



#2020-136 1079 North Shore – Variation Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	August 19, 2020
<u>Request:</u>	Variation from Article 3 Section 3-300 3. Front Setback and removal of condition #1 from Ordinance 5723 to allow the encroachment of 10.49 feet into the average front yard setback for an addition.
<u>Location:</u>	1079 North Shore
<u>Acreage:</u>	Approximately 8,800 square feet
<u>Existing Zoning:</u>	R-2 Single Family
<u>Surrounding Properties:</u>	North: R-2 Single Family South: R-2 Single Family East: R-2 Single Family West: R-2 Single Family
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- In 2003, the developer requested a subdivision of two existing tax parcels (which were considered one conforming zoning lot since the residence was built across both lots) to create two non-conforming lots with variations.
- The Planning Commission recommended approval of the subdivision and **denial** of the request for the variation to encroach into the front yard setback.
- At the City Council meeting, the Council placed a condition on the approval that the two new residences would not extend beyond the existing residential structures on either side. **The City Council expressed concerns about preserving all sight lines to the lake. The current proposed addition would further block the sight lines for the neighboring residence to the east.**
- The Council approved the request, but without the variation and instead required the buildings adhere to a line drawn between the two existing residences. Ordinance #5723 specifies, “Per the exhibit discussed at the December 2, 2003 City Council meeting, new residences on Lots 18 and 19 shall not extend beyond a line drawn between the southern building lines of the existing structures on Lots 17 and 20.”
- That exhibit is attached with this packet.

Development Analysis:

General

- **Request:** The petitioner is requesting the removal of the restrictive condition on the ordinance allowing the residence to be held to the Unified Development Ordinance (UDO). Under the UDO, the average setback is calculated for lakefront lots. The addition would require a variation from this average front yard setback.
- **Zoning:** The site is zoned R-2 Single Family. This property is used as a single-family home.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.

Project Analysis:

- The house on Lot 17 has been demolished and the lot is currently vacant combined with the lot to the west.
- A variation for an addition on Lot 18 – 1083 North Shore (the other lot held under this ordinance restriction) was approved on August 2, 2016. That approval is attached.
- If the line of sight restriction was removed, the property would be subject to the average setback. The average setback is determined by measuring the distance of the adjacent properties for a total of 400 feet (approximately 200 feet in either direction or to the ends of blocks). The average setback was determined to be 68.64 feet.
- The 11-foot addition will encroach into that required front yard, leaving a setback of 58.15 feet from the water's edge.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3 and removal of condition #1 from Ordinance 5723 to allow the encroachment 10.49 feet into the average front yard setback for an addition.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

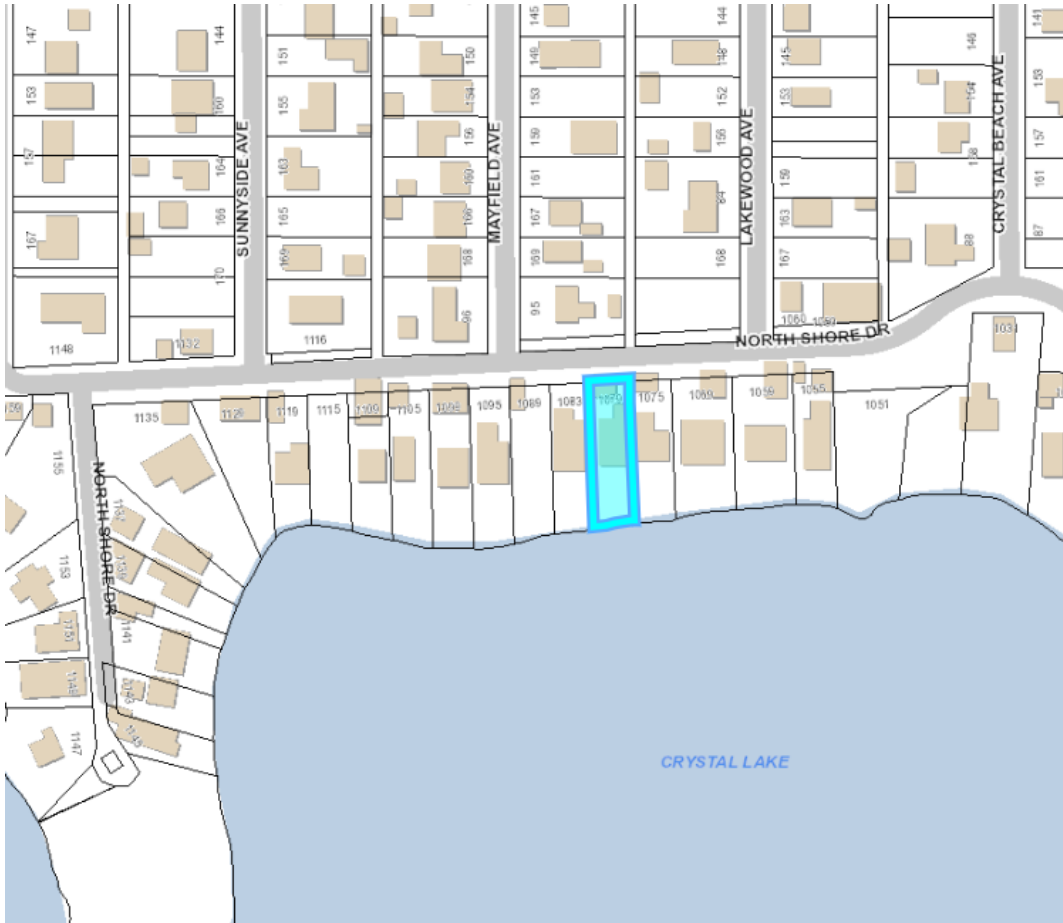
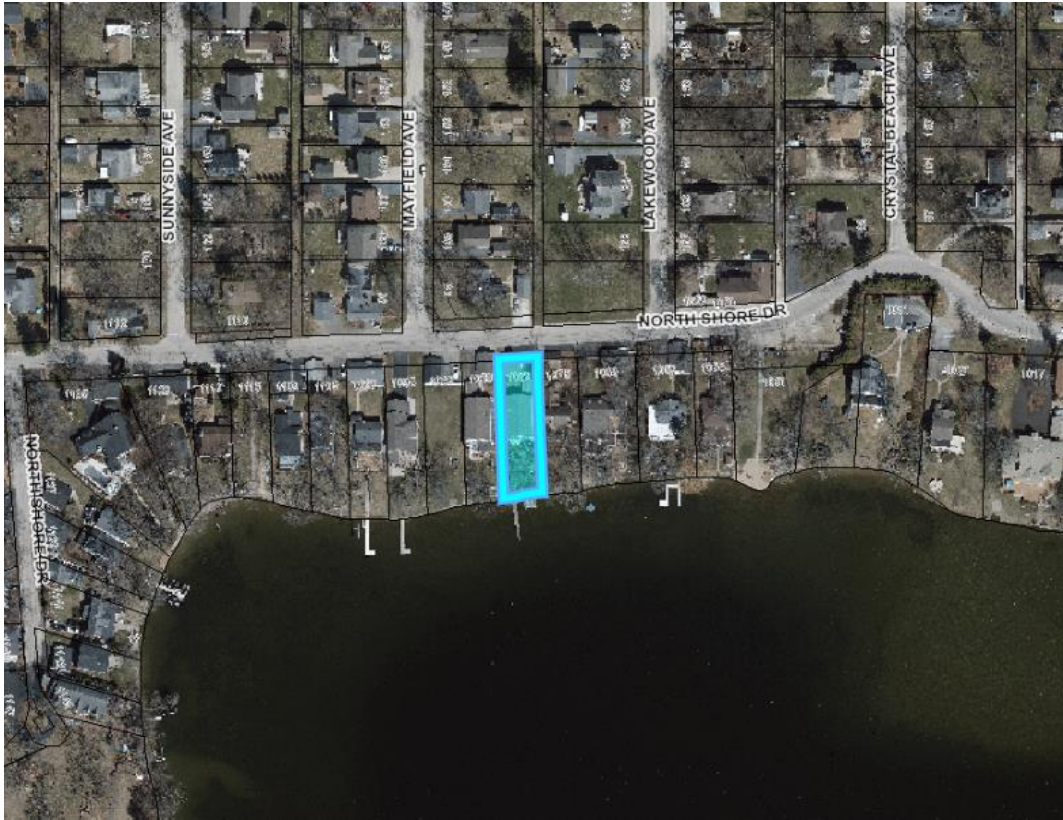
Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Yager, received 07/28/20)
 - B. Architectural Plans (ALA Architects, dated 06/22/20, received 07/28/20)
 - C. Plat of Survey (Land Technology, dated 06/23/06, received 07/28/20)
2. Any further encroachment by decks, stairs, additions, etc. would require additional variations. Flat work, such as a patio, does not require a variation provided it meets the minimum 5-foot setbacks, height standards, and impervious coverage limits.
3. The petitioner shall address all of the review comments and requirements of Community Development Department.

PIQ Map
1079 North Shore



Application for Simplified Residential Variation

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

I. Applicant

Chip & Denise Yager

Name

1079 North Shore Drive

Street

Crystal Lake IL 60014

City State Zip Code

847-219-2447 chip.yager@gmail.com

Telephone Number Fax Number E-mail address

II. Owner of Property (if different)

Name

Address Telephone Number

III. Project Data

1. a. Location/Address: 1079 North Shore Drive, Crystal Lake, IL 60014

b. PIN #: 18-01-229-058

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

This home has unique circumstances relating to when it was originally built regarding site lines from lots on either side of the property, which no other home on the lake has. However, the proposed property improvement, which includes a wider rear deck, will not extend beyond the original front yard setback, and if the restriction no longer applied, no variation would be needed.

IS THE HARDSHIP SELF-CREATED?

No, these restrictions were applied to the property when it was under different ownership.

18-01-229-058
 JUL 28 2021
 [Signature]

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

To our knowledge, other homes on Crystal Lake do not have these site line restrictions.

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

The variation will not alter the essential character of the locality. If anything, it will allow for improvements to the character.

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No, it will not be detrimental to the public welfare and will not be injurious to other property.

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUSBTANTIALLY INCREASE THE DANGER OF FIRE; OT ENDANGER PUBLIC SAFETY?

No, it will not impair adequate supply of light or air to adjacent property, diminish property value, will not increase congestion in public streets, will not increase danger of fire, or endanger public safety.

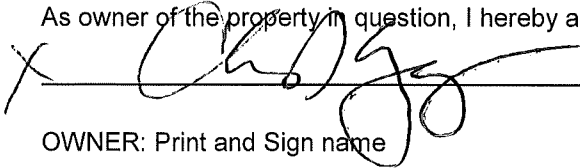
3. List any previous variations that are approved for this property: None other known

IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

X 

1/27/2020

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Friday, July 31, 2020 NWWH

**PUBLIC NOTICE
BEFORE THE PLANNING
AND ZONING COMMISSION
OF THE CITY OF CRYSTAL
LAKE, MCHENRY COUNTY,
ILLINOIS**

**IN THE MATTER OF THE
APPLICATION OF
Denise and Chip Yager
LEGAL NOTICE**

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Denise and Chip Yager for approval of a variation to encroach into the front yard setback relating to the following real estate known as 1079 North Shore Drive, Crystal Lake, Illinois 60014, PIN: 18-01-229-058.

This application is filed for the purposes of seeking a Simplified Residential Zoning Variation modifying Ordinance #5723 removing the requirement to adhere to a setback equal to the adjacent lots and to encroach into the averaged front yard setback 10.48 feet allowing the addition to a home, 58.15 feet from the water's side property line pursuant to Article 3 and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department of City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, August 19, 2020, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.

Chairperson
Planning
and Zoning Commission
City of Crystal Lake

(Published in the Northwest
Herald July 31, 2020)
1802903



CITY OF
Crystal Lake
ILLINOIS

May 17, 2010

Sent via U.S. Mail

COPY

Mr. and Mrs. Davidson
1083 North Shore Drive
Crystal Lake, IL 60014

RE: Proposed deck at 1083 North Shore Drive

Dear Mr. and Mrs. Davidson:

Thank you for meeting with me on May 10th regarding your proposed deck at 1083 North Shore Drive. The Building Division had previously informed your contractor (Mark Chambers) that a variation is required for the deck to be installed as proposed. When we met, I promised to review the recording of the City Council meeting (December 2, 2003) at which a Final Plat of Subdivision, Zoning Ordinance Variation and Subdivision Ordinance deferrals were granted upon the request of petitioners Paul and Julie Myers and Joy Davidson.

After reviewing the recording, I have the following to offer: At the City Council meeting on December 2, 2003, the Council acted on the Plan Commission recommendation to approve the Final Plat of Re-subdivision for two residential lots in the Templin's Re-subdivision and a zoning variation for Lots 1 and 2 from the required width of 70 feet to allow 49.99 feet. The Plan Commission had recommended denial of the petitioner's request for zoning variations for Lots 1 and 2 from the required total side yard setback of 18 feet to allow 12 feet as well as from the required minimum side yard setback of 7 feet to allow 5 feet.

At the City Council meeting, there was a lengthy discussion relative to the petition. Areas of discussion included two assessments paid for water and sewer as well as the single connection to the residence; the residence built across lot lines and a garage built on the other lot; as well as the requested variations. At the meeting, the petitioners expressed that they would build the new residences at the same setback as the existing residence. The City Council expressed concerns about preserving all sight lines rather than just approving the existing 59.5 foot setback from the lake. After much discussion, the City Council approved the re-subdivision request along with the approval of a zoning variation from the required lot width of 70 feet to allow both lots to be 49.99 feet and subdivision ordinance deferrals. In the absence of specific building plans, the City

Council denied the petitioner's request for zoning variations for both lots from the required total side yard setback of 18 feet as well as from the required minimum side yard setback of 7 feet. The Council granted the lot width variation with the following condition: "Per the exhibit discussed at the December 2, 2003 City Council meeting, new residences on Lots 18 and 19 shall not extend beyond a line drawn between the southern building lines of the existing structures on Lots 17 and 20". Therefore the "sight line" was established as the front (lakeside) setback for these two lots. The City Council also indicated to the petitioners that if further (side setback) variations would be necessary to accommodate the residences on these lots, they (petitioners) would have to request those specific variations at a future date.

From my conversation with the Building Division, the new residence at 1083 North Shore Drive was built at the "sight line" and without requesting any side setback variations. Per the Crystal Lake Unified Development Ordinance (Article 3-300 C 2) decks attached to a principal building (residence) are permitted to encroach 4 feet into a required setback. Since the front setback for your residence was established at the "sight line", only a 4 foot deck (as currently exists) is possible. Therefore the proposed deck which extends 22 feet beyond the house would require a variation.

You can petition the City Council for a variation to allow the deck as currently proposed. Variations are approved by the City Council with recommendations from the Planning and Zoning Commission. If you would like to pursue the variation, please let me know and I can provide more information.

If you should have any additional questions, please don't hesitate to contact me at 815.356.3615 or by e-mail at LBhide@crystallake.org.

Sincerely,



Latika Bhide
Planner

cc: Michelle V. Rentzsch, Director of Planning & Economic Development
Rick Paulson, Building Commissioner
John L. Cowlin, City Attorney
Planning File #2003-68

**AN ORDINANCE GRANTING A VARIATION
AT 1079 NORTH SHORE DRIVE**

WHEREAS, pursuant to the terms of the Application (File #2003-68) before the Crystal Lake Plan Commission, the Applicant has requested the granting of a Simplified Residential Variations from Sections for Lots 1 and 2: A. 4.4-2 from the required lot width of 70 feet, to allow a 49.99-foot lot width, a variation of 20.01 feet; B. 4.4-5 from the required total side yard setback of 18 feet, to allow 12 feet, a variation of 6 feet; C. 4.4-5 from the required minimum side yard setback of 7 feet, to allow 5 feet, a variation of 2 feet; and

WHEREAS, it is in the best interests of the City of Crystal Lake that the Variation be granted as requested in said Application.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

SECTION I: That a Variation be granted from the Crystal Lake Zoning Ordinance Section 4.4-2 for the required lot width of 70 feet, to allow a 49.99 lot width for both Lots 1 and 2

at the property legally described as follows:

Lots 18 and 19 in Block 1 in Clow's Crystal Lake Park, being a subdivision of part of the Lot 2 in the Northeast Quarter of Section 1, Township 43 North, Range 7 East of the Third Principal Meridian and part of Lot 2 of the Northwest Quarter of Section 6, Township 43 North, Range 8 East of the Third Principal Meridian, according to the plat thereof recorded September 6, 1894 as Document No. 13360 in Book 1 of Plats, page 54, in McHenry County, Illinois AND ALSO: That part of Lot 2 in the Northeast Quarter of Section 1, Township 43 North, Range 7 East of the Third Principal Meridian, described as follows: Beginning at the Northwest corner of Lot 18 in Clow's Crystal Lake Park according to the Plat thereof, recorded September 6, 1894 as Document No. 13360 in Book 1 of Plats, page 54, in McHenry County, Illinois; thence Northerly 29.00 feet along the Northerly extension of the Westerly line of said Lot 18; thence Easterly along a line 29.00 feet North of and parallel to the North lines of Lots 18 and 19 and in said Clow's Crystal Lake Park for a distance of 100.00 feet; thence Southerly 29.00 feet along the Northerly extension of the Easterly line of said Lot 19 to the Northeast corner of said Lot 19; thence Westerly 100.00 feet along the Northerly line of Lots 18 and 19 to the place of beginning. All located in the City of Crystal Lake, McHenry County, Illinois.

Commonly known as 1079 North Shore Drive, Crystal Lake, Illinois.

SECTION II: That the Variation be granted with the following condition:

1. Per the exhibit discussed at the December 2, 2003 City Council meeting, new residences on Lots 18 and 19 shall not extend beyond a line drawn between the southern building lines of the existing structures on Lots 17 and 20.

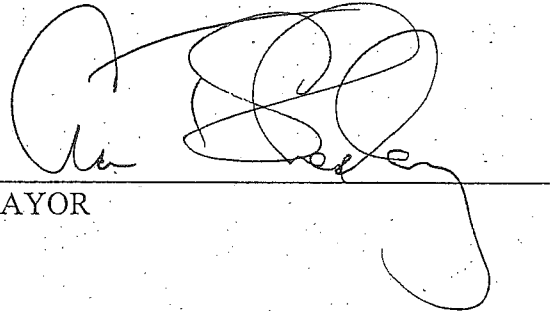
SECTION III: That the City Clerk be and is hereby directed to amend the official zoning map of the City of Crystal Lake and all pertinent records of the City of Crystal Lake to show the granting of a Simplified Residential Variation in accordance with the provisions of this Ordinance, as provided by law.

SECTION IV: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

AYES: 6
NAYS: 1
ABSTENTIONS: 0
ABSENT: 0

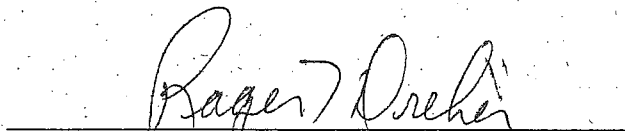
PASSED this 2nd day of December, 2003.

APPROVED by me this 2nd day of December, 2003.



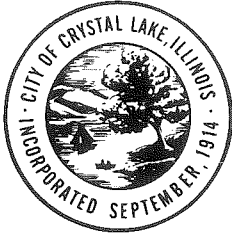
MAYOR

ATTESTED:



CITY CLERK

Published in pamphlet form by the authority of the Mayor and City Council of the City of Crystal Lake.



Agenda Item No: 9

**City Council
Agenda Supplement**

Meeting Date: December 2, 2003

Item: REPORT OF THE PLAN COMMISSION

#2003-68 Final Plat of Resubdivision for two single-family residential lots; Zoning variations from the following Sections of the Zoning Ordinance: Section 4.4-2 from the required lot width of 70 feet, to allow a 49.99-foot lot width, a variation of 20.01 feet; Section 4.4-5 from the required total side yard setback of 18 feet, to allow 12 feet, a variation of 6 feet; and Section 4.4-5 from the required minimum side yard setback of 7 feet, to allow 5 feet, a variation of 2 feet.

Paul and Julie Myers and Joy Davidson, applicant
1079 North Shore Drive

**Plan Commission
Recommendations:**

Motion to approve the Plan Commission recommendations approving the Final Plat of Subdivision, Zoning Ordinance Variation and Subdivision Ordinance deferrals, and adopting an ordinance authorizing the issuance of the Zoning Ordinance Variation for lot width.

Staff Contact: Michelle Rentzsch, Planning Director

Background: The property in question contains a residence, attached garage and detached garage on two lots along North Shore Drive. The residence and attached garage were built on Lot 19 but also rest on Lot 18. The detached garage rests on Lot 18. The petitioners would like to remove the existing house and create two lots for two new homes.

Section 7.2-2.1 of the Zoning Ordinance states that "when a single-family structure has been built over the common lot line between two or more non-conforming lots, demolition, destruction by catastrophic event, or moving of such structure may not be interpreted to create two or more buildable lots."

In these situations in the past, Staff has required approval of a Final Plat of Subdivision before two or more lots could be utilized separately.

The petitioners appeared before the Plan Commission on August 27, 2003 seeking a Final Plat of Subdivision to recreate the two original lots and a variation from Section 4.4-2 from the required lot width of 70 feet, to allow a 49.99-foot lot width, a variation of 20.01 feet. At the meeting, individuals objected to the petitioner's request for several reasons. The Plan Commission suggested the petitioners meet with the neighbors to potentially resolve the areas of disagreement and continued their request.

After the Plan Commission meeting, a memo from Planning Department, based on discussions with the City Attorney, was provided to the Plan Commissioners (please see attached memo). It stated "the basis for denying a subdivision that consists of two 50 foot lots, which constitutes the majority of the lots in the area, would be highly challengeable in a court of law." The memo also states "the fact that the property owner paid for two utility stubs to the two lots lends additional weight the their request. As has been the case with other resubdivisions in the west end and north shore, variations for lot area and lot width, if in keeping with the surrounding lot sizes and if serviceable with public utilities, have been customarily granted."

The petitioners then appeared before the Plan Commission on November 14, 2003 with their original request and, in addition, a request for two additional variations from the Zoning Ordinance. They requested a variation from Section 4.4-5 from the required total side yard setback of 18 feet, to allow 12 feet, a variation of 6 feet and from Section 4.4-5 from the required minimum side yard setback of 7 feet, to allow 5 feet, a variation of 2 feet. The petitioners chose these setbacks because they are comparable to the required side setbacks for non-conforming recorded lots (total side—12.6, minimum side—4.9).

For reference, the front setback (lakefront) for a residence would be 50 feet. The block average is 52 feet, but only the Zoning Ordinance requires a maximum of 50 feet. The rear setback (North Shore Drive) would be 30 feet since that would be considered a side abutting a street.

At the November 14, 2003 Plan Commission meeting, the Commission recommended approval **(6-1 vote)** of the petitioner's request for a Final Plat of Resubdivision.

The Plan Commission recommended approval **(6-1 vote)** of the petitioner's request for a Zoning Ordinance variation from Section 4.4-2 from the required lot width of 70 feet, to allow a 49.99-foot lot width, a variation of 20.01 feet.

The Plan Commission recommended denial **(6-1 vote)** of the petitioner's request for Zoning Ordinance variations from Section 4.4-5 from the required total side yard setback of 18 feet, to allow 12 feet, a variation of 6 feet; and Section 4.4-5 from the required minimum side yard setback of 7 feet, to allow 5 feet, a variation of 2 feet.

The Plan Commission included the following conditions:

1. Plans approved by City Council, with changes reflecting staff and advisory board recommendations:
 - A. Final Plat of Subdivision (Vanderstappen, dated 4/24/03).
2. Final Plat of Re-subdivision
 - A. Please provide notation as to whether the streets have been dedicated.
 - B. Please provide the building setback lines and dimensions.
3. The house, attached garage and detached garage must be removed before applying for a building permit for either lot.
4. The fence along the western perimeter of Lot 18 that is encroaching on the neighbor's property must be removed or moved to the appropriate (east) side of the lot line before applying for a building permit for either lot.
5. **Deferral of the installation of parkway trees, sidewalks and burial of the overhead utility lines when the lots are redeveloped, unless a deferral is granted until there is an area-wide program (Changed by PC).**
6. Pay the required school, park and administration impact fees.
7. The petitioner shall address any and all comments of the Building, Engineering, Utilities and Planning Departments.

After the second Plan Commission meeting, staff met with the City Attorney and asked for additional legal opinion and a historical perspective on this matter. His provided response memo, dated November 20, 2003, is attached for reference.

Votes Required to Pass:

Simple majority vote for the Final Plat of Resubdivision and lot width variation.

Super majority vote to overturn the Plan Commission's recommendation for the two side setback variations.

Action Taken:

**CRYSTAL LAKE PLAN COMMISSION
WEDNESDAY, NOVEMBER 12, 2003**

The meeting was called to order by Vice Chair Vause at 7:30 p.m. On roll call, members Cabay, Deemer, Esposito, Greenman, Hopkins, Schofield, and Vause were present. Mr. McDonough was absent. Mr. Pitner had resigned.

Michelle Rentzsch, Planning Director, and Brian Grady, Planner, were present from Staff.

APPROVE MINUTES OF THE OCTOBER 22, 2003 MEETING

Mr. Esposito moved to approve the minutes from the October 22, 2003 Plan Commission meeting as presented. Mrs. Schofield seconded the motion. On voice vote, members Cabay, Esposito, Greenman, Hopkins, Schofield, and Vause voted aye. Dr. Deemer abstained. Motion passed.

2003-68 MYERS/DAVIDSON – 1079 NORTH SHORE DR. – PUBLIC HEARING

This petition was continued from the October 22, 2003 Plan Commission meeting. Final Plat of Re-subdivision for two residential lots. Zoning Variation from Section 4.4-2 from the required lot width of 70 feet to allow a 49.99-foot lot width for both Lot 1 and Lot 2, a Variation of 20.01 feet.

Dan Curran, attorney, Paul and Julie Myers, and Joy Davidson, joint owners of this property, were present to represent the petition. Mr. Myers handed out additional information to the Commissioners. Mr. Curran said he had written a letter to the City Attorney regarding proceeding with this process of subdividing the lots back to the way they were. There is an additional issue of the variation. Mr. Curran stated they are requesting the minimum side setback variation only for the common lot line between these recreated lots and not the side yards abutting the properties on the other sides of these lots. He said the required front yard setback is 30 feet and they are going to have 50 feet.

Ms. Davidson said their intention for purchasing the property was to improve it, not to harm it. It was originally 2-50 foot wide lots but a previous owner built over the lot line, which according to the ordinance makes it one lot. She said the home has no historic value and they want to demolish the home and put up two high quality homes. Ms. Davidson said these wouldn't be track homes. She stated that 94% of the homes in the area are on 50 foot lots and 85% of the lots are 60 feet wide and under. Their lot sizes exceed the minimum lot size requirements for "R-2" zoning. These homes will not diminish the light or air to adjacent properties.

Mr. Grady said he spoke with the City Engineer regarding their comments concerning side yard variations and it was the Engineering Department's intention to make the petitioner aware that the swales in between these homes would be more challenging.

Ms. Davidson said there will always be neighbors that are opposed to this being done, but they have a petition from other homeowners along the lake that are in favor of this request. She read from the Staff Report regarding setbacks. They are providing more setbacks from the front and rear than is required. Ms. Davidson said they showed the concept drawings to some of the neighbors but the only response was they wanted the project abandoned.

Mr. Curran said this was originally platted as two lots and two hookup fees were paid for these lots. The ordinance was changed 10 years after the addition was put on the house making the two lots into one. This affected the owners' property rights. Mr. Curran said they have a letter from 1984 allowing 3 homes on 3 lots that were originally the site of the hotel and they were not required to subdivide. Also the City recently approved a subdivision and variations on Mayfield, which is very close to this property. Mr. Curran read from the Zoning Ordinance and reviewed the conditions in the Zoning Ordinance regarding variations. He said the neighbors have property rights as well as these petitioners.

Ms. Myers explained the maps that are attached to the information given to the Commissioners at the beginning of the meeting. She said they spoke to all of the people who were at the last meeting and the only concern left is that they want the lot left at 100 feet.

Mr. Vause commended the petitioners for the amount of work they put in on this and made an attempt to work with the neighbors.

Mr. Greenman asked about the Engineering comment regarding sewer system location. Ms. Rentzsch said the sanitary sewer is very deep and will be costly to connect to. She said the Engineering Department wanted the petitioners to be aware of that up front so they know what is possible. Mr. Greenman asked how the petitioners came up with two of the variations since there are no house plans. Mr. Curran said this is what has been done in the area.

Mr. Cabay asked if the City Attorney feels this subdivision should be done? Ms. Rentzsch said this has come up before and we need to look at the character of the neighborhood. She said the City extended the sanitary sewer and the owner paid for two utility connections, which lends weight to their petition.

Mr. Esposito asked where the garages would be. Ms. Myers showed the rendering showing the garages. Mr. Esposito asked about the setbacks between the homes. Mr. Curran said they would be 5 feet on each lot for a total of 10 feet. Mr. Esposito asked about traffic. Ms. Myers said it would basically be the same.

Mr. Vause asked if they were also requesting the deferral for the burial of utility lines, and sidewalks. Mr. Curran said yes.

Mr. Vause asked what the hardship is for the variations. Mr. Curran said the ordinance took away their property rights. He said changes to the ordinance have been made over the years.

Mr. Grady said the rear setback as stated in the Staff Report is 30 feet not 20 feet and the garage can be set back 5 feet from the street and 3 feet from the side property line.

Dan Mengeling, attorney at 666 Russel Court, Woodstock, said he was representing several surrounding property owners who were unable to attend this meeting and will read letters from them later. Mr. Vause said the letters could be read after the others in attendance have asked their questions. Mr. Mengeling agreed. He asked if the current owners did research when they were purchasing the property to be sure they could divide the lot. Ms. Myers said they were told it was an administrative drill. Mr. Mengeling asked if the owners sought advise of an attorney.

Mr. Myers said no. Mr. Mengeling asked if the attorney that is representing them now was the same attorney at the closing. Mr. Curran said he was hired approximately one week ago.

Mr. Mengeling asked about the plans for the homes. Mr. Myers said they have looked at many plans. Mr. Mengeling said the elevations that are shown may or may not be built. Mr. Myers said yes. Mr. Curran said he advised them not to spend too much money on plans until they received approval from Council for the subdivision of the property.

Mr. Mengeling asked if Ms. Davidson was intending to move into the home. Ms. Davidson said yes. Mr. Mengeling said he understood that she would not be moving in until after she retired which is several years away.

Mr. Mengeling asked if they spoke with an engineer regarding the sewer. Mr. Myers said they spoke with several other City Engineers that they know and they were told this could be done. He said they are also aware that it could be costly.

Mr. Mengeling asked about the setback from the lake. Mr. Myers said it would be 50 feet from the lake. Ms. Davidson said it is the same as the others in the area. Mr. Grady said he scaled the property in question at 61 feet. Mr. Mengeling said he would prefer the setback to be the same, which is 61 feet. Mr. Curran said they are requesting 50 feet. He said the neighbors took down a cottage and put up a larger home that is much taller than the one they took down.

Lynn Scherf, 1099 North Shore, said she lives 50 feet from the property in question. She read a letter that she had prepared (copy attached). She said there are no dimensions for the homes that are shown.

Carla Butler, 1089 North Shore, said she lives immediately west of this property. At the previous meeting, she expressed her concern that the garage from this lot encroaches onto her property. She hopes that structure is removed. Ms. Butler asked for information from their title company regarding the covenants and the encroachment. She has not received that information. The Building Department measured only neighboring homes for their setbacks and not the entire north shore area but the petitioners have included those homes in their survey of lot widths. Ms. Butler said the property in question never went on the market for anyone else to purchase.

Ms. Butler read a letter from her sister who was unable to attend this meeting (copy attached). She said that they are in favor of positive changes but not all changes are positive.

Mr. Vause asked about the title policy. Mr. Myers said that there was some personal financial information on that and did not want to give that out. Ms. Butler asked if there was anything on it regarding the encroachment or the covenants.

Tim O'Neal, 1327 Mayfield, said he is approximately 400 feet from this property. He was under the impression that non-conforming lots had a 75% rule. Ms. Rentzsch said that was correct but it is a 70% rule in the ordinance which allows County lots to be conforming.

Mr. O'Neal asked about the trenching. Mr. Myers said the lots have good drainage and they understand they need to meet the City's requirements. Mr. O'Neal said another property owner in the area put up a fence and large pine trees which blocked the neighbors' views which made

the neighbors upset.

Robert Fredichs, 415 Highland Ave, said if the hotel was standing today could they make three lots out of it. Mr. Curran said the City told the owner that they have three buildable lots. Mr. Fredichs said he agrees that everyone has property rights but you can't do everything you want to with your property. He said he would not be allowed to put up a restaurant on the vacant property next to his. Mr. Fredichs said the lots would be less than 50 feet. Ms. Rentzsch explained that they are 49.99 feet on the lakeside and 50 feet on the street side. Mr. Curran said they are pie shaped lots.

Ms. Sherf said the neighbors' homes are setback farther from the lake and if these homes would be built they would only see the house from their deck. This will obstruct their view.

Jim Heisler, 131 Baldwin, said the area is continually upgrading since the original homes on the lake were only cottages without heat. He said the trend in the area now is for larger not smaller. Mr. Heisler asked that the petitioners listen to the neighbors – they are sincere.

Mr. Mengeling read the letters from David Graham, 1069 North Shore Drive, Patrick Higgins, 1059 North Shore Drive, Merlynn Boback, 1075 North Shore Drive, and James Boback, 1075 North Shore Drive all opposing this request.

Mr. Mengeling said the petitioners have not shown the necessity for the variations requested for the sideyard. They don't have any plans for the homes to be built on these lots. He said Mr. Boback was told by the Building Department that he needed to keep the same footprint when he was taking down the old home and putting up a new one. Mr. Mengeling said when the City Engineer says the sewer hookup may be difficult – that should put up a red flag. He said the neighbors are concerned since they don't know what will be put on this property and they aren't sure that what they were shown is what will be done. The petitioner knew they had a single conforming lot when purchased.

Mr. Myers said no one responded to their letters the first time they sent out them out. This was all a surprise at the first Plan Commission meeting. They are just trying to clarify what the neighbors want.

Ms. Myers said no one said to them that the current house improves the neighborhood.

There was no one else in the public who wished to speak on this matter. The public hearing was closed at this time.

Mr. Greenman asked what would the next step be for the petitioners after the City Council if this request were approved. Mr. Grady said they could submit plans to the Building Department for permit.

Mr. Vause said this is an emotional issue here. This neighborhood has character. They need to think about the hardship for the variations and the prevailing and predominant lot size in the area.

Dr. Deemer said he would prefer not to grant the variations for the side yard until plans are seen to see what variations will actually be needed. Mrs. Schofield, Mr. Esposito and Mr. Hopkins agreed.

Mr. Greenman asked if they would go before the Zoning Board of Appeals for the variations in the future. Ms. Rentzsch said yes.

Mr. Vause suggested the Commission act on the Plat only and then come back for the variations that are needed. Mr. Curran said he would prefer they act on the variations as well so they can take it all to the City Council. Mr. Vause said the petitioner might receive a negative vote.

Mr. Esposito asked how different from the recently approved request in the area is this request. Mr. Cabay said the City agreed to divide those lots a few years ago and this doesn't have that agreement. Ms. Rentzsch said in 1970 there weren't participation agreements as there are for the North Shore Annexation.

Dr. Deemer moved to approve the Final Plat of Re-subdivision for two residential lots in the Templin's Re-Subdivision of Lots 18 & 19 in Block 1 of Clow's Crystal Lake Park Subdivision, with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Final Plat of Subdivision (Vanderstappen, dated 4/24/03).
2. Final Plat of Subdivision (Vanderstappen, dated 4/24/03).
 - A. Please provide notation as to whether the streets have been dedicated.
 - B. Please provide the building setback lines and dimensions.
3. The house, attached garage and detached garage must be removed before applying for a building permit for either lot.
4. The fence along the western perimeter of Lot 18 that is encroaching on the neighbor's property must be removed or moved to the appropriate (east) side of the lot line before applying for a building permit for either lot.
5. Deferral of the installation of ~~Install parkway trees,~~ sidewalks and bury the overhead utility lines ~~when the lots are redeveloped, unless a deferral is granted~~ until there is an area-wide program.
6. Pay the required school, park and administration impact fees.
7. The petitioner shall address any and all comments of the Building, Engineering, Utilities and Planning Departments.

Mrs. Schofield seconded the motion. On roll call, members Deemer, Esposito, Greenman, Hopkins, Schofield, and Vause voted aye. Mr. Cabay voted no. Motion passed.

Mr. Esposito moved to approve the Zoning Variation for Lots 1 and 2 from Section 4.4-2 from the required lot width of 70 feet, to allow a 49.99-foot lot width, a variation of 20.01 feet for two residential lots in the Templin's Re-Subdivision of Lots 18 & 19 in Block 1 of Clow's Crystal Lake Park Subdivision. Mrs. Schofield seconded the motion. On roll call, members Deemer, Esposito, Greenman, Hopkins, Schofield, and Vause voted aye. Mr. Cabay voted no. Motion

passed.

Dr. Deemer moved to deny the Zoning Variations for Lots 1 and 2 from Sections: A. 4.4-5 from the required total side yard setback of 18 feet, to allow 12 feet, a variation of 6 feet; and B. 4.4-5 from the required minimum side yard setback of 7 feet, to allow 5 feet, a variation of 2 feet for two residential lots in the Templin's Re-Subdivision of Lots 18 & 19 in Block 1 of Clow's Crystal Lake Park Subdivision. Mrs. Schofield seconded the motion. On roll call, members Cabay, Deemer, Esposito, Hopkins, Schofield, and Vause voted aye. Mr. Greenman voted no. Motion to deny passed.

Mr. Vause called a 5-minute recess. The meeting resumed.

2003-90 TGI FRIDAYS (ARCHWAY EAST) – 835 COG CIRCLE – PUBLIC HEARING

Final PUD Amendment to allow changes to the exterior of the building

Troy Strange, architect, and Paul Long with Carlson Restaurants, were present to represent the petition. Mr. Strange handed out color photos of the proposed striped awnings and the existing black awnings. He said they want to stay close to the originally approved square footage for the signs. They are willing to reduce the size of the sign. Mr. Long said they would be removing the metal mesh. Mr. Strange said they would be putting acrylic over the neon tubing. Mr. Long said the "To Go" sign was approved but not installed. He said if they need to remove it from the square footage they will do so but are not positive that he will not be told to put up the sign in the future.

Mr. Strange said they were not aware that if they installed the red and white striped awning that it would be considered signage. He said their competitors have their corporate color awnings. Ms. Rentzsch said that when Venture originally came before the City Council requesting their stripes on the building, the City Council decided to count the stripes as signage since it was part of their corporate identity. On the other hand, recently the Best Buy wedge was not counted as signage. Mr. Strange said they would be eliminating the red squares on the top of the building. If they stay with the same size awnings but striped they can keep the same lighting fixtures on the building. He said they want to comply with the 150 square feet for the signage.

Mr. Esposito said they went through this ordeal about 2 years ago. Mr. Long said they are going back to the red and white stripes since they lost their identity by using the black awnings. Mrs. Schofield said at the time the Commission suggested the striped awnings on the front of the building with solid awnings on the side. Mr. Hopkins said he believed that the Commission wanted solid awnings and is not in favor of changing the black awnings. Mrs. Schofield said if the business is not doing well, she is not sure that changing the awnings will do it. Mr. Vause said people aren't sure that is a TGI Fridays. Mr. Long said most of the TGI Fridays restaurants that have the black awnings are not doing well, but the striped awning restaurants are. He said the corporation took a huge step in the wrong direction and the corporation is changing.

Mr. Cabay asked about the square footage of the existing awnings if they were to be changed to red and white stripes. Mr. Grady said the existing awnings are 462 square feet. Mr. Cabay said he would prefer the black awnings.

FINAL DEVELOPMENT PROJECT REVIEW - REVISED (BG)

November 12, 2003

TITLE

#2003-68 Templin's Re-subdivision

PETITIONER

Paul and Julie Myers
Joy Davidson

REQUEST

1. A Final Plat of Re-subdivision for two residential lots.
2. Zoning Variation from Sections for Lots 1 and 2:
 - A. 4.4-2 from the required lot width of 70 feet, to allow a 49.99-foot lot width, a variation of 20.01 feet;
 - B. 4.4-5 from the required total side yard setback of 18 feet, to allow 12 feet, a variation of 6 feet;
 - C. 4.4-5 from the required minimum side yard setback of 7 feet, to allow 5 feet, a variation of 2 feet.

LOCATION

1079 North Shore Drive

SIZE

.44 acres

ZONING, LAND USE AND COMPREHENSIVE PLAN

Location	Zoning	Use	Comp Plan
Property in Question	R-2	Residential	Urban Residential
North	R-2	Residential	Urban Residential
South	N/A	Crystal Lake	Lake
East	R-2	Residential	Urban Residential
West	R-2	Residential	Urban Residential

DEPARTMENTAL REVIEW

Fire/Rescue, Police

No comments.

Building

1. The lots are and have been taxed as one property.

2. Each lot paid separate sewer and water assessments, deeming each separate lot buildable.
3. All past improvements have been performed with the property being 100 feet wide.

Engineering

Although each lot paid separate water and sewer assessments, water and sewer line stubs were only provided for Lot 19. New services would have to be run to the presently unserved lot. The water line is on the far side of the road, and the sewer line is under the surface of North Shore Drive. Creating a new sanitary sewer service will be very difficult due to the location of the main under the road, as well as the depth (\pm 14 feet), as groundwater will be a factor.

No elevations are shown on the petition plats, so it is unknown if there are any flood plain concerns. Obviously any new construction contemplated would have to observe and abide by all flood plain regulations.

(Revised comments)

Original comments apply. In addition, the reduced side yard setbacks may create problems in creating necessary side yard swales for storm water runoff.

Utilities

1. If lots 18 and 19 are developed individually, each lot will need a separate water service tapped to the water main by the owner/developer.
2. A separate sanitary service for each lot must be installed to the main line.

Planning

The property in question contains a residence, attached garage and detached garage on two lots along North Shore Drive. The residence and attached garage were built on Lot 19 but also rest on Lot 18. The detached garage rests on Lot 18. Section 7.2-2.1 of the Zoning Ordinance states that when a single-family structure has been built over the common lot line between two or more non-conforming lots, the two lots become one. The lots must then be re-subdivided before they can be utilized separately. The petitioners would like to remove the existing house and create two lots for two new homes.

(Revised comments)

While the request has been continued, the petitioners have decided to seek two variations in addition to the lot width variation for the Final Plat of Re-subdivision. They are seeking a 12 foot total side setback and a 5 foot minimum side setback. These setbacks were chosen because they are comparable to the required side setbacks for non-conforming recorded lots (total side—12.6, minimum side—4.9). The front setback (lakefront) for a residence would be 50 feet and the rear setback (North Shore) would be 20 feet.

To better reference the area, aerial photos of "Clow's Crystal Lake Park" and "Clow's Crystal2 Lake Park" Subdivisions have been included.

FINAL PLAT OF RE-SUBDIVISION

The petitioner is requesting a Final Plat of Re-subdivision for two lots at 1079 North Shore Drive. Lots 1 and 2 would be in the same location as Lots 18 and 19. Lot 1 would be 9,624 square feet and Lot 2 would be 9,432 square feet. The lot size, yard and bulk requirements for R-2 are listed below. The requested variations are also listed.

Zone	Lot Size		Yard						Bulk			
	Area	Width	Front	Rear	Total side	Min side	Side abut street	Side abut resid	Lot Cov	FAR	Height Principle Structure	Height Access Structure
	Sq. Ft.	Ft.	Ft.	Ft.	Ft.	Ft.	Ft.	Ft.	%	--	Ft./St.	Ft./St.
R-2	8,400	70	30	20	18	7	30	--	40	.80	28/2	15/1
Request		49.99			12	5						

As is customary for all subdivisions, there is a requirement for the installation of sidewalks, street trees, the burial of overhead utility lines and payment of all applicable impact fees. The Plan Commission and the City Council may wish to grant the petitioner a deferral from some or all of the aforementioned requirements, because only one additional lot is being created from this subdivision.

ZONING VARIATIONS

The petitioner’s request to re-subdivide the two parcels would require both lots to meet all of the lot size and yard standards established within the Zoning Ordinance. The petitioner’s have requested the following variations.

Lot Width

Section 4.4-2 of the Zoning Ordinance establishes a minimum lot width, which is 70 feet in the “R-2” Single-Family district. Both of the proposed lots would be 49.99 feet wide, and therefore would require 20.01 foot Variations.

Total Side Yard

Section 4.4-5 establishes a total lot width of 18 feet. The petitioner has requested a total lot width of 12 feet, a variation of 6 feet.

Minimum Side Yard

Section 4.4-5 establishes a minimum lot width of 7 feet. The petitioner has requested a minimum lot width of 5 feet, a variation of 2 feet.

COMPREHENSIVE LAND USE PLAN 2020 VISION SUMMARY REVIEW
RESIDENTIAL OBJECTIVES

1. Preserve and enhance the character and livability of existing residential areas.
 - Encourage existing buildings to adhere to repairs or expansions that are compatible with the predominant architecture, building size and yard requirements of the surrounding housing.

The lots within this re-subdivision would not meet the lot width requirement. Additionally, the petitioners have requested two variations to create a larger building envelope than is allowed under the current Zoning Ordinance. Since building elevations have not been submitted, it is uncertain whether or not the buildings will be compatible with the predominant architecture of the neighborhood. However, the proposed lot sizes are in character with the neighborhood.

COMMENTS AND CONCLUSIONS

The following comments and conclusions are based on Staff review and analysis prior to the meeting. They are to be considered viable unless evidence is established to the contrary.

ZONING VARIATIONS - To be reviewed by the Plan Commission and acted upon by the City Council.

The granting of a Variation rests upon the applicant proving practical difficulty or hardship caused by the Zoning Ordinance requirements as they relate to the property. It is the responsibility of the petitioner to prove hardship at the Plan Commission public hearing.

Before recommending any Variation, the Plan Commission and City Council shall first determine and record its findings that the evidence justifies the conclusions that the Variation:

1. Will not impair an adequate amount of light and air to adjacent properties;
2. Will not reasonably diminish the value of adjacent property;
3. Will not unreasonably increase the congestion in the public streets or otherwise endanger public safety; and
4. Is in harmony with the general purpose and intents of the Zoning Ordinance.

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the Variation be denied.

If hardship is found, the following Zoning Variation would be granted:

1. Section 4.4-2, to reduce the minimum lot width from 70 feet to a 49.99-foot lot width for both Lots 1 and 2, a Variation of 20.01 feet for each lot.
2. Section 4.4-5, to reduce the total lot width 18 feet to 12 feet for both Lots 1 and 2, a Variation of 6 feet for each lot.
3. Section 4.4-5, to reduce the minimum lot width from 7 feet to 5 feet for both Lots 1 and 2, a Variation of 2 feet for each lot

FINAL PLAT OF SUBDIVISION – To be reviewed by the Plan Commission and acted upon by the City Council.

The petitioner's request before the Plan Commission and the City Council for a Final Plat of Re-Subdivision for the Templin's Re-Subdivision of Lots 18 & 19 in Block 1 of Clow's Crystal Lake Park Subdivision, could be subject to the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Final Plat of Subdivision (Vanderstappen, dated 4/24/03).
2. Final Plat of Subdivision (Vanderstappen, dated 4/24/03).
 - A. Please provide notation as to whether the streets have been dedicated.
 - B. Please provide the building setback lines and dimensions.
3. The house, attached garage and detached garage must be removed before applying for a building permit for either lot.
4. The fence along the western perimeter of Lot 18 that is encroaching on the neighbor's property must be removed or moved to the appropriate (east) side of the lot line before applying for a building permit for either lot.
5. Install parkway trees, sidewalks and bury the overhead utility lines when the lots are redeveloped, unless a deferral is granted.
6. Pay the required school, park and administration impact fees.
7. The petitioner shall address any and all comments of the Building, Engineering, Utilities and Planning Departments.

**PUBLIC NOTICE
BEFORE THE PLAN
COMMISSION OF THE
CITY OF CRYSTAL LAKE
IN THE MATTER OF THE
APPLICATION OF PAUL
MYERS, JULIE MYERS
AND JOY DAVIDSON
LEGAL NOTICE**

Notice is hereby given in compliance with the Zoning Ordinance of the City of Crystal Lake, Illinois, that a public hearing will be held before the Plan Commission of the City of Crystal Lake upon the application of Paul Myers, Julie Myers and Joy Davidson relating to the following described real estate:

Lots 18 and 19 in Block 1 in Clow's Crystal Lake Park, being a subdivision of part of the Lot 2 in the Northeast Quarter of Section 1, Township 43 North, Range 7 East of the Third Principal Meridian and part of Lot 2 of the Northwest Quarter of Section 6, Township 43 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof recorded September 6, 1894 as Document No. 13360 in Book 1 of Plats, page 54, in McHenry County, Illinois. AND ALSO: That part of Lot 2 in the Northeast Quarter of Section 1, Township 43 North, Range 7 East of the Third Principal Meridian, described as follows: Beginning at the Northwest corner of Lot 18 in Clow's Crystal Lake Park according to the Plat thereof, recorded September 6, 1894 as Document No. 13360 in Book 1 of Plats, page 54, in McHenry County, Illinois; thence Northerly 29.00 feet along the Northerly extension of the Westerly line of said Lot 18; thence Easterly

along a line 29.00 feet North of and parallel to the North lines of Lots 18 and 19 and in said Clow's Crystal Lake Park for a distance of 100.00 feet; thence Southerly 29.00 feet along the Northerly extension of the Easterly line of said Lot 19 to the Northeast corner of said Lot 19; thence Westerly 100.00 feet along the Northerly lines of Lots 18 and 19 to the Place of Beginning. All located in the City of Crystal Lake, McHenry County, Illinois.

Commonly known as 1079 North Shore Drive, Crystal Lake, Illinois 60014

This application is filed for the purpose of seeking three variations from the following Sections of the Zoning Ordinance to accommodate a re-subdivision of two "R-2 Single-Family Residential Zoned lots: Section 4.4-2 for the required lot width of 70 feet, to allow 49.99 feet; Section 4.4-5 for the required total side yard setback of 18 feet, to allow 12 feet; Section 4.4-5 for the required minimum side yard setback of 7 feet, to allow 5 feet; as well as any other variations necessary to complete the petitioner's request.

A public hearing before the Plan Commission on the said application will be held at 7:30 p.m. on November 12, 2003, at the Crystal Lake City Hall, 100 West Municipal Complex located on Woodstock Street, at which time and place any person determining to be heard may be present.

James McDonough, Chair
Plan Commission
City of Crystal Lake
(Published in the
Northwest Herald October
28, 2003)

Myers Davidson
03-68

Mayor casts lone dissenting vote

CL council votes to split lakefront lot into 2 parts

By LAURA JOHNSTON
The Northwest Herald

CRYSTAL LAKE - The lake will soon have another house on its shore.

The city council on Tuesday voted to divide a 100-foot-wide lot at 1079 North Shore Drive into two 50-foot lots. Mayor Aaron Shepley was the lone vote against the division.

"I think we have an obligation to protect the lake," Shepley said. "I don't think we'd be protecting it by adding an extra [personal watercraft], an extra power boat."

Paul and Julie Myers and Joy Davidson petitioned to divide the lakefront lot, which contains a house, attached garage and detached garage.

The lot originally was two 50-foot lots.

Although the majority of the house - including the original cottage - is on lot 18, the detached garage and part of the kitchen sit on lot 19, essentially making the property one lot.

Davidson and the Myers plan to demolish the sprawling structure and build two new homes.

Neighbors rallied to keep the large, single lot, arguing that their view would be obstructed, that water would not drain properly, and that another house would crowd an already-congested street.

"It's my neighborhood, and I don't think dividing a big, beautiful 100-foot lot into two 50-foot lots enhances our neighborhood," Candy Reedy said Wednesday. "I think that as many of the larger lots as possible that could be saved would be beneficial to the neighborhood."

Reedy, a Crystal Lake Park

"I don't think dividing a big, beautiful 100-foot lot ... enhances our neighborhood."

Candy Reedy
Crystal Lake resident

District board member who attended the meeting, said she thinks the council's decision was fair.

"I think the reason it got to be such a big deal was the neighborhood was firmly against it. That changes that tenor completely," Shepley said. "When you put another home with lake frontage, that's going to have an impact."

The city council discussed the water and sewer assessments the property owner paid in the 1970s, debating whether separate assessments denoted separate lots. Council members also considered their recent decision to divide a 100-foot-wide lot at 154 Mayfield Ave., near the lake.

"I think I'm dealing with something put in motion long before I was here," council member Ralph Dawson said.

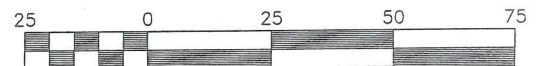
Council members agreed to divide the lot, but granted none of the setback variances Davidson and the Myers requested. In addition, the council required that the houses not obstruct the neighbors' views of the lake.

"I want to make sure that we do tonight protects the neighbors," council member Jeff Thorsen said.

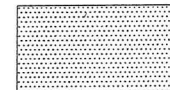
Exhibit A PLAT

NORTH SHORE DRIVE

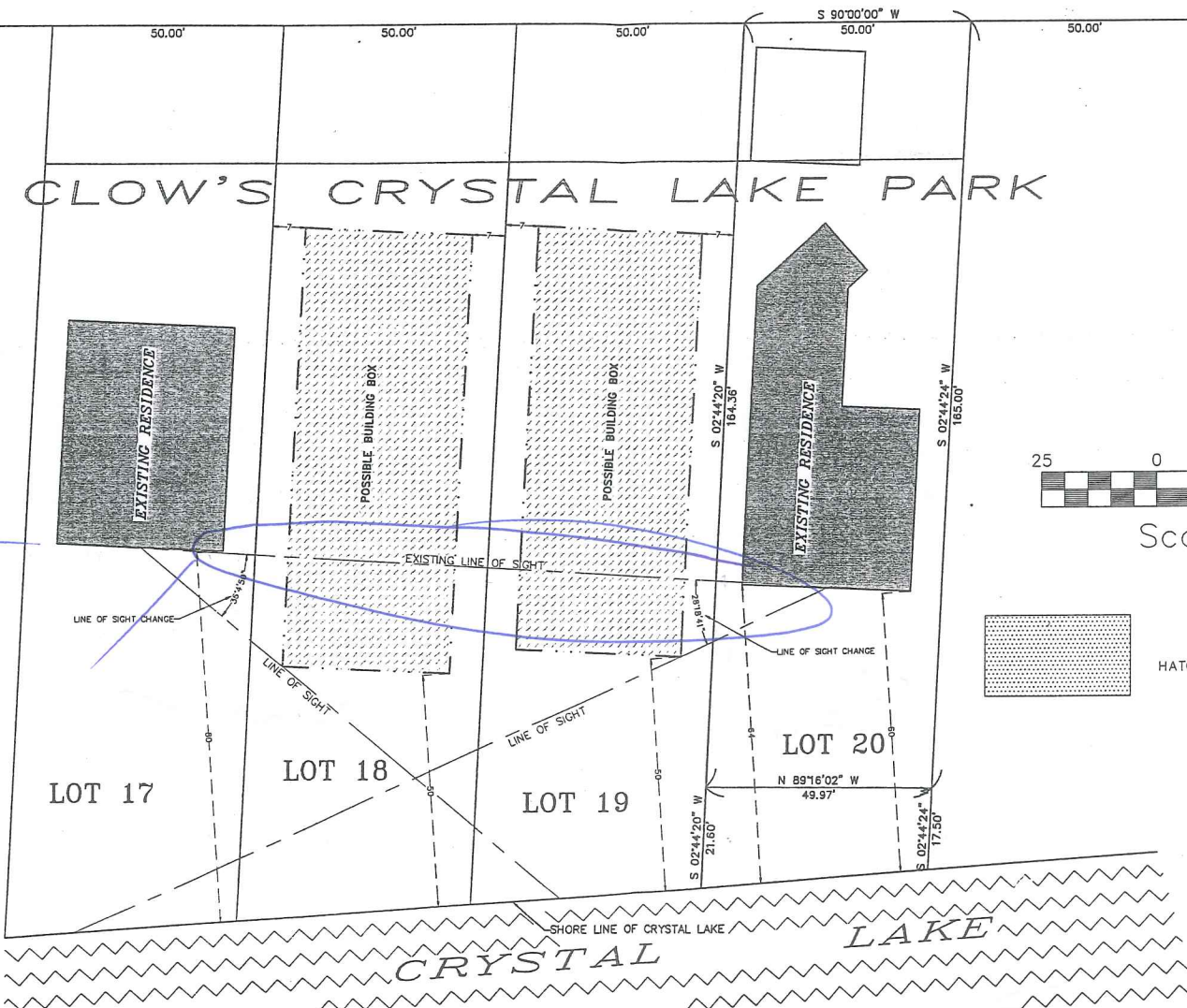
CLOW'S CRYSTAL LAKE PARK



Scale 1" = 25'



HATCHED AREA INDICATES SUBJECT PROPERTY



CLIENT: BOBACK
DRAWN BY: CAD CHECKED BY: FWZ
SCALE: 1" = 25'
JOB NUMBER: 2003-314

Exhibit discussed at 12/2/03 Council mtg.



The City of Crystal Lake Illinois

**AN ORDINANCE GRANTING A VARIATION
AT 1083 NORTH SHORE DRIVE**

WHEREAS, pursuant to the terms of the Application (File #2016-17) before the Crystal Lake Planning and Zoning Commission, the Applicant has requested the granting of a Simplified Residential Variation from Article 3-300 B3 to allow a 12-foot encroachment into the required front yard setback to allow the construction of a screened porch and deck at 1083 North Shore Drive; and

WHEREAS, the Planning and Zoning Commission of the City of Crystal Lake, pursuant to notice duly published on June 21, 2016 in the Northwest Herald, held a public hearing at 7:30 p.m., on July 6, 2016 at City Hall at 100 W. Woodstock Street, Crystal Lake, Illinois to consider the proposed Simplified Residential Variation; and

WHEREAS, on July 6, 2016, the Planning and Zoning Commission, having fully heard and considered the testimony of all those present at the public hearing who wished to testify, made findings of fact as required by law and recommended to the Mayor and City Council of the City of Crystal Lake that the proposed Simplified Residential Variation be approved, all as more specifically set forth in that certain Report of the Planning and Zoning Commission in Case #2016-17, dated as of July 7, 2016; and

WHEREAS, it is in the best interests of the City of Crystal Lake that the Variation be granted as requested in said Application.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

SECTION I: That a Variation be granted from the Crystal Lake Unified Development Ordinance Article 3-300 B3 to allow a 12-foot encroachment into the required front yard setback to allow the construction of a screened porch and deck at the property at 1083 North Shore Drive (18-01-229-057), Crystal Lake, Illinois.

SECTION II: That the Variation be granted with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:

- A. Application (Frey, received 06/14/16)
- B. Plat of Survey (McKiernan, dated 04/27/16, received 06/14/16)
- C. Architectural Plans (Dated 05/20/16, received 06/14/16)

2. Ordinance No. 5723 shall no longer be applicable to this property.

3. The open deck portion shall remain open and cannot contain a roof, pergola, trellis, sides or become enclosed in any way.

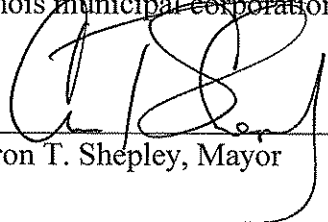
4. The petitioner shall address all of the review comments and requirements of Community Development Department.

SECTION III: That the City Clerk be and is hereby directed to amend all pertinent records of the City of Crystal Lake to show the granting of a Simplified Residential Variation in accordance with the provisions of this Ordinance, as provided by law.

SECTION IV: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provide by law.

DATED at Crystal Lake, Illinois, this 2nd day of August, 2016.

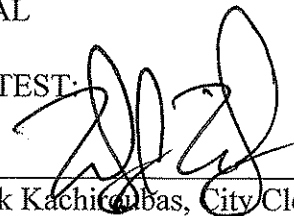
City of Crystal Lake, an
Illinois municipal corporation



Aaron T. Shepley, Mayor

SEAL

ATTEST:



Nick Kachibabas, City Clerk

Passed: August 2, 2016

Approved: August 2, 2016



#2016-17

**Frey – Variations
Project Review for Planning and Zoning Commission**

Meeting Date: July 6, 2016

Request: To construct a screen porch and deck, which extends 12 feet from the house, an encroachment of 12 feet into the required line of sight setback and 2 feet into the required 61-foot average front yard setback.

Location: 1083 North Shore Drive

Acreage: approximately 8,200 square feet

Existing Zoning: R-2 Single Family

Surrounding Properties: North: R-2 Single Family
South: R-2 Single Family
East: R-2 Single Family
West: R-2 Single Family

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- **Existing Use:** The property is improved with a single family home, which was built in 2005.
- **Background:**
 - The property was part of a larger lot that was 100 feet wide by 164 feet deep. The owner, at that time, requested a subdivision to create two non-conforming lots.
 - As a condition of the subdivision, both new houses constructed on the two lots needed to meet a line of sight setback, which was based on the two adjacent dwellings at 1089 and 1075 North Shore Drive.
 - The two new homes were built to the line of sight setback. 1083 does have a 4-foot deck, which is permitted.

Development Analysis:

General

- **Request:** Variation to allow the construction of a screen porch, which is considered part of the principal structure and a deck off the rear of the house in the lake side front yard setback.

- The front yard setback is normally determined by the average of the other existing properties on that block for a total length of 400-feet. The setback was measured to be 61.6 feet. That setback line is illustrated in black.
- During the subdivision and variation process a specific condition was put on this lot and on lot 1079 that the houses needed to meet the line of sight between the two neighboring houses. The line of sight exhibit is attached with this packet and the picture below illustrates that line in red.
- The house at 1089 has since been removed and this is now a vacant lot.
- Decks attached to the house, open to the sky, are permitted a 4-foot encroachment into the required setback. This house currently contains a deck that encroaches 4 feet. The deck would encroach 8 feet into the line of sight setback and would not encroach into the average front yard setback.



- Land Use: The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- Zoning: The site is zoned R-2 Single Family. This property is used as a single-family home.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3-300 B3. Front yard setback to allow a 12-foot encroachment to allow the construction of a screened porch and deck.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Frey, received 06/14/16)
 - B. Plat of Survey (McKiernan, dated 04/27/16, received 06/14/16)
 - C. Architectural Plans (Dated 05/20/16, received 06/14/16)
2. Ordinance No. 5723 shall no longer be applicable to this property.
3. The open deck portion shall remain open and cannot contain a roof, pergola, trellis, sides or become enclosed.
4. The petitioner shall address all of the review comments and requirements of Community Development Department.



MAYFIE

NORTH SHORE DR

1095
50

1089
50

1083
50

1079
50

1075
50

1069
50

10

135

164.35

135

130.14

130.14

50

50

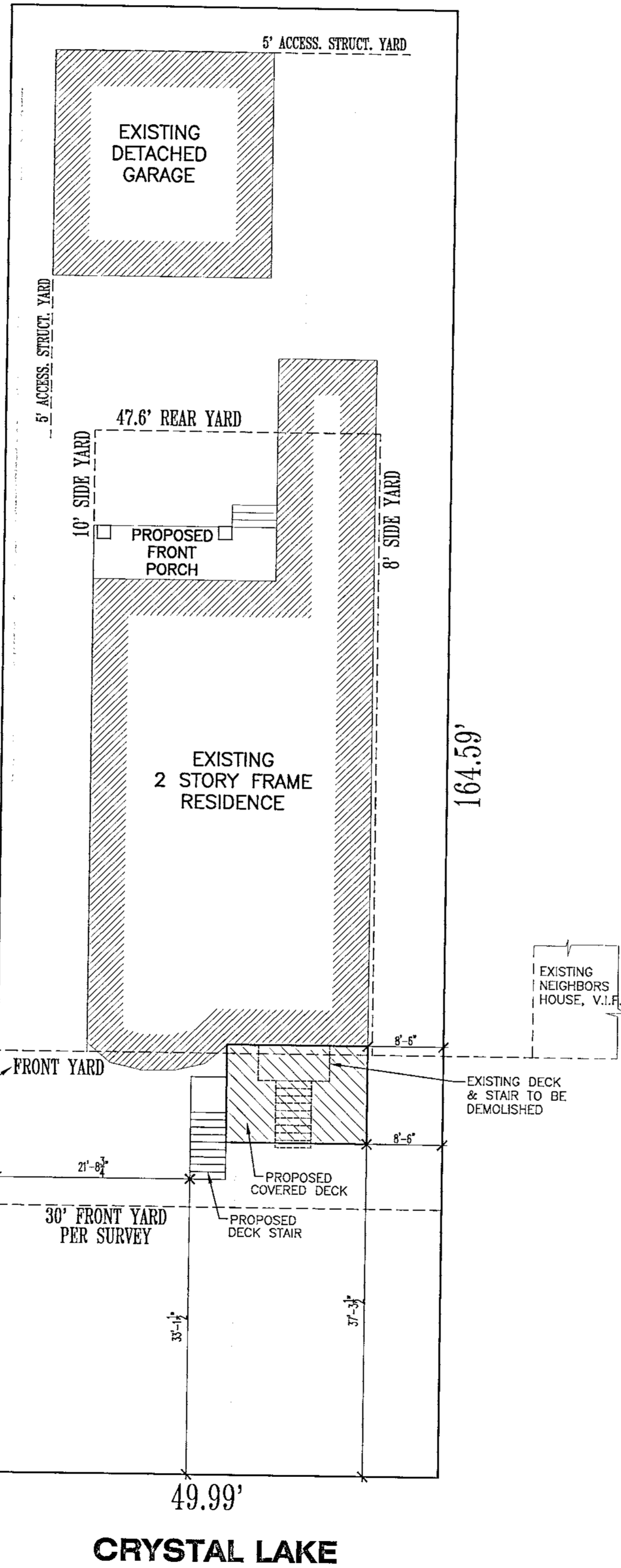


YAGER RESIDENCE

1079 NORTH SHORE DRIVE

CRYSTAL LAKE, IL

NORTH SHORE DRIVE



NOTE:
WATER SIDE (FRONT YARD)
COULD NOT GO BEYOND
THE LINE DRAWN ACROSS
FROM THE TWO ADJACENT
STRUCTURES

EXISTING DECK
& STAIR TO BE
DEMOLISHED

SITE PLAN

1E
A000

1"=10'

- NOTES:
- VERIFY UTILITY LOCATIONS.
 - VERIFY TREES TO BE REMOVED WITH OWNER.
 - VERIFY STRUCTURE LOCATION WITH OTHERS.
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
 - REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
 - BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.

DESIGN LOADING VALUES

ROOF - 30 PSF LIVE LOAD	WALLS - 20 PSF WIND FOR 0-20 FT. HEIGHT
FLOOR - 40 PSF LIVE LOAD	CEILING - 20 PSF WIND FOR 21-29 FT. HEIGHT
-40 PSF LIVE FOR FLOORS, DECKS, STAIRS	FLOOR - 30 PSF WIND FOR 30 FT. AND ABOVE
	SOIL - 3000 PSF ASSUMED UNIFORM ASSUMED

ENGINEER/CONTRACTOR RESPONSIBLE TO VERIFY

FOUNDATION NOTES:

- SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT OF FOUNDATION WALLS
- STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS & 3000 PSI FOR CONCRETE FLAT WORK AND EXTENSIVE CONDITIONS
- ALL FINISHED STEPS AND CHANGE FLOOR SLABS SHALL BE A MIN. OF 3000 PSI & BETWEEN 6X & 7X AIR ENTRAINMENT
- CONTRACTOR IS RESPONSIBLE TO PROVIDE VERIFICATION OF EXISTING STRENGTH AND DEPTH OF EXISTING FOUNDATION AND FOOTING

WINDOW NOTES:

- VERIFY ALL NEW WINDOW SIZES IN FIELD PRIOR TO PURCHASE
- NEW WINDOWS TO MATCH EXISTING WINDOW TYPE & STYLE, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING UNLESS FOLLOWING HEIGHTS BELOW
- ALL WINDOWS ARE DESIGNATED BY WINDOW TYPE & STYLE, UNLESS OTHERWISE NOTED
- EXAMPLES: 2555 - 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON W/C
- (2) 2 X 12 HBR. HEIGHT ALL NEW WINDOWS & OPENINGS UNLESS OTHERWISE NOTED
- VERIFY ALL EXISTING HEADERS, WHERE BEARING WILL BE INCREASED AS A RESULT OF THE REMODELING, TO BE MIN. (2) 2 X 12 HBR., UNLESS OTHERWISE NOTED
- PROVIDE TEMPERED SAFETY GLAZING IN ALL NEW WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 18" OF FLOOR, IN TUB & SHOWER ENCLOSURES, & IN STAIR WELLS
- PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2009 OR F2090 WHEN NEW WINDOW SLABS ARE LESS THAN 24" ABOVE FINISHED FLOOR

STRUCTURAL NOTES:

- ALL NEW PENETRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - (U-0.30), SKYLIGHTS - (U-0.25)
- WINDOW & DOOR THRESH WIND - (C), EGRESS WINDOW - (C), TEMPERED GLASS - (C)
- PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS & POINT LOADS
- ALL INTERIOR FRAME WALL PARTITIONS = 3-1/2" (2 X 4 STUD), UNLESS OTHERWISE NOTED
- ALL EXTERIOR FRAME WALLS = 6" (2 X 6 STUD + 1/2" SHEATHING)
- ALL EXTERIOR SHEATHING AND SHIPMENTS TO EXTERIOR OF WALL SHEATHING OR MASONRY VENER & ALSO CONSIDER WITH EXTERIOR FOUNDATION EDGE
- PROVIDE (5" X 3-1/2" X 5/16") STEEL ANGLE L.L.V. ABOVE OPENINGS 10" 9'-0" WIDE WITH MASONRY VENEER ABOVE
- ALL JOISTS, STUDS & RAFTERS TO BE SPT #1 (CANADIAN), UNLESS OTHERWISE NOTED
- 2 X 10 HBR JOISTS OVER 10'-0" IN LENGTH TO BE 12M FOR #1 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (SPOKES ONE IN 16" SPACING)
- ALL HEADERS TO BE (2) 2 X 12 SPT #1 (CANADIAN), UNLESS OTHERWISE NOTED
- THE DIAMETER OF HOLES BORED INTO SOLID SAWN FRAMING MEMBERS SHALL NOT EXCEED 1/4" THE DEPTH OF THE MEMBER & SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE
- THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED FRAMING MEMBERS SHALL FOLLOW MFG. APPROVED SPECIFICATIONS
- (2) 2 X 4 HBR INTERIOR PARTITIONS WITH DOUBLE JOIST BELOW, UNLESS OTHERWISE NOTED
- POINT LOAD FROM ABOVE WITH DOUBLE JOIST BELOW, UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS OVER 10'-0" TALL TO BE MIN. 2 X 6 STUD @ 16" O.C.
- ADD 2 X HORIZONTAL BRACING, SAME WIDTH AS STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 6'-0" IN HEIGHT. FASTEN EXTERIOR SHEATHING TO BRACING & TO STUDS
- SHALL WALLS BE ALL "BOARD RAIL" TYPE, CONDITIONS TO BE MIN. 30" TALL
- PRE-ENGINEERING SHALL BE INSTALLED @ THE FOLLOWING LOCATIONS:
- CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING STAGGERED OR PARALLEL ROWS OF STUDS, VERTICAL AT CEILING & FLOOR LEVELS AND HORIZONTAL AT 10'-0" INTERVALS
- ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SPICES, OVER CHIMNEYS AND OVER CEILING
- CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP & BOTTOM OF THE STAIR RUN
- OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING & AT FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS

IECC - INTERNATIONAL ENERGY CONSERVATION CODE

NOTE TO PLAN REVIEWERS, OFFICIALS & CONTRACTORS:

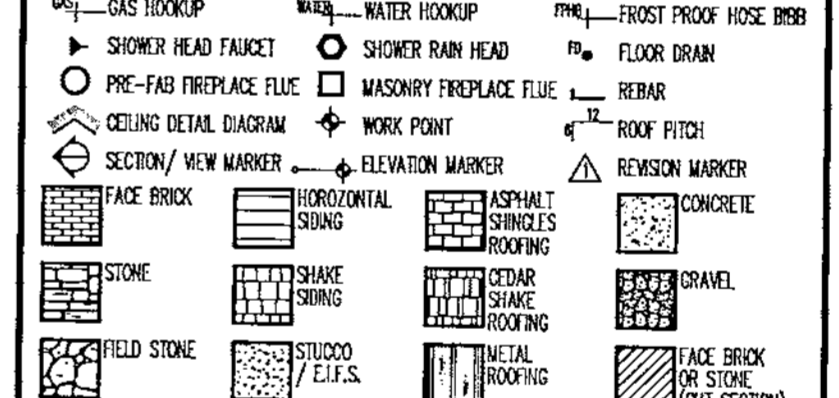
- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE INTERNATIONAL ENERGY CONSERVATION CODE AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.
- THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC, CHAPTER 1: "ADMINISTRATIVE PROCEDURES" IECC SCOPE AND APPLICATION ABSTRACT - RESIDENTIAL, OPTION 1: MEETING OR EXCEEDING ALL APPLICABLE INSULATION VALUES AND SPECIFICATIONS REQUIRED BY THE CODE.
- AS SPECIFIED BY THE CODE, OPTION 1, WAIVES THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE EVALUATION" OR "RESCHOIC" TO EVALUATE THE ENVELOPE. THE PRESCRIPTIVE METHOD EXCEEDS ALL APPLICABLE REQUIREMENTS REQUIRED BY THE CODE AND IS SPECIALLY ALLOWED FOR AS A REPLACEMENT FOR THE "SIMULATED PERFORMANCE EVALUATION" OR "RESCHOIC".
- THESE PLANS STATE DESIGN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO INSULATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME. CONTRACTORS SHOULD ALSO VERIFY WITH DESIGN PROFESSIONAL THAT ALL REQUIREMENTS ARE MET. CONTRACTORS SHOULD ALSO VERIFY WITH DESIGN PROFESSIONAL THAT ALL REQUIREMENTS ARE MET. CONTRACTORS SHOULD ALSO VERIFY WITH DESIGN PROFESSIONAL THAT ALL REQUIREMENTS ARE MET.

NOTE TO BIDDERS & CONTRACTORS:

THESE PLANS HAVE BEEN PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THE APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT FOR APPROVAL PRIOR TO BEGINNING WORK.

THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK, ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION. NOT ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL PROGRESS OF COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR DISCIPLINE AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

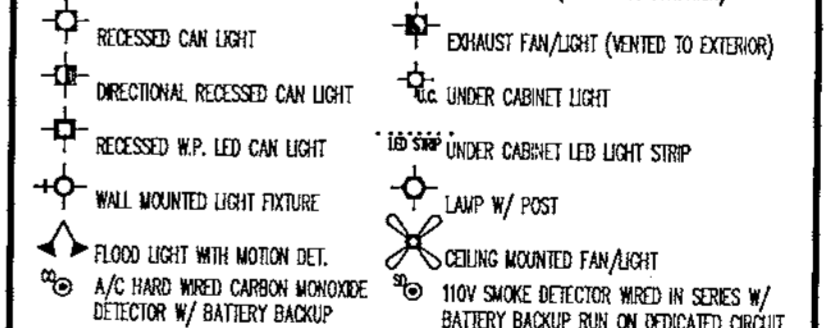
PLAN & ELEVATION SYMBOLS



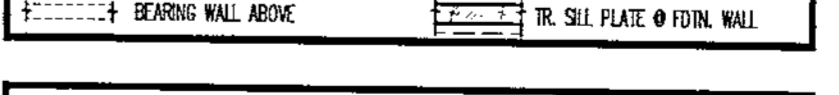
WINDOW & DOOR NOTES

EXAMPLE WINDOW: 2555 - 2'-5" X 5'-5" (C) - EGRESS WINDOW (C) - TEMPERED GLASS
EXAMPLE DOOR: 2488 - 7'-4" X 6'-5" (C) - FIXED WINDOW

ELECTRICAL SYMBOLS:



WALL TYPES



NOTE TO CONTRACTORS

ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.

ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

CODE CONFORMANCE

THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL CODE
- 2017 NATIONAL ELECTRIC CODE
- 2014 ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- CITY OF CRYSTAL LAKE CODE OF ORDINANCES

ARCHITECT'S CERTIFICATION

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that to the best of my knowledge and belief, and to the best of my professional qualification, they are in accordance with applicable codes.

Scott Polit
POLIT
Architect
001-0182946-1020
6/22/20
Cert. No. Exp. Date

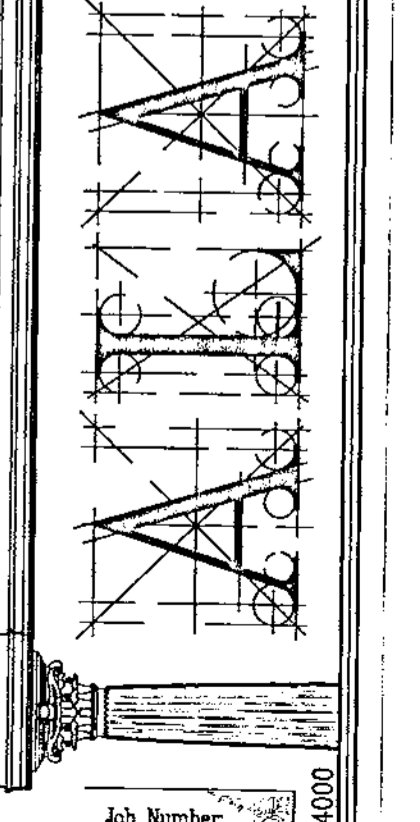
STATE OF ILLINOIS
ARCHITECTS BOARD
PROFESSIONAL DESIGNER

CONCEPTUAL DESIGN	04-10-20	04-10-20	04-10-20	04-10-20
PRELIMINARY DESIGN	04-10-20	04-10-20	04-10-20	04-10-20
DESIGN DEVELOPMENT	04-10-20	04-10-20	04-10-20	04-10-20
PERMIT SET	04-10-20	04-10-20	04-10-20	04-10-20
PERMISSION FOR PERMIT	04-10-20	04-10-20	04-10-20	04-10-20

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

SITE PLAN
GENERAL NOTES
DRAWING INDEX

Architects & Planners, Inc.
2600 Becha Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200
Fax: 815-788-9201

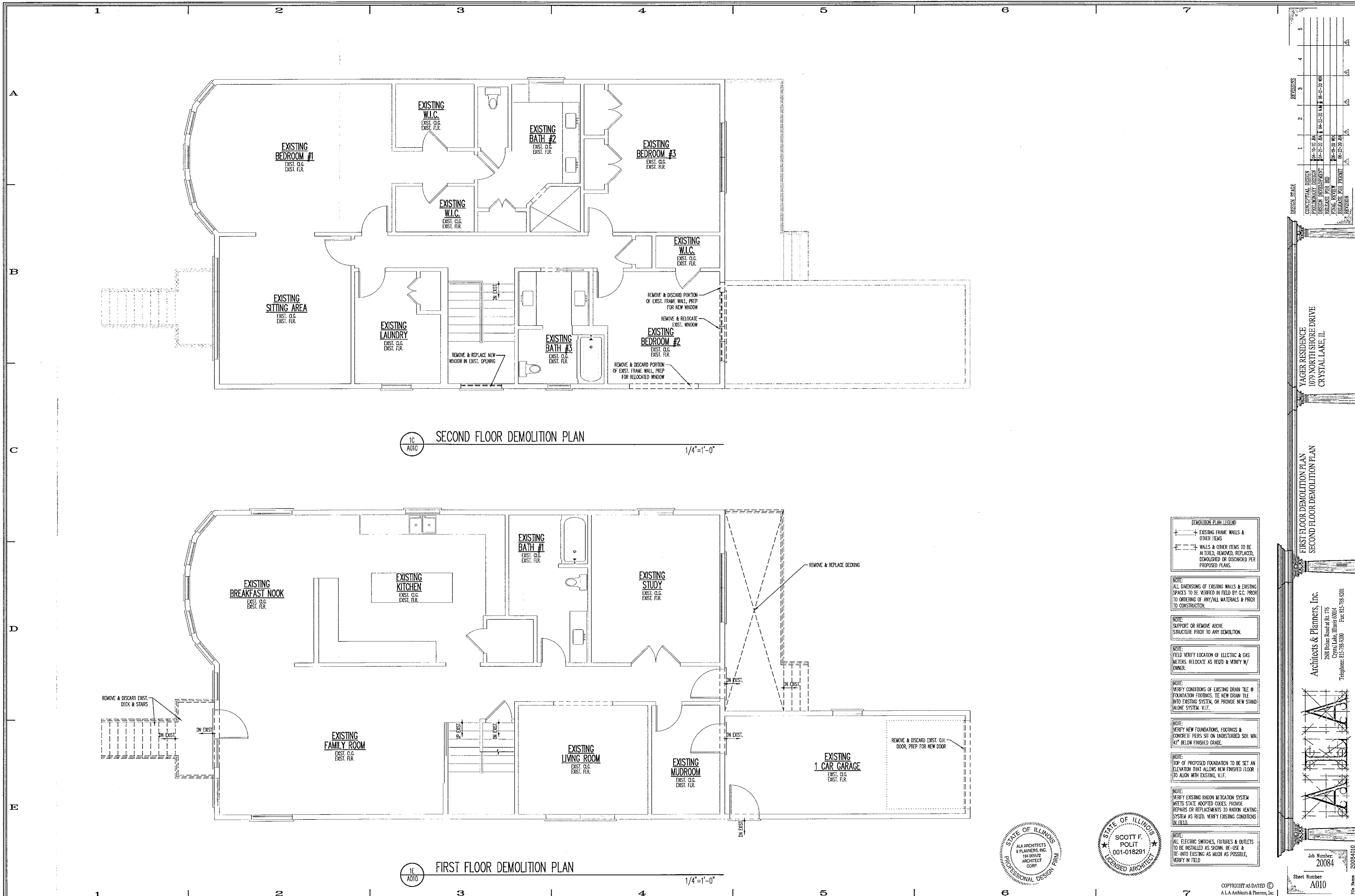


Job Number:
20084

Sheet Number:
A000

DATE: JUN 23 2020

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A.I.A. Architects & Planners, Inc.



1C A010 SECOND FLOOR DEMOLITION PLAN 1/4"=1'-0"

1E A010 FIRST FLOOR DEMOLITION PLAN 1/4"=1'-0"

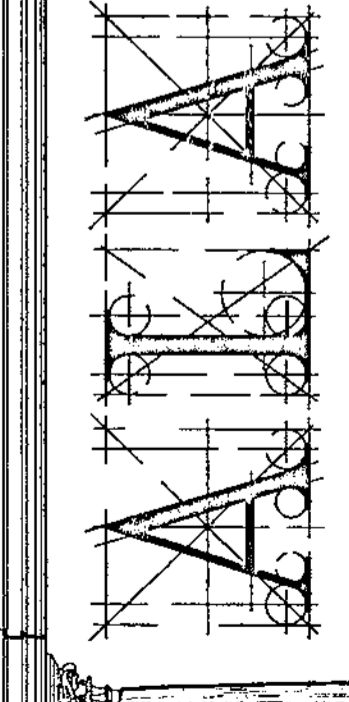
- DEMOLITION PLAN LEGEND**
- EXISTING FRAME WALLS & OTHER ITEMS
 - WALLS & OTHER ITEMS TO BE ALTERED, REMOVED, REPLACED, DEMOLISHED OR DISCARDED PER PROPOSED PLANS.
- NOTE:** ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.
- NOTE:** SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.
- NOTE:** FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS REQ'D & VERIFY W/ OWNER.
- NOTE:** VERIFY CONDITIONS OF EXISTING DRAIN TILE @ FOUNDATION FOOTINGS. IF NEW DRAIN TILE INTO EXISTING SYSTEM, OR PROVIDE NEW STAND ALONE SYSTEM, V.I.F.
- NOTE:** VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERS SIT ON UNDISTURBED SOIL MIN. 42" BELOW FINISHED GRADE.
- NOTE:** TOP OF PROPOSED FOUNDATION TO BE SET AN ELEVATION THAT ALLOWS NEW FINISHED FLOOR TO ALIGN WITH EXISTING, V.I.F.
- NOTE:** VERIFY EXISTING RADON MITIGATION SYSTEM MEETS STATE ADOPTED CODES. PROVIDE REPAIRS OR REPLACEMENTS TO RADON VENTING SYSTEM AS REQ'D. VERIFY EXISTING CONDITIONS IN FIELD.
- NOTE:** ALL ELECTRIC SWITCHES, FIXTURES & OUTLETS TO BE INSTALLED AS SHOWN. RE-USE & RE-INTO EXISTING AS MUCH AS POSSIBLE. VERIFY IN FIELD.

DESIGN STAGE	DATE	BY	CHKD BY
CONCEPTUAL DESIGN	07-09-20	SA	SA
PRELIMINARY DESIGN	07-27-20	SA	SA
DESIGN DEVELOPMENT	07-27-20	SA	SA
RELEASE FOR BID	07-27-20	SA	SA
FINAL REVIEW	07-27-20	SA	SA
RELEASE FOR PERMIT	07-27-20	SA	SA
REVISION			

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

FIRST FLOOR DEMOLITION PLAN
SECOND FLOOR DEMOLITION PLAN

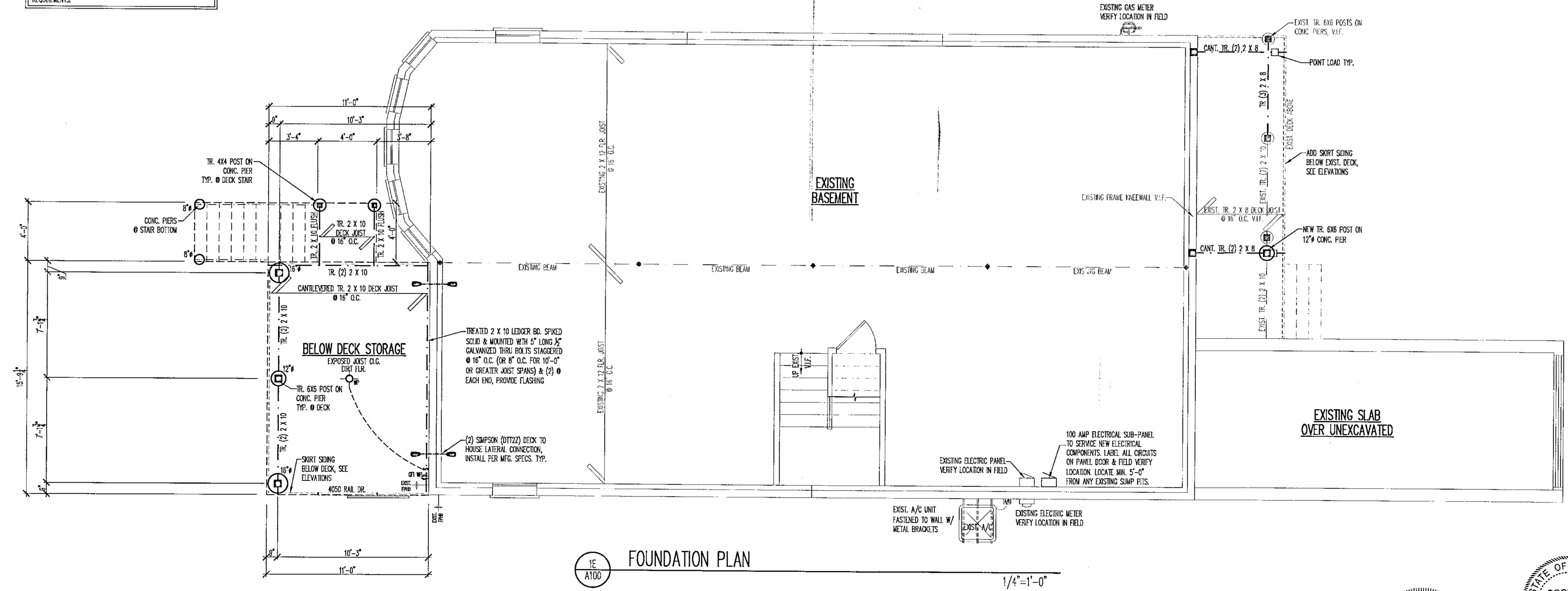
Architects & Planners, Inc.
2600 Behan Road at Rt. 175
Crystal Lake, Illinois 60014
Telephone: 815-739-9200 Fax: 815-739-9211



Job Number: 20084
Sheet Number: A010
P&S Number: 20084A010

DECK CONSTRUCTION

- * ALL OUTDOOR DECK FRAMING LUMBER TO BE PRESSURE TREATED SPT#2 LUMBER UNLESS OTHERWISE NOTED
- CONCRETE PIERS:**
 - PIER DIAMETER PER PLAN
 - TOP OF PIER 6" MIN. ABOVE FIN. GRADE
 - BOTTOM OF PIERS TO SIT ON UNDISTURBED SOIL 42" MIN. BELOW FIN. GRADE
- DECK POSTS:**
 - SIZE OF POSTS PER PLAN
 - POST FASTENED TO CONC. PIER W/ GALVANIZED STEEL POST TO PIER STANDOFF BRACKET
 - PROVIDE DECK JOIST/BEAM TO CONC. PIER CONNECTION BRACKET FOR DECKS WITHOUT POSTS
- DECK:**
 - TR. DECK JOIST PER PLAN
 - TR. 2x LEDGER BOARD (2 X 8 MIN.) FOR DECK TO HOUSE CONNECTION, PER PLAN
 - CODE REQUIRED LATERAL DECK TO HOUSE CONNECTIONS PER PLAN
 - TR. 5/4" X 6" DECKING LAYED PERP. TO DECK JOIST W/ 1/8" SPACING PER MFG. SPECS.
- DECK STAIRS:**
 - MIN. (1) STAIR SET DOWN TO GRADE, LOCATION PER PLAN, VERIFY W/ OWNER
 - STAIR RISER HEIGHT 7-3/4" MAX (SOLID) W/ 4" MAX. OPENINGS
 - STAIR TREAD 10" MIN.
 - STAIR WIDTH 36" MIN.
 - STAIR HAND RAILING REQ'D ON MIN. (1) SIDE OF STAIR & BOTH SIDES OF STAIR WHEN APPLICABLE
 - CONC. PIER @ BOTTOM OF EACH STAIR STRINGER
 - CONC. SLOOP 36" X STAIR WIDTH @ BOTTOM OF DECK STAIR WHEN APPLICABLE
- TR. BECK DECK RAILINGS:**
 - 36" HIGH GUARD RAILINGS REQ'D ON ALL DECKS GREATER THAN 30" ABOVE ADJACENT WALKING LEVEL(S)
 - TR. 4 X 4 POSTS SPACED AS REQ'D FOR RAILING SYSTEM TO RESIST 200# LATERAL LOAD
 - TR. 2 X 6 VERT. & HOR. @ TOP HAND RAIL
 - TR. 2 X 2 BALUSTERS W/ 4" MAX. OPENINGS
 - * VERIFY STILES W/ OWNER, ACCEPTABLE TO SUBSTITUTE-OUT STANDARD WOOD DECKING & WOOD RAILING SYSTEMS FOR OTHER SYSTEMS (i.e. COMPOSITE DECKING & METAL RAILINGS). ALL SUBSTITUTIONS TO MEET MFG. SPECS. & LOCAL CODES FOR CONSTRUCTION.
- * ALL DECK HANGERS, BRACKETS & FASTENING SYSTEMS TO MEET MFG. SPECS. & LOCAL CODES FOR CONSTRUCTION.
- * REFER TO STAIR NOTES ON SHEET A100 AND STAIR & RAIL DETAIL ON SHEET A301 FOR ADDITIONAL CONSTRUCTION SPECS. & CODE REQUIREMENTS.



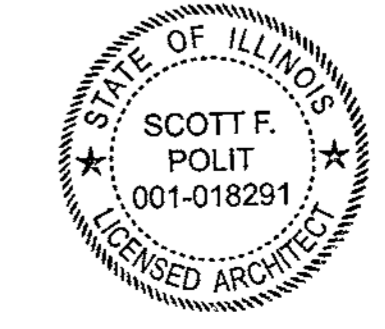
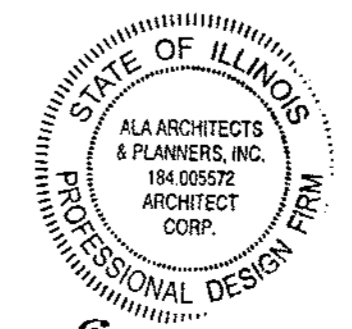
1E A100 FOUNDATION PLAN
1/4" = 1'-0"

NOTE: ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.

NOTE: SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.

NOTE: FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS, RELOCATE AS REQ'D & VERIFY W/ OWNER.

NOTE: VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERS SIT ON UNDISTURBED SOIL MIN. 42" BELOW FINISHED GRADE.



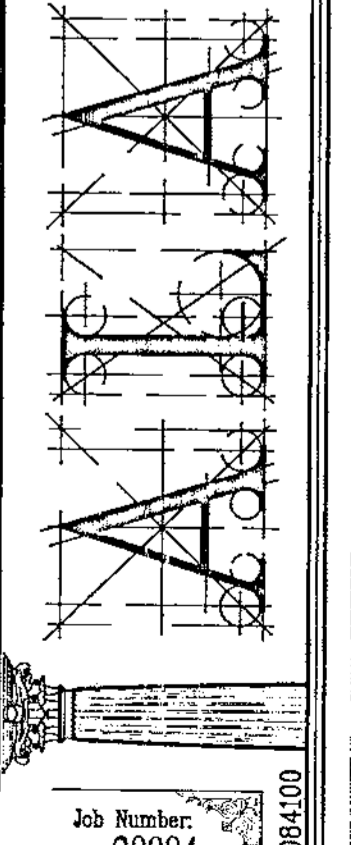
NO.	REVISIONS	DATE
1	CONCEPTUAL DESIGN	04-22-20
2	PRELIMINARY DESIGN	04-22-20
3	DESIGN DEVELOPMENT	04-22-20
4	RELEASE FOR BID	04-22-20
5	FINAL REVIEW	05-19-20
6	RELEASE FOR PERMIT	06-17-20
7	REVISION	

DESIGN SEVER

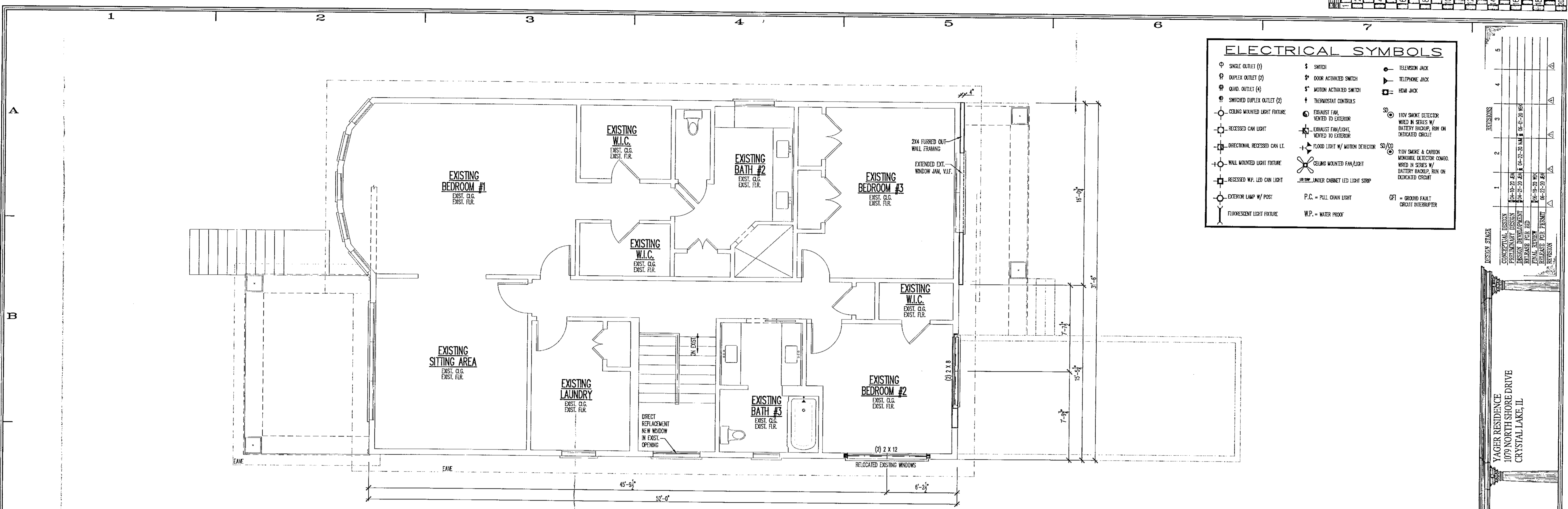
YAGER RESIDENCE
1075 NORTHSHORE DRIVE
CRYSTAL LAKE, IL

FOUNDATION PLAN

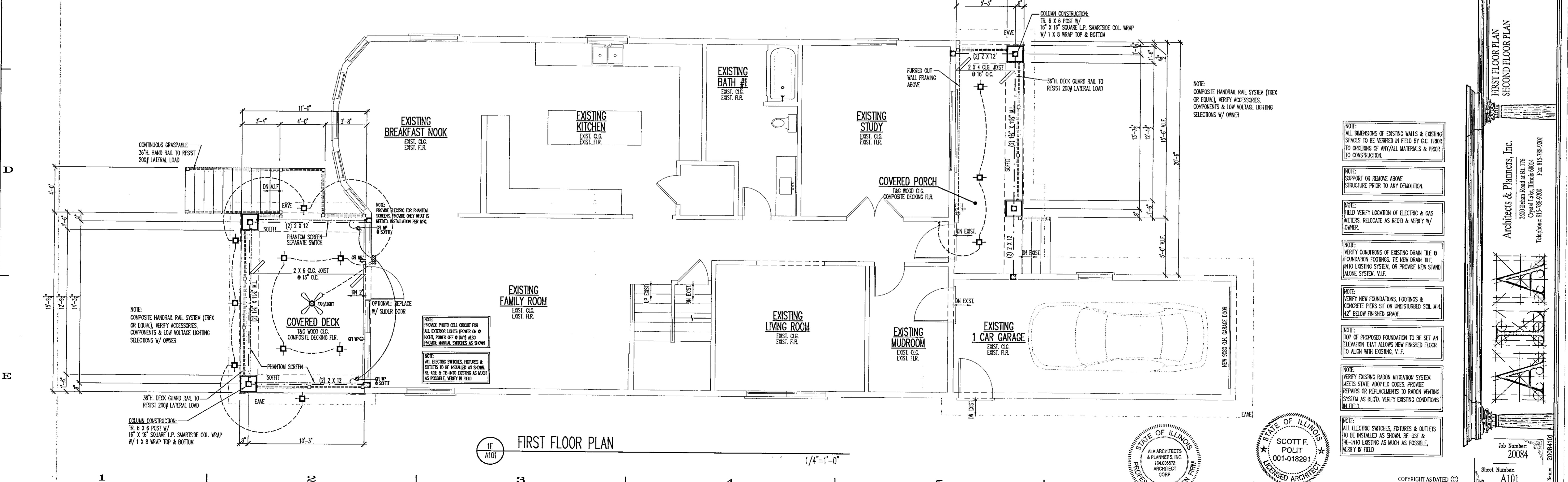
Architects & Planners, Inc.
2600 Babar Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201



Job Number: 20084
Sheet Number: A100
File Number: 20084100



1C A101 SECOND FLOOR PLAN 1/4"=1'-0"



1E A101 FIRST FLOOR PLAN 1/4"=1'-0"

- NOTE: ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.
- NOTE: SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.
- NOTE: FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS REQ'D & VERIFY W/ OWNER.
- NOTE: VERIFY CONDITIONS OF EXISTING GRAB BAR & FOUNDATION FOOTINGS. THE NEW GRAB BAR INTO EXISTING SYSTEM, OR PROVIDE NEW STAND ALONE SYSTEM, V.I.F.
- NOTE: VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERIS SIT ON UNDISTURBED SOIL MIN. 12" BELOW FINISHED GRADE.
- NOTE: TOP OF PROPOSED FOUNDATION TO BE SET AN ELEVATION THAT ALLOWS NEW FINISHED FLOOR TO ALIGN WITH EXISTING, V.I.F.
- NOTE: VERIFY EXISTING RADON MITIGATION SYSTEM MEETS STATE ADOPTED CODES. PROVIDE REPAIRS OR REPLACEMENTS TO RADON VENTING SYSTEM AS REQ'D. VERIFY EXISTING CONDITIONS IN FIELD.
- NOTE: ALL ELECTRIC SWITCHES, FIXTURES & OUTLETS TO BE INSTALLED AS SHOWN. RE-USE & RE-USE EXISTING AS MUCH AS POSSIBLE, VERIFY IN FIELD.

DESIGN STACK

CONCEPTUAL DESIGN	12-10-20	12-10-20
PRELIMINARY DESIGN	12-10-20	12-10-20
DESIGN DEVELOPMENT	12-10-20	12-10-20
PERMITS FOR BID	12-10-20	12-10-20
FINAL DESIGN	12-10-20	12-10-20
PERMITS FOR CONSTRUCTION	12-10-20	12-10-20

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

FIRST FLOOR PLAN
SECOND FLOOR PLAN

Architects & Planners, Inc.
2000 Robin Road at Rt. 175
Crystal Lake, Illinois 60014
Telephone: 815-288-9200 Fax: 815-288-9201

Job Number: 20084
Sheet Number: A101

STATE OF ILLINOIS
SCOTT F. POLIT
001-018291
LICENSED ARCHITECT

ALA ARCHITECTS & PLANNERS, INC.
184 02872
ARCHITECT
CORP.

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1C EXISTING FRONT ELEVATION
A200 1/4"=1'-0"



NOTE:
ALL MATERIALS TO BE "LP SMARTSIDE"
TRIM AND SIDING OR EQUIVALENT, UNLESS
OTHERWISE NOTED VERBY W/ OWNER

1E FRONT ELEVATION
A200 1/4"=1'-0"



1E REAR ELEVATION
A200 1/4"=1'-0"

ELEVATION NOTES

- DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- IF REAR AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- ALL WINDOWS ARE DESIGNATED IN ROOM OPENING, SHOWN IN FEET & INCHES
- EXAMPLE: 2533 = 2'-5" X 5'-3" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- EGRESS WINDOW = (1)
- TEMPERED GLASS = (2)
- FIXED WINDOW = (3)

REMODELING & ADDITION NOTES

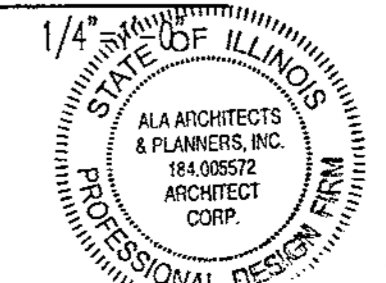
- WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- ALL NEW FASCIA, FREEZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

DESIGN STAGE	DATE	DESCRIPTION
CONCEPTUAL DESIGN	10-14-20	EA
PRELIMINARY DESIGN	10-14-20	EA
DESIGN DEVELOPMENT	10-14-20	EA
PERMIT SET	10-14-20	EA
ISSUE FOR PERMIT	10-14-20	EA
REVISION		

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

EXISTING FRONT ELEVATION
FRONT ELEVATION
REAR ELEVATION

Architects & Planners, Inc.
2600 Bevan Road at Rt. 176
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Job Number: 20084
Sheet Number: A200
File Name: 2008A200

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ELEVATION NOTES

- * DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP, RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS.
- * IF RIDGE AND SKEFF VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS.

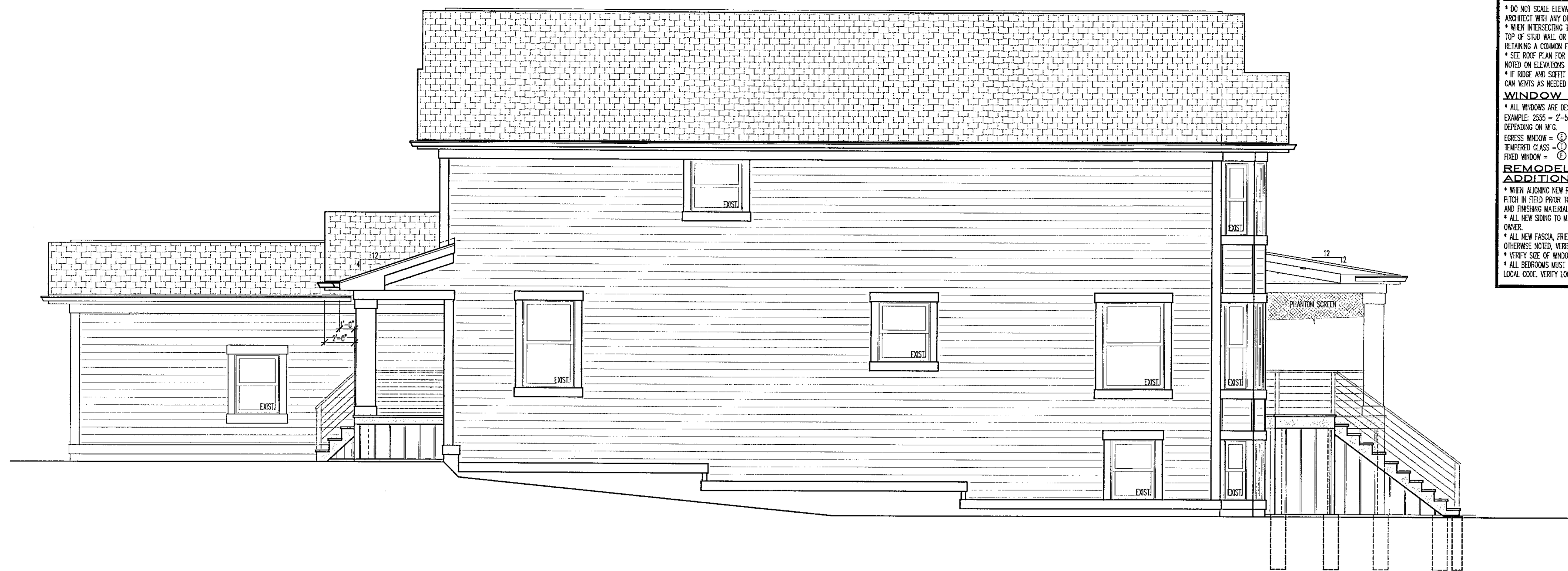
WINDOW NOTES

- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES. EXAMPLE: 2'-5" X 4'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- EGRESS WINDOW = (E)
- TEMPERED GLASS = (T)
- FIXED WINDOW = (F)

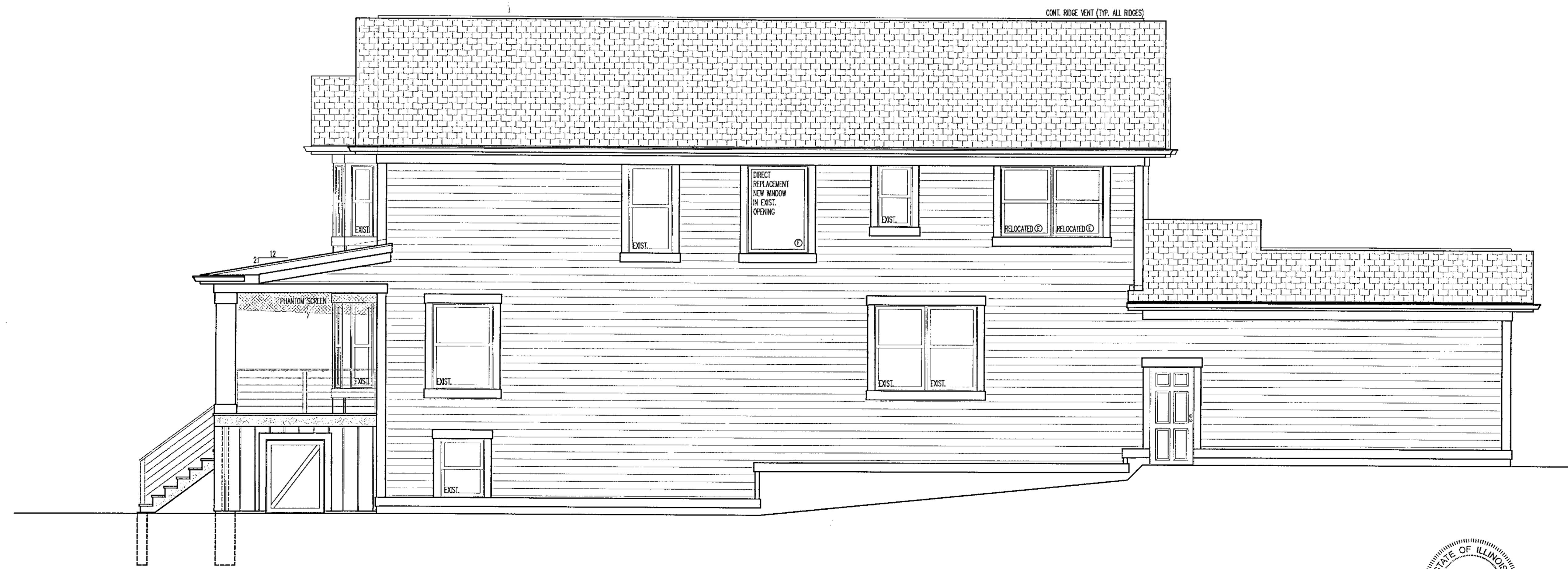
REMODELING & ADDITION NOTES

- * WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- * ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- * ALL NEW FASCIA, FREEZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- * VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- * ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

DESIGN STAGE	DATE	BY	FOR
CONCEPTUAL DESIGN	04-10-20	BA	
PRELIMINARY DESIGN	04-21-20	BA	
DESIGN DEVELOPMENT	04-21-20	BA	
PERMIT PREP	04-22-20	BA	
FINAL REVIEW	06-19-20	BA	
PERMIT FOR PERMIT	06-22-20	BA	



3C
A201 RIGHT SIDE ELEVATION
1/4"=1'-0"

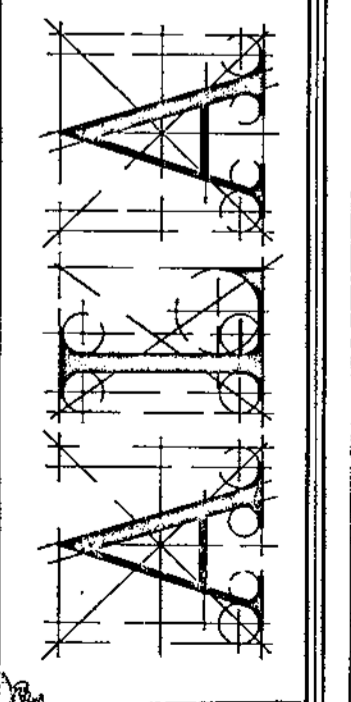


3E
A201 LEFT SIDE ELEVATION
1/4"=1'-0"

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION

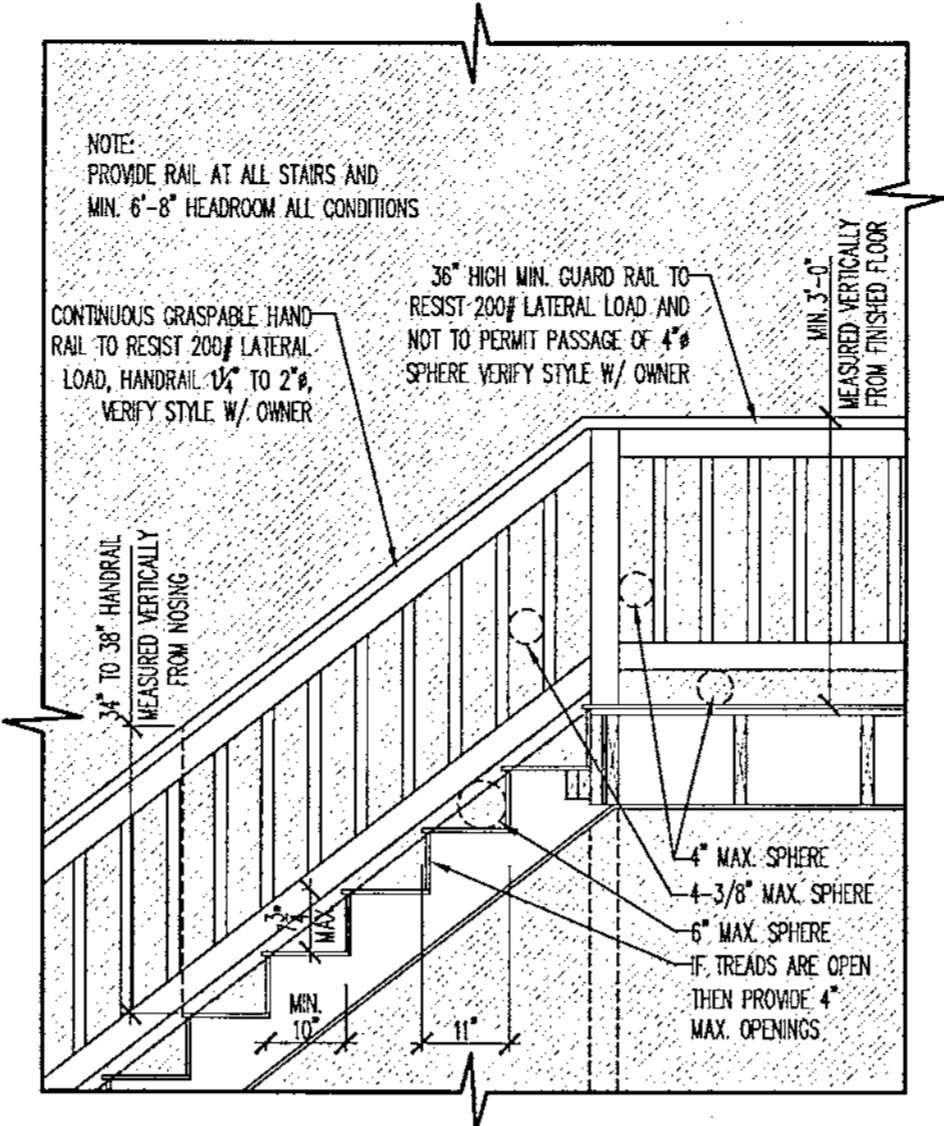
Architects & Planners, Inc.
2600 Bebaun Road at RL 176
Crystal Lake, Illinois 60014
Telephone: 815-789-9300 Fax: 815-789-9301



Job Number: 20084
Sheet Number: A201
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NOTE:
THE DETAILS AND SECTIONS SHOWN
ARE FOR REFERENCE ONLY.
PROVIDED TO AID IN THE
CONSTRUCTION IN STANDARD AND
OPTIONAL CONDITIONS. SEE PLANS
FOR SPECIFICS AND ACTUAL
CONSTRUCTION DETAILS.

NOTE:
ACTUAL STAIR LAYOUT PER PLANS.
DIAGRAM SHOWS GUARDRAIL,
HANDRAIL, HEADROOM, ETC.
SPECIFICATIONS NOT FOR STAIR RUN
CONSTRUCTION. SEE STAIR NOTES ON
PAGE A000 FOR ACTUAL TREAD AND
RISER REQUIREMENTS PER LOCAL &
NATIONAL CODES. INSTALL THIRD
STRINGER IF TREADS ARE MORE THAN
3'-0" WIDE.



3B
A300 TYPICAL STAIR & RAIL DETAIL 1/2"=1'-0"

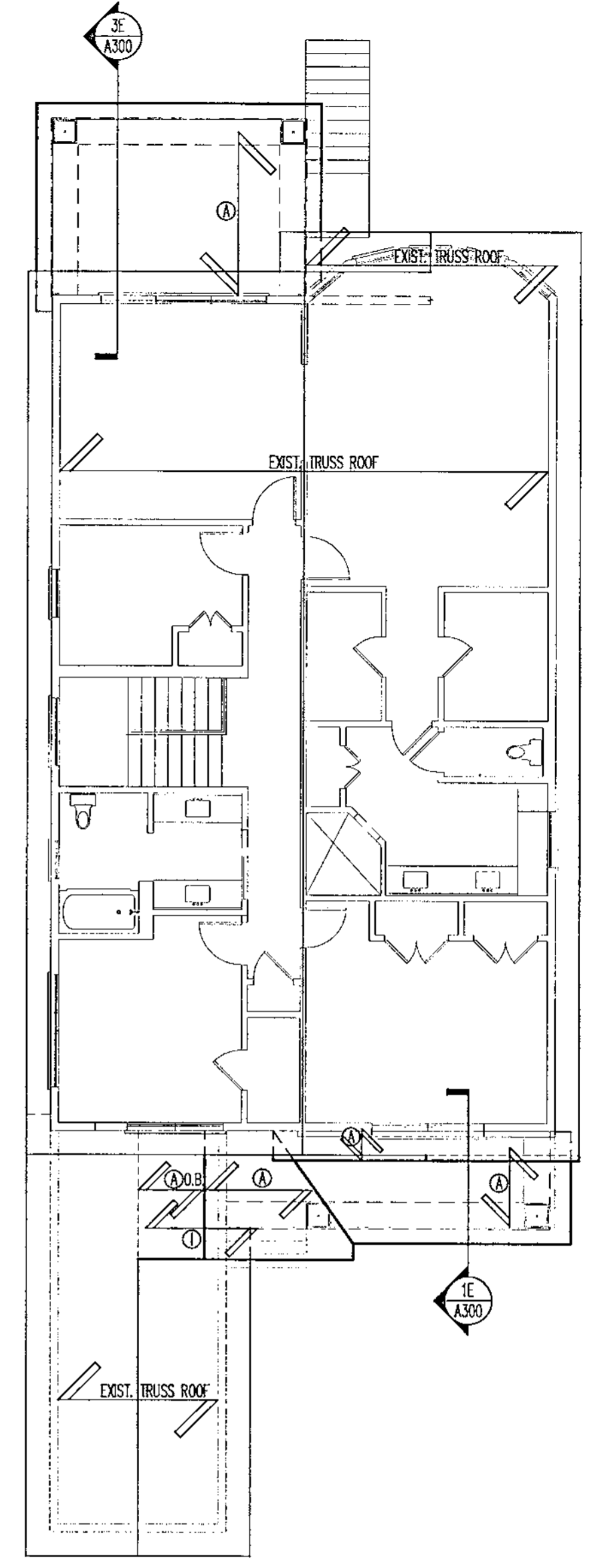
CONSTRUCTION SPECIFICATIONS

ROOF CONSTRUCTION @ COVERED PORCH & DECK
ROOFING PER ELEVATIONS
1/2" OSB ROOF SHEATHING
(SEE ROOF PLAN FOR ROOF STRUCTURE)
1 X FASCIA PER ELEVATIONS
ALUM. SOFFIT
1 X FRIEZE ED. PER ELEVATIONS
CEILING PER PLANS

TYPICAL ROOF CONSTRUCTION @ RESIDENCE
ROOFING PER ELEVATIONS
ICE BARRIER FROM EAVE'S EDGE TO MAX. 2'-0"
PAST INTERIOR FACE OF EXTERIOR WALL
1/2" OSB SHEATHING
(SEE ROOF PLAN FOR ROOF STRUCTURE)
1 X FASCIA PER ELEVATIONS
ALUM. SOFFIT
1 X FRIEZE ED. PER ELEVATIONS
1/2" C/P. BD. AT CEILING

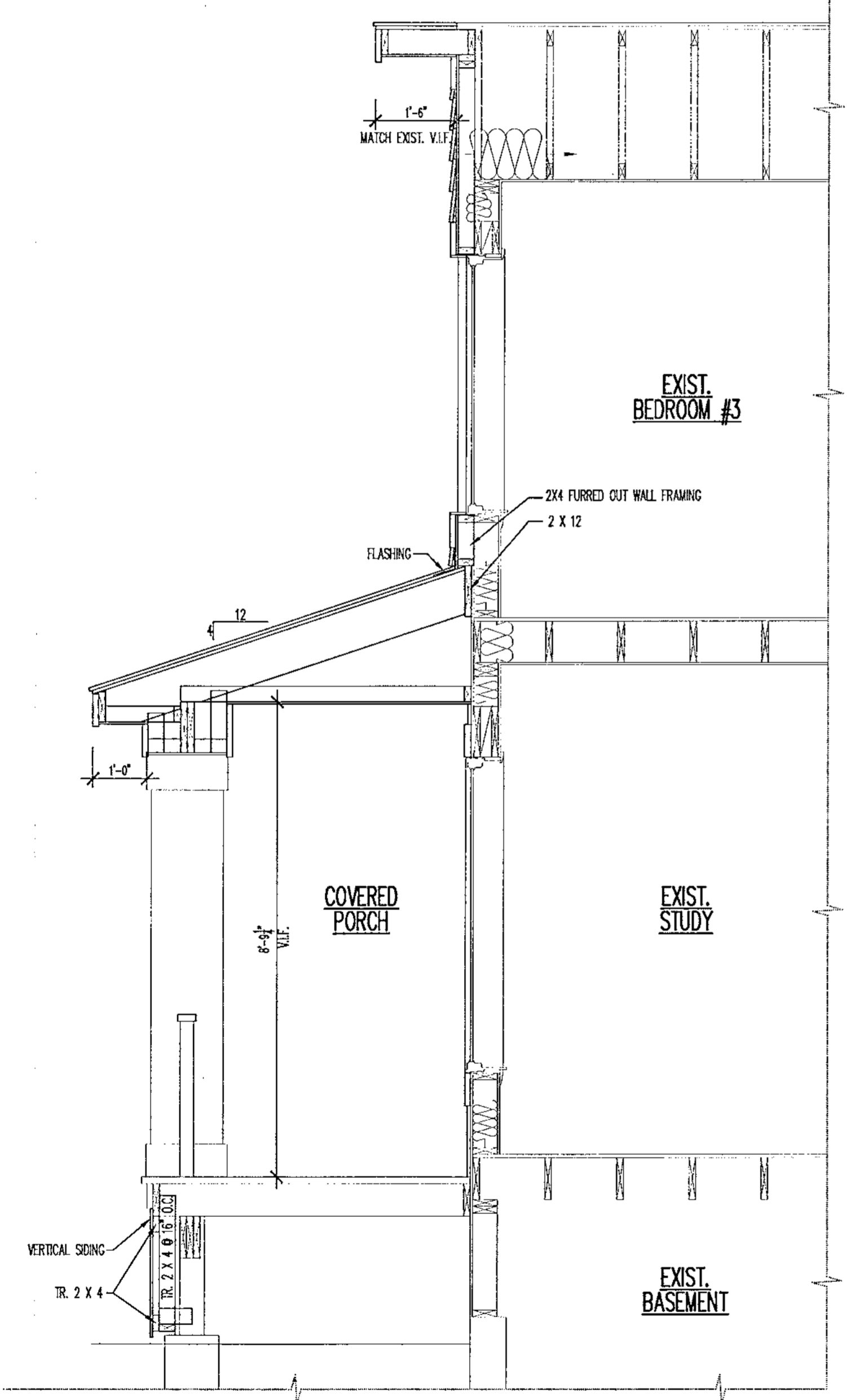
TYPICAL EXTERIOR FRAME WALL CONSTRUCTION:
SIDING PER ELEVATIONS
TYVEK OR EQUIV. HOUSE WRAP
1/2" CONTINUOUS STRUCTURAL PANEL SHEATHING
2 X 6 STUDS @ 16" O.C. PER PLAN
5-1/2" (R-21) BATT INSULATION W/ VAPOR BARRIER
1/2" C/P. BD.

TYPICAL FLOOR CONSTRUCTION:
FLOORING PER PLANS
3/4" 18G PLYWOOD SUBFLOOR GLEUED AND NAILED (FIR)
FLOOR JOISTS PER PLANS, BLOCKING/BRIDGING @ 7'-0" O.C. W/ DIMENSIONAL LUMBER
SEE STRUCTURAL NOTES ON PLANS
9-1/2" (R-30) BATT INSULATION W/ VAPOR BARRIER AT PERIMETER,
CANTILEVERED FLOORS & OVER UNHEATED SPACES
1/2" C/P. BD. AT FIRST FLOOR CEILING

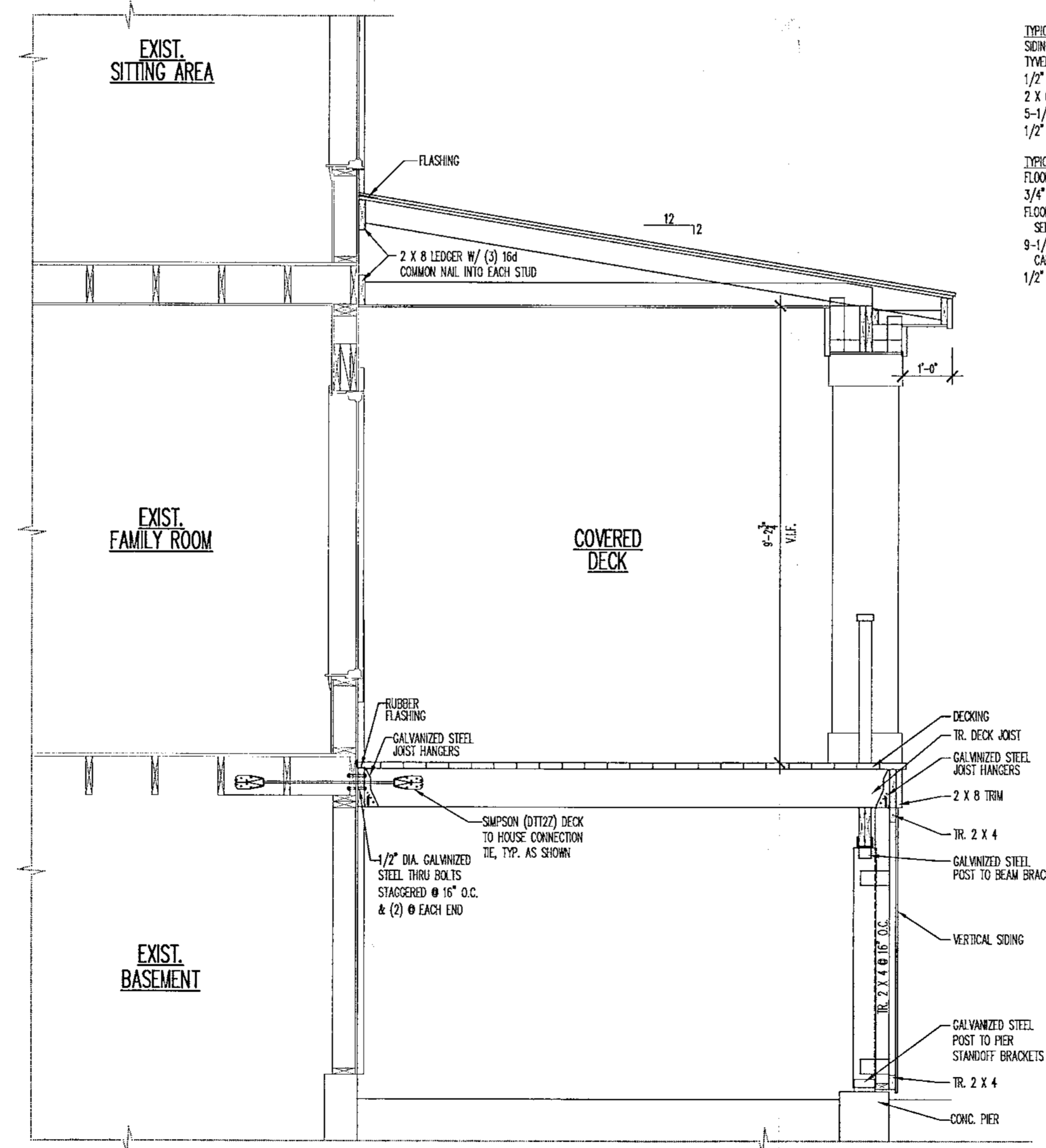


ROOF STRUCTURAL SPECIFICATIONS		NOTES
Ⓐ = 2 X 6 RAFTERS @ 16" O.C.	Ⓐ = 2 X 4 COLLAR TIES @ 8' O.C.	ALL EAVES AND RAKES 1'-0" UNLESS OTHERWISE NOTED. ALL RIDGE, HIP AND VALLEY BOS. TO BE FULL DEPTH OF THE CUT END OF THE RAFTER UNLESS OTHERWISE NOTED. FIR DOWN RAFTERS AS REQ'D IN VAULTED CEILING AREAS TO ALLOW FOR INSULATION AS SPECIFIED IN THE BUILDING SECTION SPECS, PAGE A300. ADD BLOCKING @ RAFTER BEARING TO MAINTAIN OVERHANG PROFILE THROUGHOUT UNLESS OTHERWISE NOTED. PROVIDE ARCHITECT WITH INDIVIDUAL ROOF TRUSS DRAWINGS AND A ROOF TRUSS LAYOUT PLAN SHOWING ANY INTERIOR POINT LOADS INFORMATION CAUSED BY TRUSSES WHICH ARE STAMPED AND SIGNED BY A LICENSED ENGINEER FOR ALL PRE-ENGINEERED TRUSSES FOR APPROVAL PRIOR TO FABRICATION. PROVIDE SIMPSON 1/2" DIA. HURRICANE CLIPS @ EACH RAFTER
Ⓑ = 2 X 8 RAFTERS @ 16" O.C.	Ⓑ = 2 X 6 COLLAR TIES @ 8' O.C.	
Ⓒ = 2 X 10 RAFTERS @ 16" O.C.	Ⓒ = 2 X 8 COLLAR TIES @ 8' O.C.	
Ⓓ = 2 X 12 RAFTERS @ 16" O.C.	Ⓓ = CEILING JOISTS PER FLOOR PLANS	
Ⓔ = 2 X 6 CEILING JOISTS @ 16" O.C.	Ⓔ = PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.	
Ⓕ = 2 X 8 CEILING JOISTS @ 16" O.C.	Ⓕ = PRE-ENGINEERED SCISSOR TRUSSES OR MODIFIED CEILING TRUSSES @ 24" O.C. (SEE PLANS FOR CEILINGS)	
Ⓖ = 2 X 10 CEILING JOISTS @ 16" O.C.	Ⓖ = PRE-ENGINEERED ATIC TRUSSES @ 24" O.C.	
Ⓗ = 2 X 12 CEILING JOISTS @ 16" O.C.		
M.L. = 1 3/4" 1.9E MICROLUMEN LVL	O.B. = OVER BUILD	
T.S. = 1 3/4" 1.9E TRUSSTRAND LVL	E.R. = EXTENDED RIDGE	
□ = (3) 2X6 BUILT UP POST - BRACE EACH DIRECTION FOR MAXIMUM ON BRACED HEIGHT OF 10'-0"	U.R. = UNDER BUILD	
	D.R. = DOUBLE RAFTER	
	E.V. = EXTENDED VALLEY	
	E.H. = EXTENDED HP	

5D
A300 ROOF PLAN & STRUCTURAL NOTES 1/8"=1'-0"



1F
A300 WALL SECTION 1/2"=1'-0"



3E
A300 WALL SECTION 1/2"=1'-0"

LIGHT AND VENT SCHEDULE						
ROOM	SQ. FT.	REQ. LT.	ACT. LT.	REQ. VT.	ACT. VT.	ACT. CFM.
EXISTING STUDY	197.1	15.8	41.3	7.9	22.8	---
EXISTING BEDROOM #2	138.6	11.1	30.8	5.5	26.9	---
EXISTING BEDROOM #3	196.1	15.7	20.9	7.8	11.7	---

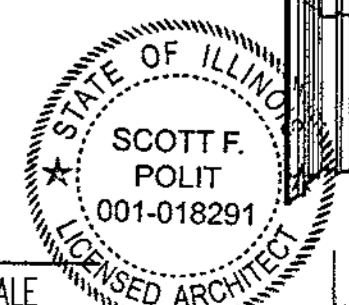
6E
A300 LIGHT & VENT SCHEDULE

DESIGN STAGE	DATE	BY	APP'D BY
CONCEPTUAL DESIGN	04-05-20	BA	04-22-20
PRELIMINARY DESIGN	04-29-20	BA	04-22-20
DESIGN DEVELOPMENT	05-06-20	BA	04-22-20
RELEASE FOR BID	05-09-20	BA	04-22-20
FINAL REVIEW	05-09-20	BA	04-22-20
RELEASE FOR PERMIT	05-22-20	BA	04-22-20
DIVISION			

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

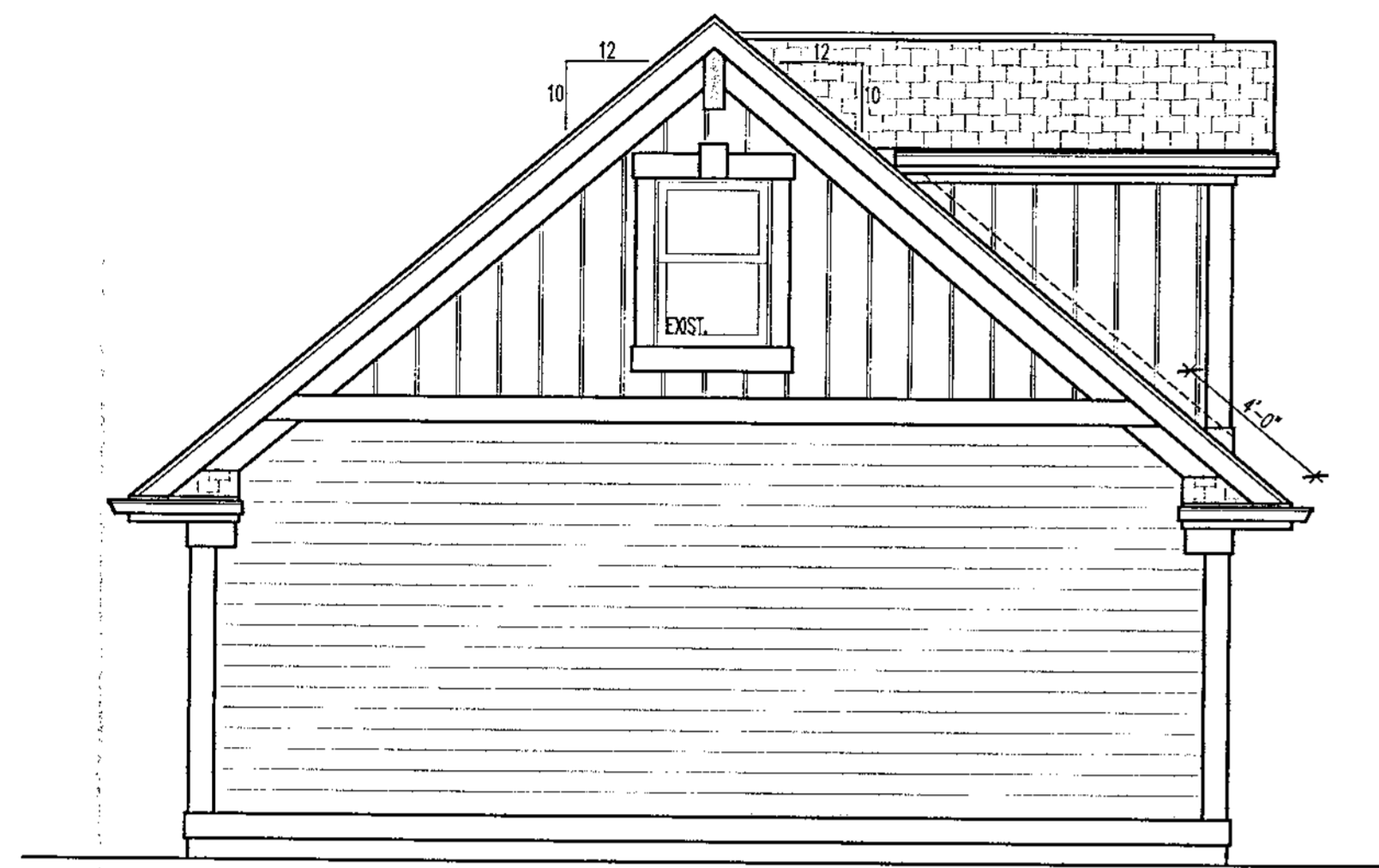
ROOF PLAN & STRUCTURAL NOTES
WALL SECTIONS
LIGHT & VENT SCHEDULE
TYPICAL DETAILS

Architects & Planners, Inc.
2600 Robin Road at Rte. 176
Crystal Lake, Illinois 60114
Telephone 815-788-2200 Fax 815-788-2201

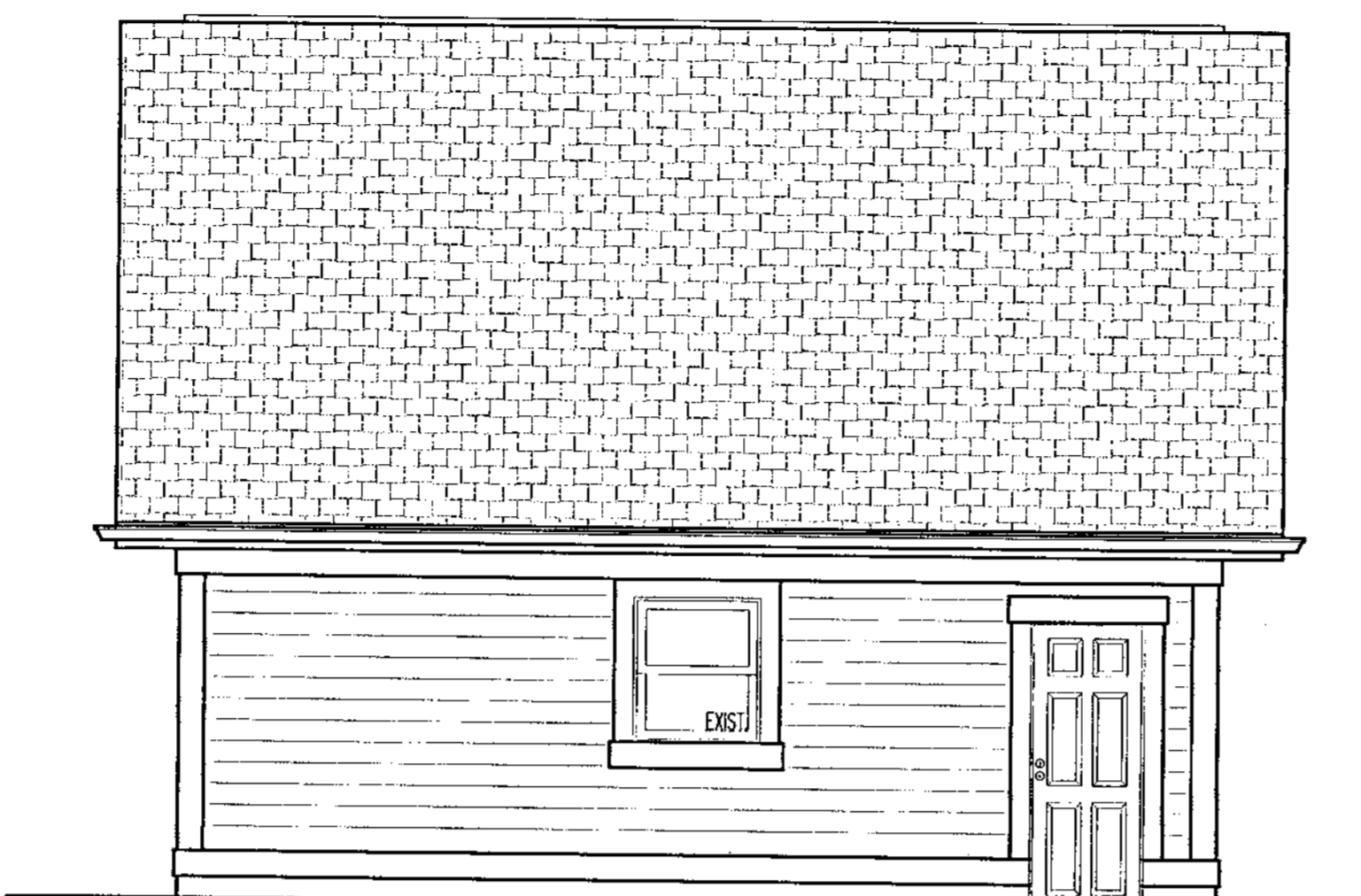


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Job Number: 20084
Sheet Number: A300
Date: 2008/4/30



1C
G100
DETACHED GARAGE LEFT SIDE ELEVATION
1/4"=1'-0"



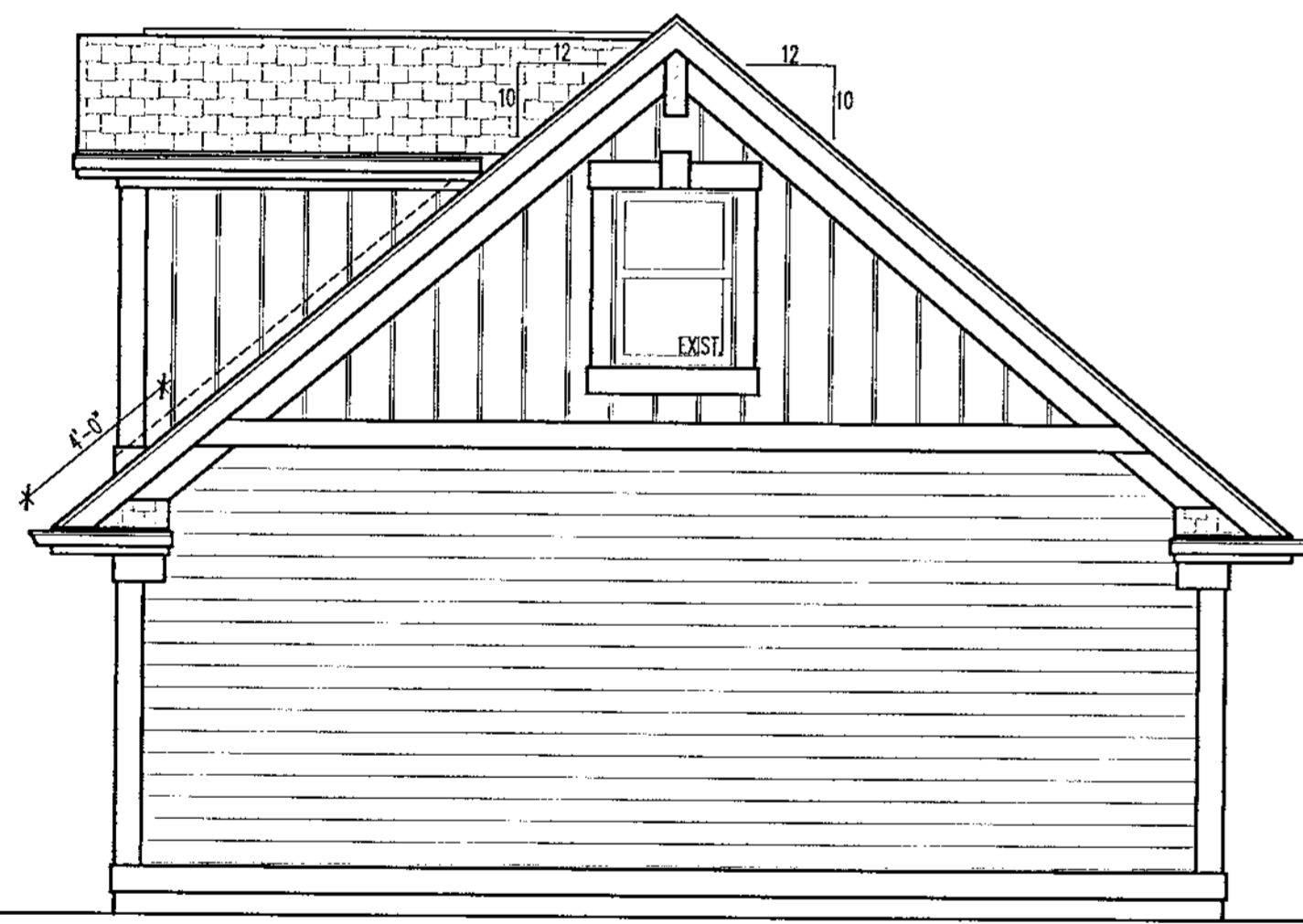
3C
G100
DETACHED GARAGE REAR ELEVATION
1/4"=1'-0"



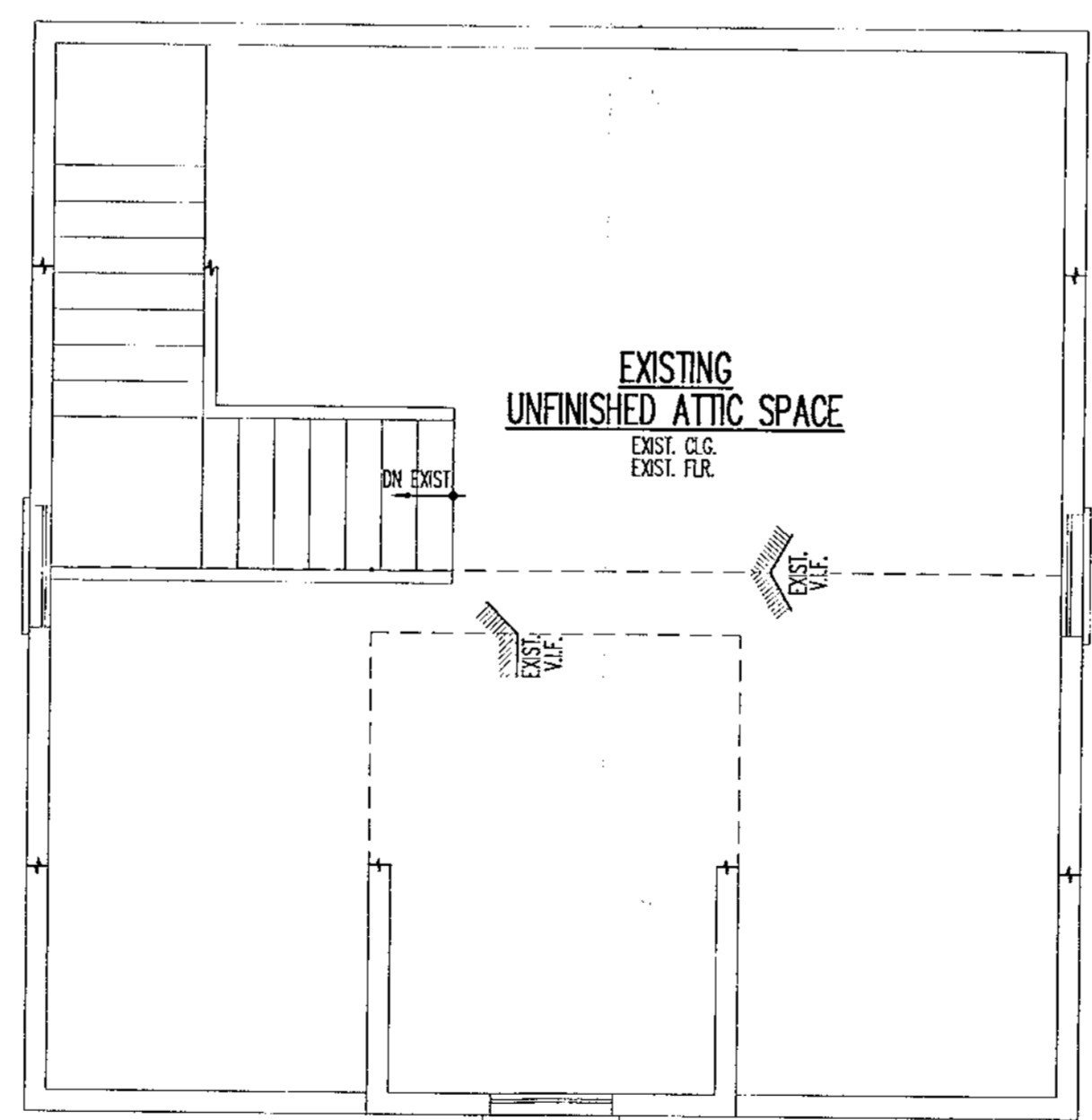
5C
G100
DETACHED GARAGE FRONT ELEVATION
1/4"=1'-0"

- CONT. RIDGE VENT (TYP. ALL RIDGES)
- ARCHITECTURAL ASPHALT SHINGLES (TO MATCH EXIST.)
- 18" X 6" BEAM
- 6" TRIM W/ KEYSTONE
- VERTICAL BOARD & BATTEN LP SMARTSIDING FLASHING TYP.
- CONT. ALUMINUM GUTTER & DOWN SPOUT SYSTEM. ACTUAL LOCATION OF DOWN SPOUTS TO BE IN FIELD. PROVIDE CONCRETE SPLASH BLOCKS @ ALL DOWN SPOUT DISCHARGE AREAS
- 1 X 2 SINGLE STOP
- 6" FASCIA BD.
- 6" FRIEZE BD.
- 6" TRIM
- 6" TRIM
- 6" CORNER BD.
- 6" HORIZONTAL SIDING
- 6" REBBON BD.

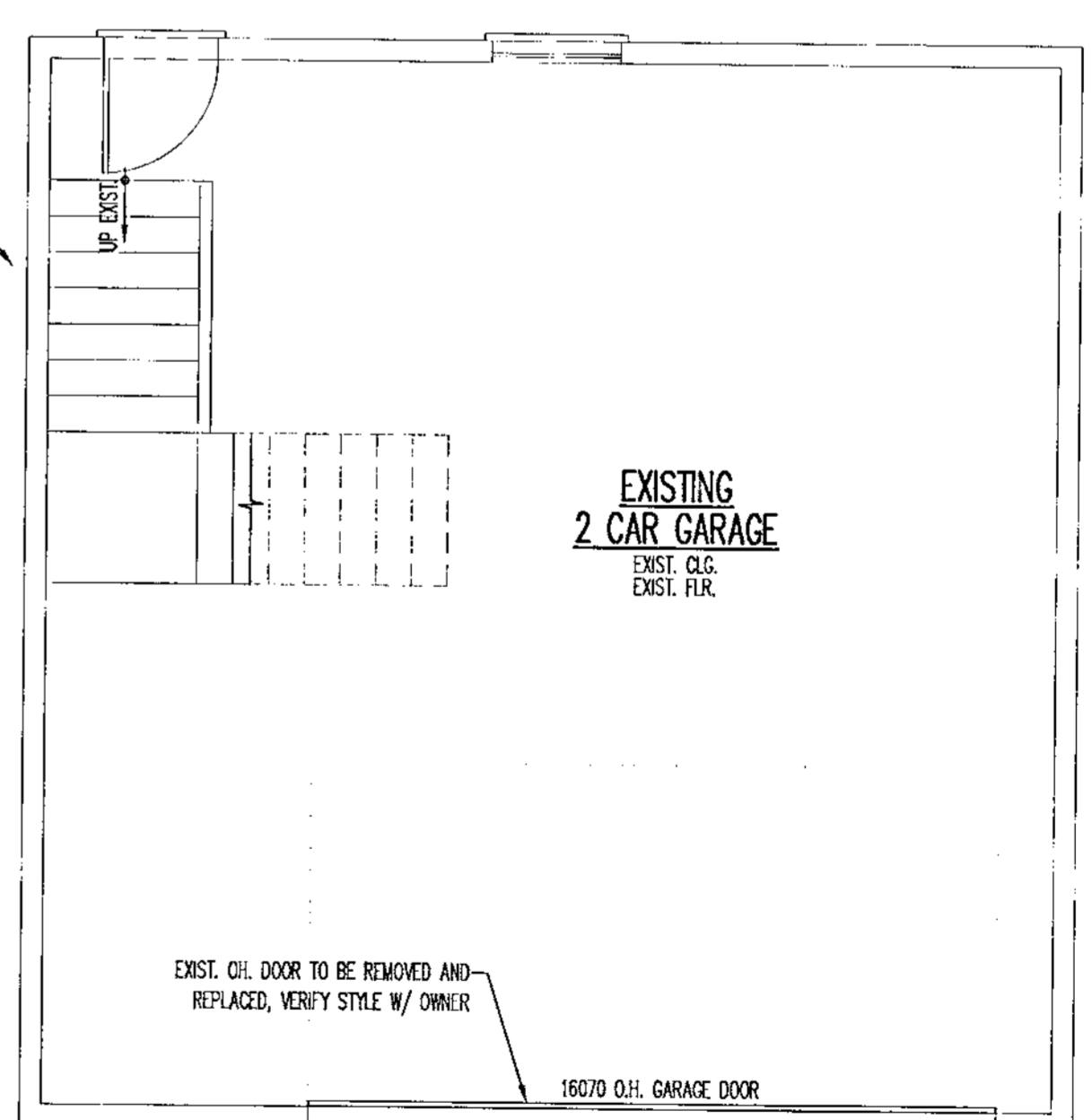
NOTE:
ALL MATERIALS TO MATCH THOSE ON THE PRIMARY RESIDENCE. VERIFY W/ OWNER



1D
G100
DETACHED GARAGE RIGHT SIDE ELEVATION
1/4"=1'-0"



3E
G100
DETACHED GARAGE ATTIC FLOOR PLAN
1/4"=1'-0"



5E
G100
DETACHED GARAGE FIRST FLOOR PLAN
1/4"=1'-0"

NOTE:
REMOVE & DISCARD ALL EXTERIOR CLADDING AND TRIM, PREP FOR NEW SIDING, TRIM & ROOFING. VERIFY W/ OWNER.

NOTE:
ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.

NOTE:
SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.

NOTE:
FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS NEEDED & VERIFY W/ OWNER.

NOTE:
ALL ELECTRIC SWITCHES, FIXTURES & OUTLETS TO BE INSTALLED AS SHOWN. BE-USE & TIE-INTO EXISTING AS MUCH AS POSSIBLE. VERIFY IN FIELD.

EXIST. OIL DOOR TO BE REMOVED AND REPLACED. VERIFY STYLE W/ OWNER

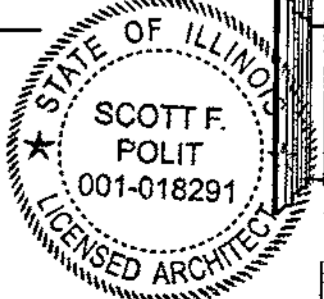
ATTIC VENT SCHEDULE							
ATTIC	ATTIC AREA	REQUIRED VENT		ACTUAL VENT			AGL VENT VALUES CONT. SOFFIT VENT. =10 S.I. / 1 FT. RIDGE VENTS =20 S.I. / 1 FT. CAN VENTS =100 S.I. / VENT
		INTAKE @ SOFFIT	EXHAUST @ ROOF	INTAKE @ SOFFIT	EXHAUST @ ROOF	CAN VENTS	
UPPER	571 S.F. 82,224 S.I.	275 S.I.	275 S.I.	28 FT. 280 S.I.	14 FT. 280 S.I.	CAN(S) S.I.	

1E
G100
ATTIC VENT SCHEDULE
NO SCALE

YAGER RESIDENCE
1079 NORTH SHORE DRIVE
CRYSTAL LAKE, IL

DETACHED GARAGE FIRST FLOOR DEMO. PLAN
DETACHED GARAGE ATTIC DEMOLITION PLAN
DETACHED GARAGE FRONT ELEVATION
DETACHED GARAGE REAR ELEVATION
DETACHED GARAGE RIGHT SIDE ELEVATION
DETACHED GARAGE LEFT SIDE ELEVATION

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Telephone: 815-788-9220 Fax: 815-788-9211



Job Number
20084

Sheet Number
G100

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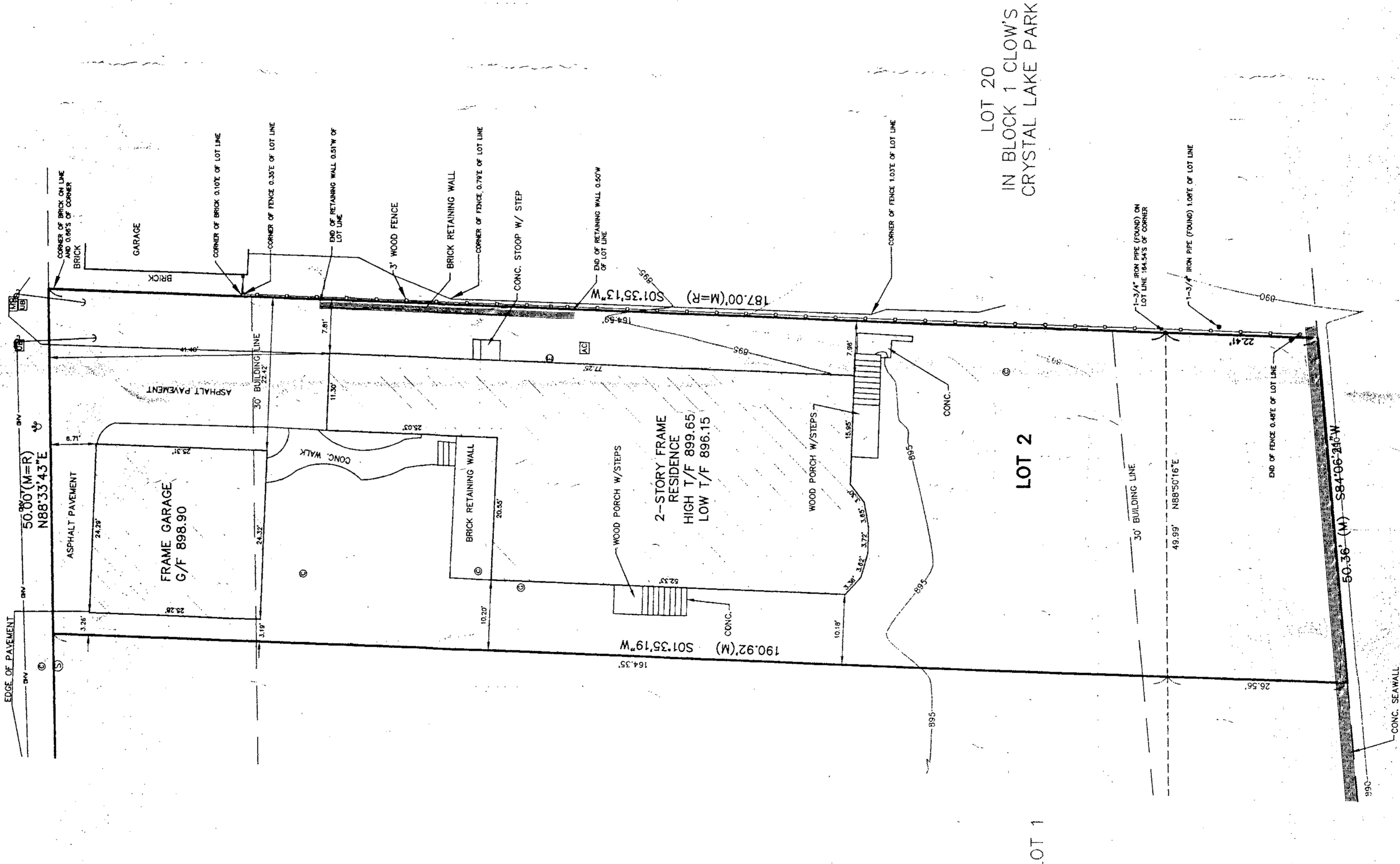
PLAT OF SURVEY

LOT 2 IN TEMPLIN'S RE-SUBDIVISION OF LOTS 18 & 19 IN BLOCK 1 OF CLOW'S CRYSTAL LAKE PARK SUBDIVISION, BEING A PART OF GOVERNMENT LOT 2 IN THE NORTHEAST QUARTER OF SECTION 1 AND A RESUBDIVISION OF LOTS 18 AND 19 IN BLOCK 1 IN CLOW'S CRYSTAL LAKE PARK, BEING A SUBDIVISION OF PART OF GOVERNMENT LOT 2 IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 18, 2004 AS DOCUMENT NUMBER 2004R0092574, IN MCHENRY COUNTY, ILLINOIS.

COMMONLY KNOWN AS: N. SHORE DRIVE
 PIN: 18-01-229-01B 10.74
 AREA = 0.22 ACRES

BENCH-TIE IN UTILITY POLE
 ELEV.=899.68

N. SHORE DRIVE



SYMBOL LEGEND

⊕	SANITARY MANHOLE
⊙	SANITARY CLEAN-OUT
⊕	B-BOX
⊕	UTILITY BOX
⊕	UTILITY POLE
⊕	OUT WIRE
⊕	MAILBOX
•	FOUND MONUMENTATION

LINE LEGEND

—	WOOD FENCE
—	CHAINLINK FENCE
—	OVERHEAD WIRES

- NOTES:**
1. THERE MAY BE UNDERGROUND UTILITIES THAT ARE NOT SHOWN HEREON.
 2. UNLESS OTHERWISE NOTED, ONLY THOSE EASEMENTS AND SETBACK LINES THAT ARE INDICATED ON THE RECORDED SUBDIVISION PLAT AND THAT AFFECT THE SUBJECT PARCEL ARE SHOWN HEREON.
 3. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE AT ONCE.
 4. NO DIMENSIONS ARE TO BE ASSUMED BY SCALE MEASUREMENTS.
 5. THIS PLAT OF SURVEY IS VOID WITHOUT THE SEAL AND ORIGINAL SIGNATURE OF THE SURVEYOR.
 6. TIES ARE MEASURED TO AND ALONG THE FACE OF THE BUILDING AT GROUND LEVEL.
 7. MISSING CORNERS NOT SET PER CLIENT REQUEST.

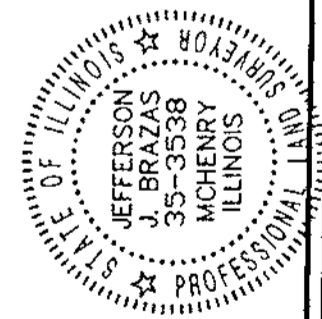
CRYSTAL LAKE

EDGE OF WATER

LEGEND
 T/F = TOP OF FOUNDATION
 (M) = MEASURED DIMENSION
 (R) = RECORD DIMENSION

NOTE: BUILDING DIMENSIONS SHOULD NOT BE USED TO DETERMINE LOT LINE LOCATIONS. REFER TO ACTUAL LOT CORNERS AND REPORT ANY DIFFERENCES TO THE SURVEYOR IMMEDIATELY. ALL LOT DIMENSIONS ARE RECORD UNLESS OTHERWISE NOTED. FIELD WORK COMPLETED 06/22/06.

STATE OF ILLINOIS } S.S.
 COUNTY OF MCHENRY }
 I, JEFFERSON J. BRAZAS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT A SURVEY HAS BEEN MADE UNDER MY PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE REQUIREMENTS OF SAID SURVEY, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION DATED THIS 23RD DAY OF JUNE, A.D., 2006.



RECEIVED
 JUN 27 2006
 P.M.

Grading Approved
 7-5-06 CP

FINAL SURVEY: LOT 2
 TEMPLIN'S RESUB. N.E. 1/4 SEC. 1 T43N R7E
 SCALE: 1" = 10' PL: V05.05468.VNAL2.DWG DRAWN BY: LWP
 DATE: 6/23/06 FIELD CREW: MH
LAND TECHNOLOGY, INC. (815)363-9200
 3922 W. MAIN STREET MCHENRY, IL 60050
 ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001331

BASIS FOR BEARINGS: THE BASIS FOR BEARINGS SHOWN HEREON IS THE "PLAT OF SUBDIVISION" OF TEMPLIN'S RESUBDIVISION OF LOTS 18 AND 19 IN BLOCK 1 OF CLOW'S CRYSTAL LAKE PARK SUBDIVISION RECORDED OCTOBER 18, 2004 AS DOCUMENT NUMBER 2004R0092574, IN MCHENRY COUNTY, ILLINOIS.