



#2021-01
Crystal Lake Public Library – Variation
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	January 20, 2021
<u>Requests:</u>	A variation from Article 3-200 Table 3-200A to allow an impervious surface coverage of 57.75%, a variation of 17.75%.
<u>Location:</u>	126 W Paddock St
<u>Existing Zoning:</u>	R-2 Single-Family Residential & R-3A Two-Family Residential
<u>Surrounding Properties:</u>	North: R-3A – Two-Family Residential South: R-2 – Single-Family Residential (Elementary School) East: R-3A – Two-Family Residential West: R-3A – Two-Family Residential
<u>Staff Contact:</u>	Katie Cowlin (815.356.3798)

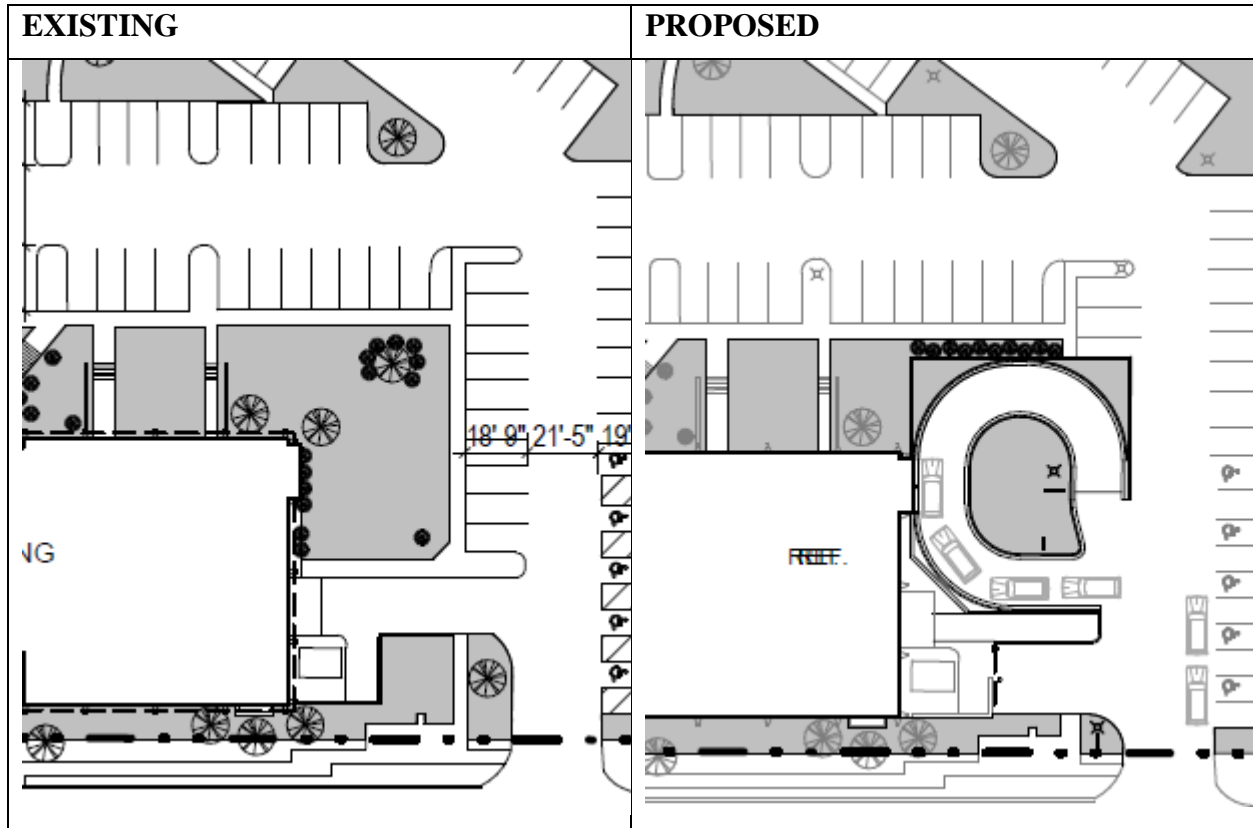
Background:

- **Previous Approvals:**
 - In 1983, the Crystal Lake Public Library received a variation for setbacks and the parking lot.
 - In 1995, a variation was granted for a reduced front yard setback, parking lot setback and parking lot landscaping requirements. The library addition was completed with this approval.
 - In 2001, a Special Use Permit was issued for an illuminated sign adjacent to residential.
 - In 2002, a variation was granted to allow a fence for the parking lot screening from residential.

Development Analysis:

- **Request:** The petitioner is requesting a variation to allow a 57.75% impervious surface coverage, a variation of 17.75%.
- **UDO Requirement:** Institutional uses (such as libraries and schools) are allowed a 40% impervious surface coverage in residentially zoned areas.

- The existing impervious surface coverage exceeds the UDO standards. The existing impervious surface coverage is 55.6%.
- The proposed impervious surface coverage is 57.75%, an increase of 2.15% (2,104 square feet).
- The increase in the impervious surface coverage is required to allow for the addition of a drive-through book pick-up and return.
- There is not any existing impervious surface that could be removed to bring the Library closer to the ordinance requirement.



Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Public and Semi-Public, which allows for a mix of public facilities, such as schools, libraries, park district facilities and municipal facilities. The following goal is applicable to this request:

Land Use – Public and Semi-Public

Goal: Provide area for high quality public and semi-public facilities, such as schools, libraries, municipal facilities and private service providers, throughout the city to support the diverse and evolving needs of people in the city.

This can be accomplished with the following supporting action:

Supporting Action: The City shall support the school districts, library, park district, neighboring municipalities, private service providers and other public and semi-public agencies.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3-200 Table 3-200A to allow an impervious surface coverage of 57.75%, a variation of 17.75%.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property.

To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent

property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

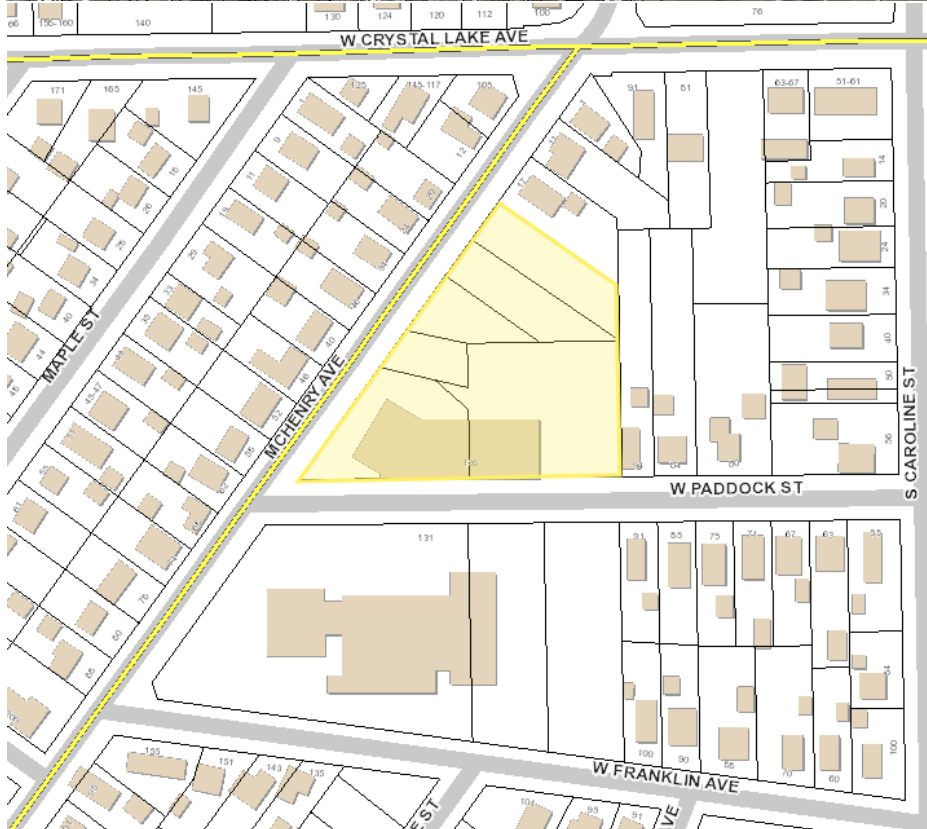
Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion is made to recommend approval of the petitioner's request, the following conditions are recommended:

1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Crystal Lake Public Library, dated 01/05/2021).
 - B. Plan Set (Engberg Anderson Architects, dated 10/21/2020).
2. Provide landscaping in the landscape island in the drive-through circle.
3. The petitioner shall comply with all of the requirements of the Community Development, Public Works and Fire Rescue Departments.

PIQ MAP – CRYSTAL LAKE PUBLIC LIBRARY – VARIATION
126 W PADDOCK ST



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Crystal Lake Public Library - Drive-Up Services

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Crystal Lake Public Library
Address: 126 Paddock Street
Crystal Lake, IL 60014
Phone: 815-526-5102
Fax: _____
E-mail: kmartens@crystallakelibrary.org

Owner Information (if different)

Name: _____
Address: _____
Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: Addition of drive up services lane to support drop off and pick up of library materials via a small addition to the building; adjustments to existing topography to support vehicle movements; and
and a retaining wall to separate grade between the drive up services area and the existing parking and drive
lanes, sidewalks and other landscaped areas.

Project Address/Location: 126 Paddock Street, Crystal Lake, IL 60014

PIN Number(s): PIN 19-05-202-005, 19-05-202-006, 19-05-202-029, 19-05-202-004, 19-05-202-033 & 19-05-202-032.

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Engberg Anderson, Inc. 8618 W. Catalpa Avenue, Suite 1116, Chicago, IL 60656

Architect: shaunk@engberganderson.com

Attorney: _____

Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake IL 60030

Engineer: mrenner@eea-ltd.com

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Kathryn I. Martens, Library Director 1/5/2021

OWNER: Print and Sign name

Date

Kathryn I. Martens Library Director

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

SALES CORPORATION
intercountyjudicialsales.com
13161837

(Published in Northwest Herald, December 29, 2020 January 5, 12, 2021)

**PUBLIC NOTICE
BEFORE THE PLANNING
AND ZONING COMMISSION
OF THE CITY OF CRYSTAL
LAKE, MCHENRY COUNTY,
ILLINOIS**

IN THE MATTER OF THE
APPLICATION OF
Crystal Lake Public Library

LEGAL NOTICE

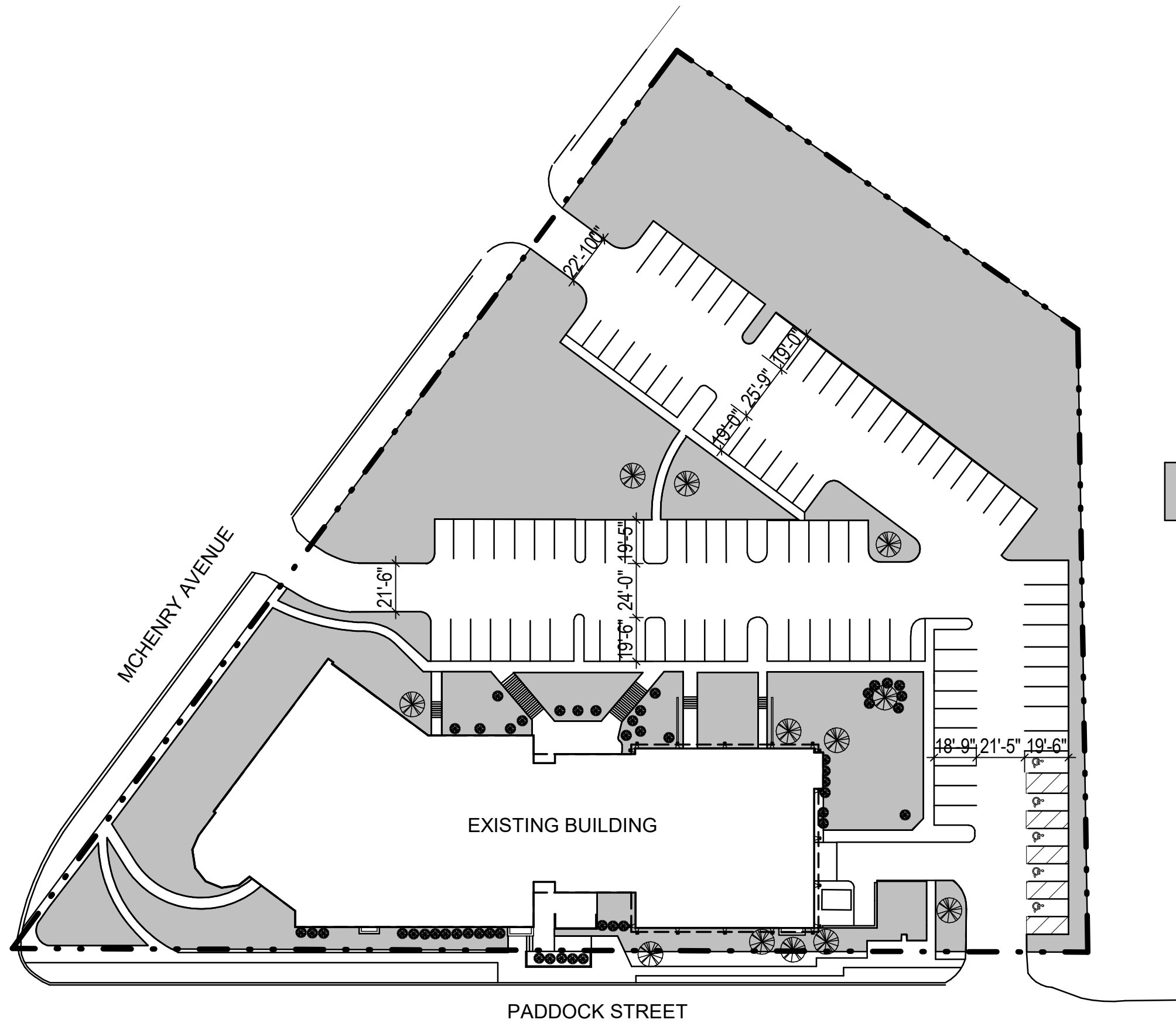
Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application of the Crystal Lake Public Library, seeking an impervious surface coverage variation located at 126 Paddock St, Crystal Lake, Illinois. PIN 19-05-202-005, 19-05-202-006, 19-05-202-029, 19-05-202-004, 19-05-202-033 & 19-05-202-032.

This application is filed for the purpose of seeking an impervious surface coverage variation to allow a 57.75% impervious surface coverage, a variation of 17.75% pursuant to Article 3-200 Dimensional Standards and Article 9-200(C) Variations, as well as any other variations as necessary to complete the drive-through book pickup and drop-off project as proposed. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday, January 20, 2021, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning
Commission
City of Crystal Lake

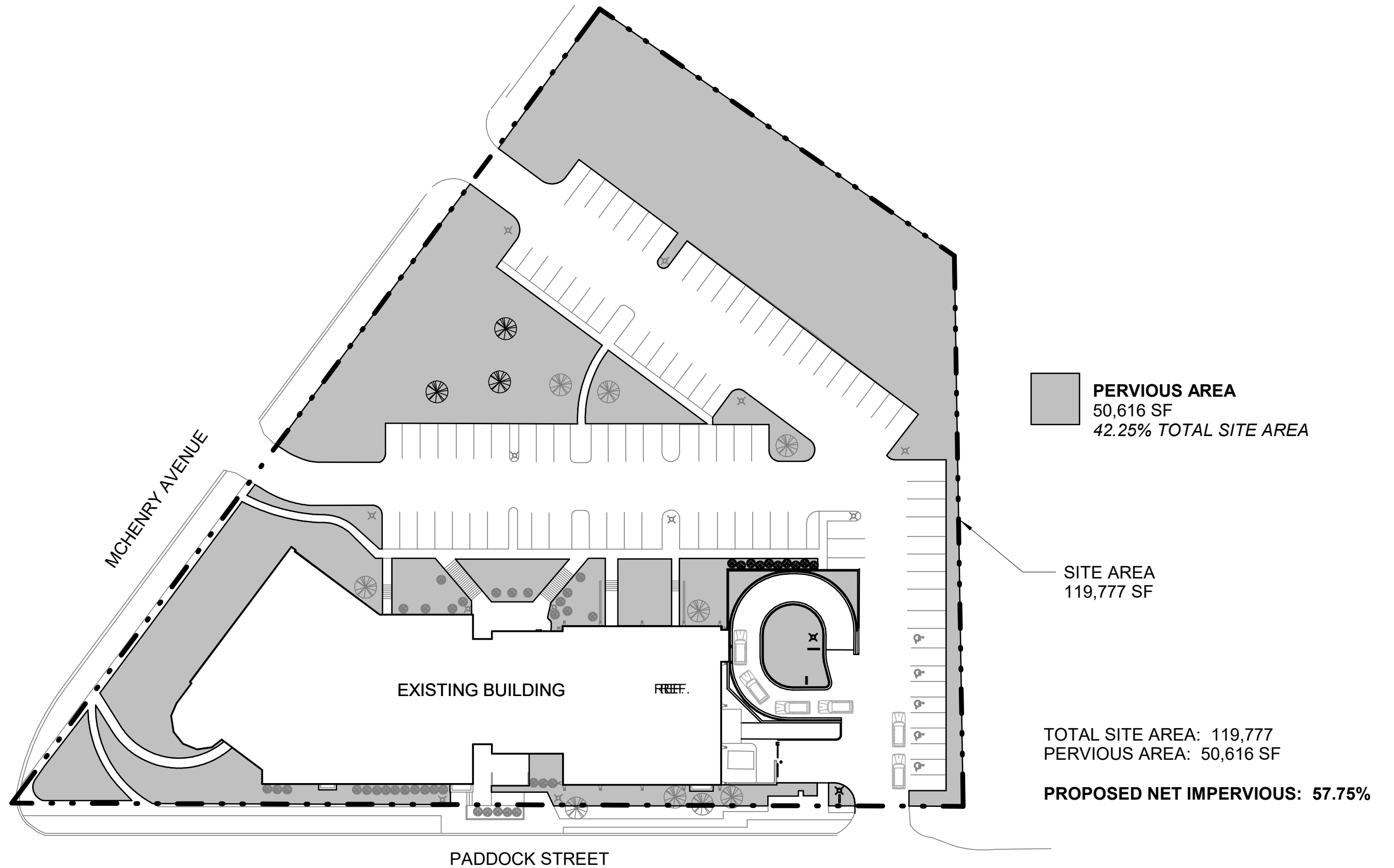
(Published in the Northwest Herald January 5, 2021)
1847910



TOTAL SITE AREA: 119,777
 PERVIOUS AREA: 52,720 SF
 EXISTING NET IMPERVIOUS: 55.60%

Issued For:	No.	Description	Date

Drawn by	Author
Checked by	Checker



MILWAUKEE | MADISON | TUCSON | CHICAGO

CRYSTAL LAKE PUBLIC LIBRARY

Project No. 193067

126 W Paddock St
Crystal Lake, IL 60014

Issued For:

No.

Description

Date

Drawn by
Checked by

Author
Checker

EXISTING SITE IMPERVIOUS

EXHIBIT A

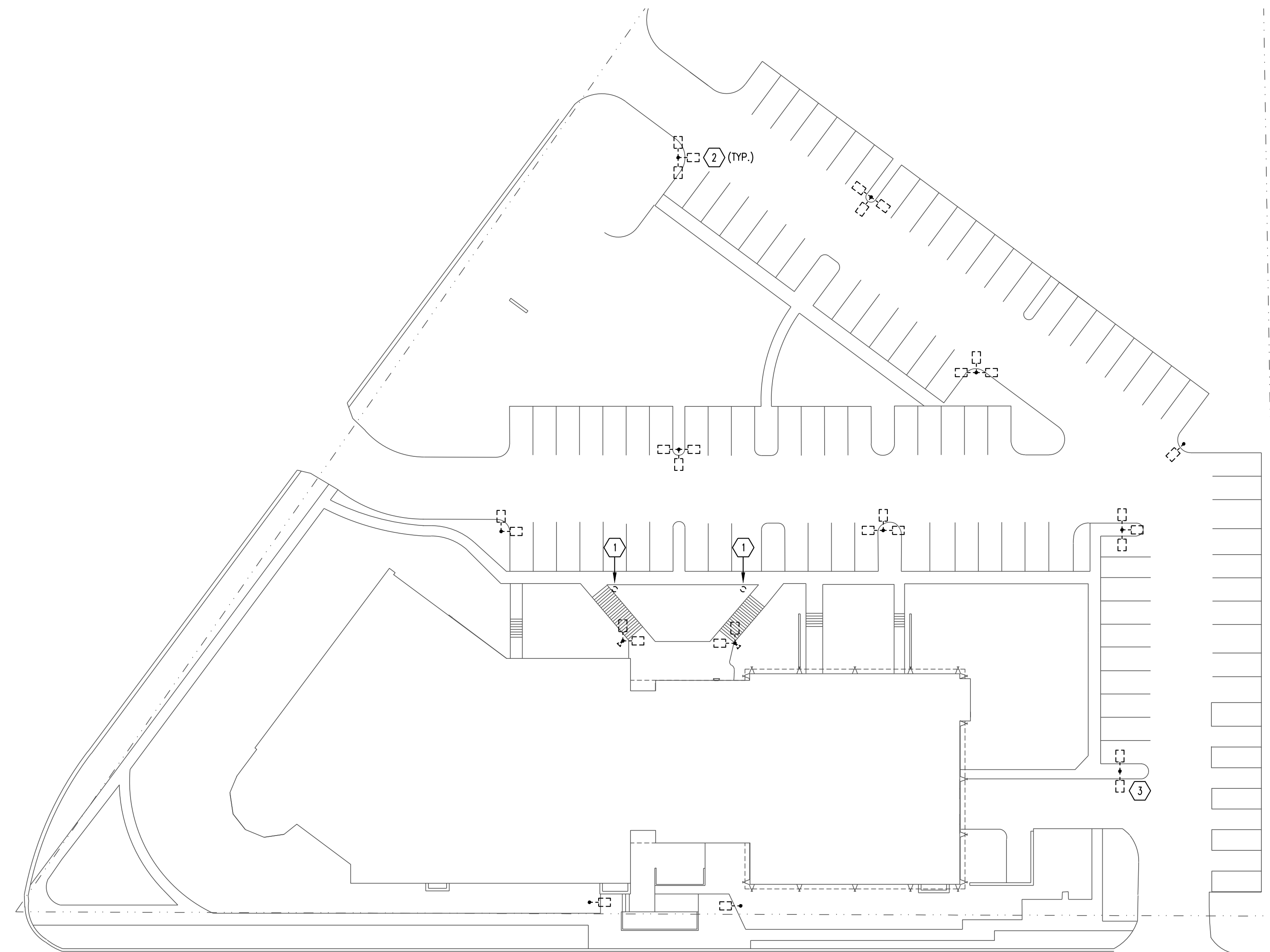
**CRYSTAL LAKE
PUBLIC LIBRARY**

126 W Paddock St
Crystal Lake, IL 60014

PROJECT NUMBER 193067

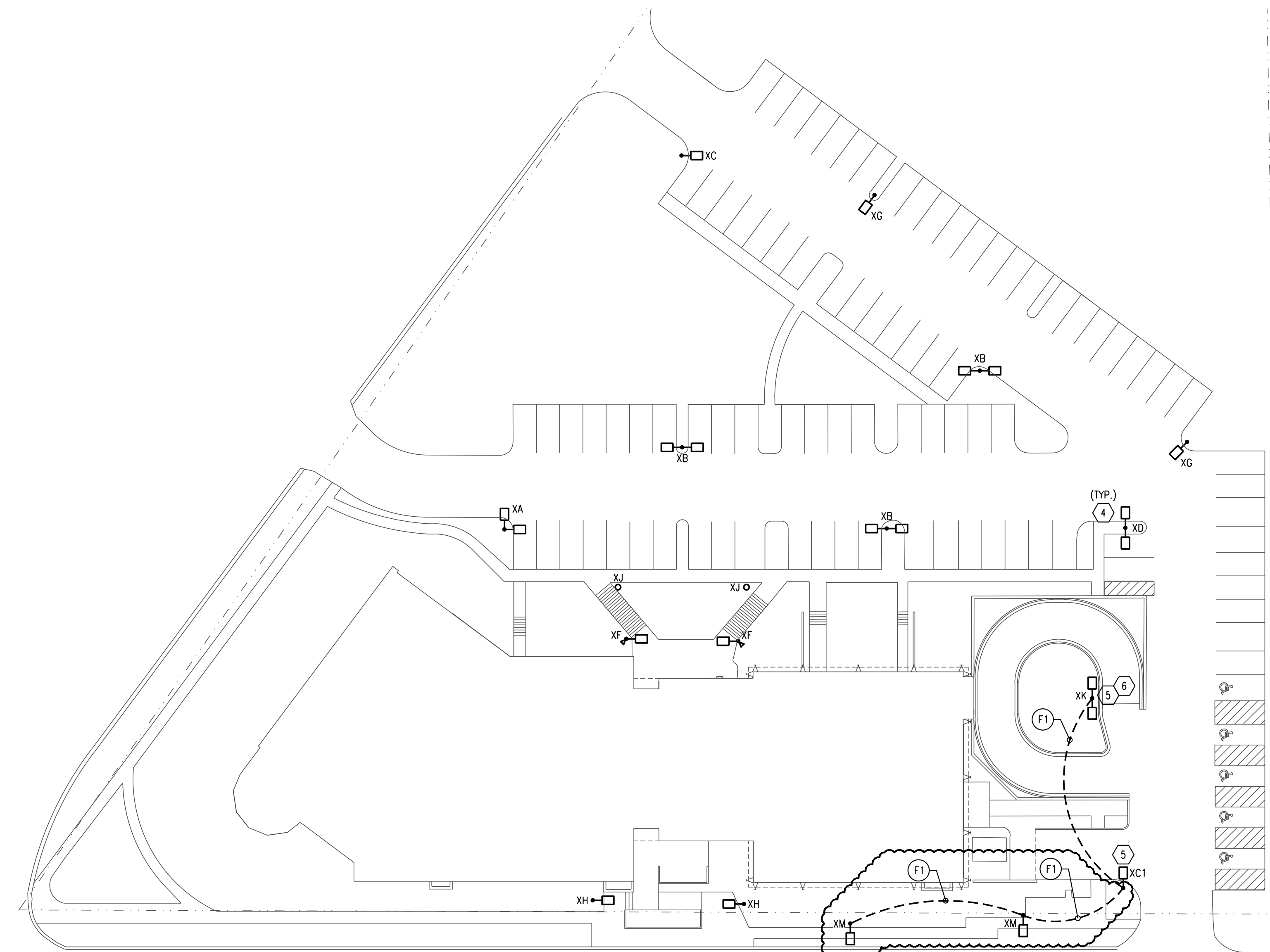
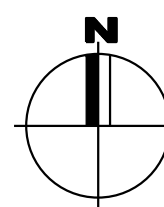
ISSUED FOR:
BID PERMIT 10-21-2020

REVISION FOR:
NO. DESCRIPTION DATE
1 ADDENDUM #2 11-02-2020



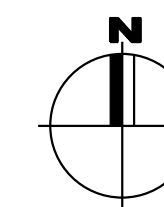
ELECTRICAL SITE DEMOLITION PLAN

SCALE: 1" = 30' - 0"



ELECTRICAL SITE PLAN

SCALE: 1" = 30' - 0"



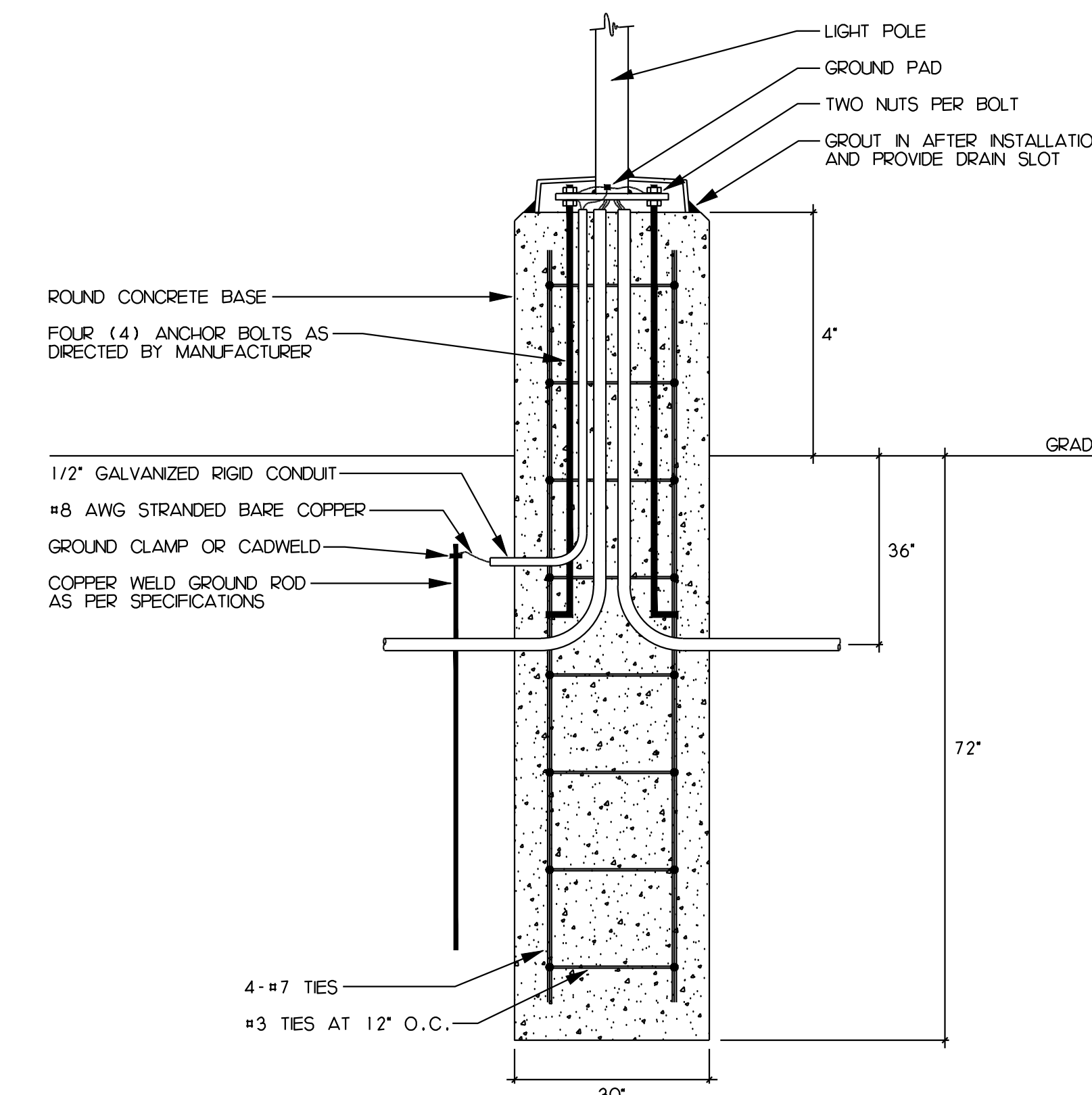
LUMINAIRE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	VOLTS	LAMPS	MOUNTING	NOTES
XA	TWIN HEAD LIGHT FIXTURE MOUNTED IN L PATTERN ON NEW 15 FOOT POLE WITH TYPE 4W OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-4W-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-2L-BLT	UNV	(2) 49.8W LED 4000K (2) 6245 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2,3
XB	TWIN HEAD LIGHT FIXTURE MOUNTED AT 180 DEGREES ON NEW 15 FOOT POLE WITH TYPE 4W OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-4W-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-2-BLT	UNV	(2) 49.8W LED 4000K (2) 6245 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XC	SINGLE HEAD LIGHT FIXTURE MOUNTED ON NEW 15 FOOT POLE WITH TYPE 4W OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-4W-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-1-BLT	UNV	49.8W LED 4000K 6405 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XC1	SINGLE HEAD LIGHT FIXTURE MOUNTED ON NEW 15 FOOT POLE WITH TYPE 4W OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-4W-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-1-BLT	UNV	49.8W LED 4000K 6405 LUMENS	MOUNTED ON NEW CONCRETE BASE. SEE DETAIL ON DRAWING EX100	1,3
XD	TWIN HEAD LIGHT FIXTURE MOUNTED AT 180 DEGREES ON NEW 15 FOOT POLE WITH TYPE 5 OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-5QW-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-2-BLT	UNV	(2) 49.8W LED 4000K (2) 6405 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XF	SINGLE HEAD LIGHT FIXTURE AND FLOOD LIGHT (FOR FLAG POLE) MOUNTED ON NEW 15 FOOT POLE WITH TYPE 5 OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-5QW-UNV-ASQ-DBT-SCP-40F FLOOD LIGHT: FSL-10L-25-4K-M4-J4-DB-F-20750110264 POLE: S55-H-15-40-A-2L-BLT	UNV	74.8W LED 4000K 8900 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XG	SINGLE HEAD LIGHT FIXTURE MOUNTED ON NEW 15 FOOT POLE WITH TYPE 5 OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-5QW-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-1-BLT	UNV	49.8W LED 4000K 6405 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XH	SINGLE HEAD LIGHT FIXTURE MOUNTED ON NEW 12 FOOT POLE WITH TYPE 4W OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-39-4K7-4W-UNV-ASQ-DBT-SCP-40F POLE: S55-H-12-40-A-1-BLT	UNV	38W LED 4000K 5210 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XI	42" LED ROUND BOLLARD WITH TYPE 5 OPTICS	KIM	FIXTURE: PA7R-FT-NU-5-12L-020-4K7-42A-DB-UNV-SF	UNV	21.7W LED 4000K 1377 LUMENS	MOUNTED ON EXISTING CONCRETE BASE	1,2
XK	TWIN HEAD LIGHT FIXTURE MOUNTED AT 180 DEGREES ON NEW 15 FOOT POLE WITH TYPE 3 OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-50-4K7-3-UNV-ASQ-DBT-SCP-40F POLE: S55-H-15-40-A-2-BLT	UNV	(2) 49.8W LED 4000K (2) 6405 LUMENS	MOUNTED ON NEW CONCRETE BASE. SEE DETAIL ON DRAWING EX100	1
XM	SINGLE HEAD LIGHT FIXTURE MOUNTED ON NEW 10 FOOT POLE WITH TYPE 2 OPTICS AND MOTION SENSOR TO REDUCE WATTAGE BY 50%.	HUBBELL	FIXTURE: RAR1-80L-39-4K7-2-UNV-ASQ-DBT-SCP-40F POLE: S55-H-10-40-A-1-BLT	UNV	38W LED 4000K 5273 LUMENS	MOUNTED ON NEW CONCRETE BASE. SEE DETAIL ON DRAWING EX100	1

- NOTES:
- EQUIVALENT LUMINAIRE SHALL BE ALLOWED AS MANUFACTURED BY H.E. WILLIAMS, EATON, PHILIPS, OR LITHONIA.
 - MODIFY EXISTING CONCRETE BASE AND BASEPLATE, AS REQUIRED TO MOUNT THE NEW POLE/FIXTURE.
 - PROVIDE ONE (1) #5SCREWFOR FOR THE PROJECT TO PROGRAM THE OCCUPANCY SENSORS

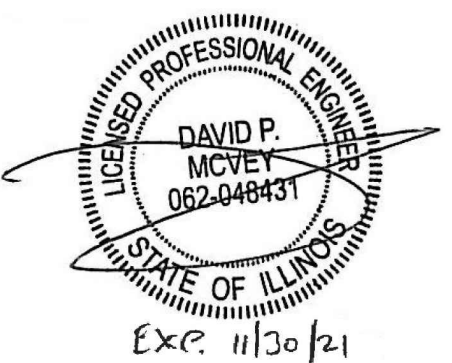
KEYNOTES (HEXAGON)

- UNDER ALTERNATE #3, DISCONNECT AND REMOVE THE EXISTING LIGHTING BOLLARD. THE EXISTING CONCRETE BASE AND CIRCUITING SHALL REMAIN AND BE RE-USED.
- UNDER ALTERNATE #3, DISCONNECT AND REMOVE THE EXISTING POLE AND LIGHTING FIXTURES. THE EXISTING CONCRETE BASE AND CIRCUITING SHALL REMAIN AND BE RE-USED.
- UNDER BASE BID, DISCONNECT AND REMOVE THE EXISTING POLE AND CONCRETE BASE IN THEIR ENTIRETY. INTERCEPT THE EXISTING CIRCUITING AND REROUTE TO THE NEW POLES.
- UNDER ALTERNATE #3, MOUNT THE NEW POLE/FIXTURES ONTO THE EXISTING CONCRETE BASE. CONNECT TO THE EXISTING CIRCUITING. MODIFY THE EXISTING ANCHOR BOLTS/BASE PLATE, AS REQUIRED TO MOUNT THE NEW POLE.
- UNDER BASE BID, PROVIDE THE NEW LIGHT POLE AND CONCRETE BASE.
- EXTEND THE EXISTING CIRCUITING TO THE NEW LIGHT POLE

FEEDER SCHEDULE
F1 = 2#8 & 1#8 GRD, 1" C.



LIGHT POLE BASE DETAIL
NOT TO SCALE



1301 W. 22nd St. Suite 210
Oak Brook, IL 60523
P 630.472.0918
www.tlc-engineers.com
6246-526-3

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THINK. LISTEN. CREATE.

TLC ENGINEERING SOLUTIONS, INC.
PROFESSIONAL DESIGN FIRM LICENSE NO.
184-003568, EXPIRES ON 04/30/2021

DRAWN BY RS

CHECKED BY DM

**ELECTRICAL
SITE PLANS**

EX100

**CRYSTAL LAKE
PUBLIC LIBRARY**

126 W Paddock St
Crystal Lake, IL 60014

PROJECT NUMBER 193067

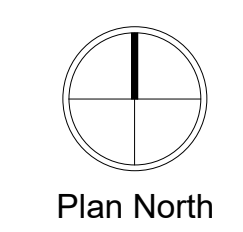
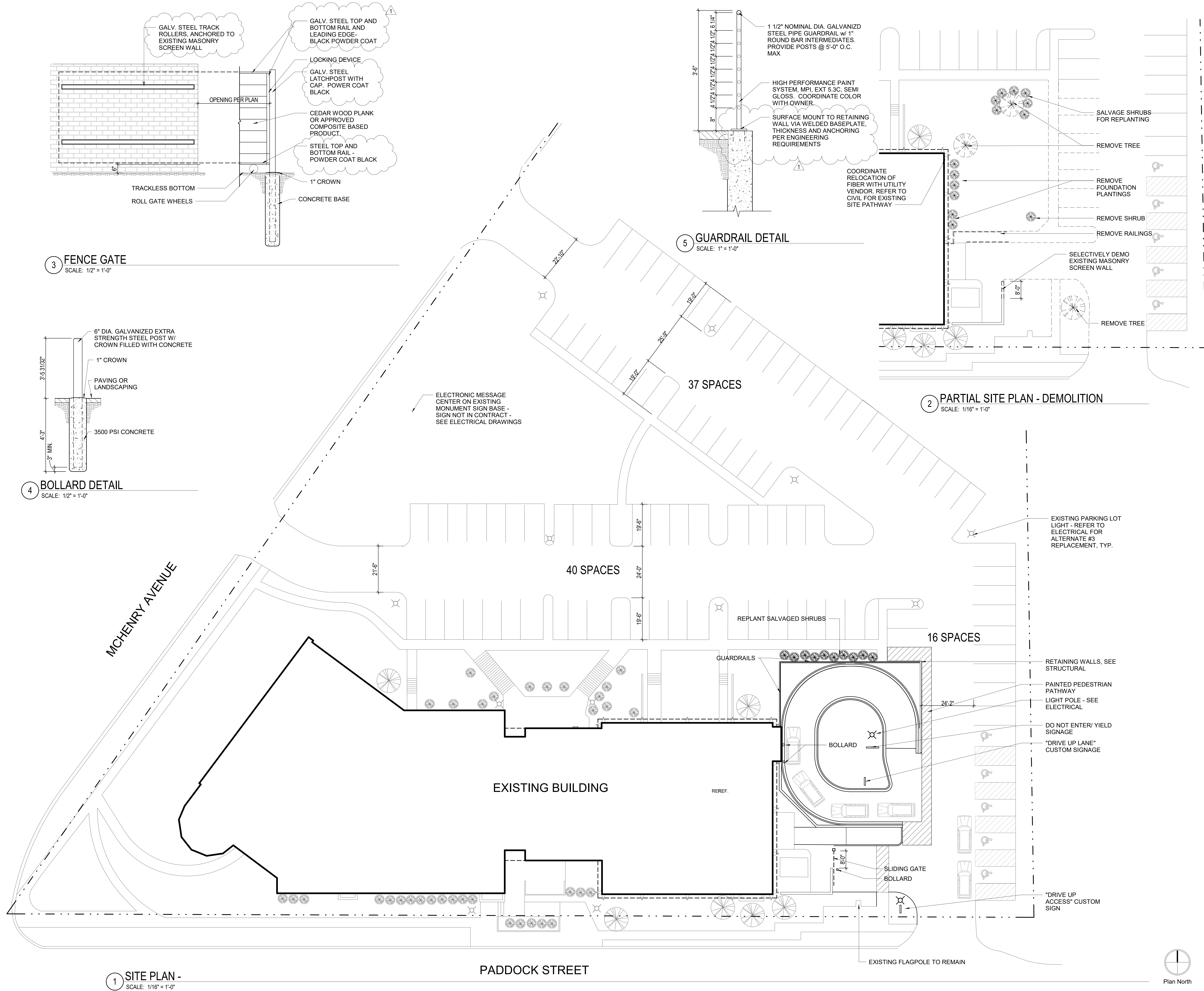
ISSUED FOR:
BID 10-21-2020

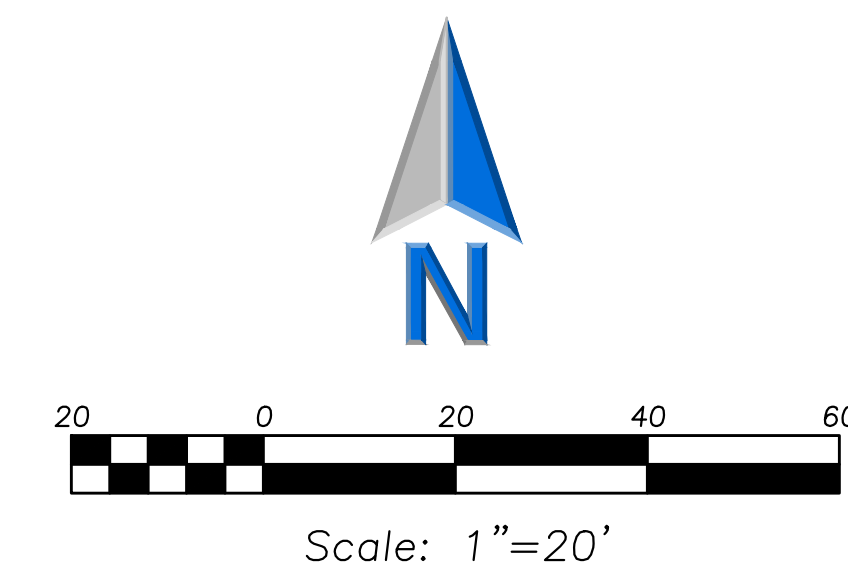
REVISION FOR: DESCRIPTION DATE
NO. 1 BID PACKAGE 2 - ADDENDUM 2 11/02/2020

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CHECKED BY Checker

**SITE PLAN &
EXTERIOR DETAILS**

A001

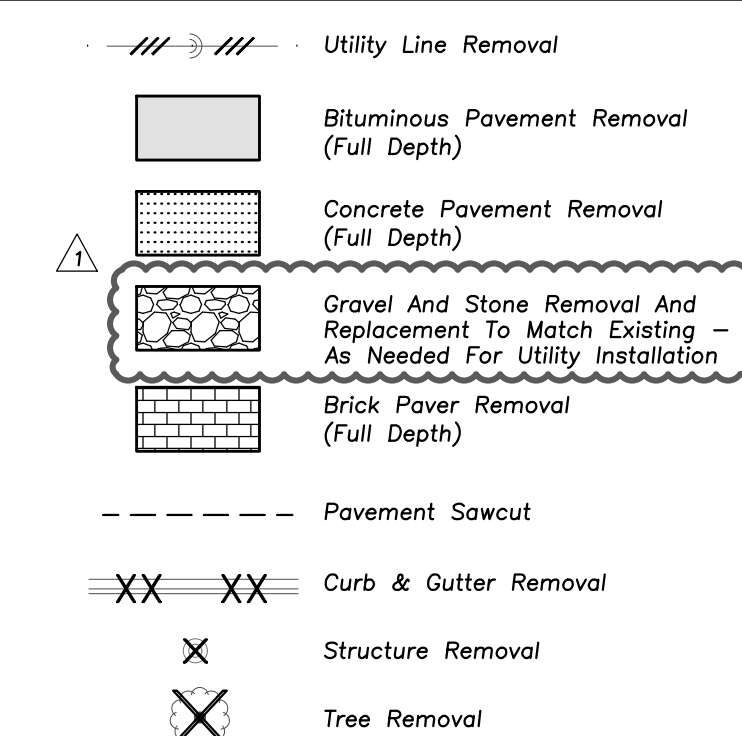




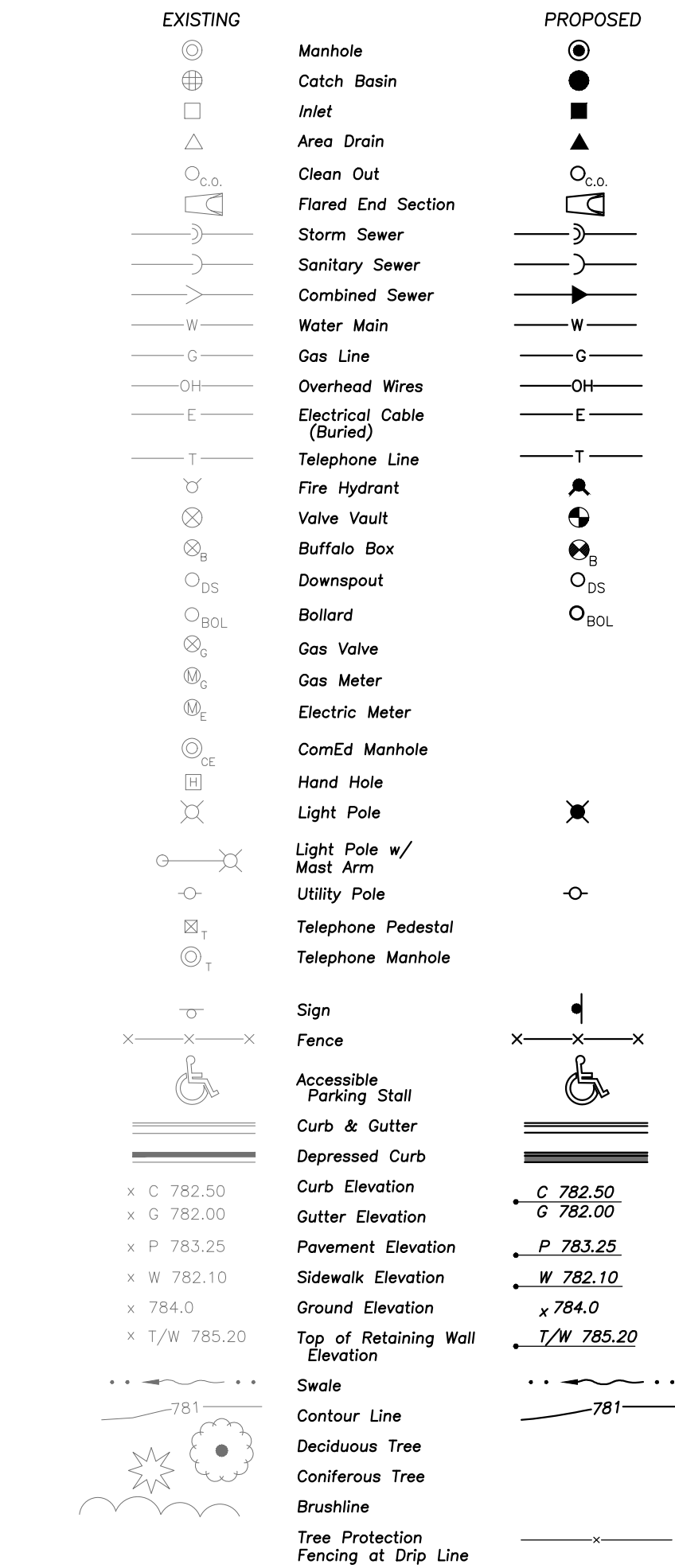
DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All City Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within the Existing Drip Line of Trees to Remain. All Trenching Within the Drip Line of Existing Trees to Remain Shall be Done Radially Away From Trunk. If Roots in Excess of 1" Diameter are Exposed, Roots Must be Cut by Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval of The Architect Prior to Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall be Ground to Proposed Subgrade. Use Mulch For Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

DEMOLITION LEGEND



LEGEND



GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The City of Crystal Lake A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas were Not Disturbed by Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use of These Drawings For Construction Purposes, The User of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall include As a Minimum All Storm Sewers, Structure Locations, Sizes, Rim and Invert Elevations.
- The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

**CRYSTAL LAKE
PUBLIC LIBRARY**

126 W Paddock St
Crystal Lake, IL 60014

PROJECT NUMBER 193067

ISSUED FOR:
BID PERMIT 10-21-2020

REVISION FOR:
NO. DESCRIPTION DATE
1 ADDENDUM #2 11-02-2020

DRAWN BY MC
CHECKED BY MR

DEMOLITION PLAN

SURVEY PROVIDED BY:

Plot of Survey and Topography, Provided by RE Allen and Associates, Ltd. For Erikson Engineering Associates, Ltd. on July 24th, 2020. File Number 86-20.

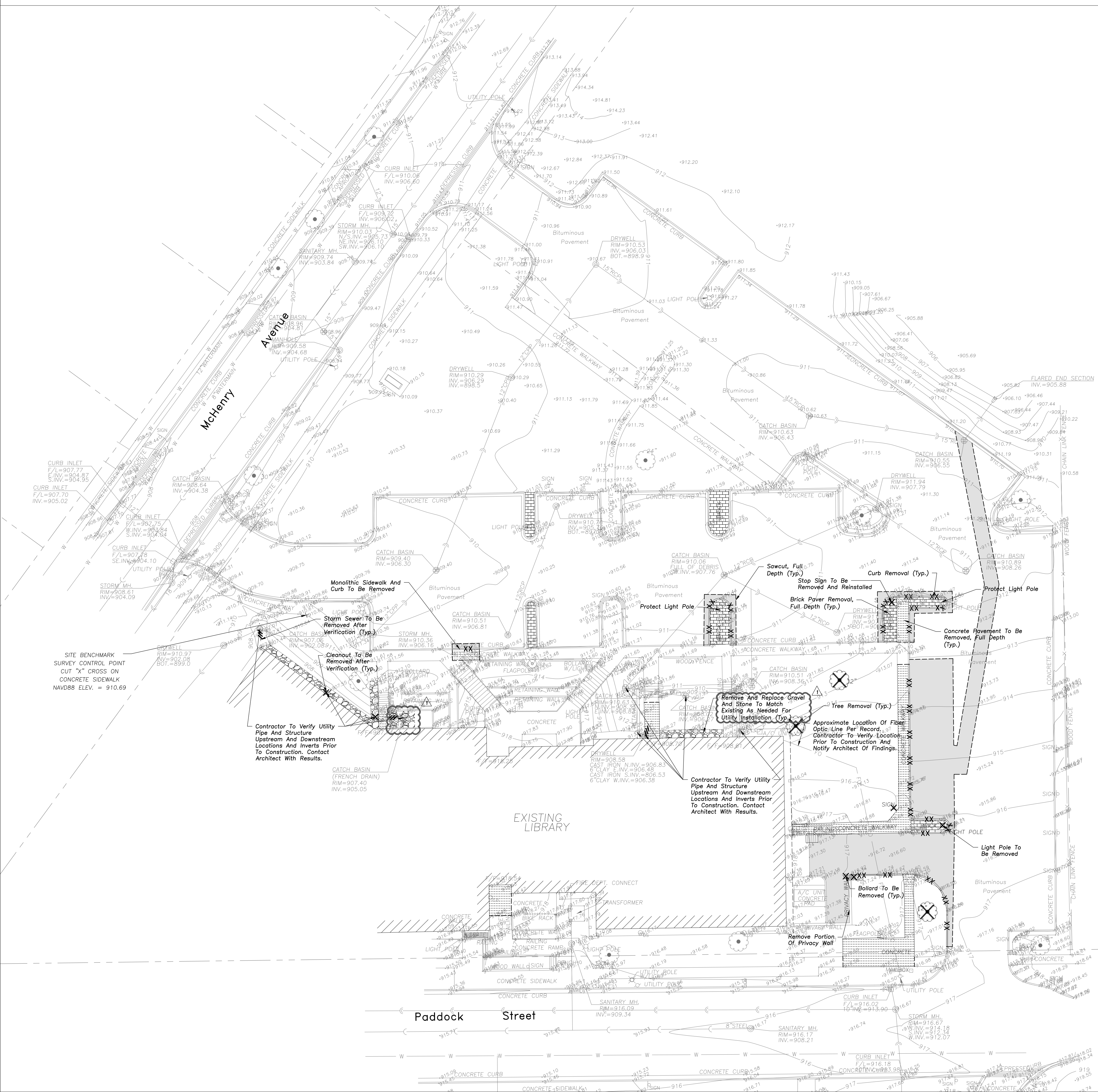
PROJECT BENCHMARKS

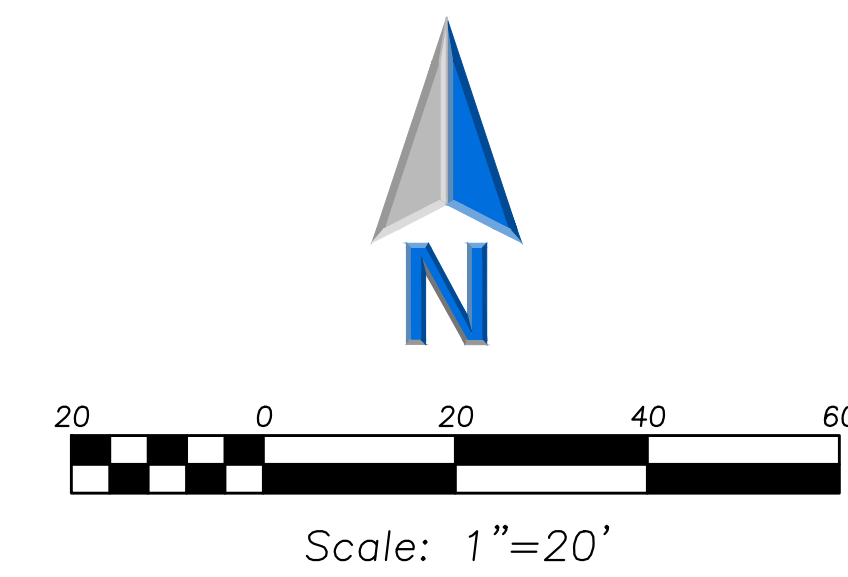
Site Benchmark
Description: Cut "X" Cross on Concrete Sidewalk.
Elevation: 910.69 (NAV088)

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

C100





GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

LEGEND

EXISTING	PROPOSED

CRYSTAL LAKE PUBLIC LIBRARY

126 W Paddock St
Crystal Lake, IL 60014

PROJECT NUMBER 193067

ISSUED FOR:
BID PERMIT 10-21-2020

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1 ADDENDUM #2 11-02-2020

GENERAL NOTES

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- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall include As a Minimum All Storm Sewers, Structure Locations, Sizes, Rim and Invert Elevations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

DRAWN BY MC
CHECKED BY MR

GEOMETRY PLAN

SURVEY PROVIDED BY:

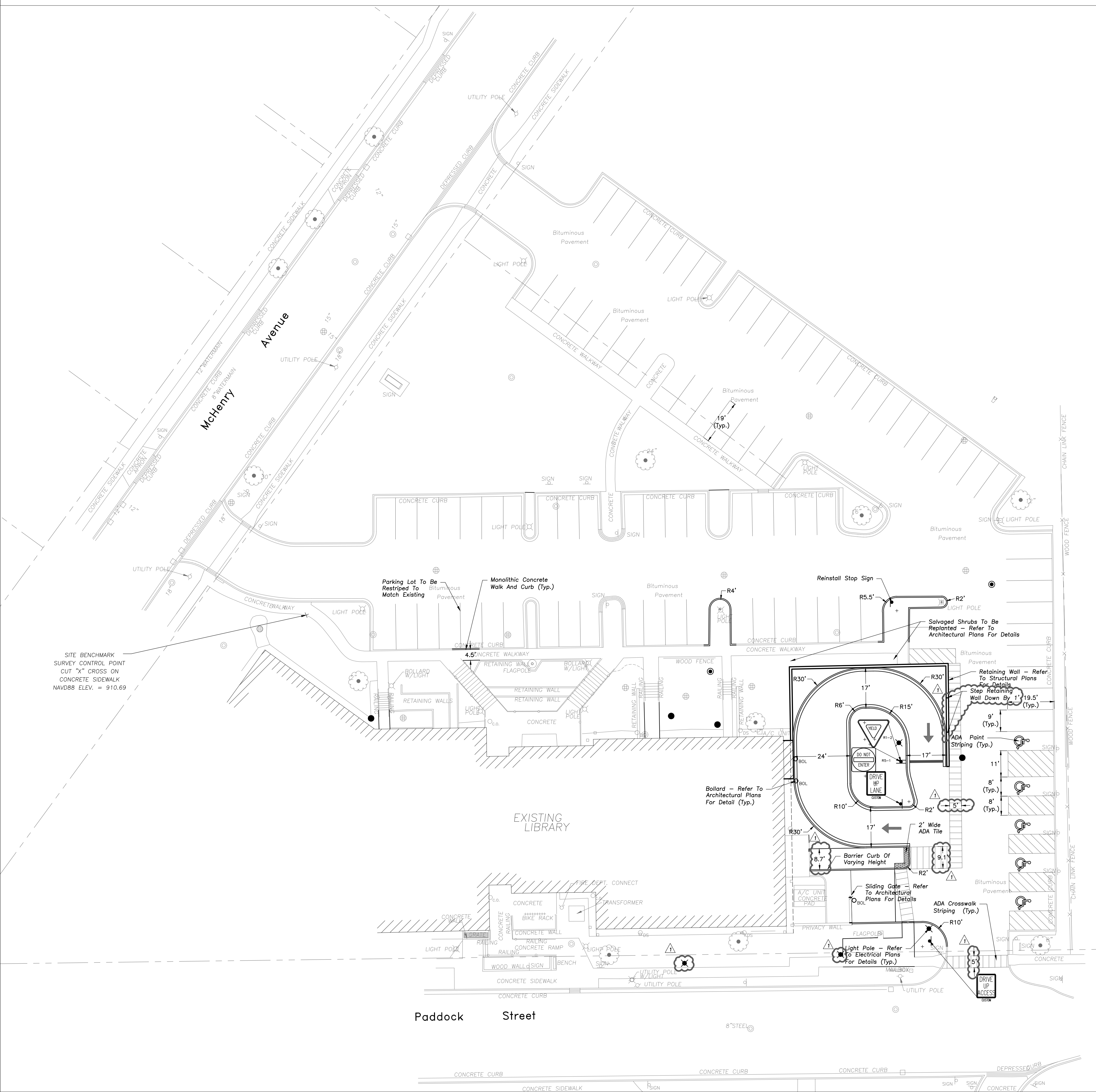
Plot of Survey and Topography Provided By RE Allen And Associates, Ltd. For Erikson Engineering Associates, Ltd. on July 24th, 2020. File Number 86-20.

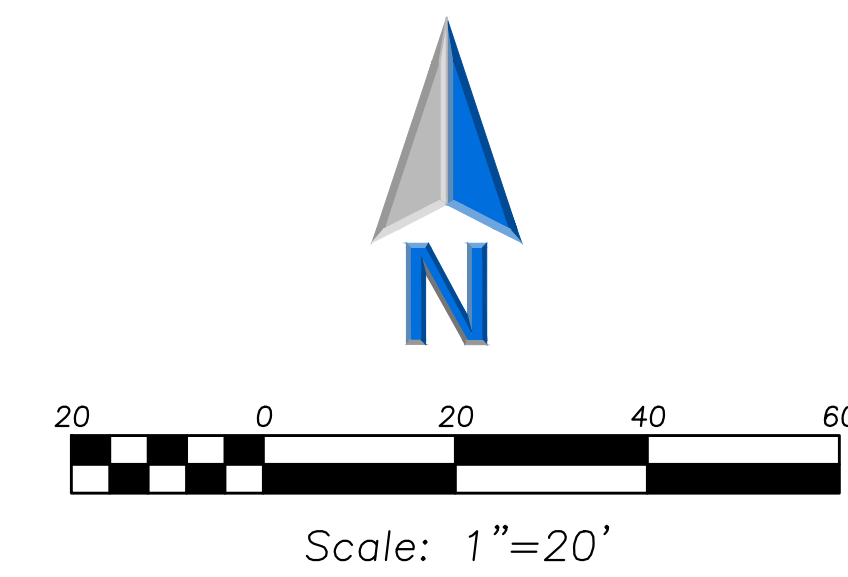
PROJECT BENCHMARKS

Site Benchmark
Description: Cut "x" Cross On Concrete Sidewalk.
Elevation: 910.69 (NAV088)
J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

C200





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Crystal Lake, IL 60014

PROJECT NUMBER 193067

ISSUED FOR:
BID PERMIT 10-21-2020

REVISION FOR:
NO. DESCRIPTION DATE
1 ADDENDUM #2 11-02-2020

UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate the Exact Locations With The Plumbing Drawings. Coordinate the Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The Standard Specifications for Water and Sewer Main Construction in Illinois, Current Edition Shall Govern Where Applicable.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.

LEGEND

EXISTING	PROPOSED

GENERAL NOTES

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DRAWN BY MC
CHECKED BY MR

UTILITY PLAN

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by RE Allen And Associates, Ltd. For Erikson Engineering Associates, Ltd. on July 24th, 2020. File Number 86-20.

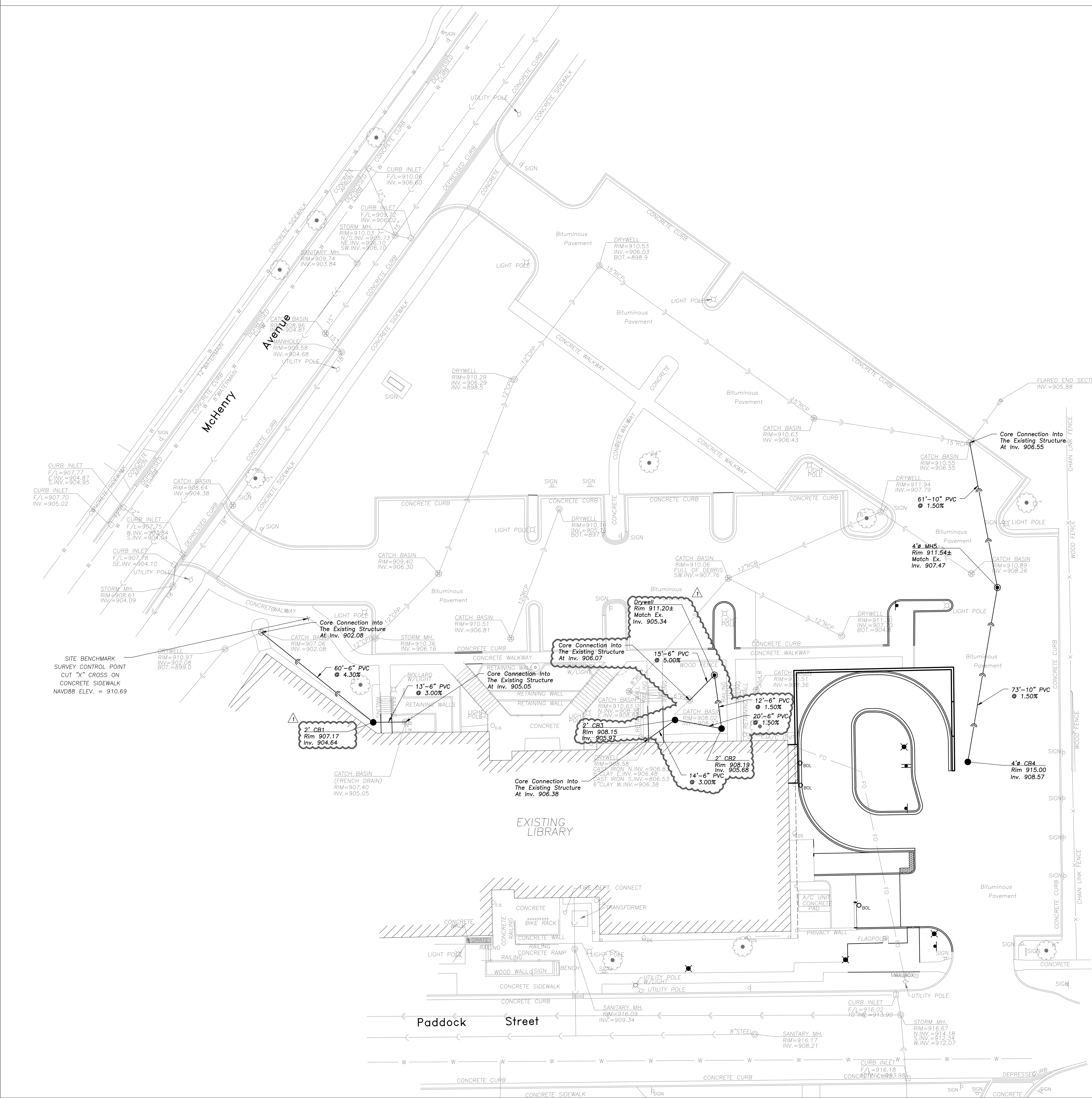
PROJECT BENCHMARKS

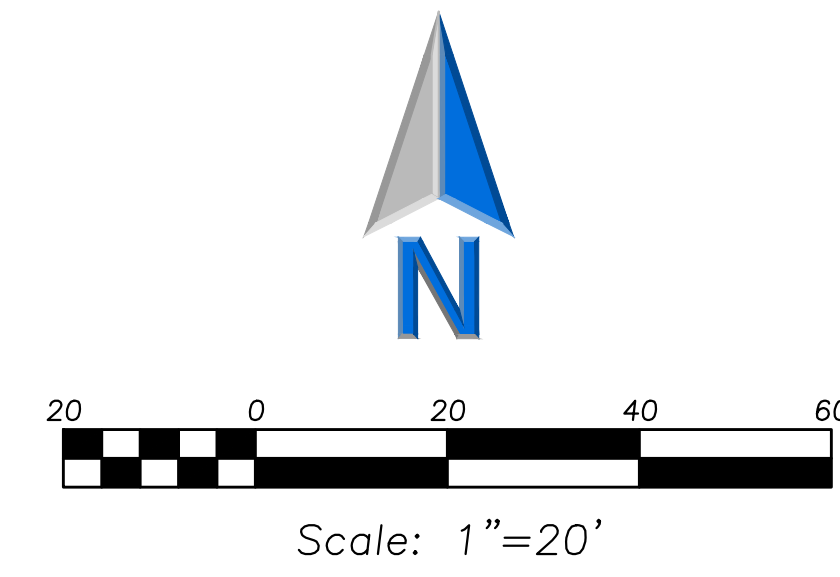
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C300





PAVING & SURFACE LEGEND

Legend table with 3 columns: Symbol, Material, and Notes. Includes Asphalt Pavement Section, Concrete Sidewalk Section, Asphalt Pavement Seal Coat, and Concrete Driveway Section.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

Legend table with 2 columns: Symbol and Description. Includes Silt Fence and Catch-All, Park Chop Sedgewart (or equal) Paved or Existing Stabilized Area.

GRADING NOTES

- 1. The Grading and Construction of Proposed Improvements Shall Be Done in A Manner Which Will Allow For Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
2. All Landscaped Areas Disturbed By Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
3. Accessible Parking Spaces and Loading Spaces Shall Be Sloped to Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- 1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
2. Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
3. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
4. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated to Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Mattes Around the Grate in Landscaped Areas And "Catch-All" Inlet Protectors (or equal) in Paved Areas To Prevent Siltation.
5. Install And Maintain Silt Fence At The Perimeter of The Construction Zone And Wetland Areas And as Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
6. The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required as Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
7. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blankets, or Approved Equal.
8. Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with IEPA NPDES Requirements.
9. All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
10. Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

LEGEND

Legend table with 3 columns: EXISTING, PROPOSED, and Symbol. Lists various utility and landscape features like Manhole, Catch Basin, Inlet, Area Drain, Clean Out, Flared End Section, Storm Sewer, Sanitary Sewer, Combined Sewer, Water Main, Gas Line, Overhead Wires, Electrical Cable, Telephone Line, Fire Hydrant, Valve Vault, Buffalo Box, Downspout, Bollard, Gas Valve, Gas Meter, Electric Meter, ConEd Manhole, Hand Hole, Light Pole, Light Pole w/ Mast Arm, Utility Pole, Telephone Pedestal, Telephone Manhole, Sign, Fence, Accessible Parking Stall, Curb & Gutter, Depressed Curb, Curb Elevation, Curb Elevation, Pavement Elevation, Sidewalk Elevation, Ground Elevation, Top of Retaining Wall Elevation, Swale, Contour Line, Deciduous Tree, Coniferous Tree, Brushline, Tree Protection Fencing at Dig Line.

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PROJECT NUMBER 193067

ISSUED FOR: BID PERMIT 10-21-2020

Table with 3 columns: NO., DESCRIPTION, DATE. Row 1: 1, ADDENDUM #2, 11-02-2020

DRAWN BY MC CHECKED BY MR

GRADING AND PAVING PLAN

SURVEY PROVIDED BY:

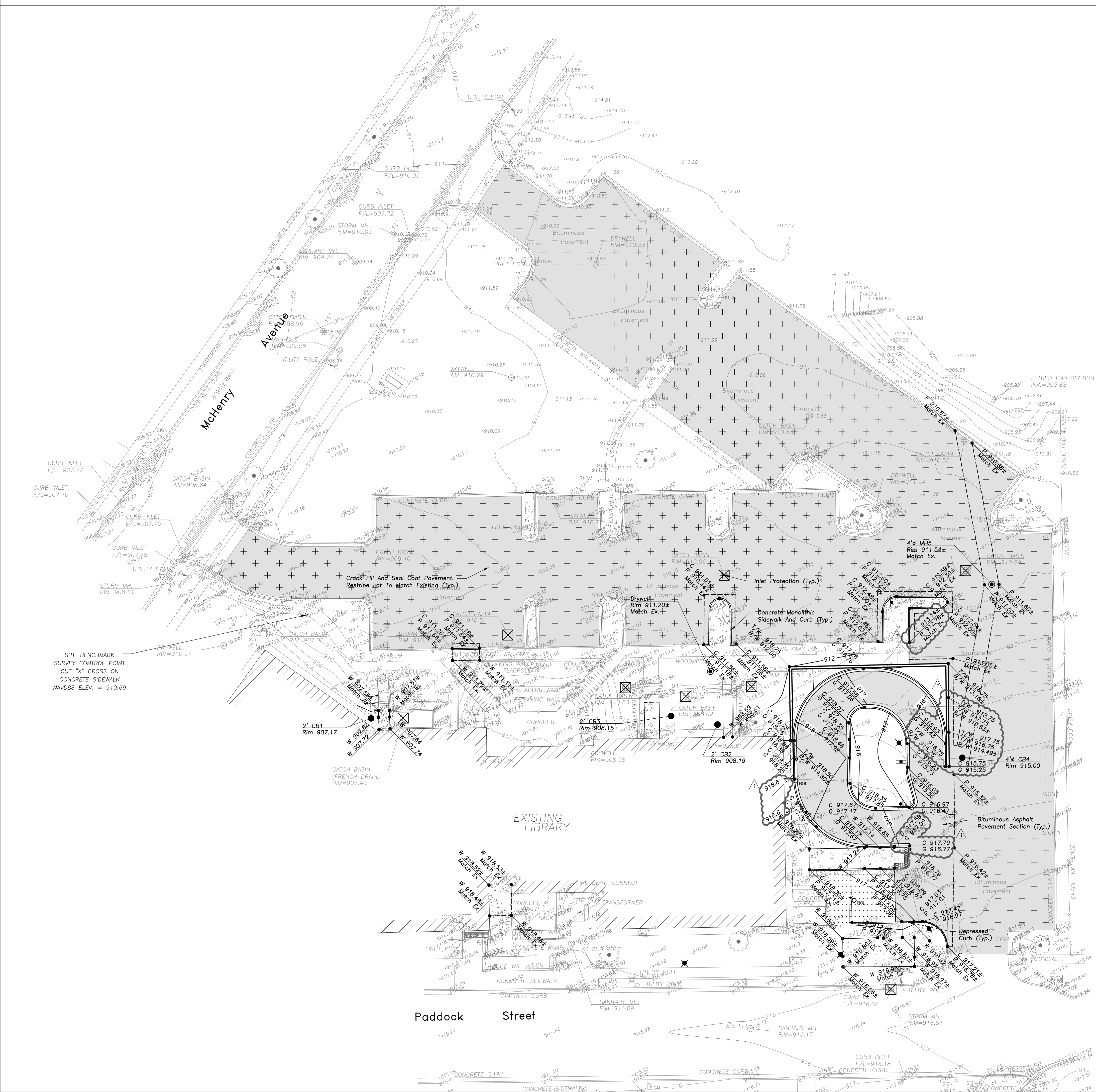
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C400



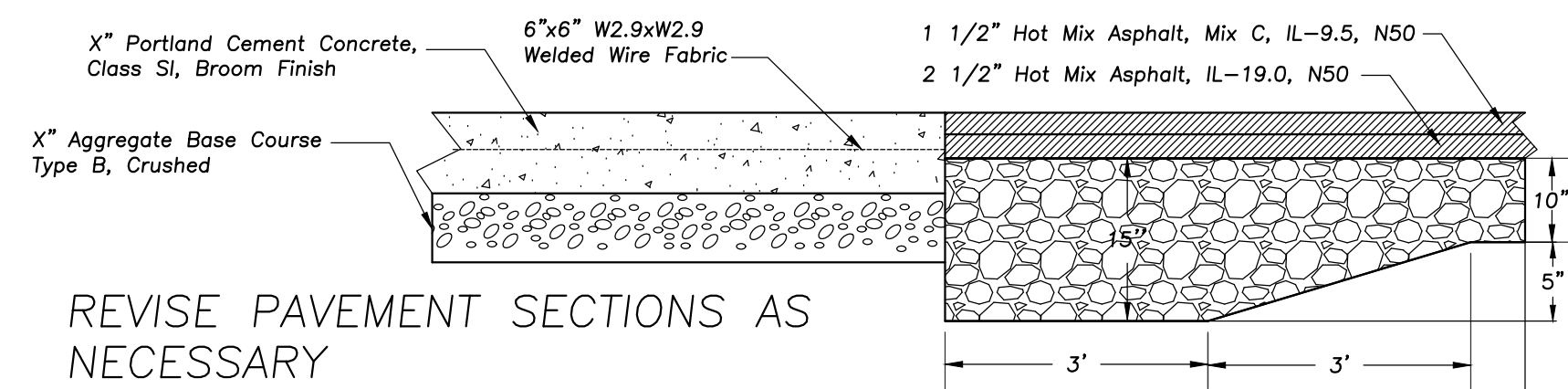
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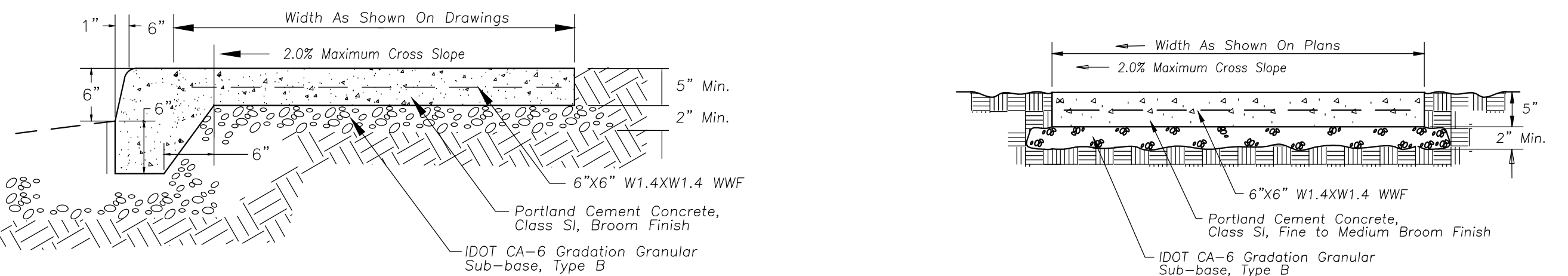
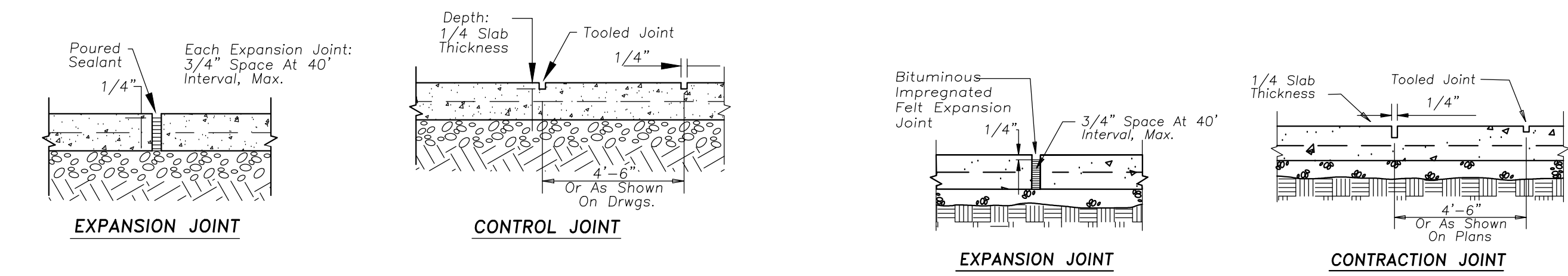
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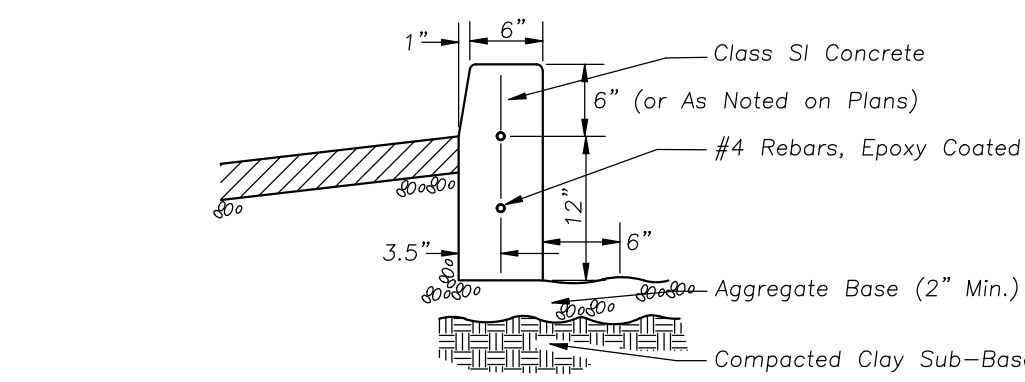
REVISION FOR: NO. DESCRIPTION DATE
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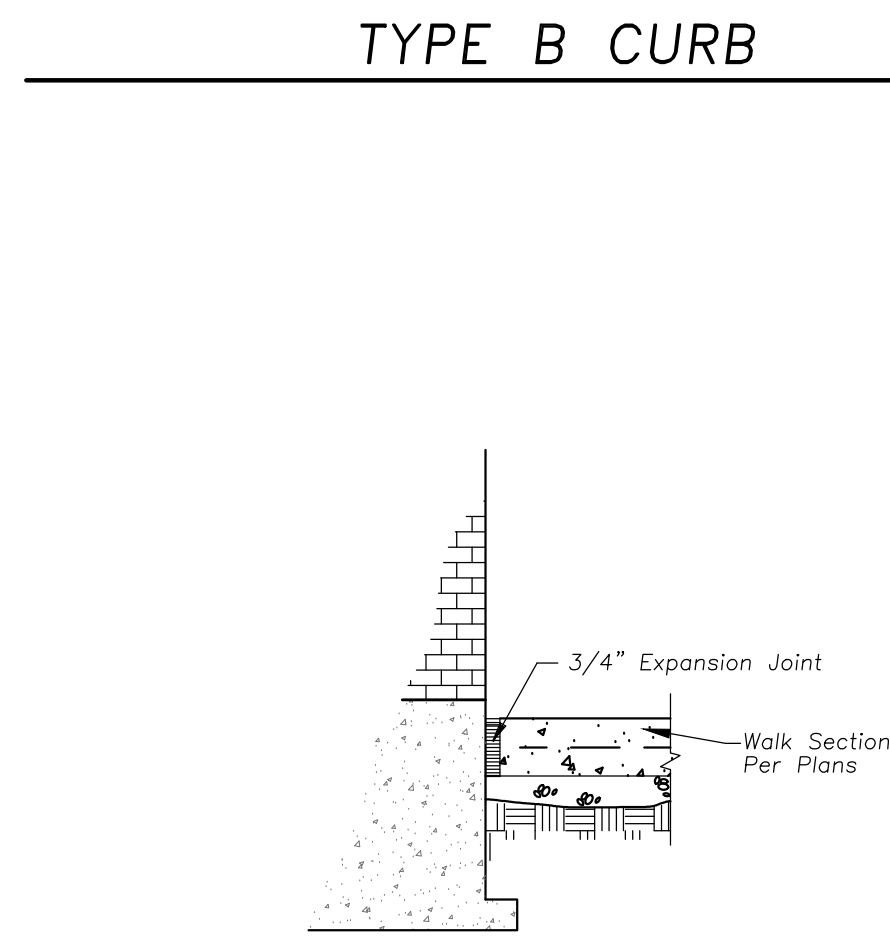
REVISE PAVEMENT SECTIONS AS NECESSARY
CONCRETE TO ASPHALT CHANGE OF PAVEMENT SECTION



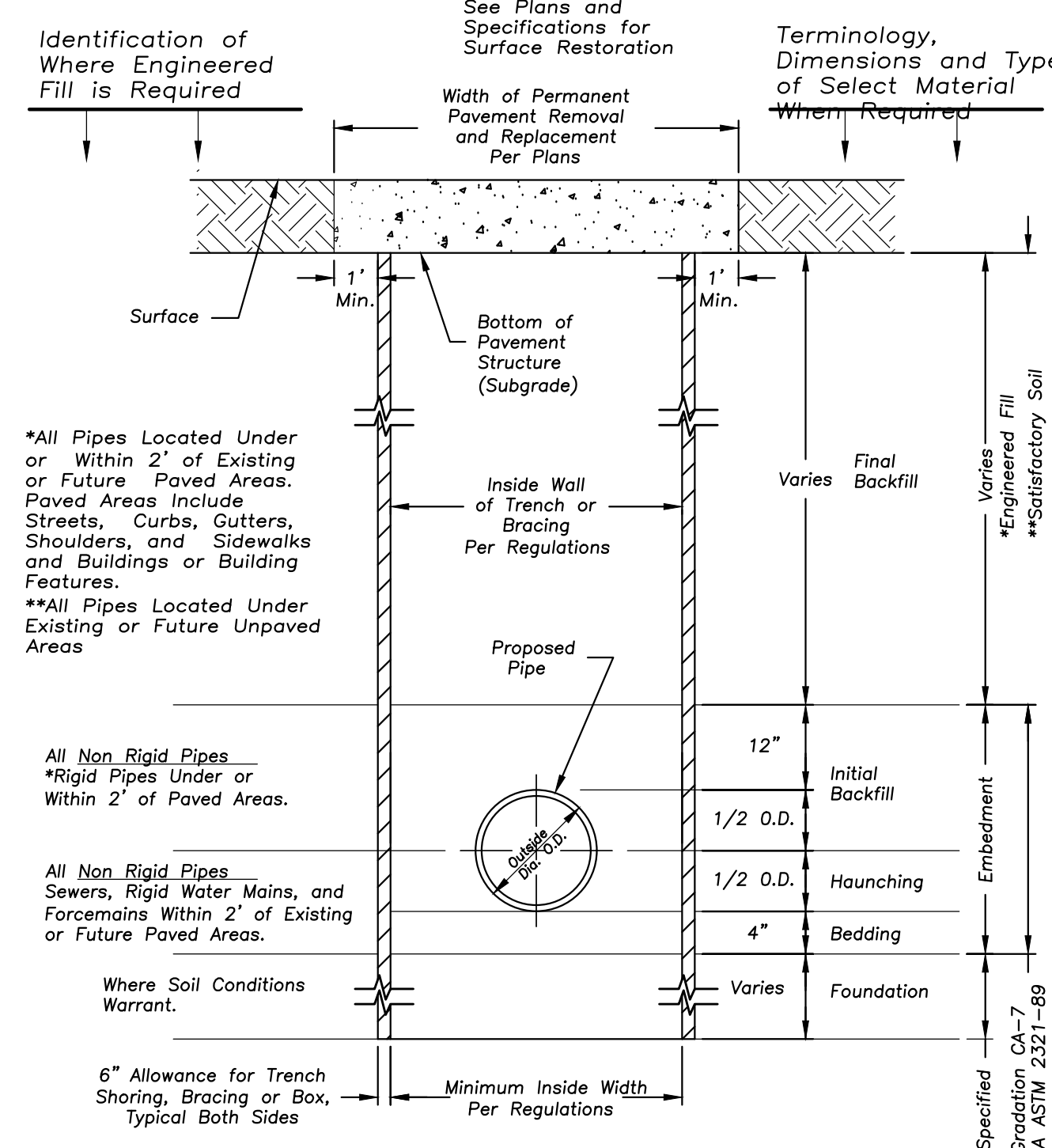
MONOLITHIC CONC. CURB & SIDEWALK **PORTLAND CEMENT CONC. SIDEWALK**



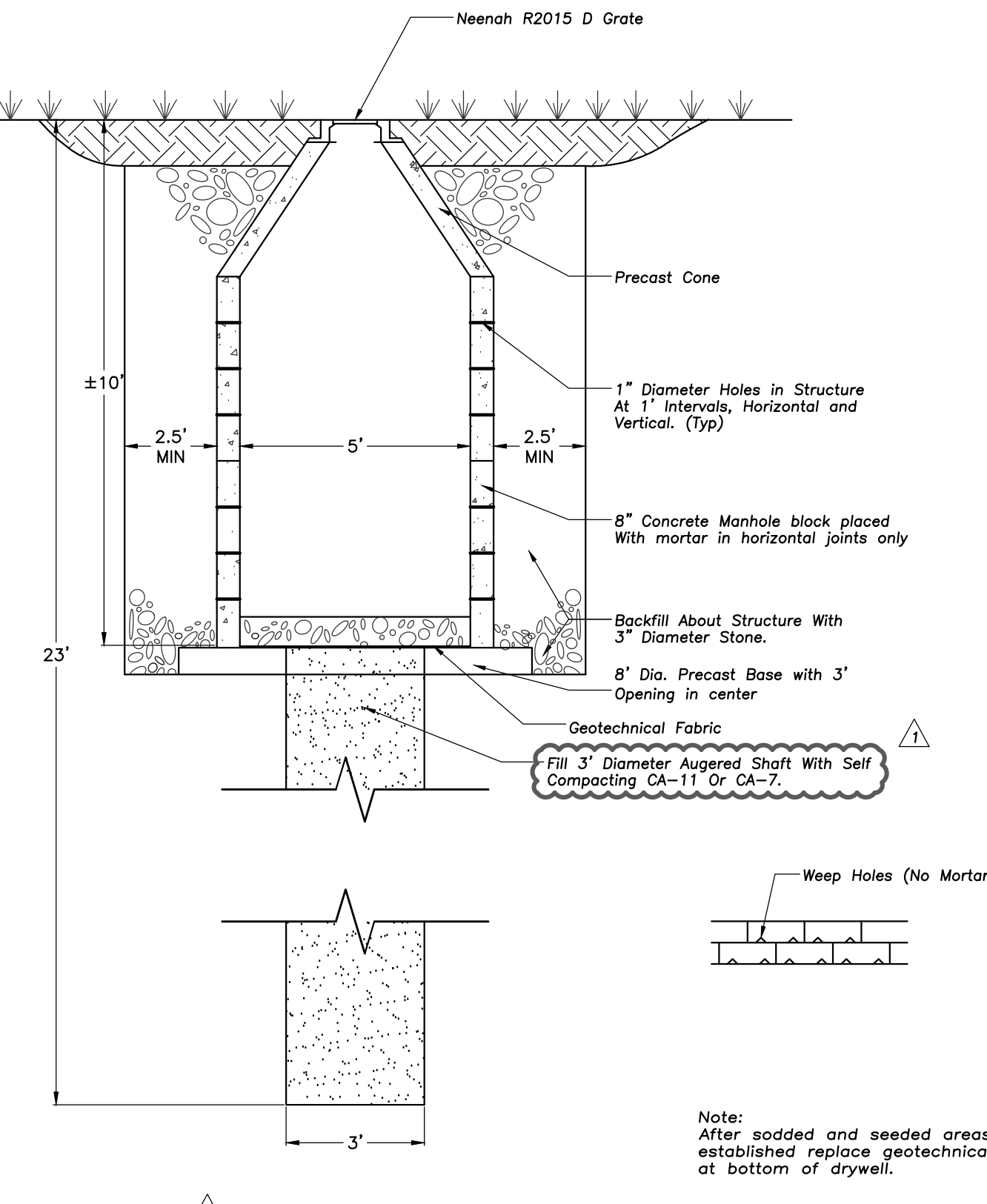
TYPE B CURB



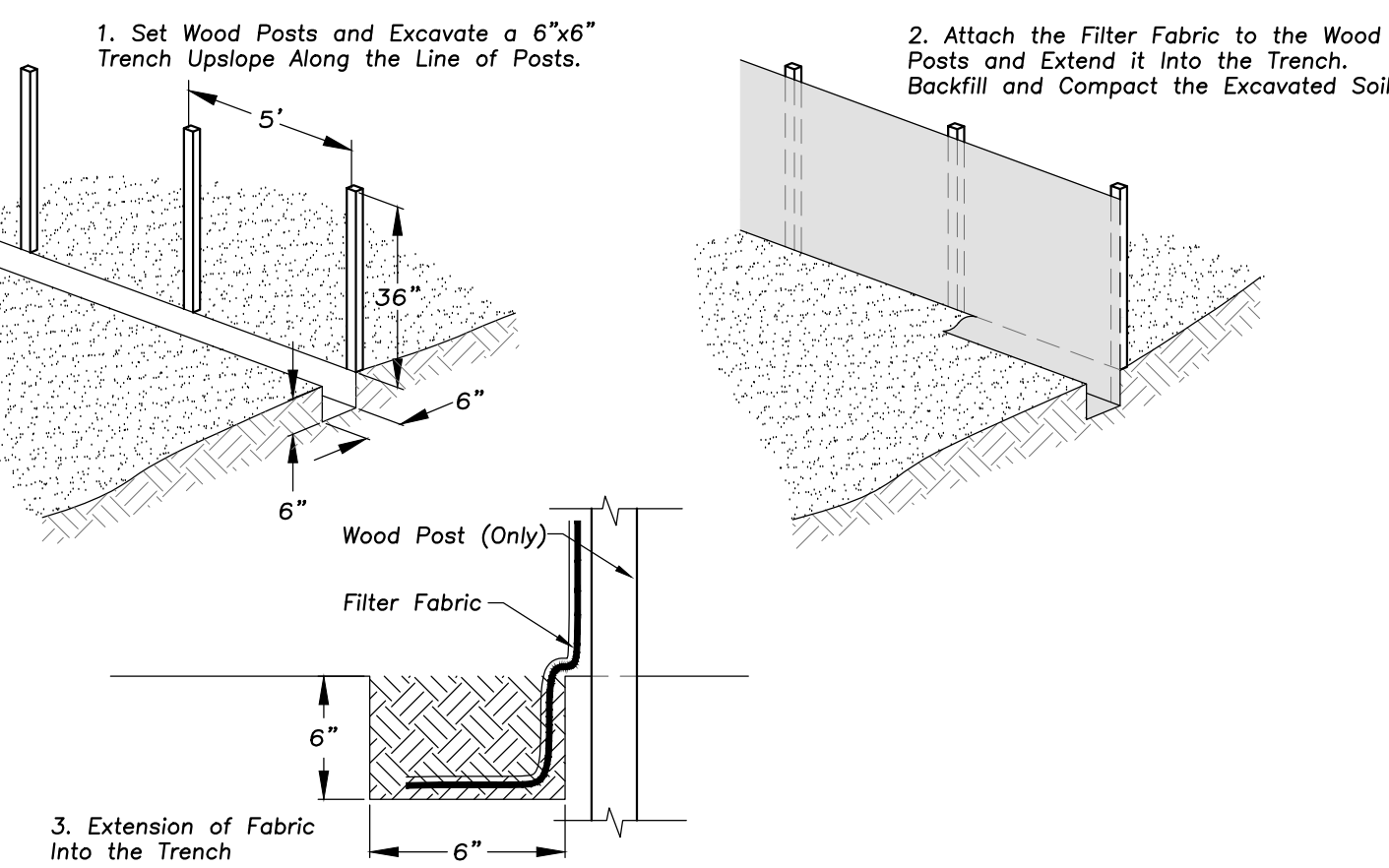
WALK ADJACENT TO BUILDING



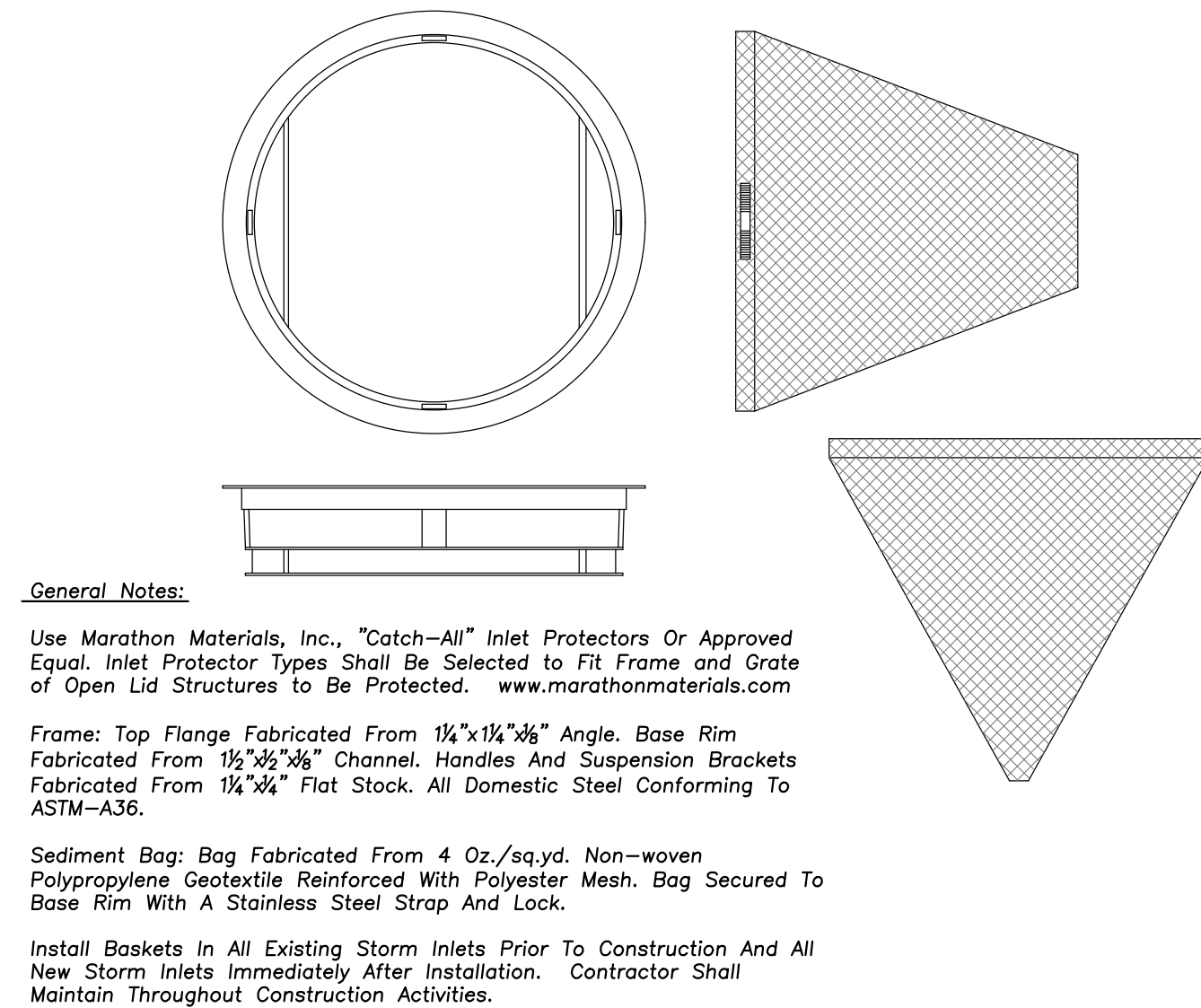
STANDARD SEWER AND WATER TRENCH SECTION



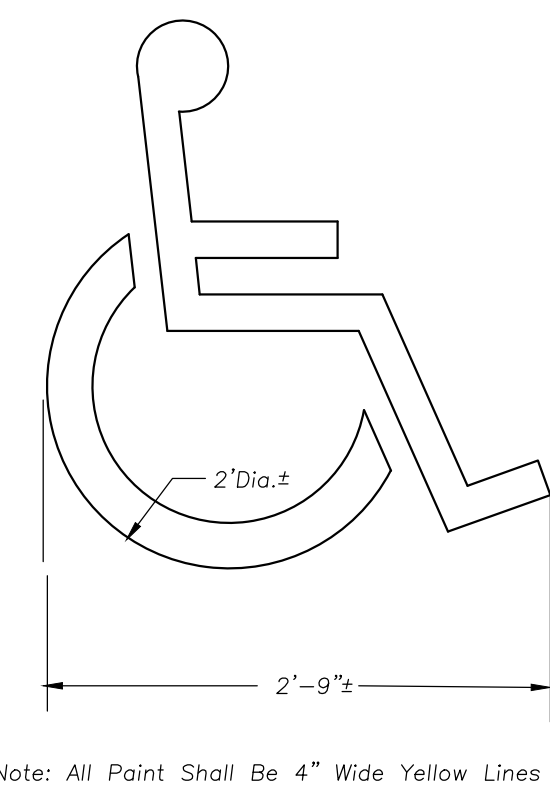
DRYWELL DETAIL



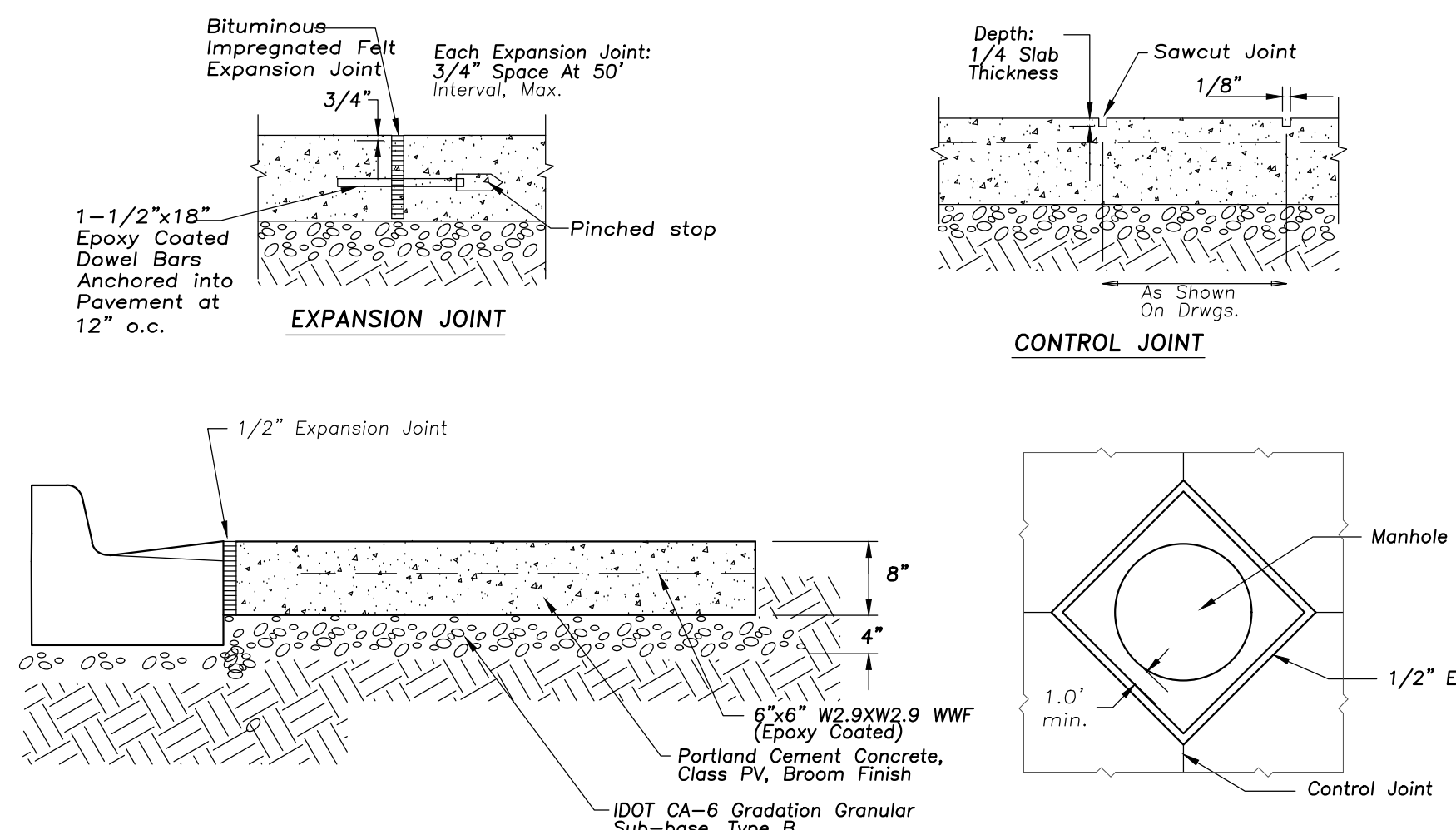
SILT FENCE CONSTRUCTION (AASHTO 288-00)



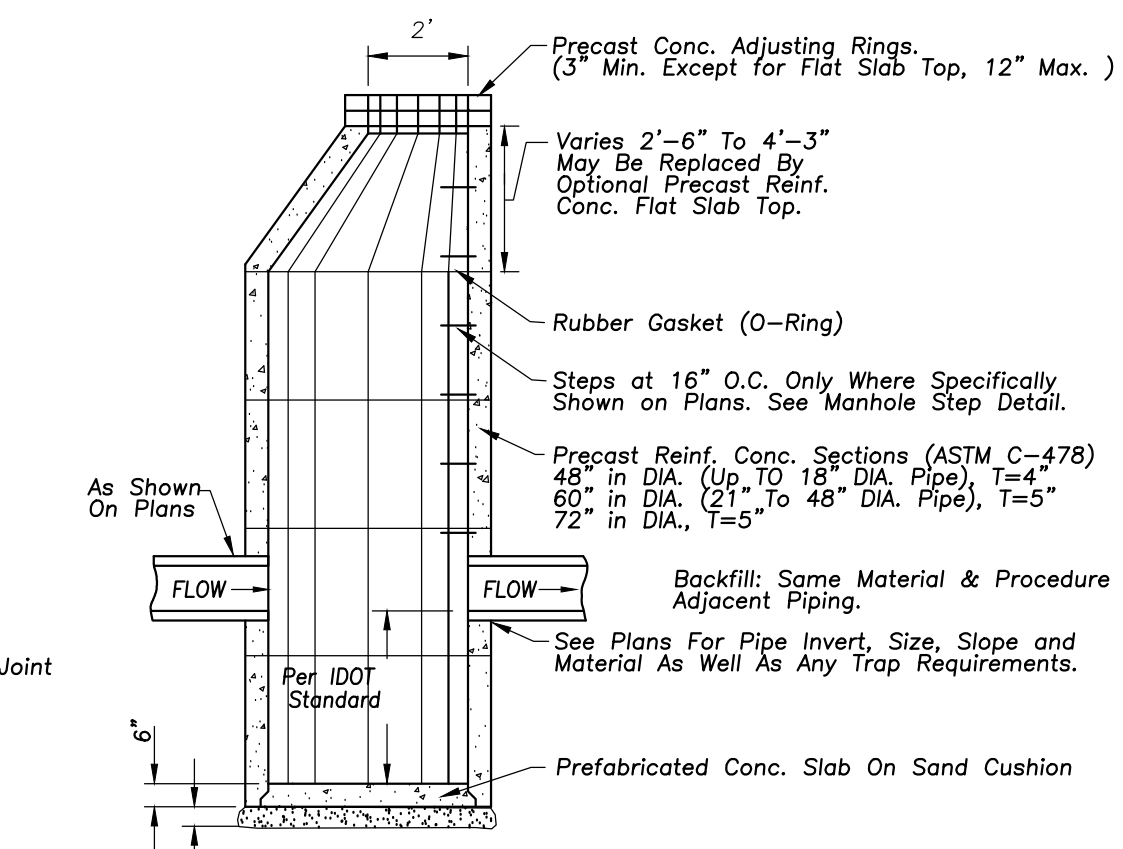
INLET PROTECTORS - SEDIMENT BAG



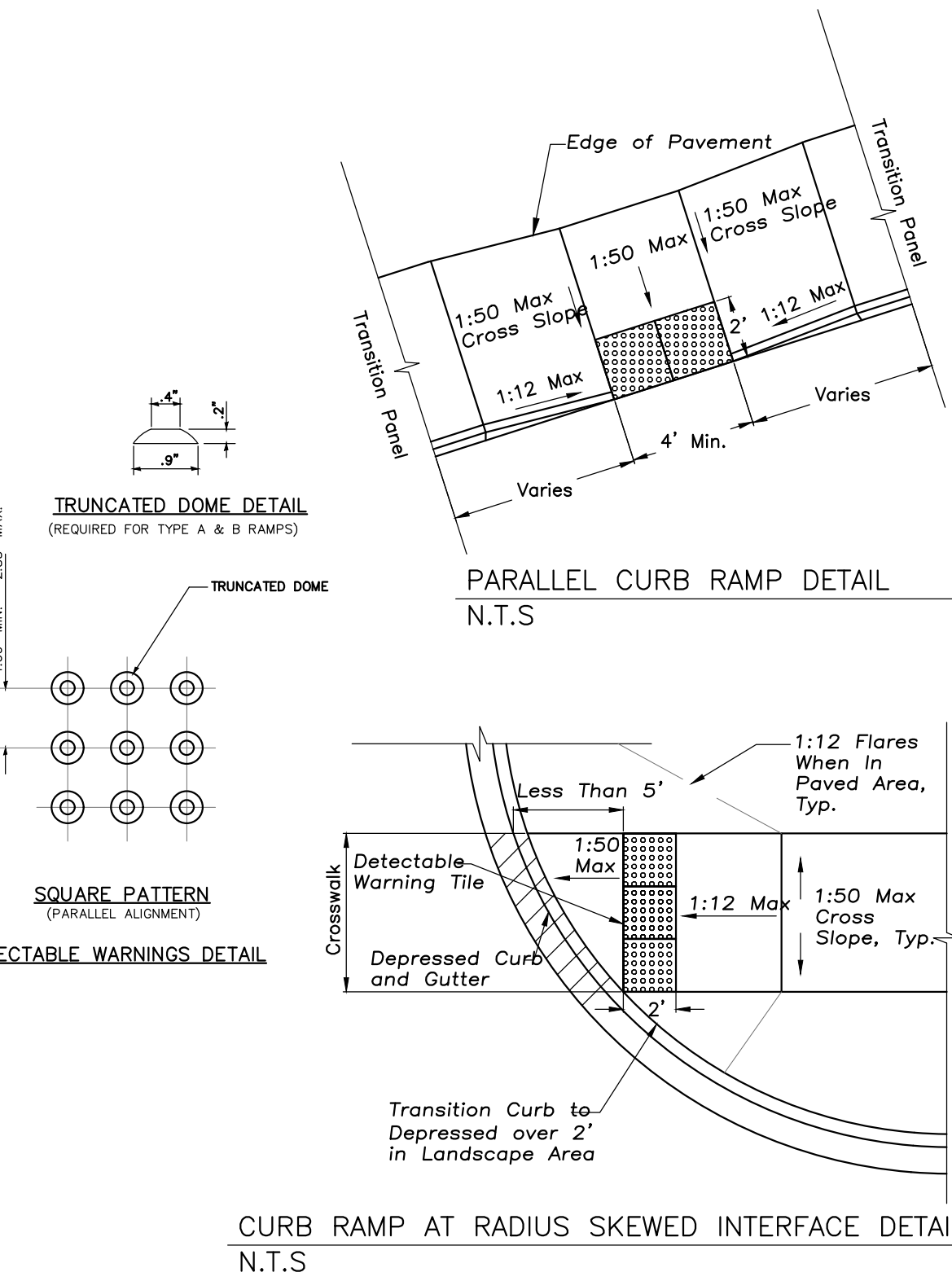
ACCESSIBLE PARKING STALL PAVEMENT MARKING



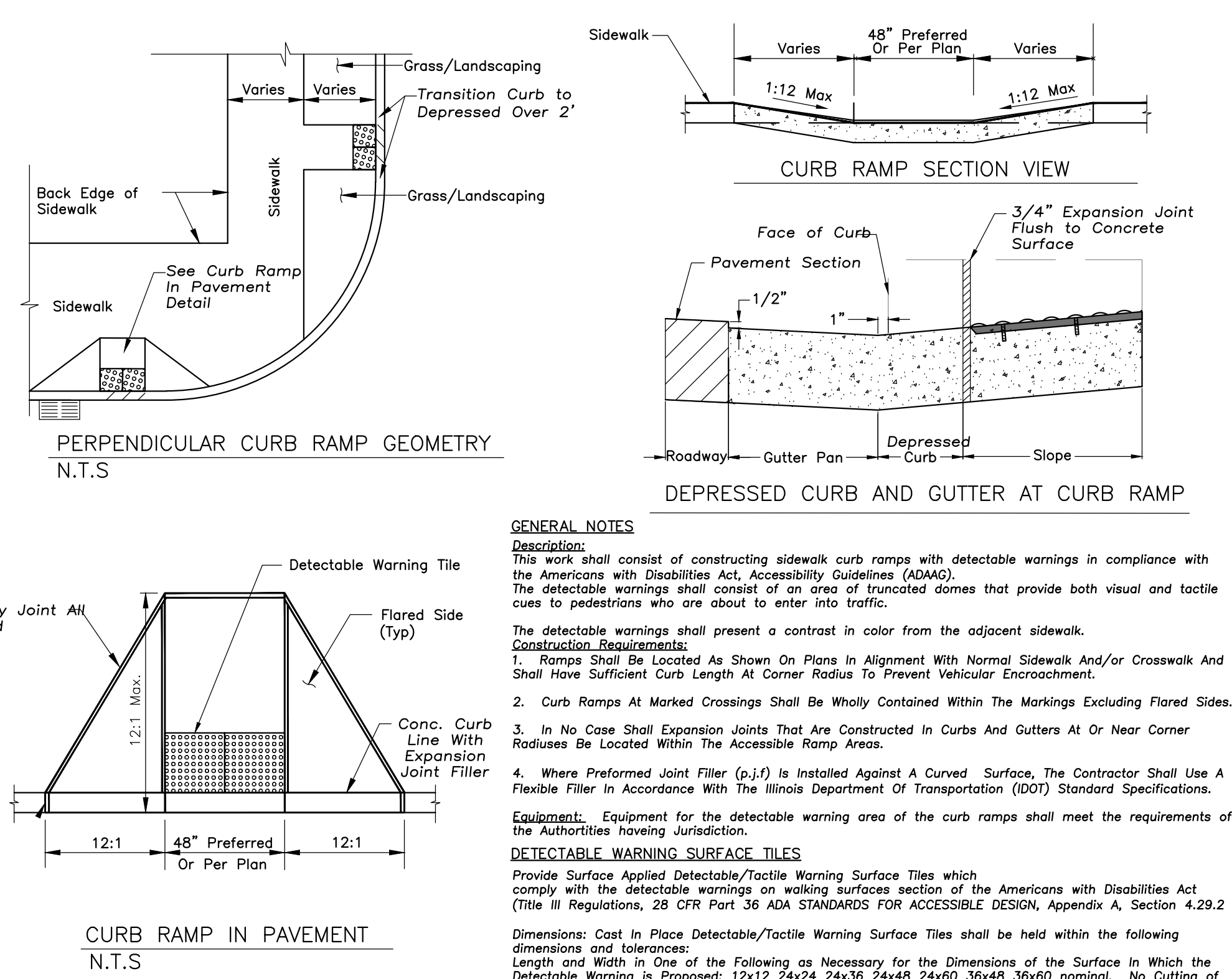
CONCRETE PAVEMENT DETAILS



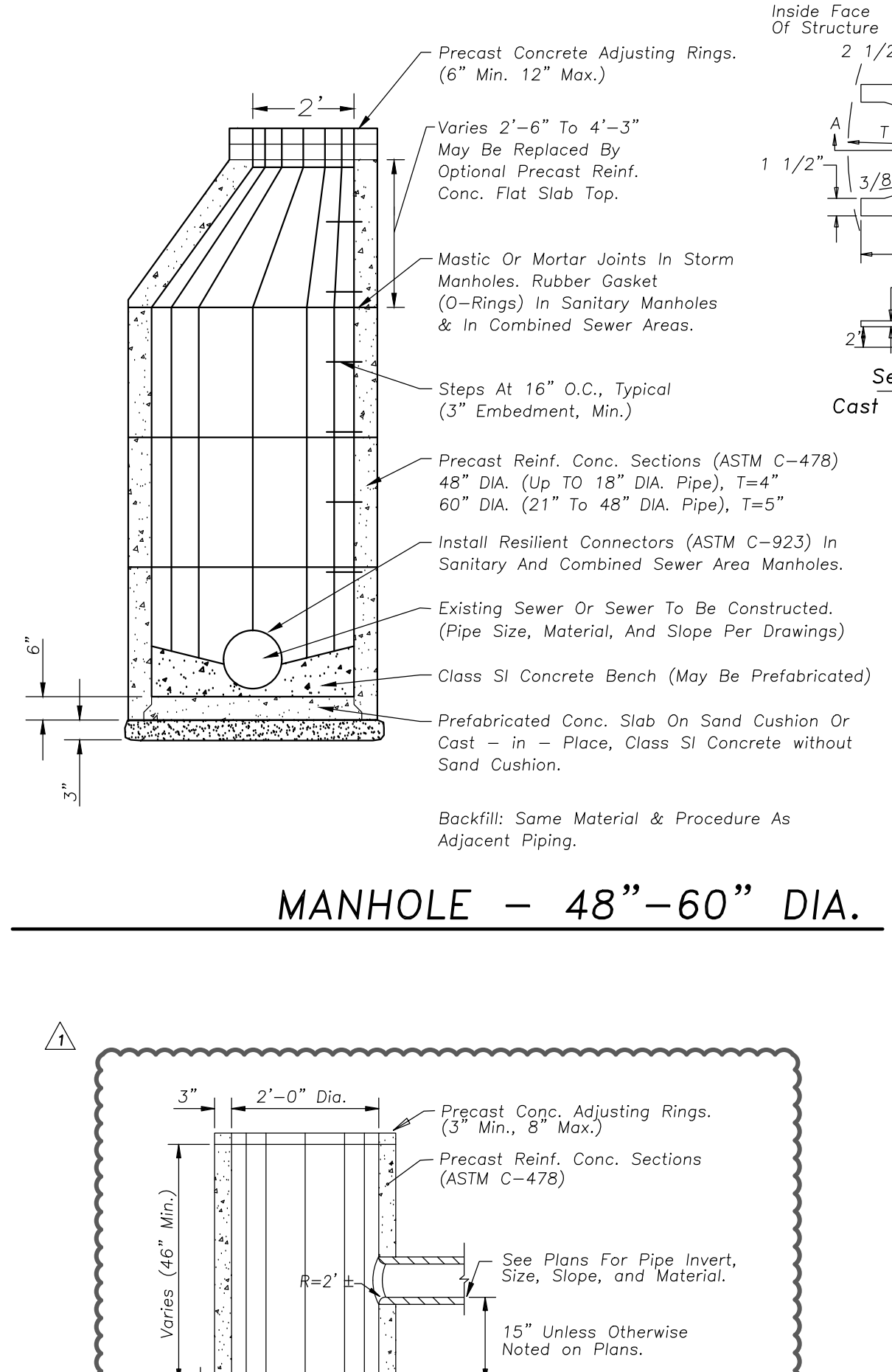
CATCH BASIN



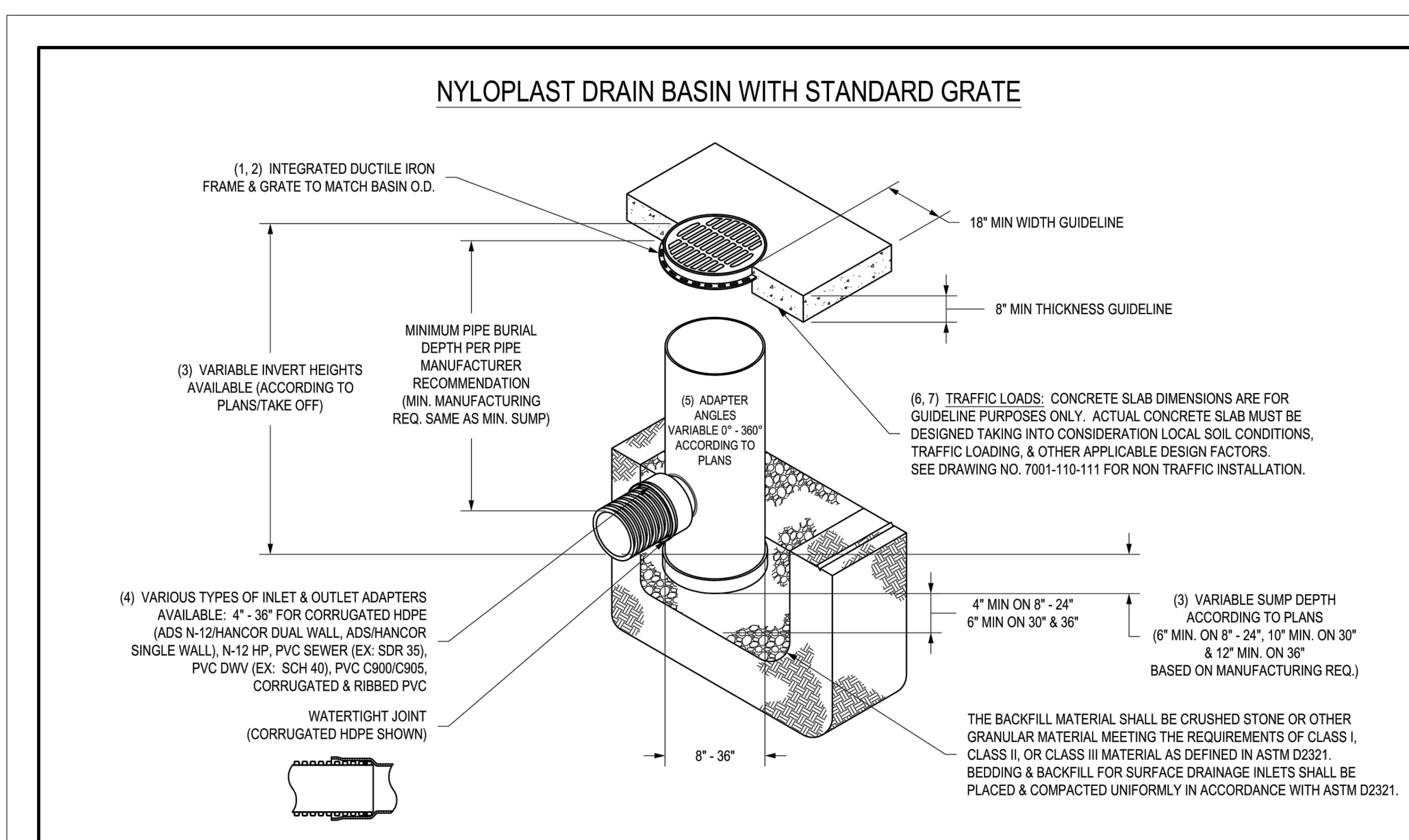
ACCESSIBLE RAMPS FOR SIDEWALKS



PERPENDICULAR CURB RAMP GEOMETRY
DEPRESSED CURB AND GUTTER AT CURB RAMP



MANHOLE - 48"-60" DIA.
CATCH BASIN - 2' DIA.



NYLOPLAST DRAIN BASIN WITH STANDARD GRATE

DRAWN BY MC
CHECKED BY MR

SITE DETAILS

C500

1114 WILSON AVE
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