max SF?: 32sf Setbacks?: 10ft from property line Logo/Copy Restrictions?: none

Preferred mounting method: not regulated Indirect Illumination Allowed? non illuminated only
 Other restrictions?: Permit Required- Grand opening allowed 30 days prior and 60 days after opening.

Permit Requirements

Permits can be applied for by: Mail Authorized Agent In Person Review Board: Yes No
 License Required: Business Contractors Contact: _____
 Signature Required on Application: Owner Agent Phone Number: _____
 Documents Required (Sign): Site Plan Elevations Sign Details Sealed Engineering Additional Professional Seals
 Number of Document Copies: 2 2 2 _____
 Documents Required (Banner): Site Plan Banner Details Number of Document Copies (Banner): Online
 Document Size: not regulated Cost of Permit (Sign): _____ Cost of Permit (Banner): \$20
 Length of time to secure permit: up to 30 days Other permit costs / fees: _____
 When does the time frame permitted start (Banner)? From time of permit approval Time the banner is placed Other _____
 Current IBC used by municipality: 2018
 If electrical permit is required for ONLY the hook up of the sign, is a licensed electrician required to come in person? Yes No
 Are permits required to be obtained in person? If not, what is the process: ONLINE
 How long are permits good for: 6 months

Notes: Site Plan: show foot frontage, street name, location of sign, distance from lot lines, distance from all other signs, structures and easements.
 Building dimensions required on plans
 Apply online after April 22. No link available at this time.
 Illuminated: \$30 base + .10/sf + \$25 electrical fee. non illuminated \$25 base fee = .10/sf. Fees will increase 1.1% on May 1st

Variance Procedures

Are variances allowed? Yes No
 Likelihood of a variance being approved: case by case-must prove hardship % Approved: _____ # Approved last year: _____
 Variance can be applied for by: Mail Authorized Agent Business Contractors
 Signature required on application: Owner Agent Lawyer
 Must attend variance hearing: Owner Agent Lawyer
 Documents required: Site Plan Elevations Sign Details Sealed Engineering Additional Professional Seals
 Quantity Required: 12 12 12 _____
 Document color: Color B/W Document Size: not regulated
 Length of time to secure variance: 1 month Cost of variance: \$100
 Can variances be granted during the site plan approval process? Yes No
 If yes, what board & is it different from the standard variance process? _____

Notes: Meetings: 1st & 3rd Tuesday/month City Council. Applications due at least 2 weeks prior
 Applications can be submitted by email: planning@crystallake.org

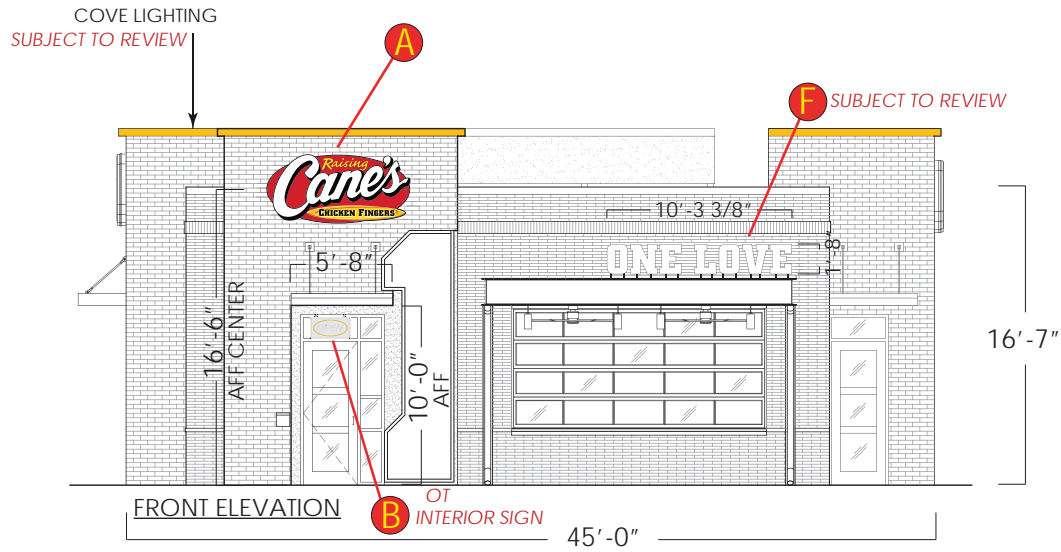


Location: Crystal Lake, IL AGI Rep: G.W.
 Site ID: RC0496 AGI PM: Kelly Deep
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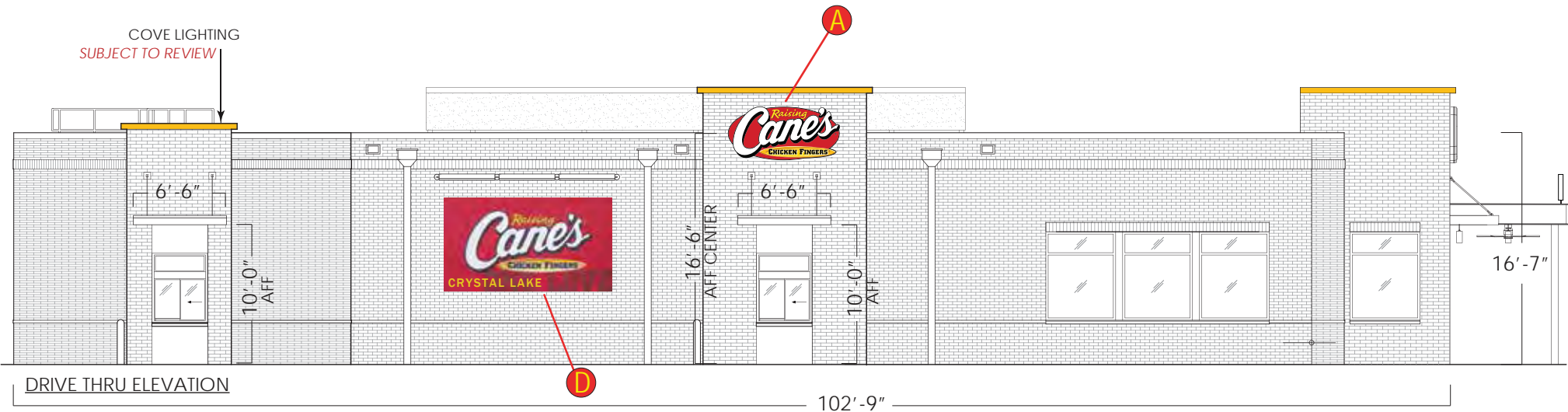


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ELEVATIONS



	QTY.	CODE	DESCRIPTION
A	3	WS-8FT	4x8 Wall Sign
B	1	ONS	Open Sign
C	1	CFNS	Chicken Fingers Neon Sign
D	1	PMRL	Painted Mural
E	1	BD-1	Blue Dog
F	1	CAN	One Love Canopy Letters
G	2	DTAW	DT Awning
H	2	DTMB	DT Menuboard
I	2	DTSP	Pre Sell Board
J	2	DTSP	Speaker Post
K	1	MON	Monument



Scale: 3/32" = 1'



Location: Crystal Lake, IL

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Site ID: RC0496

AGI PM: Kelly Deep

Date: 04/25/2019

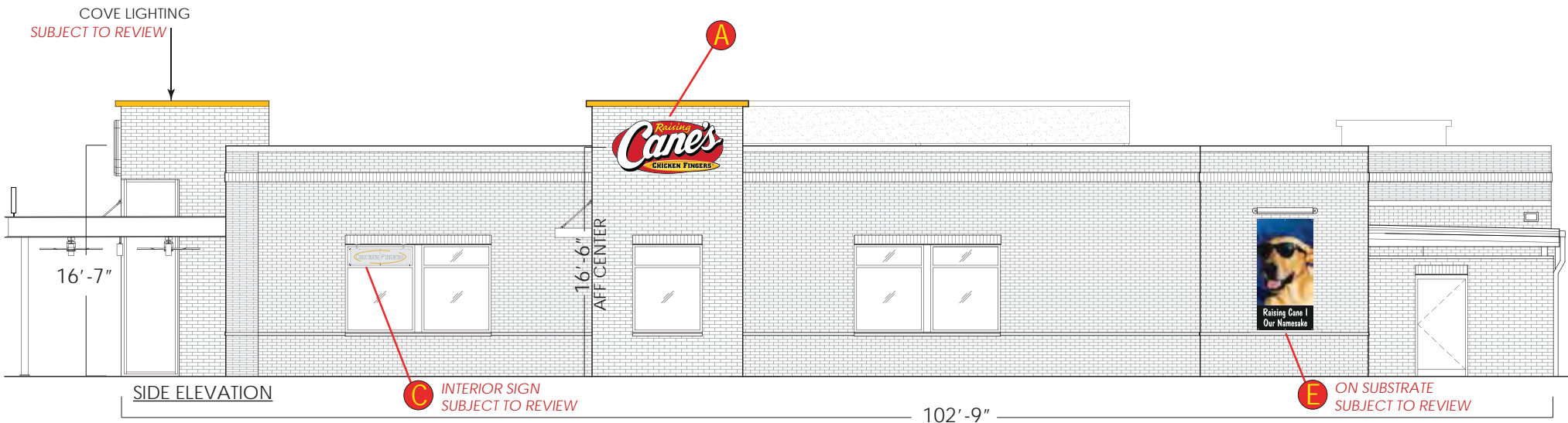
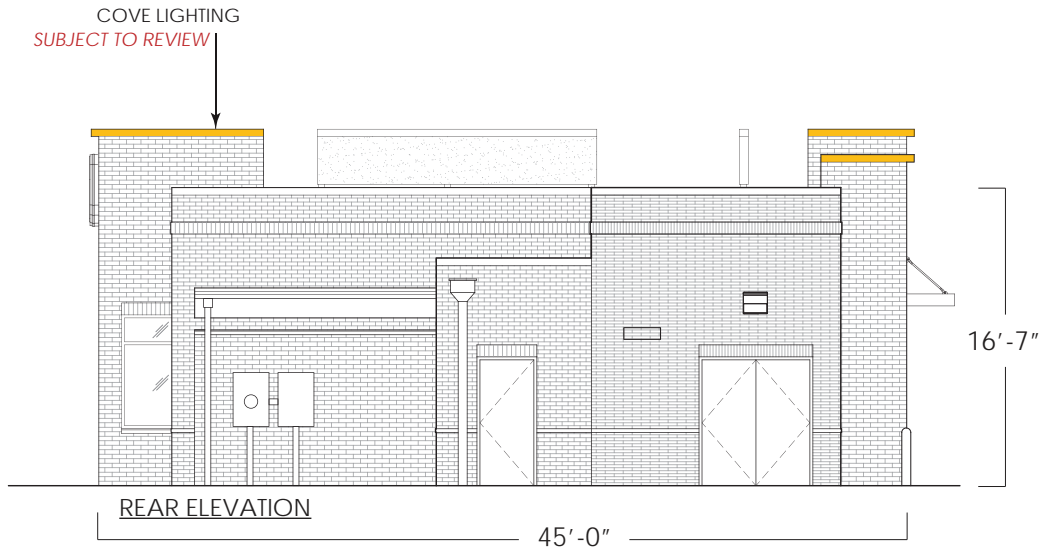
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ELEVATIONS

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Scale: 3/32" = 1'



Location: Crystal Lake, IL

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AGI RESPONSIBLE FOR FOUNDATION & CONCRETE PAD

Scale: 1/2"=1'



Location: Crystal Lake, IL

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Site ID: RC0496

AGI PM: Kelly Deep

Date: 04/25/2019

Drawn by: M. Folden

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A

CUTSHEET
WS-8FT



COPY & DROP SHADOW ARE AS FOLLOWS:
 'RAISING' IS FIRST SURFACE APPLIED
 TRANSLUCENT VINYL 3M #3630-015 'YELLOW'
 DROP SHADOW IS FIRST SURFACE APPLIED
 TRANSLUCENT VINYL 3M #3630-53
 'CARDINAL RED'

BORDER IS PAINTED 'BLACK'

BACKGROUND IS SURFACE APPLIED
 TRANSLUCENT VINYL 3M #3630-73 'RED'

.150" THERMO FORMED CLEAR
 POLYCARBONATE FACE
 REGISTER MARK IS PAINTED 'BLACK'

DOUBLE EMBOSSED LETTERS ARE
 PAINTED SECOND SURFACE 'WHITE'

EMBOSS AROUND LETTERS IS
 PAINTED SECOND SURFACE 'BLACK'

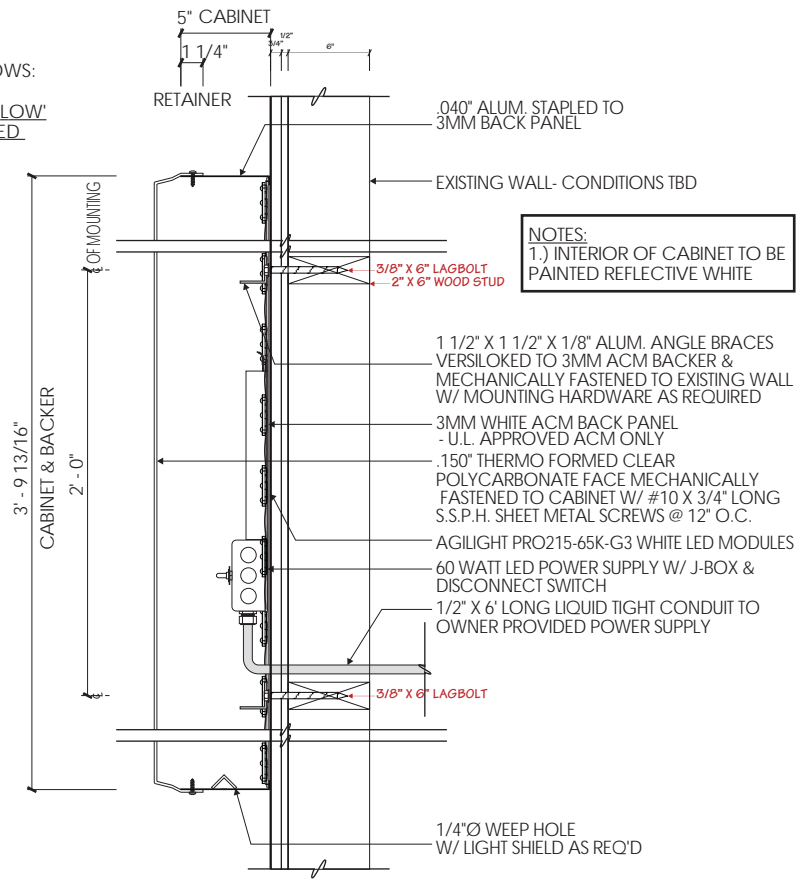
EMBOSS SURFBOARD IS AS FOLLOWS:
 - SIDES ARE PAINTED TO MATCH
 PANTONE #109C 'YELLOW'
 - GRAPHICS ARE SECOND SURFACE
 APPLIED DIGITAL PRINT

1/2" EMBOSS LETTERS
 1/2" EMBOSS RED BACKGROUND
 1/4" EMBOSS DROP SHADOW
 1/4" EMBOSS SURFBOARD

FRONT ELEVATION

24.14

Square Footage



SECTION

NOTES:
 1.) INTERIOR OF CABINET TO BE
 PAINTED REFLECTIVE WHITE

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	1.8

COLOR CHART	
	3M #3630-15 'YELLOW'
	3M #3630-73 'RED'
	3M #3630-53 'CARDINAL RED'



Location: Crystal Lake, IL
 Site ID: RC0496
 Date: 04/25/2019

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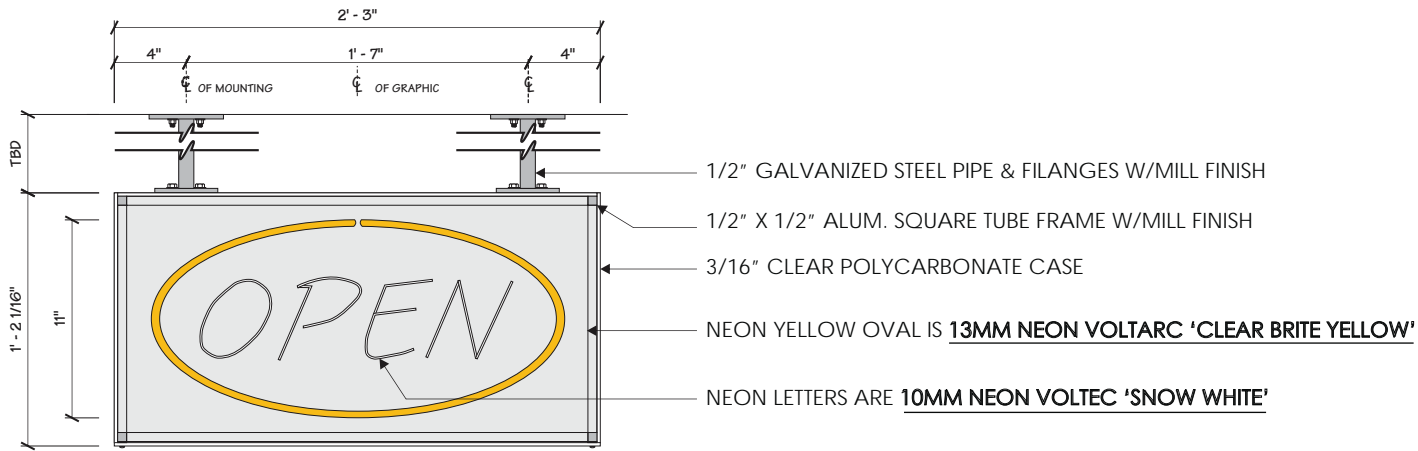
B

CUTSHEET

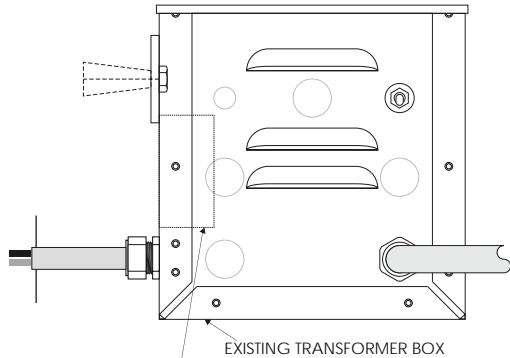
ONS (H)

INTERIOR SIGN

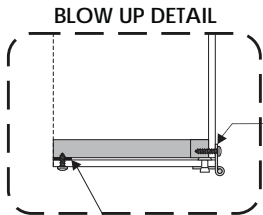
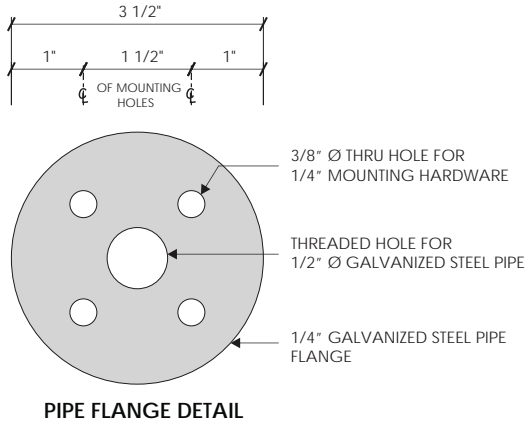
PIPE LENGTH TO BE VERIFIED



NOTES:
 1.) TRANSFORMER IS MOUNTED REMOTELY IN ATTIC. TRANSFORMERS ARE TO BE ELECTRONIC.

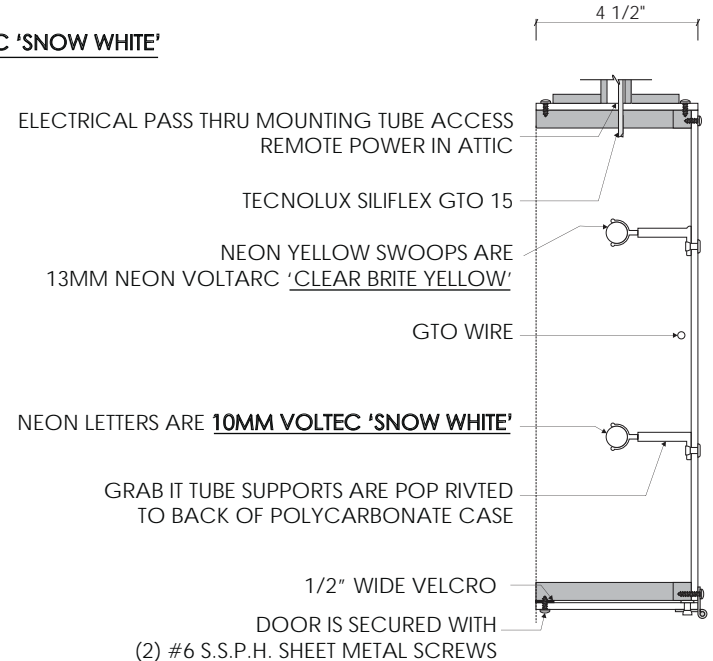


LIGHTING COMPONENTS
 LC-2-12-3-C (2,000-12,000V 30 MA)
 MOUNTED IN REMOVE TRANSFORMER BOX



1 1/2" CONTINUOUS PIANO HINGE IS POP RIVETED TO POLYCARBONATE BOTTOM & MECHANICALLY FASTENED TO POLYCARBONATE BACKER & ALUM. TUBE FRAME
 2/ #6 S.S.P.H. SHEET METAL SCREWS

(3) STRIPS OF 1/2" WIDE BLACK VELCRO TO CLOSE POLYCARBONATE DOOR @ TUBE FRAME
 -DOOR IS SECURED W/ (2) #6 S.S.P.H. SHEET METAL SCREWS



ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	2.1



Location: Crystal Lake, IL

AGI Rep: G.W.

Site ID: RC0496

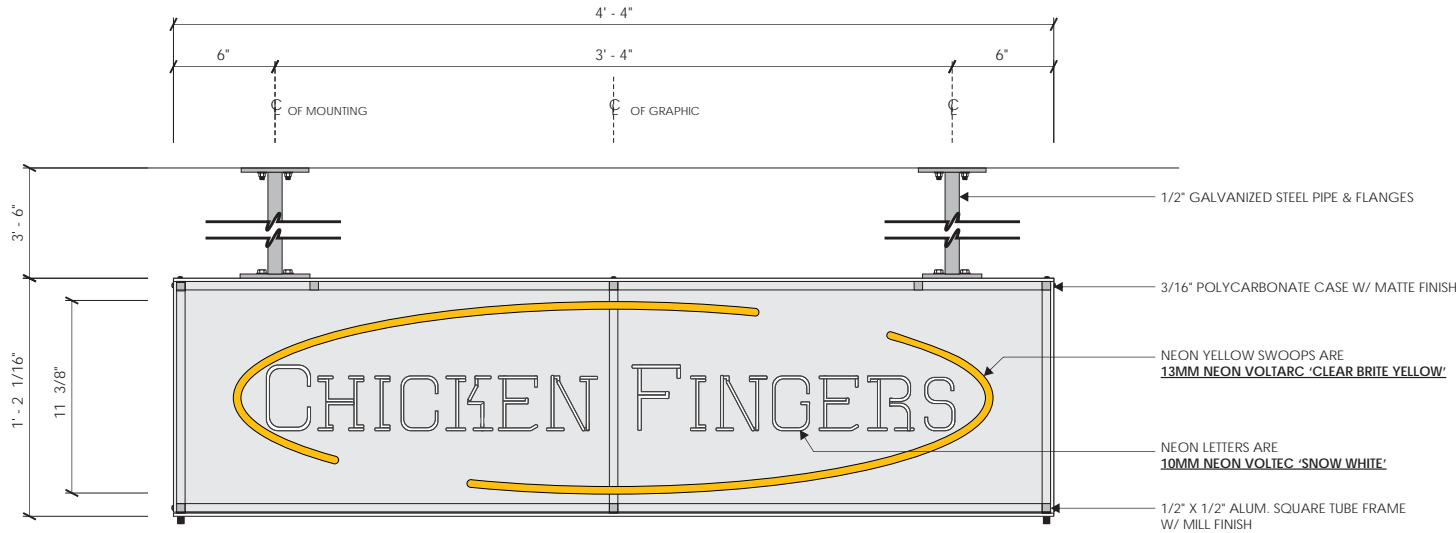
AGI PM: Kelly Deep

Date: 04/25/2019

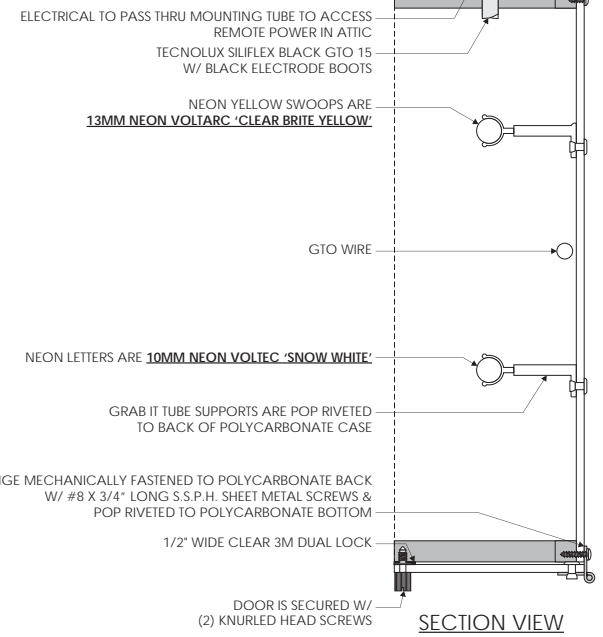
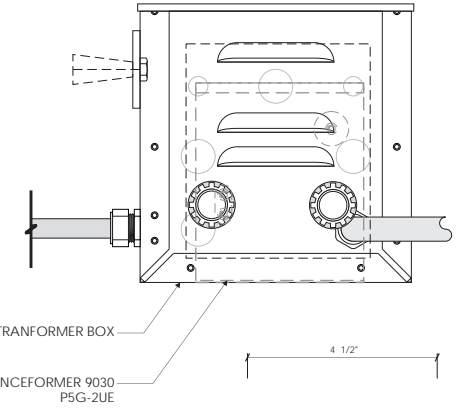
Drawn by: M. Folden

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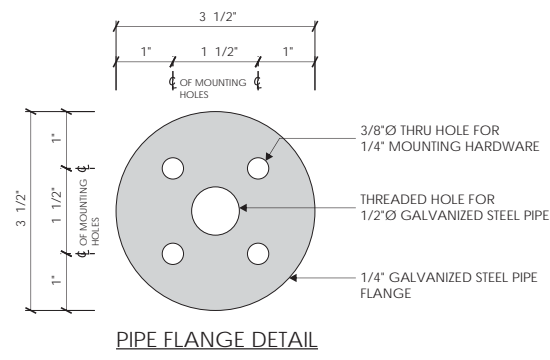




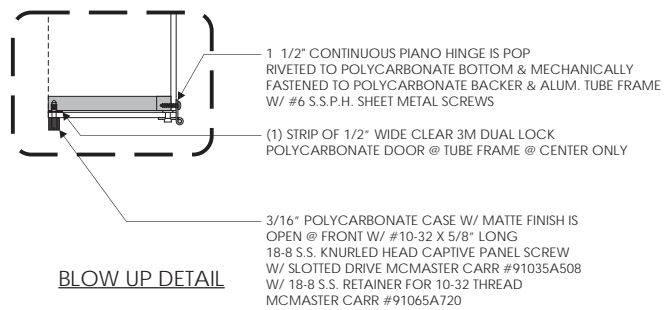
FRONT ELEVATION



SECTION VIEW



PIPE FLANGE DETAIL



BLOW UP DETAIL

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	2.1



Location: Crystal Lake, IL
 Site ID: RC0496
 Date: 04/25/2019

AGI Rep: G.W.
 AGI PM: Kelly Deep
 Drawn by: M. Folden

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D

CUTSHEET
PMRL (Custom)

12'-0"

6'-8"



Scale: 1/2" = 1'

80.00

Square Footage

FOR ARTIST RENDERING USE ONLY
MURAL PROVIDED BY OTHER VENDOR



Location: Crystal Lake, IL

AGI Rep: G.W.

Site ID: RC0496

AGI PM: Kelly Deep

Date: 04/25/2019

Drawn by: M. Folden

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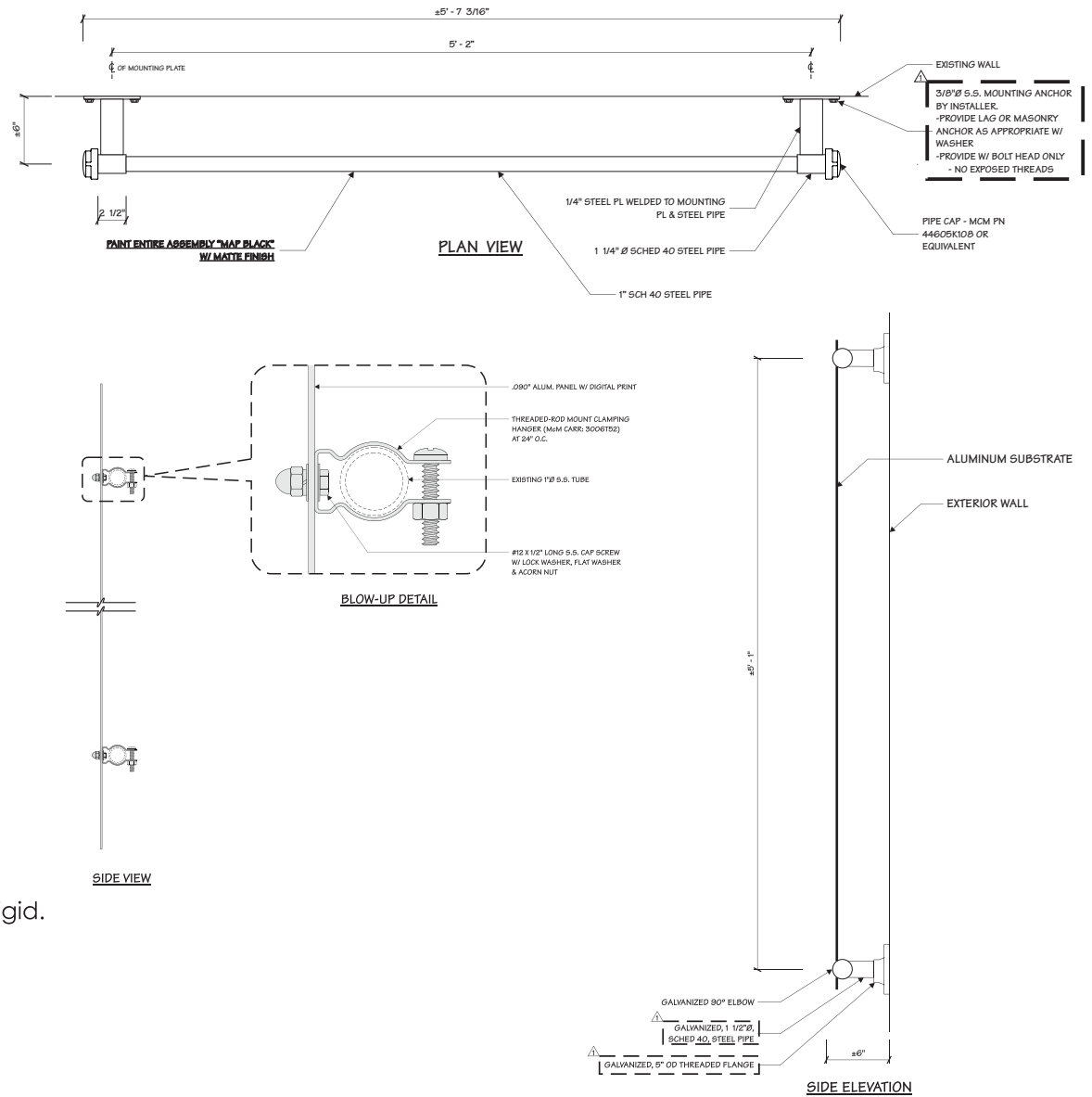




This is a digital print on aluminum substrate and rigid.

32.00

Square Footage



Location: Crystal Lake, IL

AGI Rep: G.W.

Site ID: RC0496

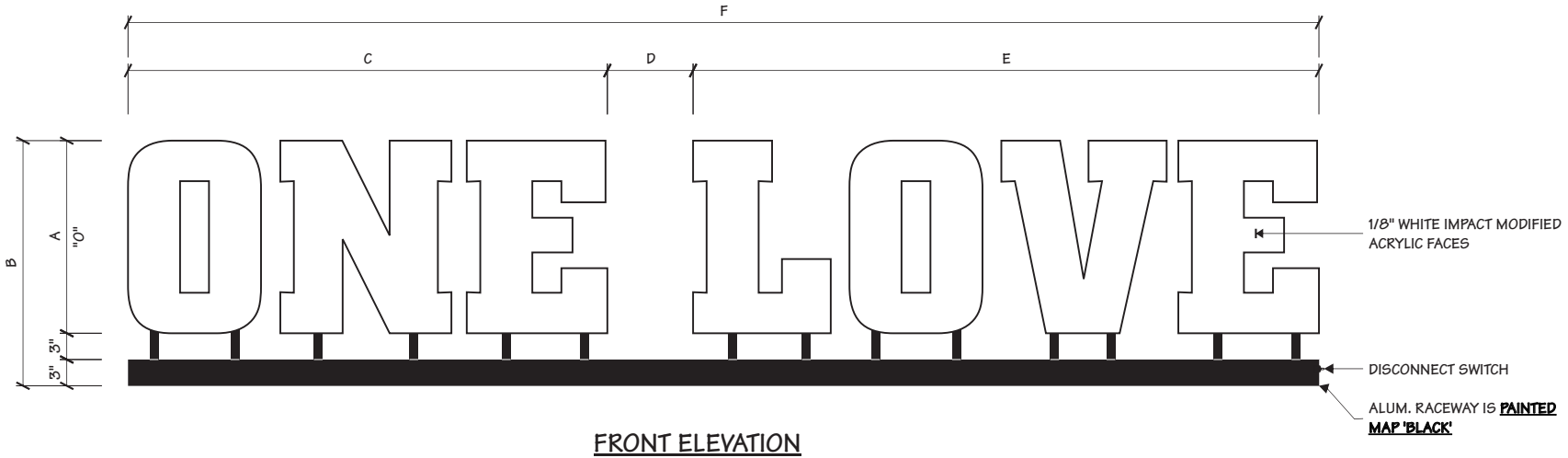
AGI PM: Kelly Deep

Date: 04/25/2019

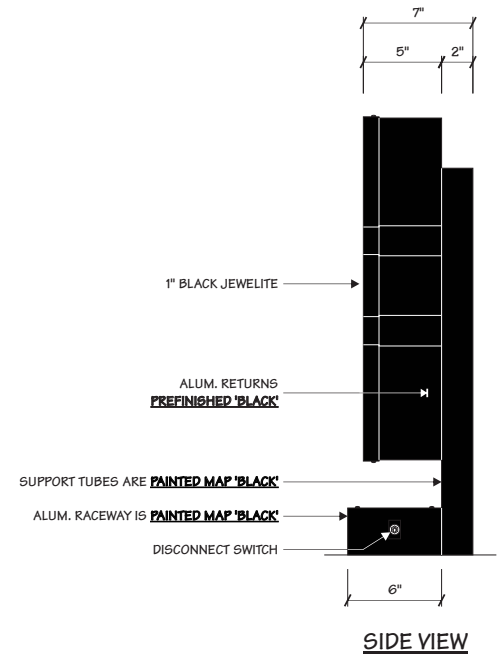
Drawn by: M. Folden

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SIGN SIZE	A	B	C	D	E	F	SF
OL-16	16"	±1' - 10 9/16"	±3' - 3 13/16"	±7 1/8"	±4' - 4"	±8' - 3"	11.22
OL-18	18"	2' - 0"	±3' - 8 13/16"	±8"	±4' - 10 1/2"	±9' - 3 3/8"	14.75
OL-20	20"	2' - 2"	±4' - 1 13/16"	±8 15/16"	±5' - 5"	±10' - 3 3/8"	17.57
OL-22	22"	2' - 4"	±4' - 6 3/4"	±9 13/16"	±5' - 11 1/2"	±11' - 4 1/8"	21.31



Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

AGI Rep: G.W.

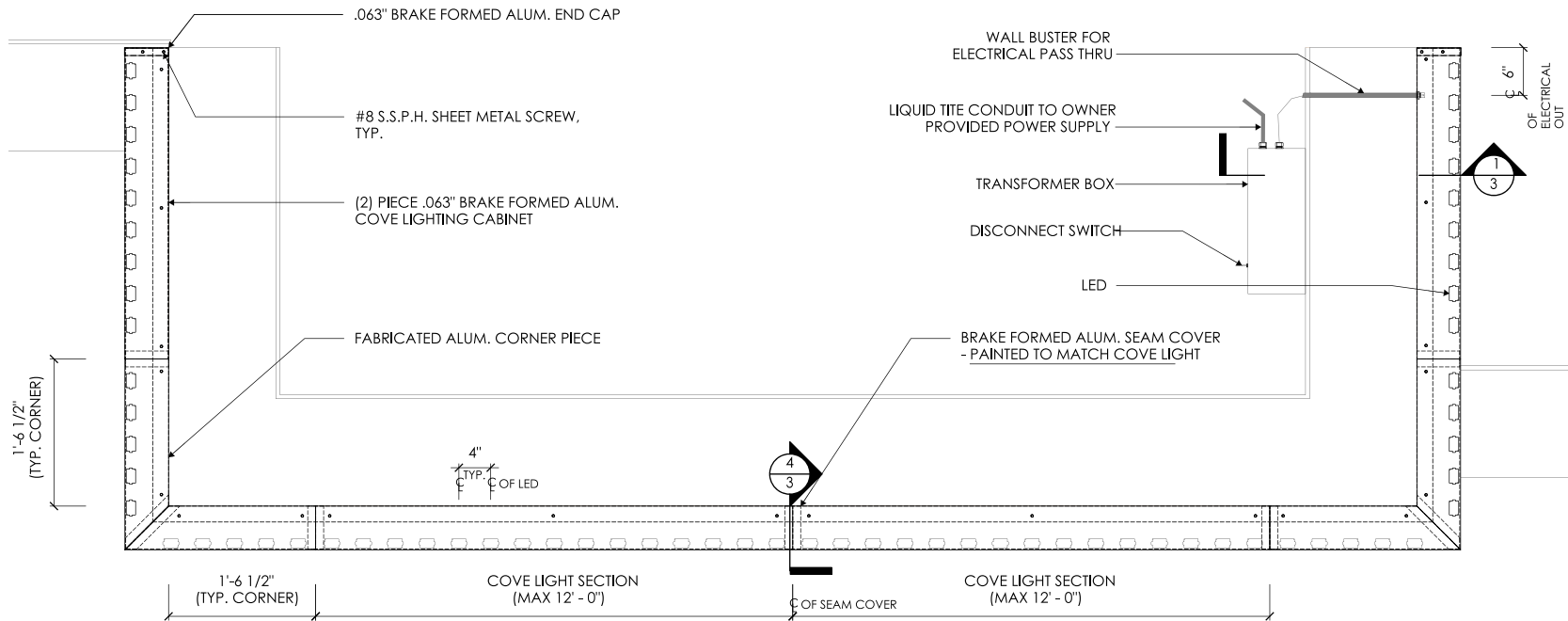
AGI PM: Kelly Deep

Drawn by: M. Folden

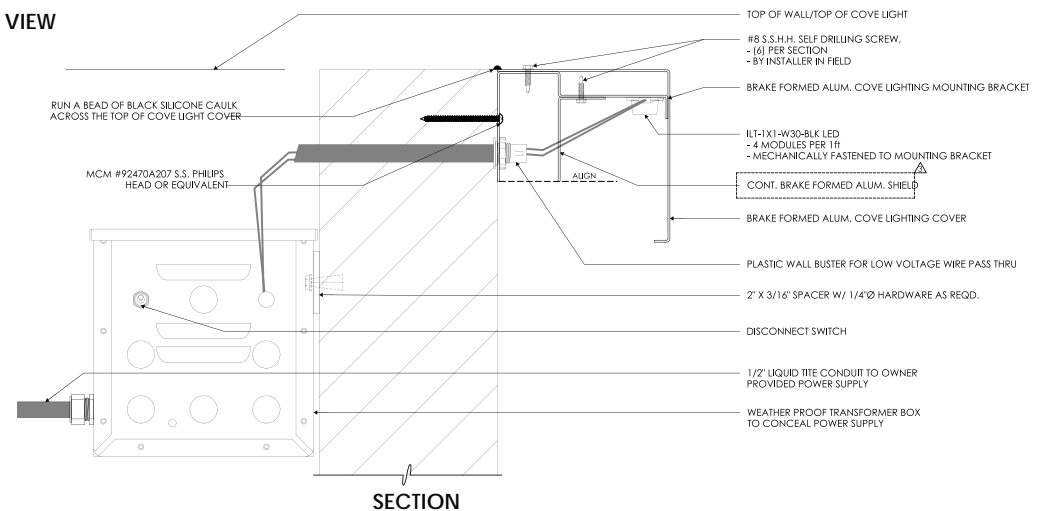
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CUTSHEET
Cove Lighting ILT
SUBJECT TO REVIEW



STRUCTURAL PLAN VIEW



SECTION



Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

AGI Rep: G.W.

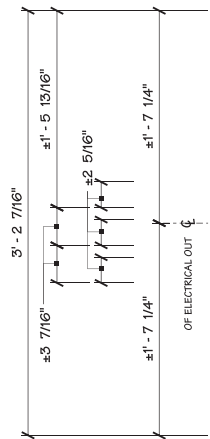
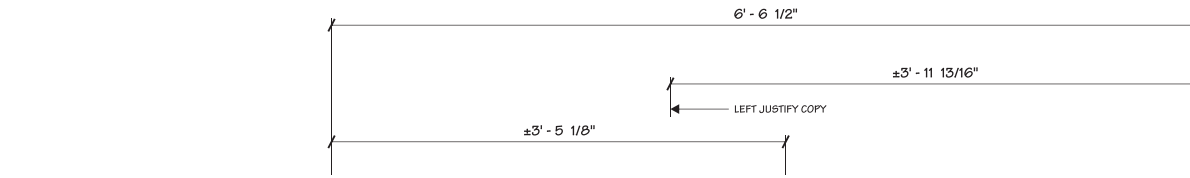
AGI PM: Kelly Deep

Drawn by: M. Folden

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CUTSHEET
Lemonade Sign
SCHEME B RUST LETTERS



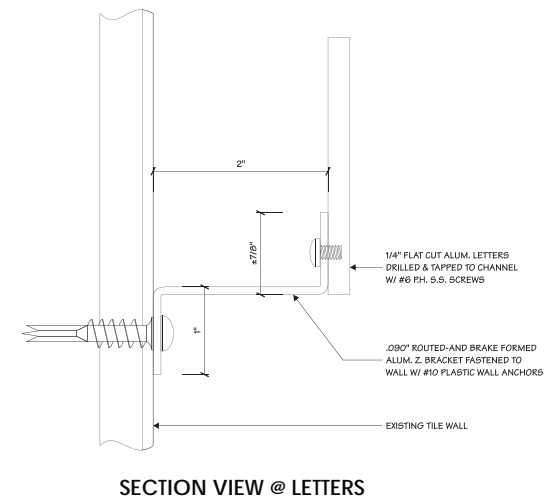
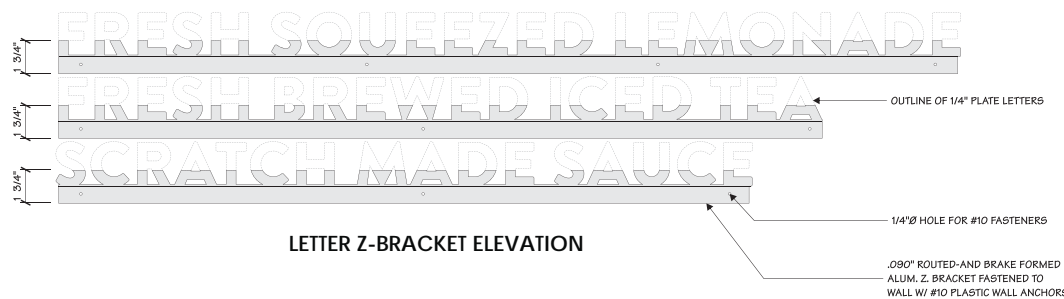
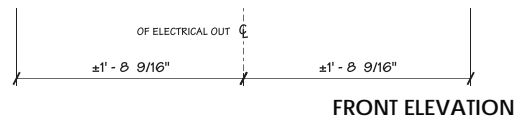
FABRICATED ALUM. CHANNEL CABINET
PAINTED MAT 'GLOSS WHITE'
ON FACE & RETURNS W/ ALUM. FACE
TO HAVE **SURFACE APPLIED**
DIGITAL PRINT W/ GLOSS OVERLAMINATE

EXISTING CERAMIC TILE WALL

COPY IS 1/4" FLAT CUT ALUM
POWDER-COATED (REFER TO TABLE)
(KERNING .5")
- FASTENED TO ROUTED AND BRAKE
FORMED Z-CHANNEL **W/ MILL FINISH**

ELECTRICAL OUT LOCATION

GRAPHICS ARE TRANSLUCENT WHITE
MOLDED SILICONE BACKED W/
#7328 WHITE POLY & VINYL



Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

AGI Rep: G.W.

AGI PM: Kelly Deep

Drawn by: M. Folden

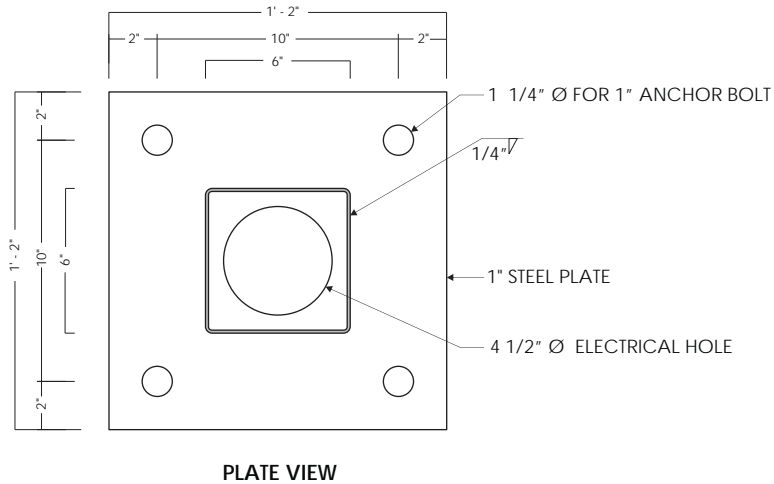
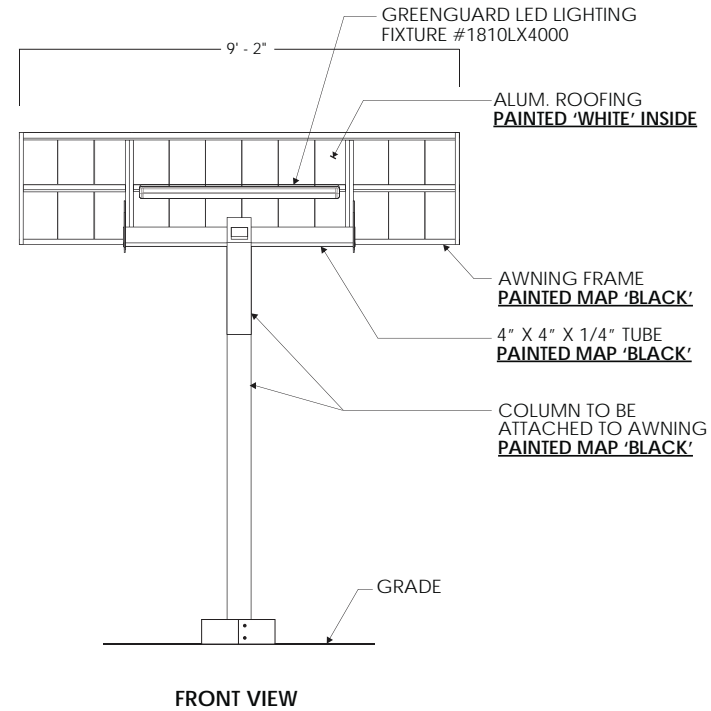
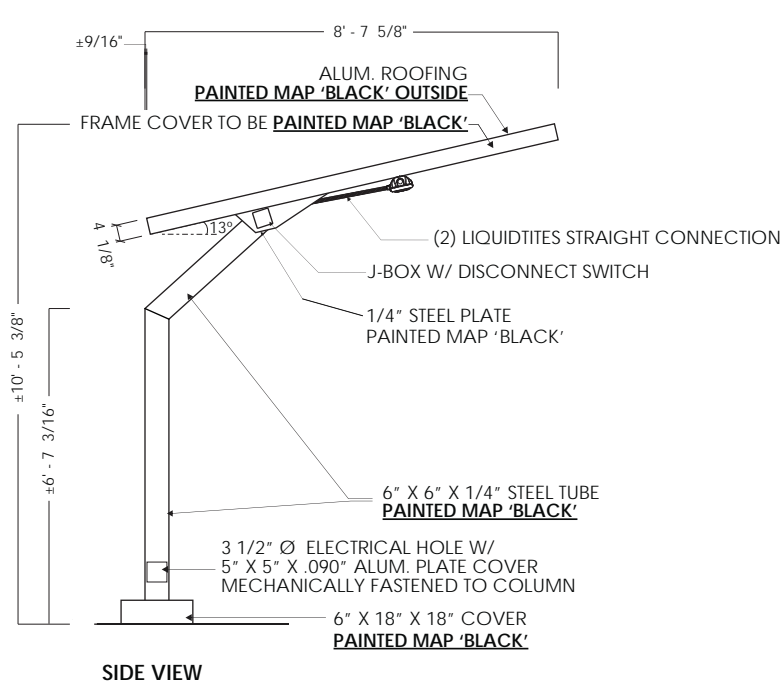
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G

CUTSHEET

Drive Thru Awning



SEE ATTACHED ENGINEERING

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	0.5



Location: Crystal Lake, IL

AGI Rep: G.W.

Site ID: RC0496

AGI PM: Kelly Deep

Date: 04/25/2019

Drawn by: M. Folden

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31.72

Square Footage



Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

AGI Rep: G.W.

AGI PM: Kelly Deep

Drawn by: M. Folden

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CUTSHEET

Pre Sell Board

ALLOWED 1 MENUBOARD PER SITE,
SUBJECT TO REVIEW



8.31

Square Footage



Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

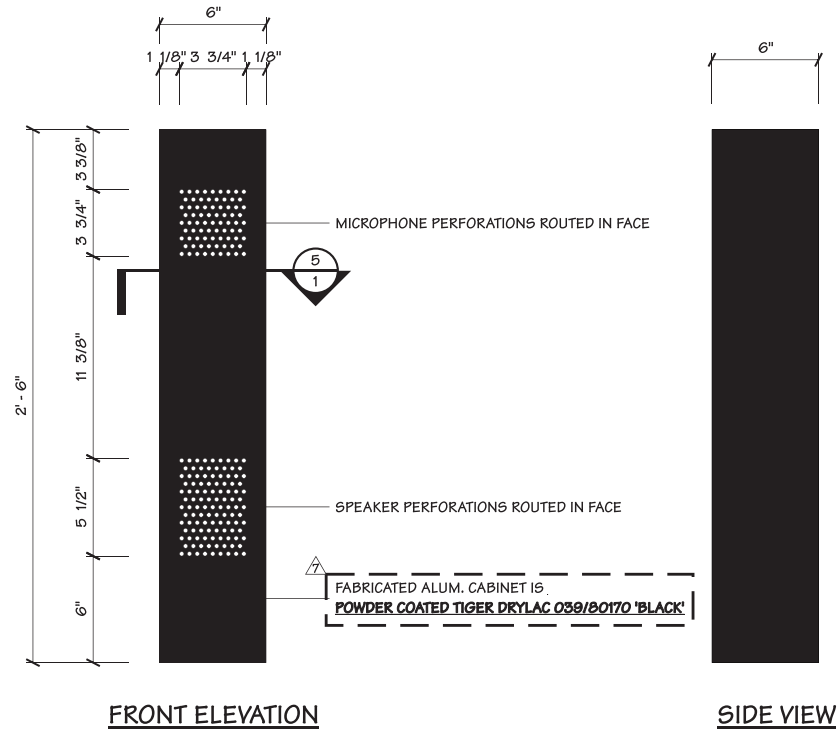
AGI Rep: G.W.

AGI PM: Kelly Deep

Drawn by: M. Folden

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Location: Crystal Lake, IL

Site ID: RC0496

Date: 04/25/2019

AGI Rep: G.W.

AGI PM: Kelly Deep

Drawn by: M. Folden

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Location: Crystal Lake, IL

AGI Rep: G.W.

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Location: Crystal Lake, IL

AGI Rep: G.W.

Site ID: RC0496

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Date: 04/25/2019

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1. PROJECT NARRATIVE

Kimley-Horn and Associates, Inc., serves as the engineering consultant for Raising Cane's. They are proposing to construct a new 3,316 SF building with a drive-thru at 5417-5501 Northwest Highway in Crystal Lake, IL. The site is currently an abandoned used car dealership with an existing building and surface parking lot. The existing building and onsite features are to be demolished by others under a separate permit. The sitework for Raising Cane's includes site access modifications, minor grading, building and pavement construction, and utility construction for new storm, sanitary and water services. The site is located in McHenry County and will be subject to the City of Crystal Lake and McHenry County Stormwater Management Ordinance.

1.1. Pre-Development Conditions

The proposed site for the new Raising Cane's Restaurant is the eastern side (Lot 2) of the existing car dealership development. Lot 2 is approximately 1.15-acres in size and is a paved parking lot in the existing conditions. The existing site runoff drains from southeast to northwest via sheet flow to the IL 14 State R.O.W. as shown on the **Existing Drainage Plan** included in this report as **Exhibit 5**.

In the existing condition, the area of proposed improvements contains 1.13 acres of impervious surface and 0.02 acres of pervious surface.

Per the U.S. Fish and Wildlife Service National Wetlands Inventory, there are no wetlands or riparian environments located within the area of development or within 100 feet of the proposed development. The **National Wetlands Inventory map** is included in this report as **Exhibit 1**.

Per the FEMA Flood Insurance Rate Map, Map Number 17111C0335J, the site is located in Zone X which is defined by FEMA as an "Area determined to be outside the 0.2% annual chance floodplain". The **FEMA Flood Insurance Rate Map** is included in this report as **Exhibit 2**.

1.2. Post-Development Conditions

The proposed development will include the proposed restaurant, drive-thru, parking lot, and utility services. Generally, the proposed drainage patterns match the existing drainage patterns with the flow being routed via sheet flow to proposed storm sewer inlets as well as sheet flowing to the State right-of-way. The existing storm sewer system will be removed and replaced with new storm sewer. Refer to the **Proposed Drainage Area Map** included in this report as **Exhibit 6** for additional details.

The area of proposed improvements will contain 0.73 acres of impervious surface and 0.42 acres of pervious surface. This is a decrease of impervious area by 0.40 acres from the existing condition. Refer to Section 2. Site Runoff and Section 3. Site Runoff Storage in this report for additional stormwater information

2. SITE RUNOFF

The proposed development will utilize new storm sewer pipes and inlets to route both minor and major storm events to the Route 14 right-of-way. Per the City of Crystal Lake Stormwater Ordinance, the 10-year recurrence frequency is typically selected to define the upper limit for the minor stormwater system.

The proposed storm sewer has been sized using Hydraflow Storm Sewers Extension for AutoCAD Civil 3D 2020, which utilizes the rational method and the Manning's equation for the calculations. Rainfall Data was obtained from the Illinois State Water Survey's Bulletin 70 (2019 revision). A runoff coefficient of 0.90 was assumed for impervious areas and 0.45 was assumed for pervious areas. An inlet time of concentration of 10 minutes was assumed for the storm sewer calculations for all drainage areas. Refer to **Exhibit 6** for the **Proposed Drainage Area Map and Design Calculations**.

3. SITE RUNOFF STORAGE

As noted above, the proposed Raising Cane's site will decrease the existing impervious area, so detention for the proposed improvements will not be required.

4. RUNOFF VOLUME REDUCTION

To achieve the runoff volume reduction requirement of the local stormwater ordinances, the proposed site plan minimizes impervious surfaces. The reduction in impervious surfaces compared to the existing conditions is previously discussed in this report. The proposed site plan maximizes green space around the building and patio areas as well as around the perimeter of the site.

Drive-Through Queueing (Stacking) Analysis

A drive-through queueing analysis was conducted to determine whether the proposed stacking length is adequate to accommodate the drive-through vehicles for the proposed restaurant. Based on the Kimley Horn Site Plan (see **Appendix E**), vehicle storage space for the restaurant with drive-through windows is 14 vehicles within the dual drive-through lanes. This satisfies the City Code requirements of 14 stacking spaces for a restaurant with dual order boards (4 spaces is required between the pick-up window and the order board and 5 spaces is required after the order board).

Based upon recent surveys conducted by at similar fast-food restaurants with drive-through facilities (see **Appendix H**), the maximum stacking did not exceed 15 vehicles, with typical peak hour queues ranging between 8 to 9 vehicles. The sites surveyed were generally located on principal arterial roads with similar, and/or higher, Annual Average Daily Traffic (AADT) volumes as US Route 14.

Accordingly, the drive-through storage, as proposed, is adequate to accommodate the anticipated vehicle queue length for the proposed restaurant with drive-through window facility.

Part IV. Recommendations and Conclusions

Analyses have been conducted under existing and future conditions to determine the impact from the proposed mixed-use development on the study area intersections. The capacity analysis results indicate that the increase in project site-generated traffic has little effect upon the operations of the area roadway network with the recommendations contained herein:

- A dedicated right-turn lane would be installed on US Route 14 at the proposed three-quarter (left-in/right-in/right-out) site access driveway.
- The painted median along the eastern site frontage would be restriped as a two-way left-turn lane.
- A Stop sign would be installed on the shared site access driveway, opposite Federal Drive. This site access should provide one inbound lane and two outbound lanes: a left-turn lane and a shared through/right-turn lane.
- The proposed three-quarter site access driveway on US Route 14 should provide one inbound lane and one outbound (right-turn) lane, operating under Stop sign control.
- The development should provide for a future connection to the parcel to the east, if/when it is redeveloped with a compatible use.
- To the extent feasible, deliveries should occur during off-peak hours.
- Employees should be encouraged to park in remote spaces (furthest from the site entrance) to provide convenient parking for customers.
- Appropriate wayfinding signing should be provided on site to direct traffic to the drive-through.