



#2020-165

WK Building and Development Inc.

Project Review for Planning and Zoning Commission

Meeting Date:

June 16, 2021

Request:

1. Final Planned Unit Development Amendment to construct two duplex units.
2. Final Plat of Resubdivision creating a two-lot subdivision for Lot 110

Location:

700, 704, 708, 712, and 716 Oak Hollow Road

Acreage:

Approximately 0.58 acres

Existing Zoning:

R-3B PUD Multi-Family Residential

Surrounding Properties:

North: R-2 Single Family Residential
South: R-3B PUD Multi-Family Residential
East: R-3B PUD Multi-Family Residential
West: R-3B PUD Multi-Family Residential

Staff Contact:

Elizabeth Maxwell (815.356.3615)

Background:

- On January 19, 2021, the petitioner requested a Text Amendment modifying the language of the Unified Development Ordinance for Residential Planned Unit Developments from the requirement to have 100% of the individual owners sign off on an application. That amendment was approved allowing only 90% of the owners in the same category of dwelling in the PUD and 75% of any other category of dwelling type in the PUD. The petitioner has obtained these approval sign offs.
- The PUD originally contemplated that this would be a 5-unit townhome building. The current market is not supportive of interior units. The petitioner is requesting to amend the Final PUD this allow two duplex units so there would be a total of 4 end units which are much more marketable.

Development Analysis:

Land Use/Zoning

- The site is zoned R-3B PUD Multi-Family Residential. This is the most appropriate zoning district for the residential units.

- The land use map shows the area as High Density Residential. This is an appropriate land use designation for residential development.

Building Elevations:

- The petitioner matched much of the same styling as the 5-unit buildings to blend within the neighborhood. The window trim, roof style, garage, trim above the garage, exterior materials and design all duplicate the original townhouse architecture.
- Adding the chimney on either end and doors on the ends facing forward are the two main changes.
- The first image below is the proposed architecture. The second image below is the approved original PUD architecture.



Proposed Architecture



Originally Approved Architecture

Subdivision:

- Lot 110 was originally a lot for a 5-unit townhome building.
- The lot is being resubdivided into two new lots, each lot would have a duplex unit on it.
- The two new individual lots meet the R-3B zoning district standards.

Findings of fact:

FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow the changes to the approved unit type from a 5-unit townhome to two 2-unit duplexes. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. The proposed amendment enhances the character of the center and allows for a new and unique design for these tenants.

This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

FINAL PLAT OF RESUBDIVISION

The petitioner is requesting Final Plat of Subdivision approval for a minor subdivision to amend Lot 110 to two lots allowing for the two duplex units. Final Plats are required to meet the following requirements:

- a) Promote the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of the City by providing for the orderly growth and development of the City;

Meets *Does not meet*

- b) Coordinating streets and roads within proposed subdivisions with the City's planned street system, and with other public facilities;

Meets *Does not meet*

- c) Providing right-of-way easements for streets and utilities;
 Meets *Does not meet*

- d) Avoiding congestion and overcrowding, and encouraging the proper arrangement of streets in relation to existing or planned streets;
 Meets *Does not meet*

- e) Ensuring there is adequate open space and recreation facilities to serve development;
 Meets *Does not meet*

- f) Ensuring there is proper recordation of landownership records;
 Meets *Does not meet*

- g) Installation of any public improvements including water, sewer, storm sewer or detention, parkway trees, and sidewalks;
 Meets *Does not meet*

- h) Burial of overhead utility lines and all new lines and services in appropriate easements; and
 Meets *Does not meet*

- i) Ensuring the provision of such other matters as the City Council may deem necessary in order to protect the general health, safety, and welfare of the City
 Meets *Does not meet*

Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan designates the subject property as High Density Residential, which allows for existing and future multi-family homes. The following goals are applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high-quality housing in appropriate locations throughout the City that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Provide for a reasonable rate of residential growth especially infill growth and mixed-use development which take advantage of existing city services.

Success Indicator: Approval of minor subdivisions to increase infill lot potential.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:

- A. Application (WK Building and Development Inc., received 03/23/21)
 - B. Elevations (James Byrnes, Architect, dated 08/06/20, received 08/16/20)
 - C. Plat of Subdivision (Haeger Engineering, dated 05/20/21, received 05/20/21)
2. Plat of Subdivision document
 - A. Insert the school districts certification block on the plat.
 - B. Correct the Planning and Zoning Commission signature block.
 - C. Provide the amended CCRs reflecting this change for City review and approval before recording.
 - D. The sidewalk must be extended to the terminus of Oak Hollow Road with this development.
 - E. Provide a parkway tree(s) if feasible, with the two duplexes.
 - F. Correct the plat document to include all the required notations (easements, roadway dedication status, etc.), as detailed in Section 5-200G3b Subdivisions of the UDO.
 3. The petitioner must address all of the review comments and requirements of the Community Development Department.

PIQ Map
700-716 Oak Hollow Road





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: WK BUILDING AND DEVELOPMENT INC.

Address: 525 W WISE RD UNIT F
SCHAUMBURG IL 60193

Phone: 847-352-0100

E-mail: WALLY@WKHOMEBUILDERS.COM

Project Name & Description: ASHTON POINT DUPLEXS
CONSTRUCTION OF 4 UNITS IN TWO BUILDINGS

Project Address/Location: 716,712,704,700 OAK HOLLOW RD.

Signature 

Owner: Print and Sign name KENNETH S. STRUCK Date 3-23-21

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

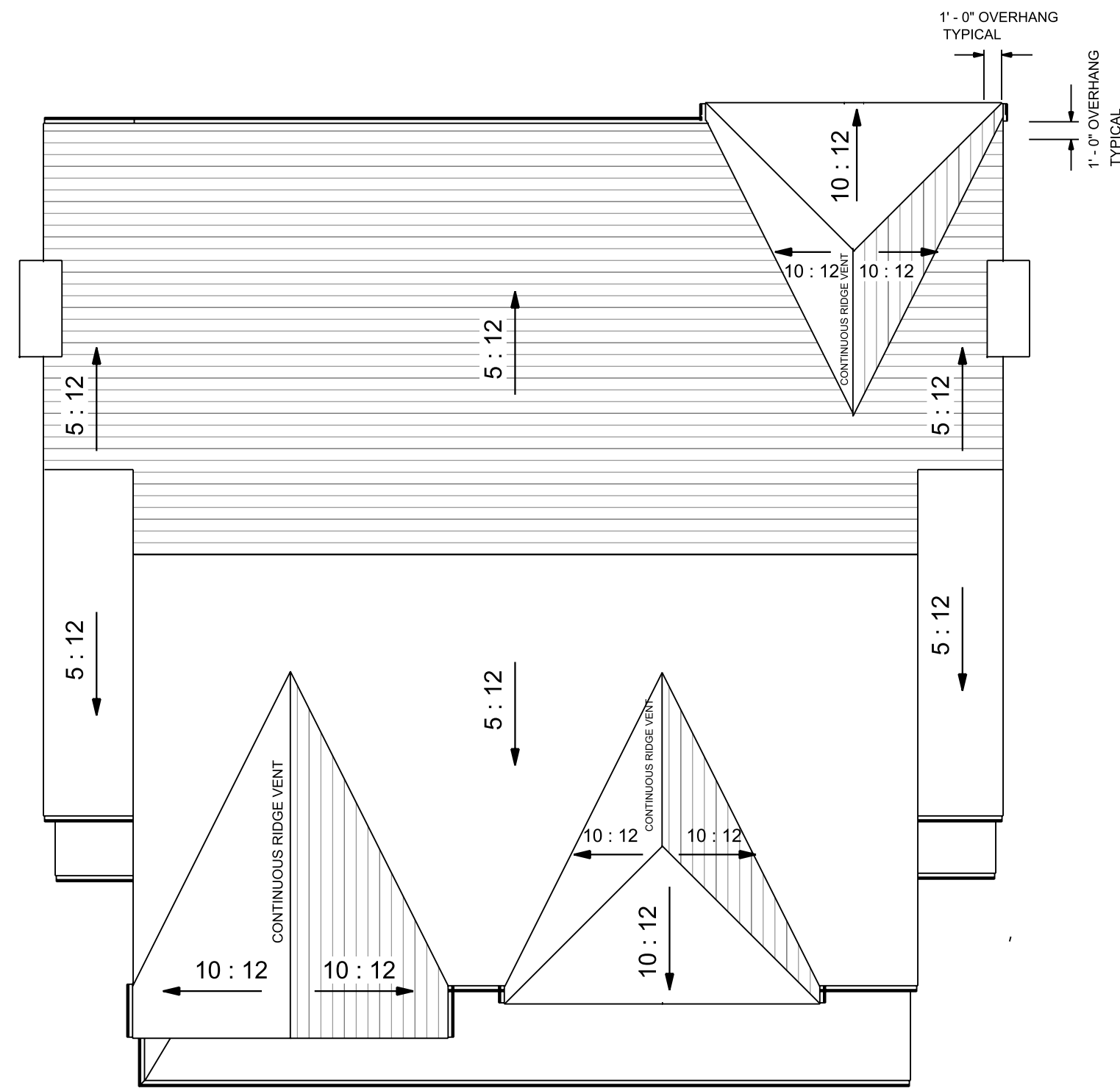
IN THE MATTER OF THE PETITION OF Ashton Pointe LLC and WK Bldgs Develop Inc.

LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Wally Krawczyk representing WK Bldgs Develop Inc. on behalf of Ashton Pointe LLC for a Final Planned Unit Development Amendment, relating to the property at 704, 708, 712, and 716 Oak Hollow Road in Crystal Lake, Illinois 60014. PINs: 19-04-276-041 and 19-04-276-048.

This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow the construction of 2 two-unit townhomes a deviation from the approved 5-unit townhome along with a Preliminary and Final Plat of Subdivision for a two-lot subdivision pursuant to Article 3, Article 4, Article 5 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

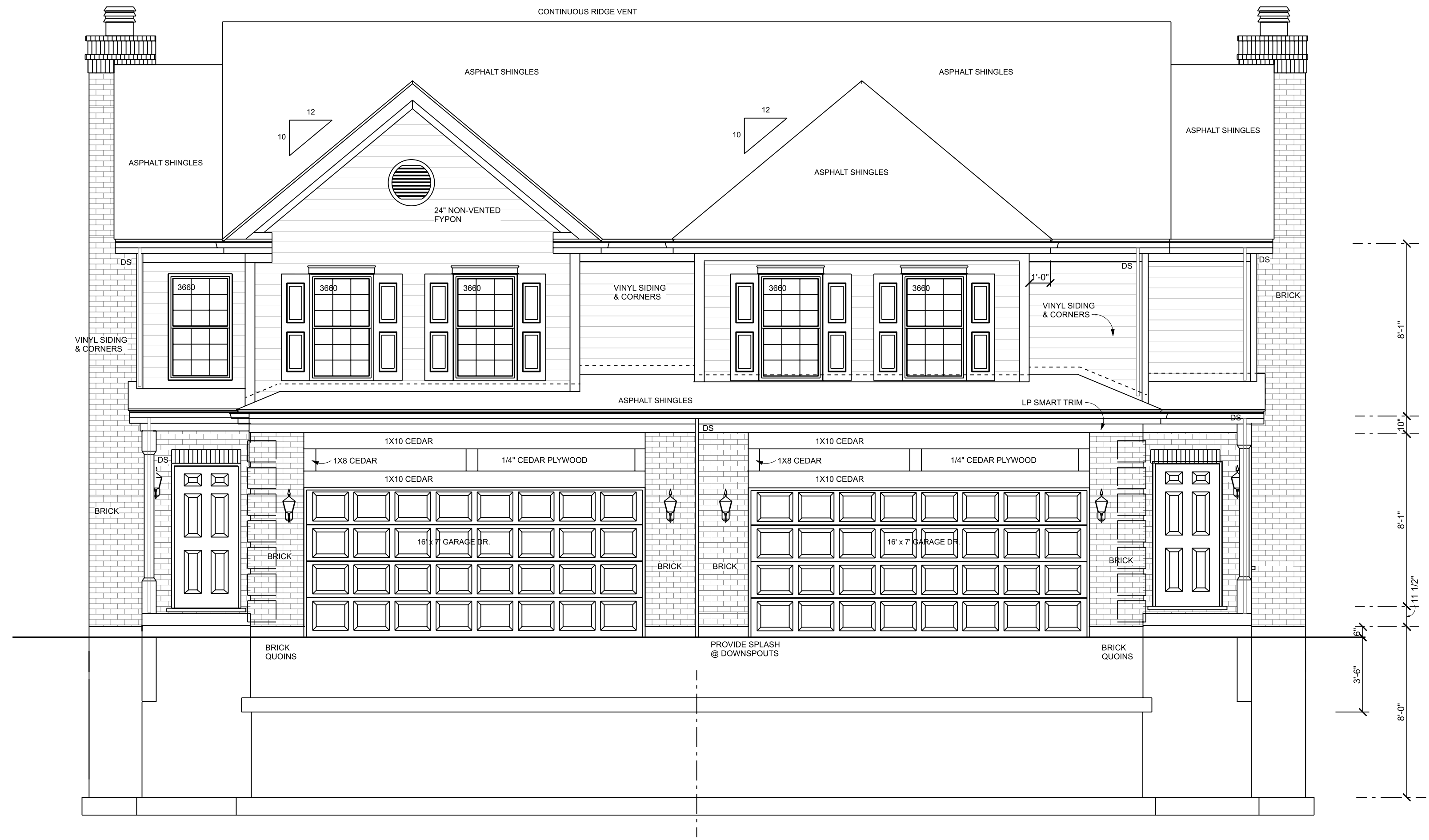
A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday June 16, 2021, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake

(Published in the Northwest Herald on May 28, 2021) 1889447



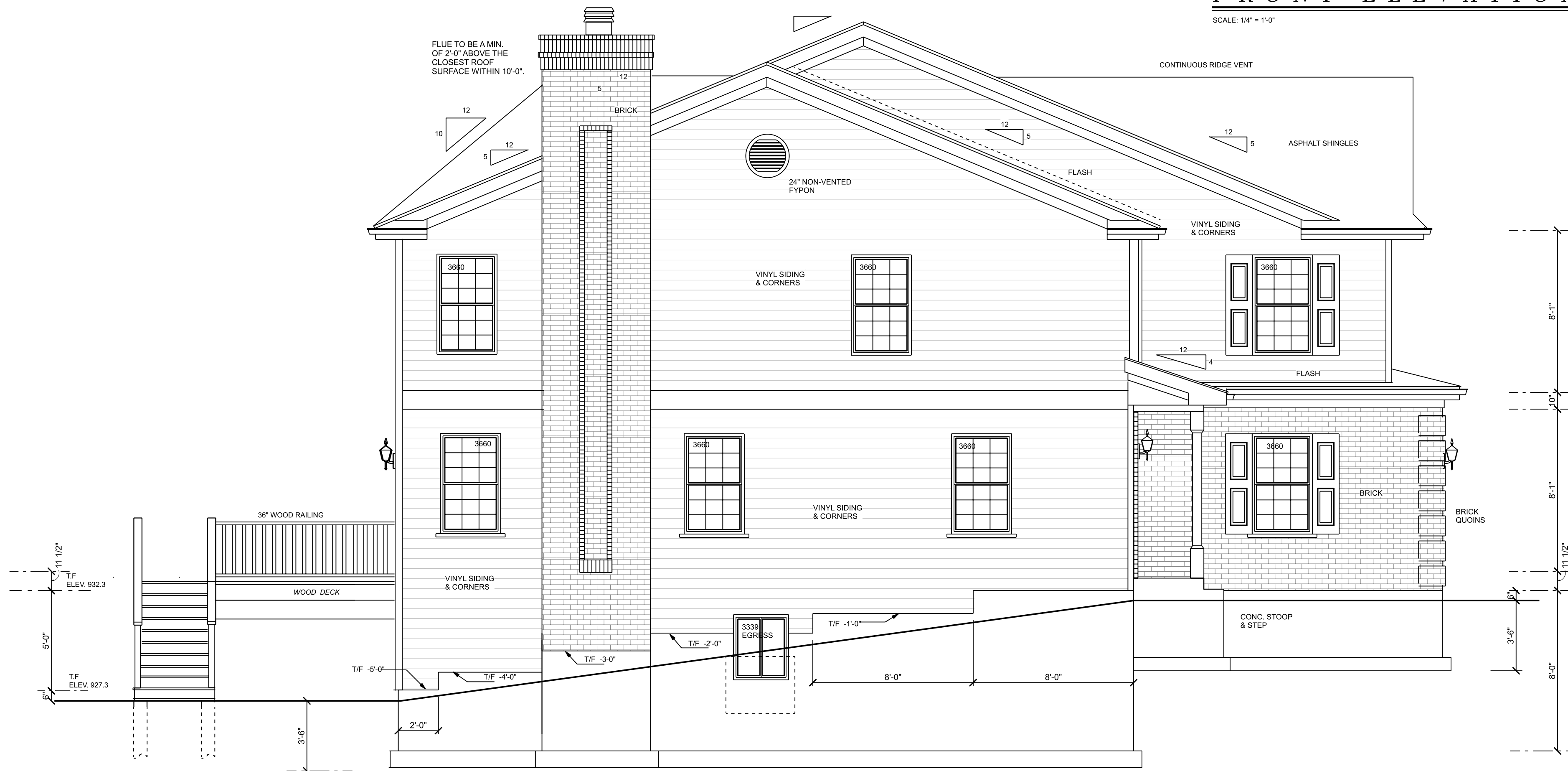
ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

City of Crystal Lake, IL.

Codes and Ordinances

- 2006 Edition of the International Residential Code
- 2006 Edition of the International Fire Code
- 2006 Edition of the International Mechanical Code
- 2006 Edition of the International Fuel Gas Code
- 2006 Edition of the International Property Maintenance Code
- 2014 Edition of the Illinois Plumbing Code
- 2005 Edition of the National Electric Code
- 2015 Edition of the International Energy Conservation Code
- 1997 Illinois Accessibility Code
- 2000 Edition of the NFPA Life Safety Code

SHEET SCHEDULE

NO.	SHEET CONTENTS
1	FRONT ELEVATION LEFT SIDE ELEVATION
2	REAR ELEVATION RIGHT SIDE ELEVATIONS
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN SEPARATION WALL
5	FOUNDATION PLAN TYPICAL WALL SECTION
6	ELECTRICAL PLANS

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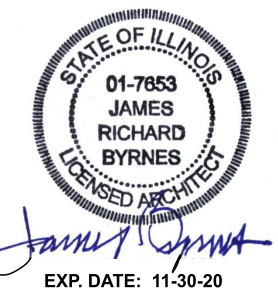
James Byrnes, Architect NCARB
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 Phone: 815.477.7717 Web: byrnesarchitect.com

W. K. Building & Development, Inc.
 525 W. Wise Schaumburg, Illinois 60193
 Phone: (847) 352-0100

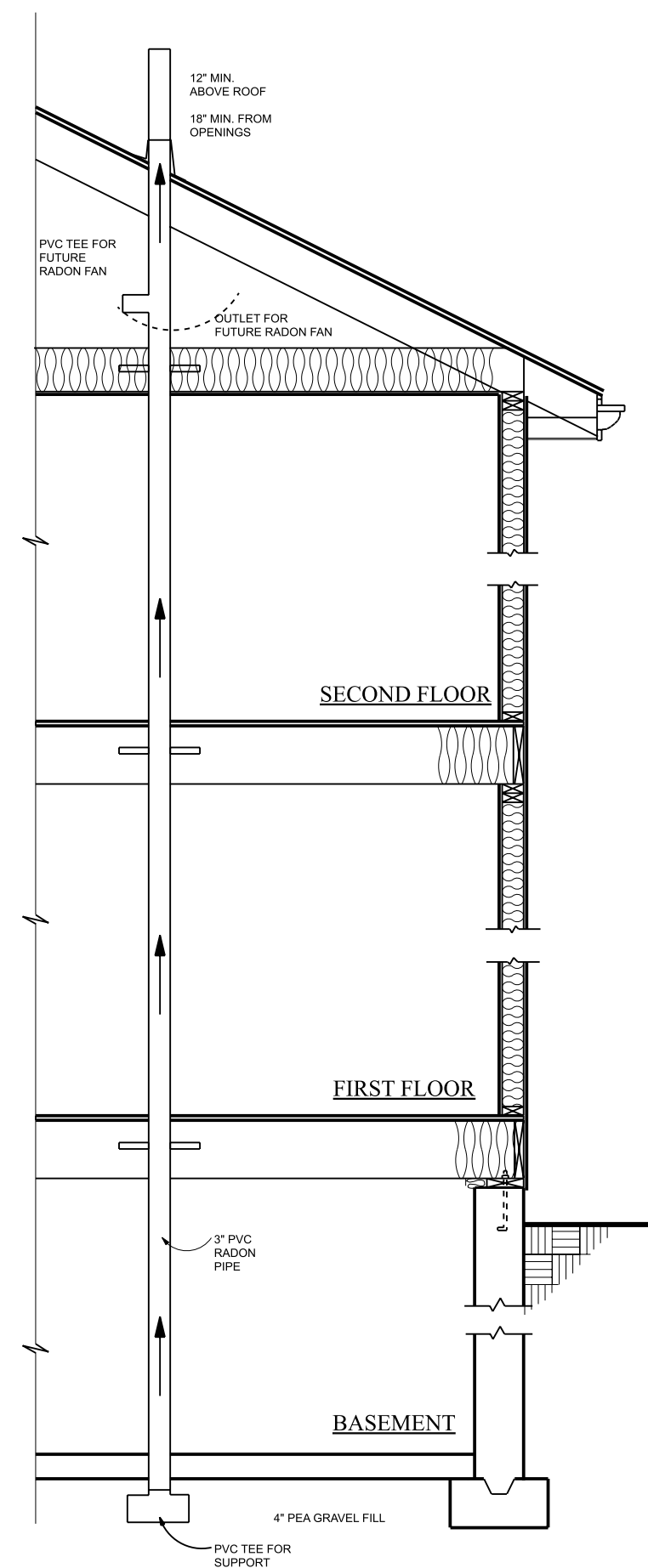
Front & Left Elevations
Ashton Pointe Duplex Residences
 Crystal Lake, Illinois

No.	Revision
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Date: 8-16-20
 Issued for Permit:
 Issued for Construction:
 Plan No.:



Sheet Number:
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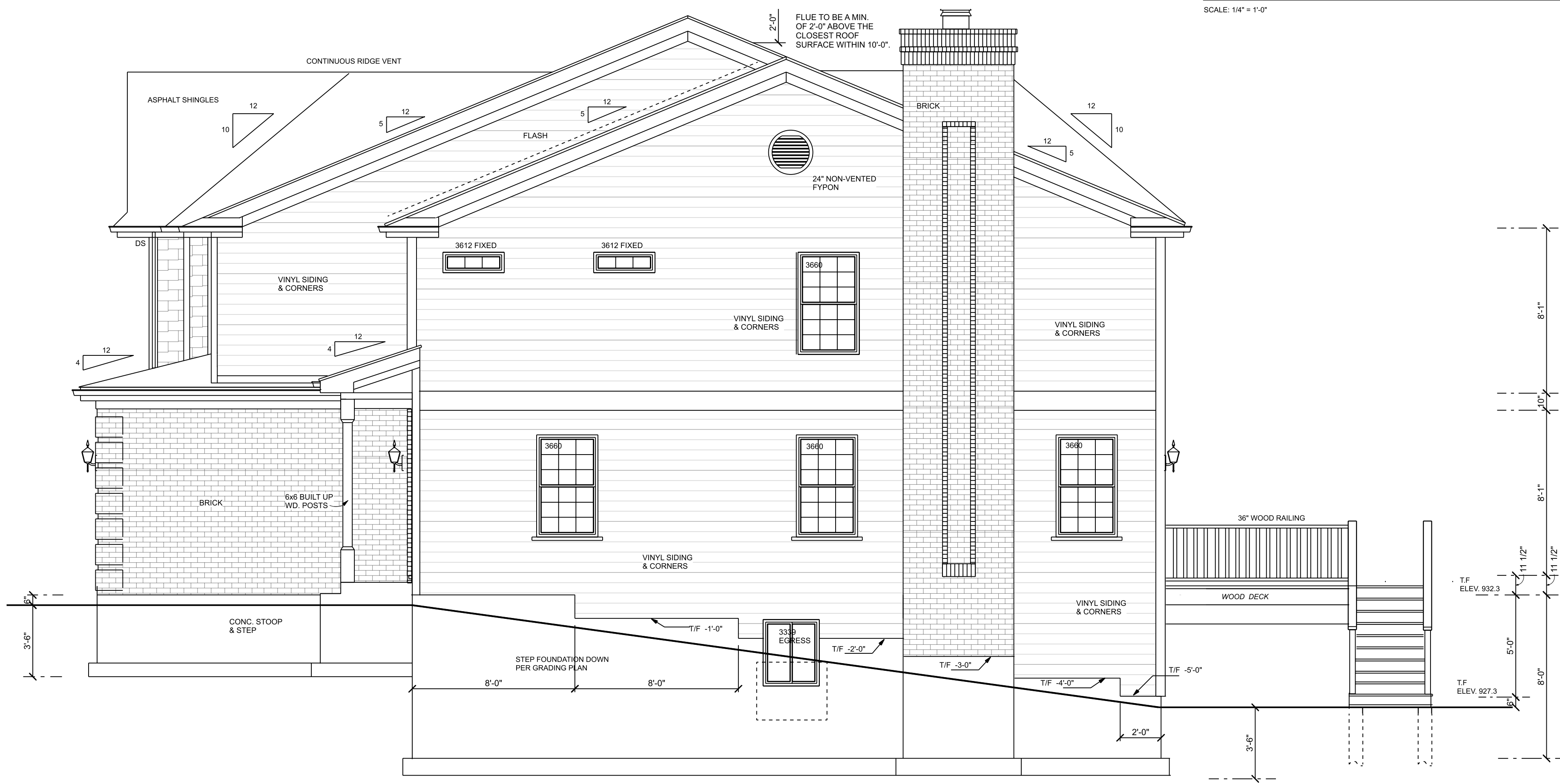


RADON VENT DIAGRAM



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

HANDBAILS SHALL BE PROVIDED ON STAIRWAYS OF 3 OR MORE RISERS, MIN 34", MAX 38" ABOVE TREAD. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWELL POSTS.

GUARDRAILS SHALL BE PROVIDED ON PORCHES, BALCONIES, OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW, NOT LESS THAN 36" IN HEIGHT. REQUIRED GUARD RAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER. REQUIRED GUARD RAILS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS THAT RESULT IN A LADDER EFFECT.

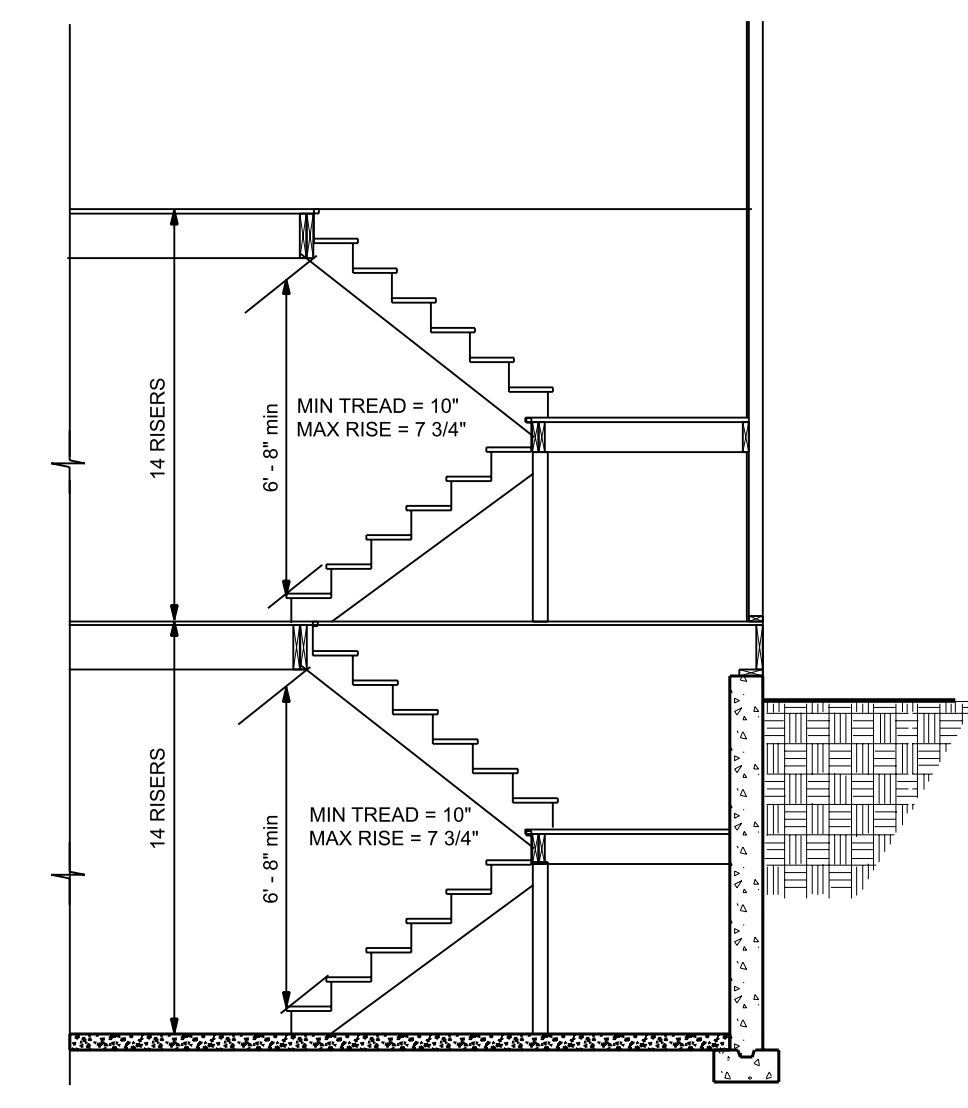
HANDBAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" TO 2", OR A NON-CIRCULAR CROSS SECTION WITH A PERIMETER CROSS SECTION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4".

HANDBAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38" RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. ALL REQUIRED HANDBAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWELL POSTS OR SAFETY TERMINALS. HANDBAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND HANDBAIL.

HANDBAILS SHALL NOT PROJECT MORE THAN 3 1/2" INTO THE STAIR WIDTH.

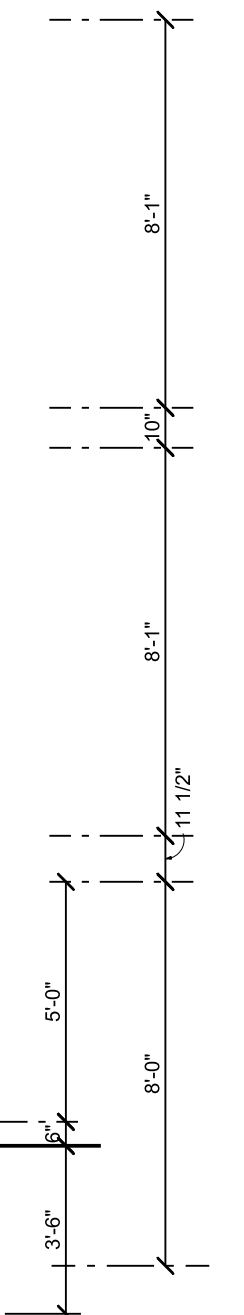
THE MIN. TREAD DEPTH IS 10" NOSING TO NOSING. STAIR RISERS SHALL NOT EXCEED 7 3/4".

BALLASTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.



STAIR DETAIL

SCALE: 1/4" = 1'-0"



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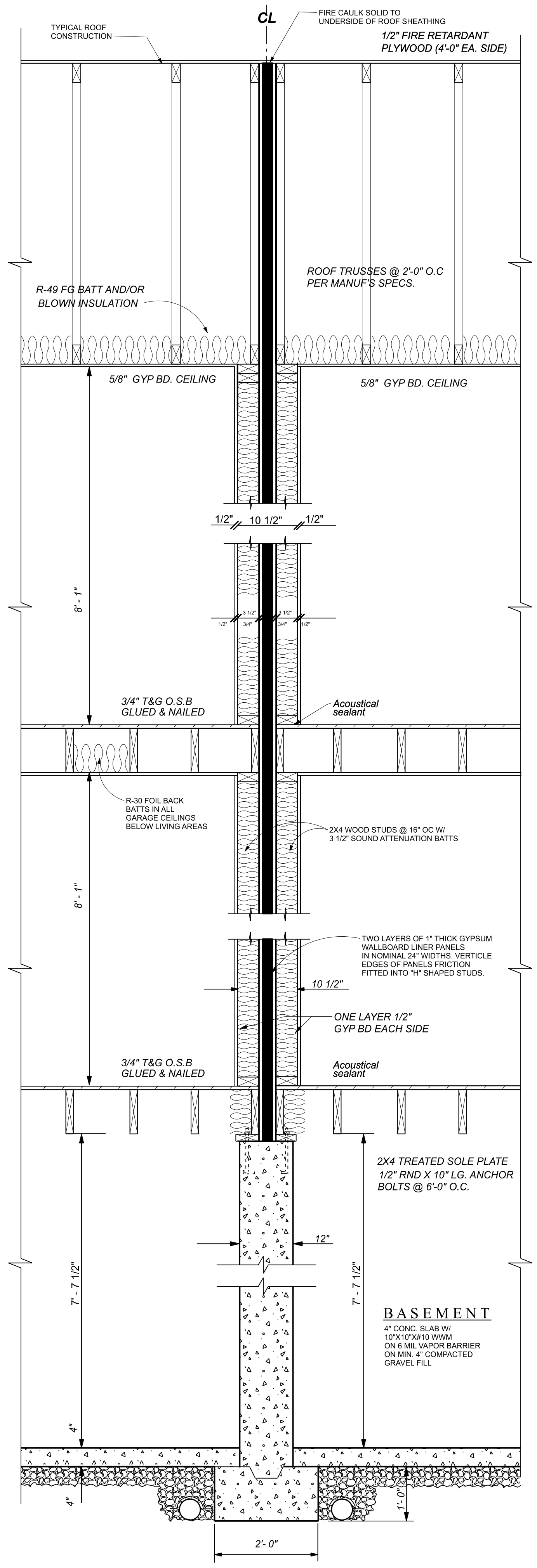
Rear & Right Elevations
Ashton Pointe Duplex Residences
 Crystal Lake, Illinois

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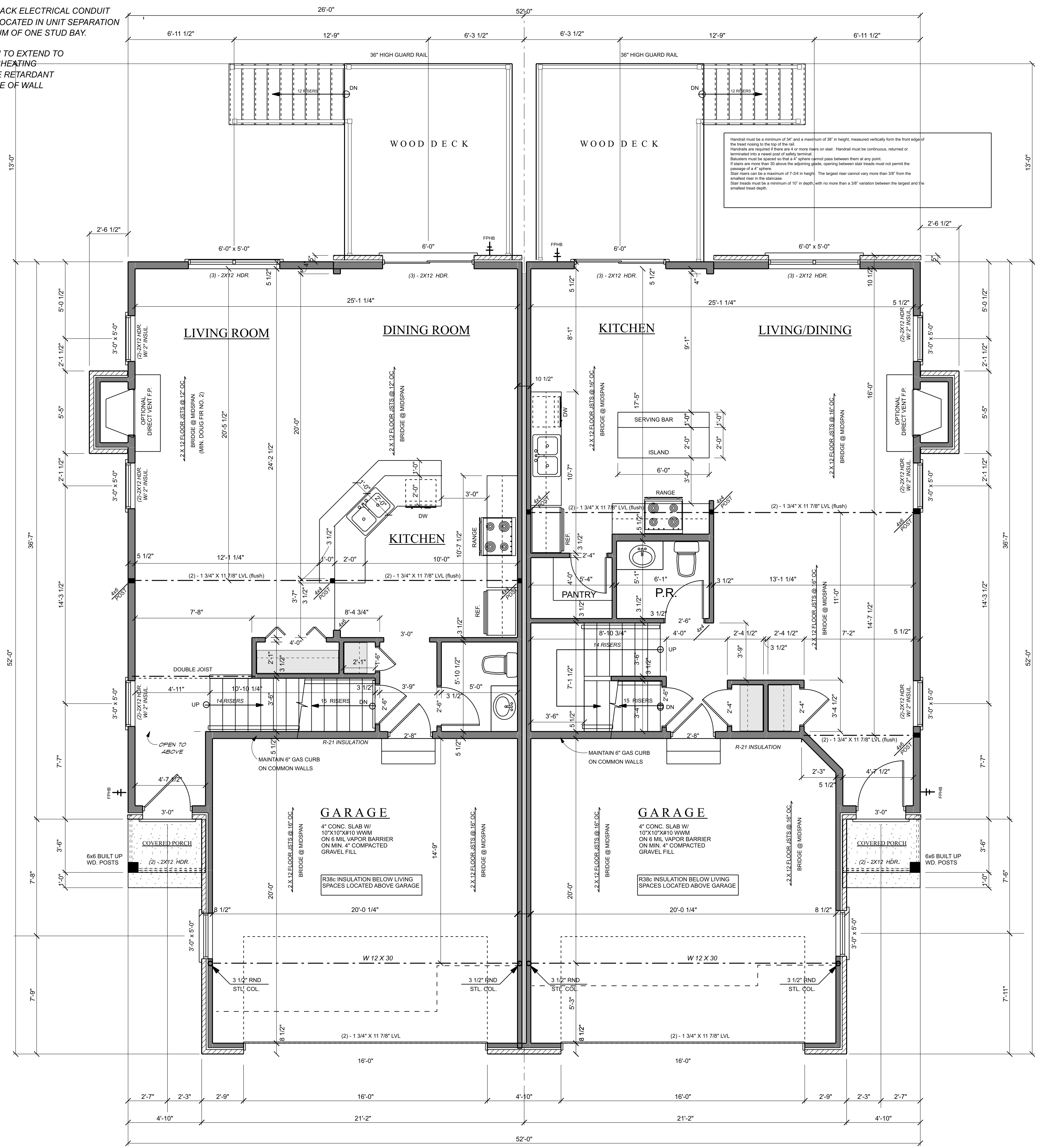




TYPICAL SEPARATION WALL *UL Design U-336*
SCALE: 3/8" = 1'-0"

NOTE
OFFSET ALL BACK TO BACK ELECTRICAL CONDUIT BOXES AND DEVICES LOCATED IN UNIT SEPARATION ASSEMBLY BY MINIMUM OF ONE STUD BAY.

FIRE RATED PARTITION TO EXTEND TO UNDERSIDE OF ROOF SHEATHING
1/2" HIGH DENSITY FIRE RETARDANT PYWOOD 4' - 0" EA. SIDE OF WALL



FIRST FLOOR 838 S.F.
SECOND FLOOR 1118 S.F.
TOTAL AREA: 1956 S.F.

UNIT - E **UNIT - H**
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR 841 S.F.
SECOND FLOOR 1165 S.F.
TOTAL AREA: 2006 S.F.

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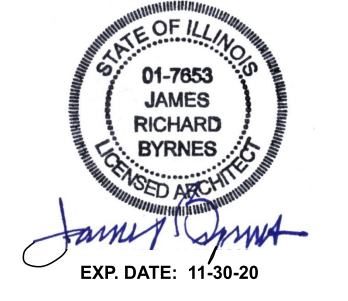
W. K. Building & Development, Inc.
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Phone: (847) 352-0100

First Floor Plan
Ashton Pointe Duplex Residences
Crystal Lake, Illinois

No.	Revision
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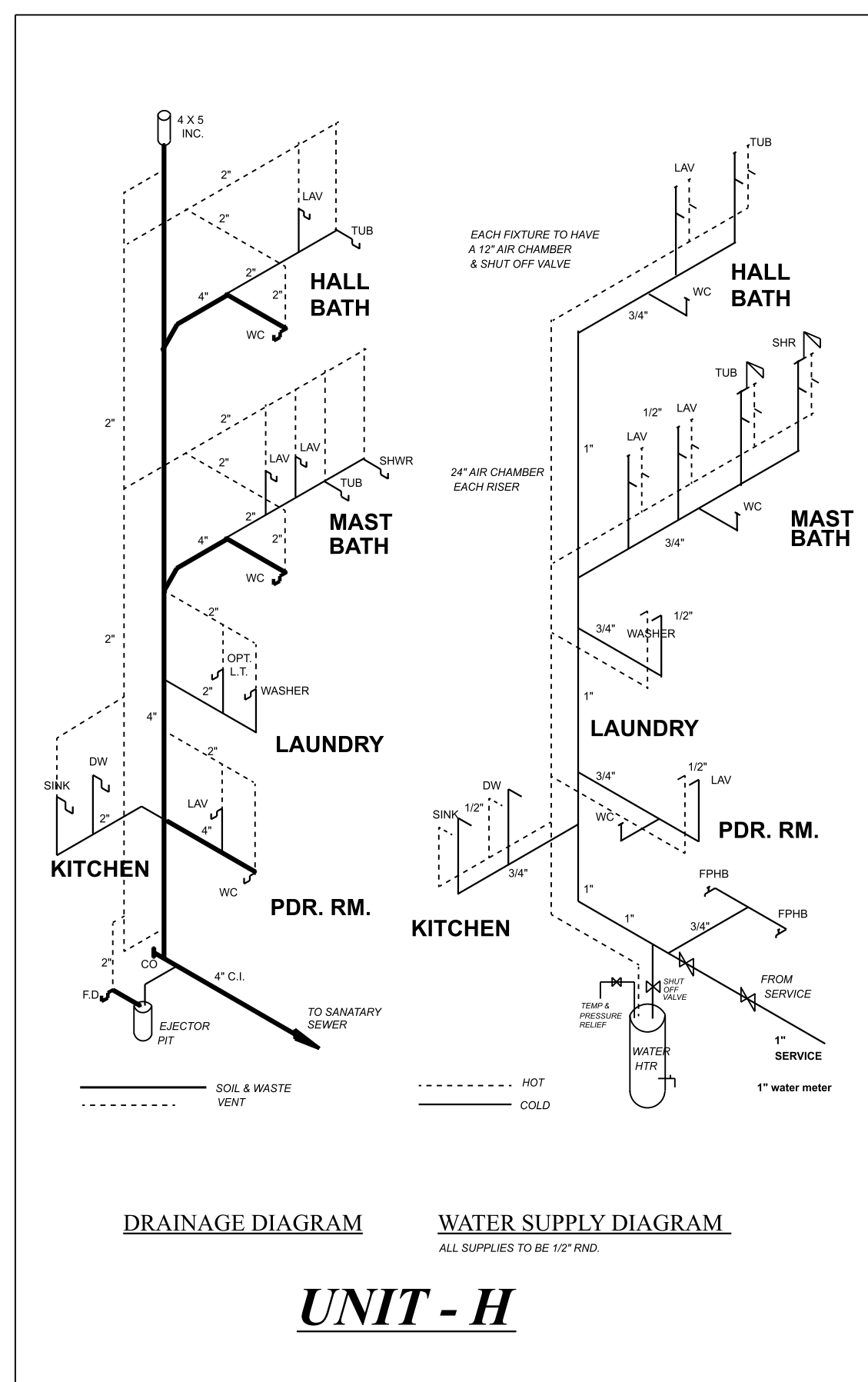
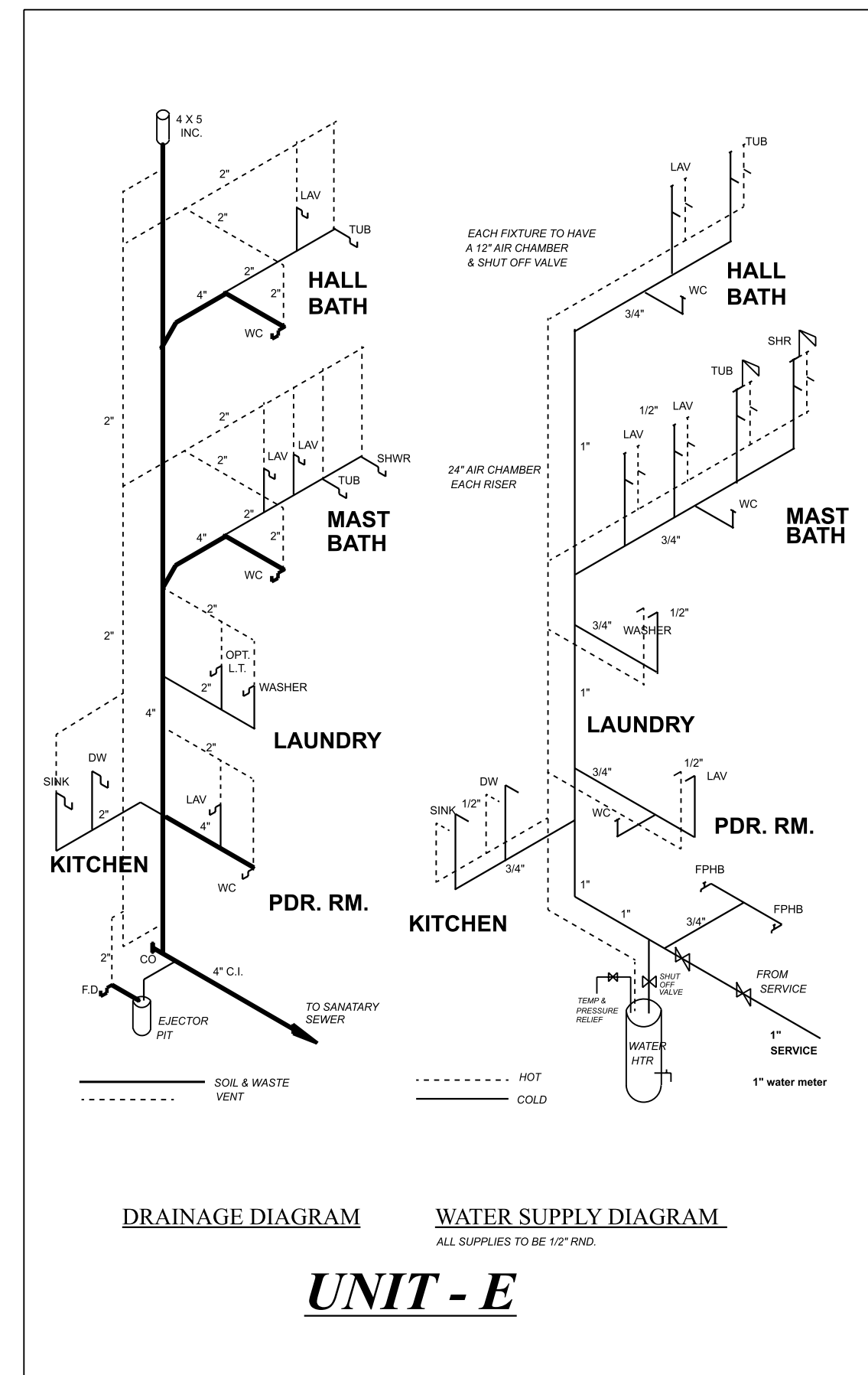


EXP. DATE: 11-30-20

PLUMBING NOTES:

ALL SUPPLY PIPING TO BE "L" COPPER ABOVE GROUND, "K" COOPER BELOW GROUND
 ALL WASTE & VENT PIPING TO BE P.V.C. SCHEDULE 40 MIN.
 PRESSURE @ ALL FIXTURES TO BE 40 TO 50 PSI
 FLOW RATES FOR ALL FIXTURES TO BE 3.0/GPM MAXIMUM EXCEPT WATER CLOSETS TO BE 35/GPM MAXIMUM.
 PROVIDE 12" AIR CHAMBERS AND SHUT-OFFS @ ALL FIXTURES
 PROVIDE VACUUM BREAKER PROTECTION @ ALL FROST PROOF HOSE BIBS
 PROVIDE CLEAN-OUTS @ ALL CHANGE OF DIRECTION GREATER THAN 45 @ WASTE PIPING
 PROVIDE 1/2" DIA. CONDUIT TO STREET-SIDE OF REMOTE WTR METER READER
 VERIFY LOCATION W/ PUBLIC WORKS.
 ALL PLUMBING TO CONFORM TO THE ILLINOIS STATE PLUMBING CODE LATEST EDITION
 ALL SUPPLY PIPING TO THE SECOND FLOOR TO HAVE 24" AIR CHAMBER
 ALL WATER HEATER TO HAVE TEMPERATURE AND PRESSURE RELIEF VALVES.
 4" FLOOR DRAIN IN BASEMENT AND EJECTOR PUMPS TO BE VENTED SEPARATELY.
 ALL STORM SUMP PIT PUMPS TO BE INSTALLED W/ TOP EDGE MIN 2" ABOVE THE TOP SLAB.
 ALL SUMP PIT PUMPS TO HAVE GATE VALVE INSTALLED ON 2" DISCHARGE WASTELINE.
 RUBBER CHECK VALVES ARE NOT PERMITTED ON SUMP DISCHARGE LINES
 TEES AND CROSSES NOT PERMITTED @ WASTE LINE

HUBLESS PIPE & FITTING NOT PERMITTED.
 CLEANOUT REQUIRE ON SANITARY SEWER 5' OUTSIDE OF BUILDING.
 TYPE "L" COPPER W/ NO LEAD SOLDER REQUIRED ON ABOVE GROUND DOMESTIC WATER.
 TYPE "K" REQUIRED ON UNDERGROUND DOMESTIC WATER.
 PURPLE PRIMER OR STACK TEST IS REQUIRED ON ALL P.V.C. PLUMBING.
 25 LB TEST REQUIRED ON GAS PIPING AT TIME OF ROUGH INSPECTION.
 75 LB AIR TEST OR WTR. PRESSURE REQD. ON WTR. PIPING AT TIME OF ROUGH INSPECT.
 MINIMUM SIZE UNDERGROUND SANITARY TO BE 4" IN DIAMETER
 ALL WASTE AND WATER PIPING IN OUTSIDE WALLS TO BE PROTECTED FROM FREEZING
 BASEMENT FLOOR DRAIN TO BE VENTED.
 WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
 WATER SERVICE AND WATER METER SHALL HAVE 2 SHUT-OFF VALVES:
 1 ON HOUSE SIDE OF WATER METER AND 1 ON STREET SIDE
 THERE SHALL BE NO MORE THAN 2 WATER CLOSETS ON 3" WASTE LINE.
 FLOOR DRAIN CONNECTED TO EJECTOR PUMP IN BASEMENT IS TO BE VENTED SEPARATELY, 2" MIN VENT REQUIRED.
 ALL PLUMBING MUST MEET ILLINOIS STATE CODE & LOCAL VILLAGE ORDINANCES.



UNIT - E

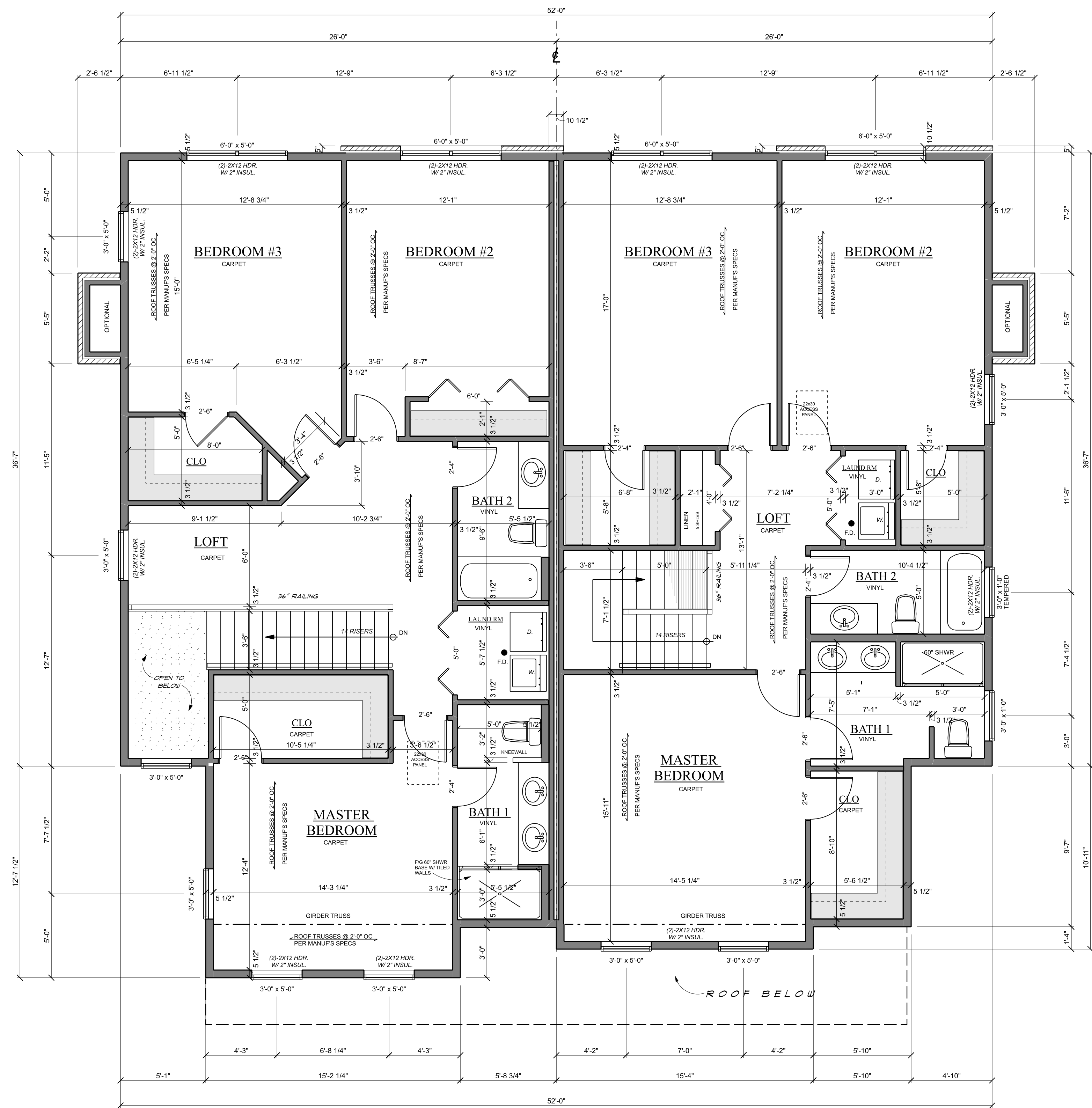
LIGHT AND VENT SCHEDULE

ROOM	AREA	LIGHT		VENT	
		REQ'D	ACT.	REQ'D	ACT
LIVING RM	349.5	27.9	69	14	34
KITCHEN DINING RM	193.5	15.48	46	7.74	20
MASTER BR	182.3	14.58	30	7.29	15
BEDROOM #2	150.5	12.04	30	6.02	15
STUDY	161	12.88	30	6.44	15
MAST BATH	50	NA	NA	NA	75 CFM
HALL BATH	50	NA	NA	NA	75 CFM
PDR RM.	30	NA	NA	NA	50 CFM
BASEMENT	761	27.8	36	13.9	36
ROOF	1420	NA	NA	7.3 SF	7.3 SF

UNIT - H

LIGHT AND VENT SCHEDULE

ROOM	AREA	LIGHT		VENT	
		REQ'D	ACT.	REQ'D	ACT
LIVING RM	427	34.2	54	17.1	27
KITCHEN	183	14.64	46	7.32	20
MASTER BR	217	17.38	30	8.69	15
BEDROOM #2	176.4	14.11	30	7.06	15
BEDROOM #3	181.3	14.5	30	7.06	15
MAST BATH	15	NA	NA	NA	75 CFM
HALL BATH	38	NA	NA	NA	75 CFM
PDR RM.	30	NA	NA	NA	50 CFM
BASEMENT	764	27.8	36	13.9	36
ROOF	1432	NA	NA	7.3 SF	7.3 SF



EGRESS WINDOW REQUIREMENTS:

- Minimum width of opening: 20 in.
- Minimum height of opening: 24 in.
- Minimum net clear opening: 5.7 sq. ft. (5.0 sq. ft. for ground floor).
- Maximum sill height above floor: 44 in.



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Second Floor Plan
 Ashton Pointe Duplex Residences
 Crystal Lake, Illinois

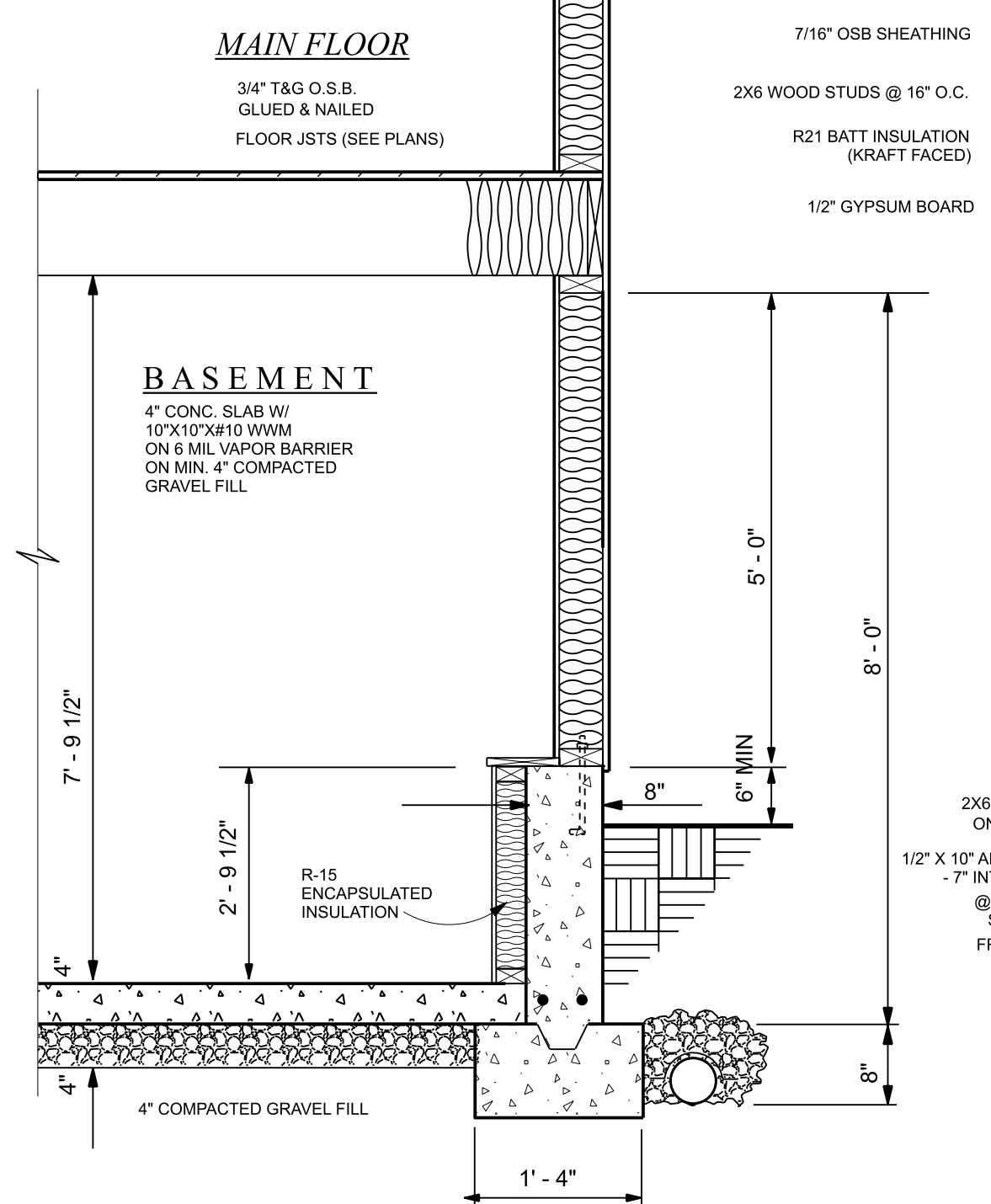
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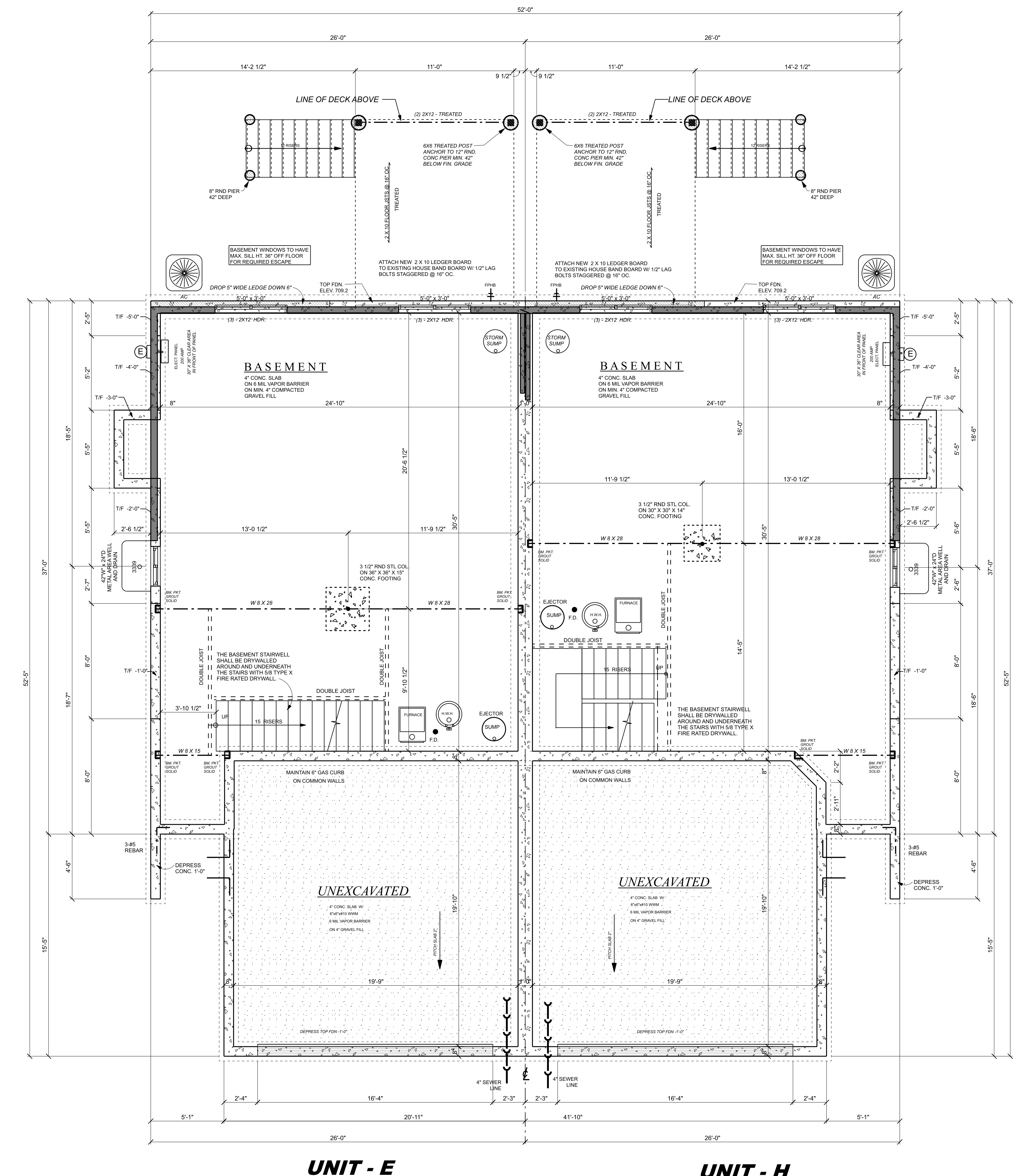
* 5 AC/HR ** 2% *** 1300

* 5 AC/HR ** 2% *** 1300



TYPICAL ENGLISH WALL
SCALE: 3/8" = 1'-0"

TYPICAL WALL
SIDING
TYPAR HOUSEWRAP
7/16" OSB SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R21 BATT INSULATION (KRAFT FACED)
1/2" GYPSUM BOARD



UNIT - E **UNIT - H**

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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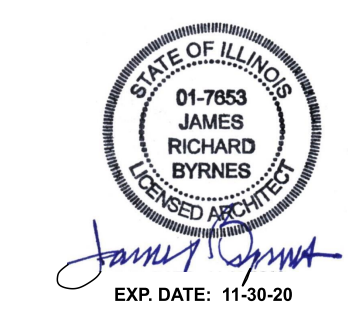
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Foundation Plan
Ashton Pointe Duplex Residences
Crystal Lake, Illinois

No.	Date	Revision
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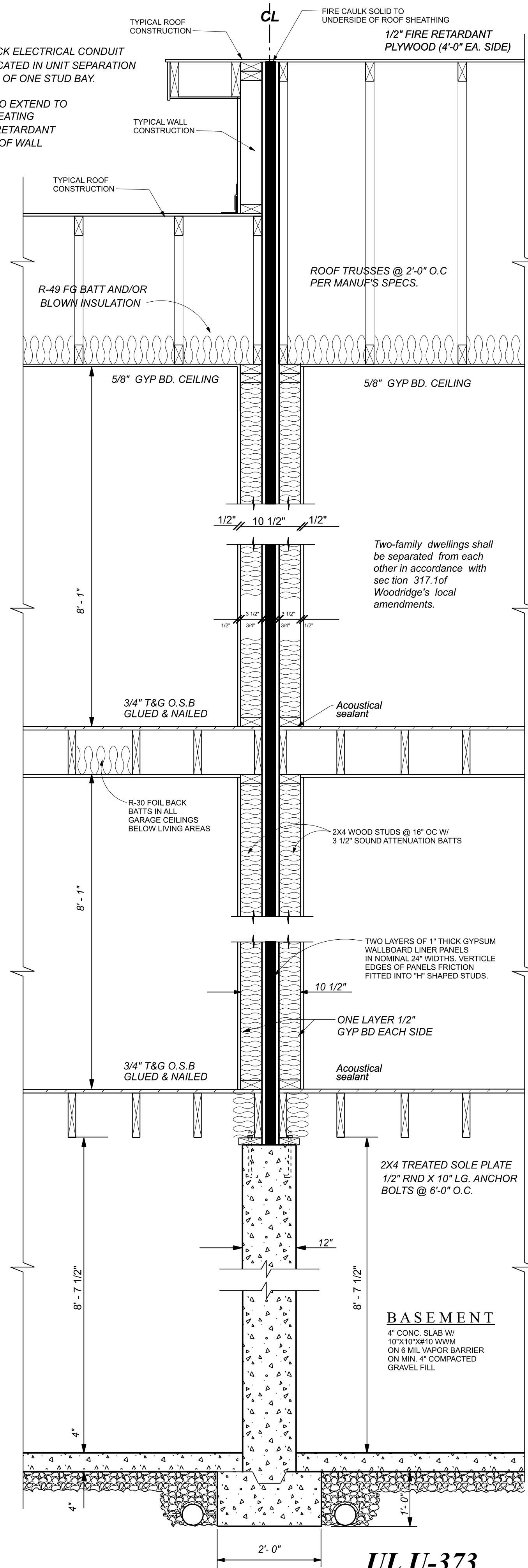
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Plan No:



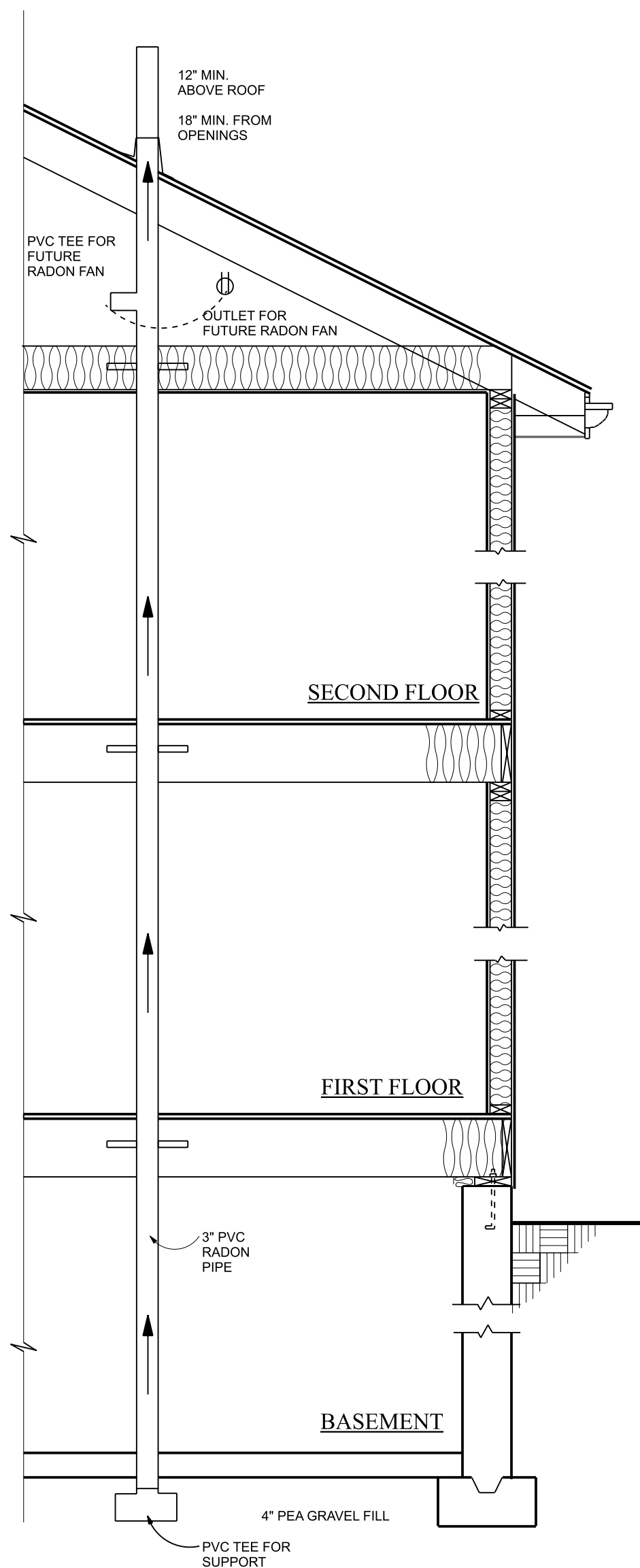
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NOTE
OFFSET ALL BACK TO BACK ELECTRICAL CONDUIT
BOXES AND DEVICES LOCATED IN UNIT SEPARATION
ASSEMBLIES BY MINIMUM OF ONE STUD BAY.

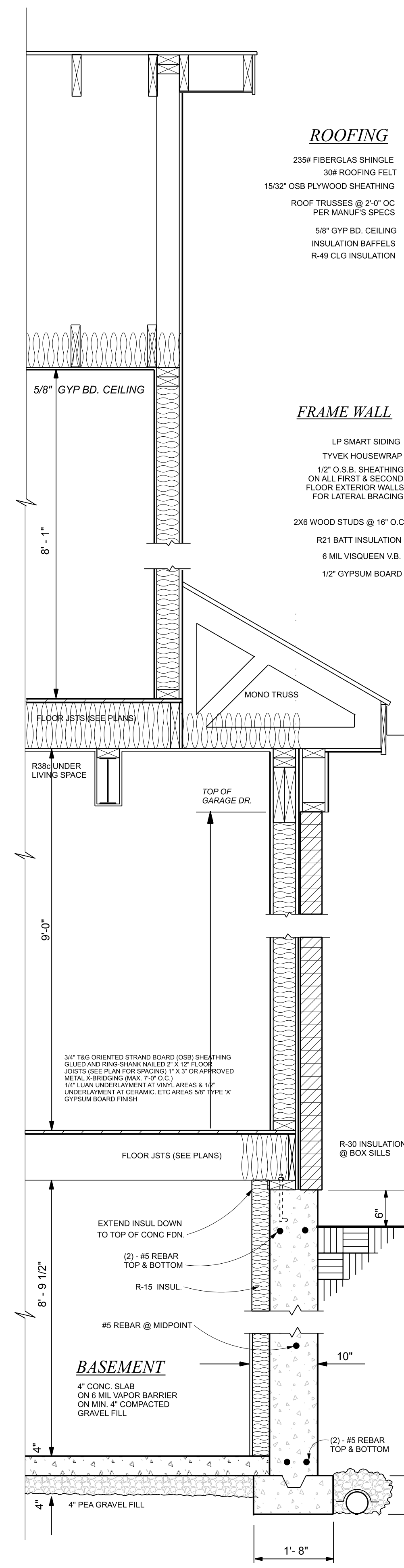
FIRE RATED PARTITION TO EXTEND TO
UNDERSIDE OF ROOF SHEATHING
1/2" HIGH DENSITY FIRE RETARDANT
PLYWOOD 4'-0" EA. SIDE OF WALL



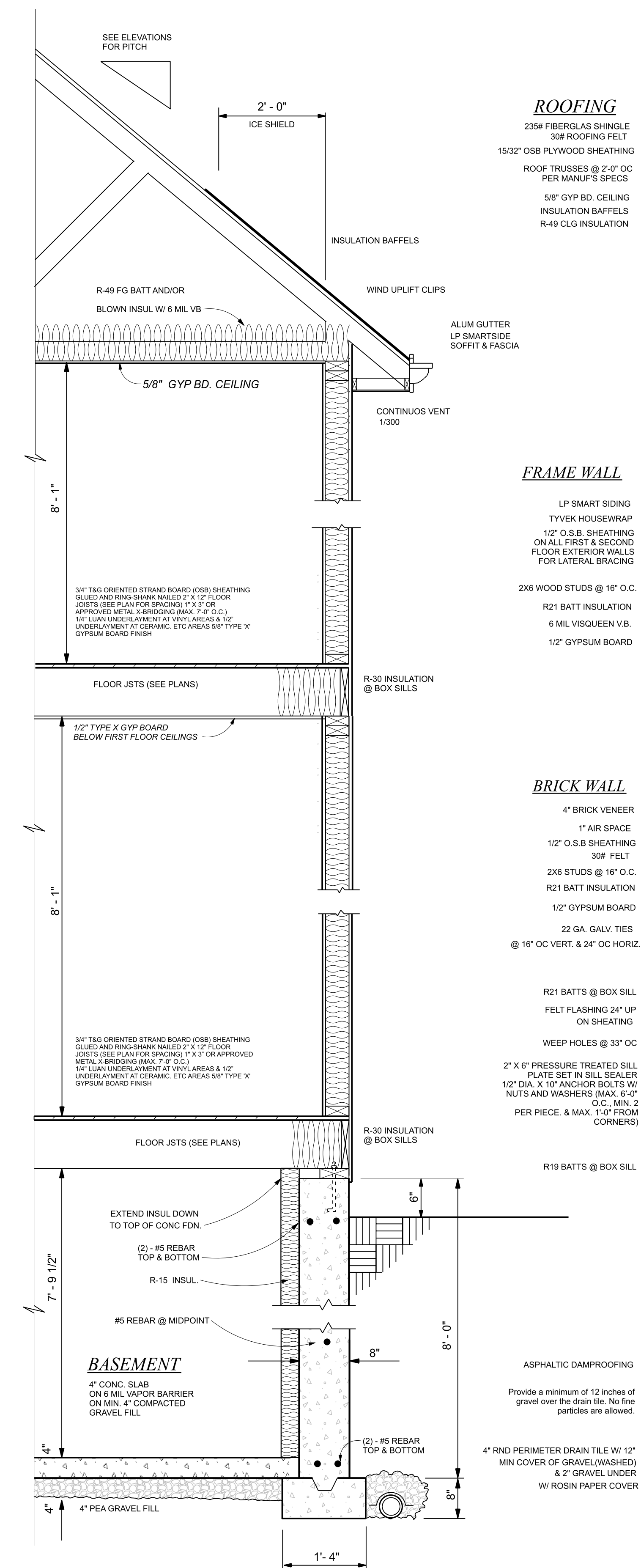
UL U-373
TYPICAL DEMISING WALL SECTION
SCALE: 3/8" = 1'-0"



RADON VENT DIAGRAM



GARAGE BRICK WALL
SCALE: 3/8" = 1'-0"



TYPICAL FRAME WALL
SCALE: 3/8" = 1'-0"

ROOFING

- 235# FIBERGLAS SHINGLE
- 30# ROOFING FELT
- 15/32" OSB PLYWOOD SHEATHING
- ROOF TRUSSES @ 2'-0" OC PER MANUF'S SPECS
- 5/8" GYP BD. CEILING
- INSULATION BAFFLES
- R-49 CLG INSULATION

FRAME WALL

- LP SMART SIDING
- TYVEK HOUSEWRAP
- 1/2" O.S.B. SHEATHING ON ALL FIRST & SECOND FLOOR EXTERIOR WALLS FOR LATERAL BRACING
- 2X6 WOOD STUDS @ 16" O.C.
- R21 BATT INSULATION
- 6 MIL VISQUEEN V.B.
- 1/2" GYPSUM BOARD

BRICK WALL

- 4" BRICK VENEER
- 1" AIR SPACE
- 12" O.S.B. SHEATHING
- 30# FELT
- 2X6 STUDS @ 16" O.C.
- R21 BATT INSULATION
- 1/2" GYPSUM BOARD
- 22 GA. GALV. TIES @ 16" OC VERT. & 24" OC HORIZ.
- R21 BATTS @ BOX SILL
- FELT FLASHING 24" UP ON SHEATHING
- WEEP HOLES @ 33" OC
- 2" X 6" PRESSURE TREATED SILL PLATE SET IN SILL SEALER
- 1/2" DIA. X 10" ANCHOR BOLTS W/ NUTS AND WASHERS (MAX. 6'-0" O.C., MIN. 2 PER PIECE, & MAX. 1'-0" FROM CORNERS)
- R19 BATTS @ BOX SILL

ROOFING

- 235# FIBERGLAS SHINGLE
- 30# ROOFING FELT
- 15/32" OSB PLYWOOD SHEATHING
- ROOF TRUSSES @ 2'-0" OC PER MANUF'S SPECS
- 5/8" GYP BD. CEILING
- INSULATION BAFFLES
- R-49 CLG INSULATION

FRAME WALL

- LP SMART SIDING
- TYVEK HOUSEWRAP
- 1/2" O.S.B. SHEATHING ON ALL FIRST & SECOND FLOOR EXTERIOR WALLS FOR LATERAL BRACING
- 2X6 WOOD STUDS @ 16" O.C.
- R21 BATT INSULATION
- 6 MIL VISQUEEN V.B.
- 1/2" GYPSUM BOARD

BRICK WALL

- 4" BRICK VENEER
- 1" AIR SPACE
- 12" O.S.B. SHEATHING
- 30# FELT
- 2X6 STUDS @ 16" O.C.
- R21 BATT INSULATION
- 1/2" GYPSUM BOARD
- 22 GA. GALV. TIES @ 16" OC VERT. & 24" OC HORIZ.
- R21 BATTS @ BOX SILL
- FELT FLASHING 24" UP ON SHEATHING
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- 1/2" DIA. X 10" ANCHOR BOLTS W/ NUTS AND WASHERS (MAX. 6'-0" O.C., MIN. 2 PER PIECE, & MAX. 1'-0" FROM CORNERS)
- R19 BATTS @ BOX SILL

BASEMENT

- 4" CONC. SLAB
- ON 6 MIL VAPOR BARRIER
- ON MIN. 4" COMPACTED GRAVEL FILL

- ASPHALTIC DAMPROOFING
- Provide a minimum of 12 inches of gravel over the drain tile. No fine particles are allowed.
- 4" RND PERIMETER DRAIN TILE W/ 12" MIN COVER OF GRAVEL(WASHED) & 2" GRAVEL UNDER W/ ROSIN PAPER COVER

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James Byrnes, Architect NCARB
CUSTOM ARCHITECTURAL DESIGNS
609 West Hillside Road, Crystal Lake, Illinois 60012
Phone: 815/477-7171 Web: jbyrnesarchitect.com

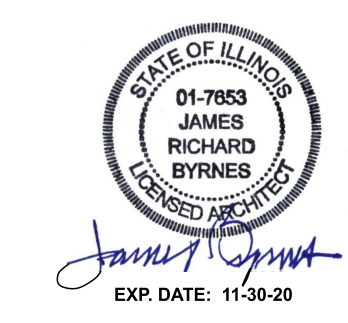
W. K. Building & Development, Inc.
525 W. Wise Schamburg, Illinois 60193
Phone: (847) 352-0100

Sections
Ashton Pointe Duplex Residences
Crystal Lake, Illinois

No.	Revision	Date:
1		
2		
3		
4		
5		

Date: 8-16-20
Issued for Permit:
Issued for Construction:
Plan No:

Sheet Number:
6
EXP. DATE: 11-30-20



**JOB: 1802 PANEL NO.: PL-1 LOCATION: BSMNT REAR WALL MOUNTING: SURFACE
 MAIN: 200A LUGS: 200A VOLTAGE: 240 PHASE: 1 WIRE: 3
 FEEDER: 2" CABLE: 3/3/0THWN ENTERING CABINET AT: TOP**

CCT NO.	REMARKS	LOAD				REMARKS	CCT NO.
		A	B	NEUTRAL	GROUND		
1	BEDROOM 2	1200		15	20	3840	2
3	BATH 1 GFI	180	180	20	1	3840	4
5	BATH 2 GFI	180	180	20	1	1080	6
7	DISHWASHER	1200		20	1		8
9	DISPOSAL	300		20	1	1200	10
11	REFRIGERATOR	1200		15	1		12
13	KITCHEN RECEPTACLES	1200		20	1	1200	14
15	KITCHEN RECEPTACLES	1200		20	1	1440	16
17	POWDER GFI	360		20	1	720	18
19	SMOKEO DETECTORS	1080		15	1	720	20
21	LAUNDRY	1200		20	1		22
23	GARAGE	360		15	1		24
25	BEDROOM 1	1200		15	1		26
27	BEDROOM 3	1200		15	1		28
29	SPARE			20	1		30
TOTAL WATTS @ A		5790				8040	TOTAL WATTS @ A
TOTAL WATTS @ B		6480				7630	TOTAL WATTS @ B
TOTAL WATTS @ C							TOTAL WATTS @ C
SUB TOTAL WATTS							SUB TOTAL WATTS
TOTAL WATTS		28200				79	TOTAL AMPS

STRUCTURAL DESIGN CRITERIA:

DESIGN LOADS:		
FLOOR	= 40P LL 10F DL	ALL AREAS EXCEPT SLEEPING
FLOOR	= 30P LL 10F DL	SLEEPING AREAS
WALLS	= 60 PLF OR ACTUAL LOAD	
CEILING	= 20P LL 10F DL	STICK BUILT ROOF CONST.
ROOF	= 30P LL 10F DL	ROOF SLOPES OVER 3 : 12
CATHEDRAL	= 30P LL 15F DL	ALL SLOPES
ROOF TRUSSES - BOTTOM	= 20P LL 10F DL	TRUSS BOTTOM CHORD
ROOF TRUSSES - TOP	= 30P LL 10F DL	TRUSS TOP CHORD
EXT DECK	= 40P LL 10F DL	
BALCONY	= 60P LL 10F DL	EXTERIOR

FRAMING LUMBER SPECIFICATIONS:

FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS
 IN-GRADE BASE VALUE AS DETERMINED BY WESTERN WOOD PRODUCTS ASSOCIATION (USE NO MULTIPLIERS AGAINST BASE VALUE)

2x2, 2x4, 2x6 SPRUCE PINE FIR #2 DOMESTIC BASE Fb = 750

2x8, 2x10, 2x12, 2x14, 2x16 HEM-FIR #2 DOMESTIC BASE Fb = 650
 LESS THAN 20' IN LENGTH

2x8, 2x10, 2x12, 2x14, 2x16, 2x18 DOUG-FIR #2 DOMESTIC BASE Fb = 675
 OVER THAN 20' IN LENGTH

STUD WALLS - MINIMUM IN-GRADE BASE VALUES:

FIRST FLOOR LOAD BEARING:

EXTERIOR LOAD BEARING WALLS E = 1,400,000 FC = 825
 INTERIOR LOAD BEARING WALLS E = 1,200,000 FC = 805

SECOND FLOOR - LOAD BEARING:

EXTERIOR LOAD BEARING WALLS E = 1,200,000 FC = 800
 INTERIOR LOAD BEARING WALLS E = 1,000,000 FC = 600

ALL NON-LOAD BEARING WALLS = 1,000,000 FC = 600

EXTERIOR DECK LUMBER SPECIFICATIONS:

ALL EXTERIOR DECK FRAMING LUMBER
 #2 SOUTHERN YELLOW PINE (US ORIGIN) E = 1,600,000

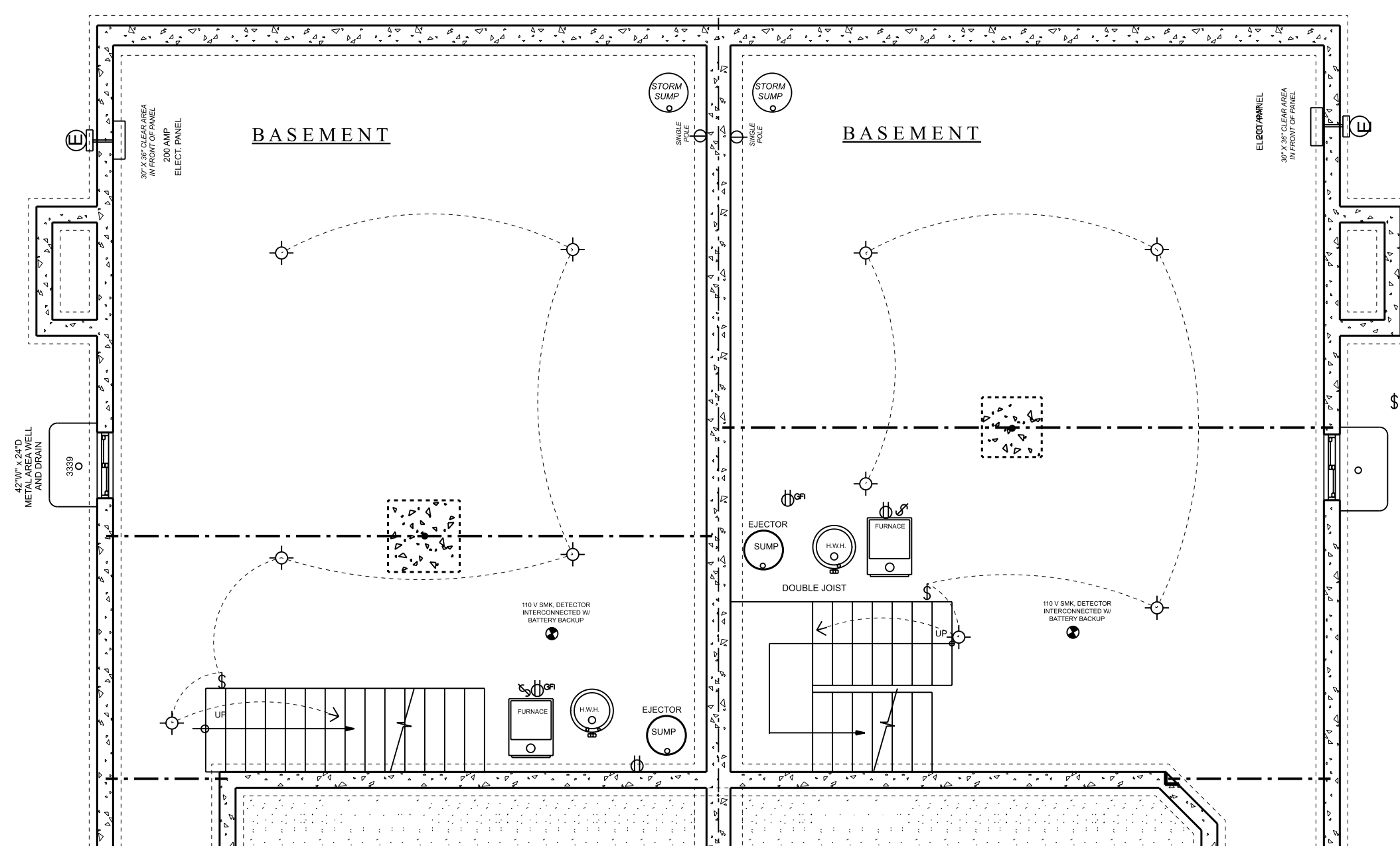
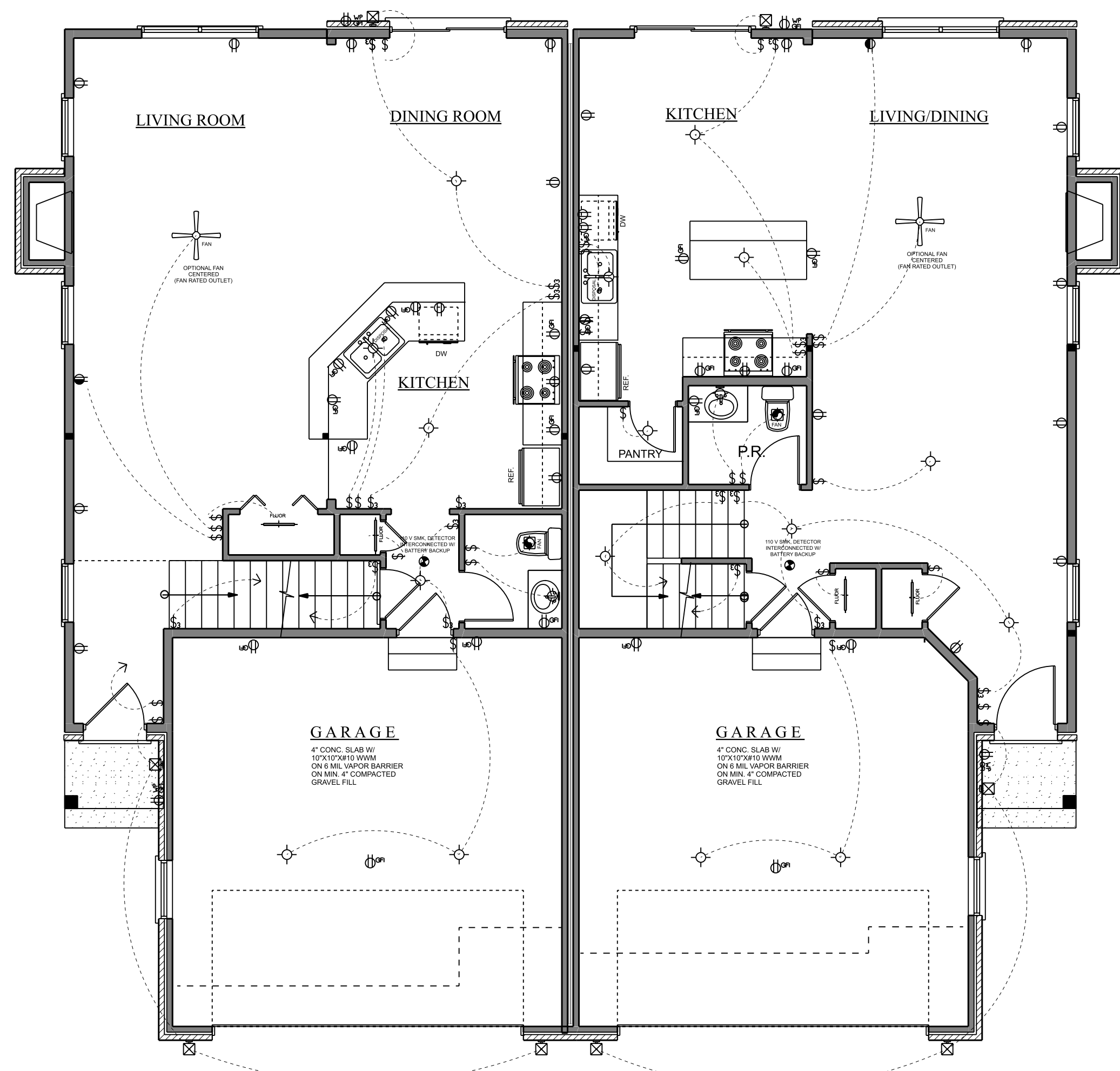
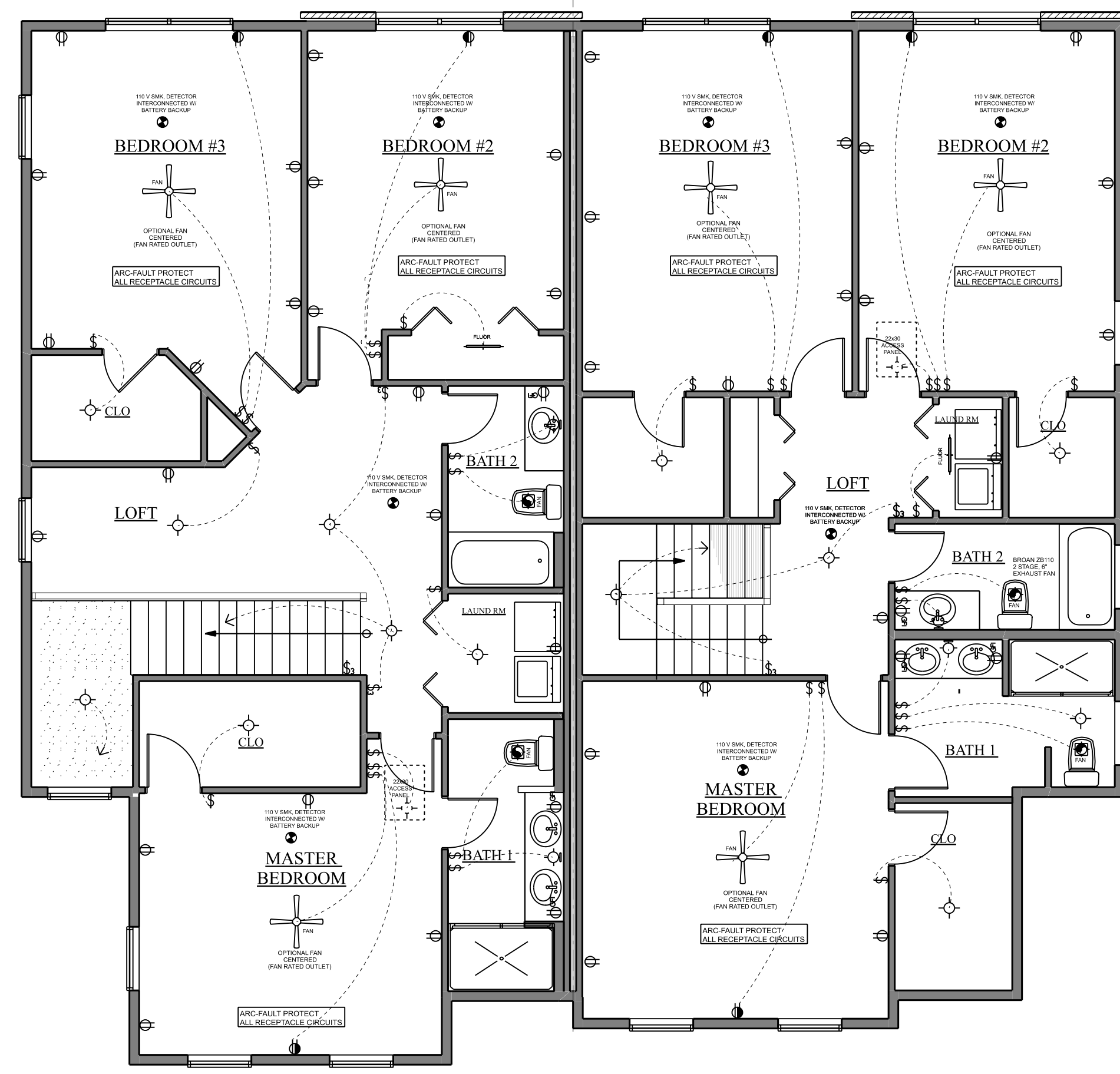
2 x 6 SYP #2 DOMESTIC BASE Fb = 1380
 2 x 10 SYP #2 DOMESTIC BASE Fb = 1210
 2 x 12 SYP #2 DOMESTIC BASE Fb = 1120

ENGINEERED WOOD BEAMS:

MANUFACTURER: TRUSS JOIST McMILLAN

1.9 MICROLAM LVL Fb = 2000 psi E = 1,900,000 psi
 2.0 PARALLAM PSL Fb = 2900 psi E = 2,000,000 psi
 1.5 TIMBERSTRAND LSL Fb = 2250 psi E = 1,500,000 psi

TRUSS BEARING NOTE:
 BUILDER SHALL SUPPLY ARCHITECT WITH ENGINEERED TRUSS LAYOUTS FOR VERIFICATION OF ACCEPTABLE BEARING POINTS AND BEAMS.



ELECTRICAL SYMBOL LIST

	CEILING SURFACE LIGHT
	SWITCH
	THREE WAY SWITCH
	RECEPTICAL
	220 RECEPTICAL
	PULL CHAIN LIGHT
	GROUND FAULT PROTECTED RECEPTICAL
	WALL SURFACE FIXTURE
	HALF HOT RECEPTICAL
	WATER PROOF OUTLET
	FAN
	FAN LIGHT
	RECESSED LIGHT
	EYEBALL RECESSED LIGHT
	FLUORESCENT LIGHT

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 525 W. Wise Schaumburg, Illinois 60193
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Electrical Plans
Ashton Pointe Duplex Residences
 Crystal Lake, Illinois

No.	Revision
1	
2	
3	
4	
5	

Date: 8-16-20
 Issued for Permit:
 Issued for Construction:
 Plan No:

Sheet Number:
7



MAIL PLAT TO:
HAEGER ENGINEERING LLC
CONSULTING ENGINEERS AND LAND SURVEYORS
100 EAST STATE PARKWAY
SCHAUMBURG, IL 60173

PLAT PREPARED FOR:
WK BUILDING AND DEVELOPMENT
525 W. WISE ROAD UNIT F
SCHAUMBURG, IL 60193

SEND NEW TAX BILL TO:
WK BUILDING AND DEVELOPMENT
525 W. WISE ROAD UNIT F
SCHAUMBURG, IL 60193

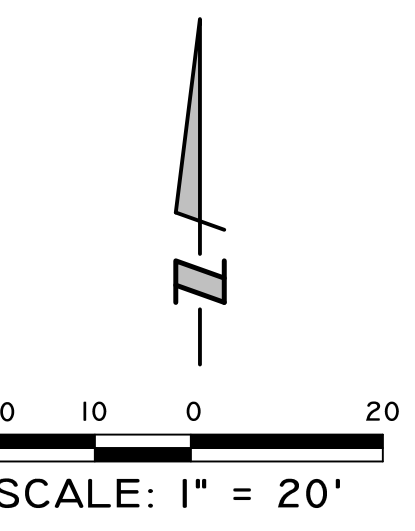
THIS PLAT SUBMITTED
FOR RECORDING BY:

FINAL PLAT
OF
ASHTON POINTE DUPLEX SUBDIVISION

BEING A RESUBDIVISION OF LOT 110 AND PART OF OUTLOT 203 IN ASHTON
POINTE, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF
SECTION 4, TOWNSHIP 43 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL
MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 4,
2005 AS DOCUMENT NUMBER 2005R0009632, IN MCHENRY COUNTY, ILLINOIS.

LEGEND

- SET CONCRETE MONUMENT
SET 1/2" PIPE UNLESS
OTHERWISE NOTED
ROADWAY CENTER LINE
EASEMENT LINE
BUILDING SETBACK LINE
UNDERLYING LOT LINES
NEW LOT NO.
UNDERLYING PARCEL NO.



OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF MCHENRY)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE
PROPERTY DESCRIBED HEREON AND THAT IT HAS CAUSED SAID PROPERTY
TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON FOR THE USES AND
PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND
ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON SHOWN.

IT FURTHER CERTIFIES TO THE BEST OF ITS KNOWLEDGE, THAT THE LAND
INCLUDED HEREIN FALLS WITHIN CRYSTAL LAKE ELEMENTARY DISTRICT 47
AND COMMUNITY HIGH SCHOOL DISTRICT 155.

SIGNED AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D.

20__

BY: _____

ATTEST: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF MCHENRY)

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE
STATE AFORESAID DOES HEREBY CERTIFY THAT
PERSONALLY KNOWN TO ME OR PROVED TO ME ON THE BASIS OF
SATISFACTORY EVIDENCE TO BE THE SAME PERSON WHOSE NAME IS
SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS
DAY IN PERSON AND ACKNOWLEDGE THAT HE SIGNED AND DELIVERED SAID
INSTRUMENT AS HIS OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND
VOLUNTARY ACT OF SAID CORPORATION FOR THE USES AND PURPOSES
THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____,
20__

PRINT NAME _____

NOTARY PUBLIC _____

COMMISSION EXPIRES: _____ (SEAL)

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF MCHENRY)

I, _____, COUNTY CLERK OF MCHENRY COUNTY,
ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL
TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES
AGAINST ANY OF THE LAND IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I
HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED
PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK, MCHENRY COUNT,
ILLINOIS.

DATED THIS _____ DAY OF _____, A.D. 20__

BY: _____
COUNTY CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF MCHENRY)

REVIEWED BY THE PLAN COMMISSION OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS.

THIS _____ DAY OF _____, A.D. 20__

CHAIRPERSON _____

ATTEST: SECRETARY _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF MCHENRY)

THIS SUBDIVISION IS APPROVED BY THE CITY COUNCIL OF THE CITY OF
CRYSTAL LAKE, ILLINOIS, AT A MEETING HELD

THIS _____ DAY OF _____, A.D. 20__

MAYOR _____

CITY CLERK _____

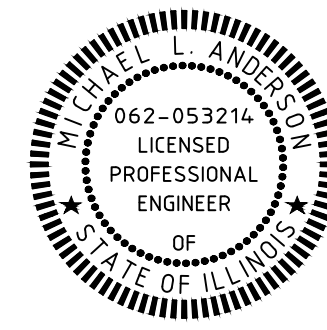
SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
) SS:
COUNTY OF COOK)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS
WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART
THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED,
ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION, DIVERSION, AND
DISCHARGE OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE
SUBDIVIDER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE
PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING
PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE
ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

BY: _____ OWNER DATED _____

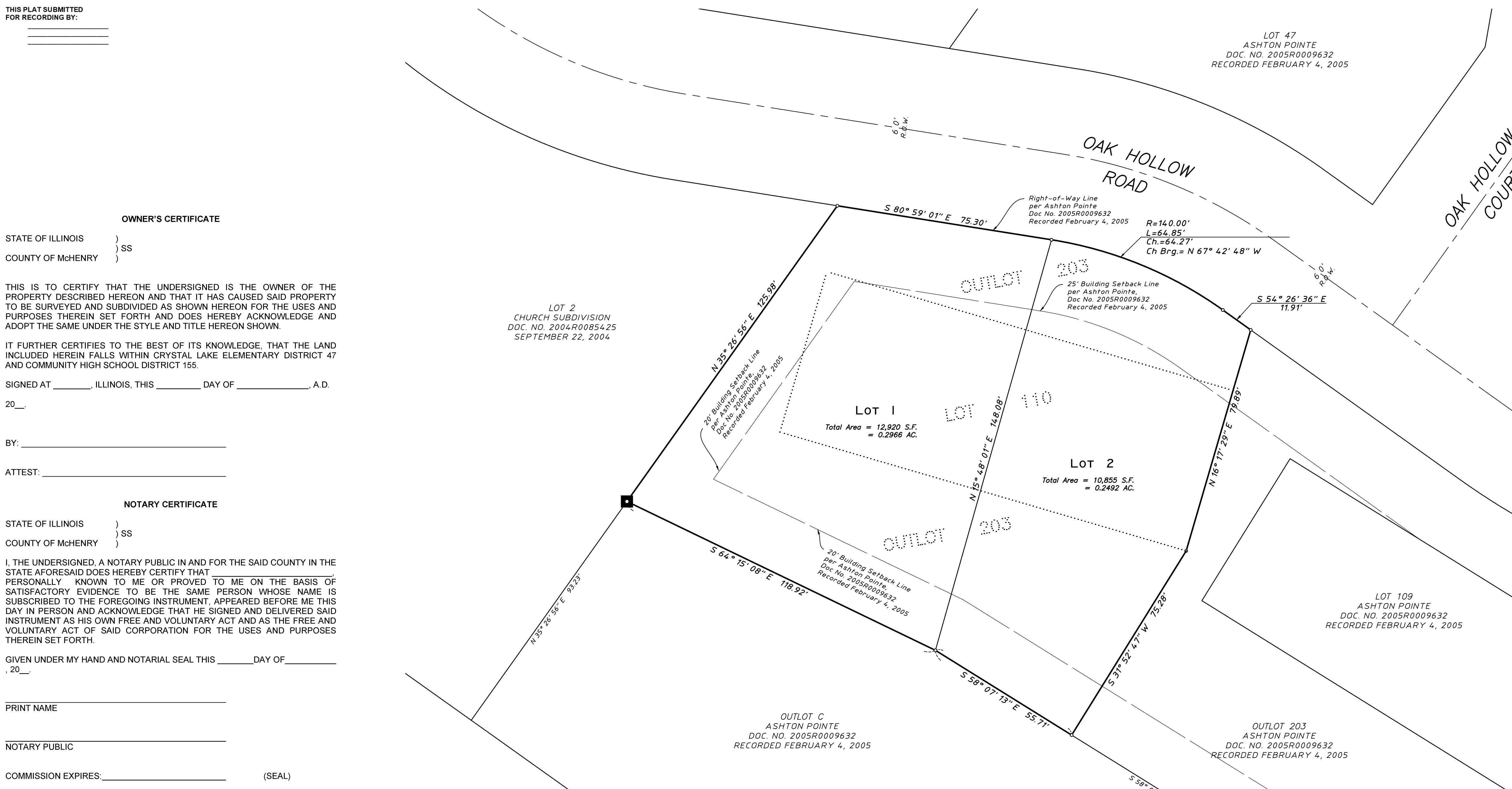
BY: _____ ILLINOIS PROFESSIONAL ENGINEER
NO. 062-053214 DATED _____



EXPIRES 11-30-21



EXPIRES 11-30-22



PROFESSIONAL AUTHORIZATION

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, JEFFREY W. GLUNT, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF ILLINOIS,
LICENSE NUMBER 35-3695, DO HEREBY AUTHORIZE THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS, ITS STAFF OR AUTHORIZED AGENT, TO PLACE THIS
DOCUMENT OF RECORD IN THE COUNTY RECORDERS OFFICE IN MY NAME AND IN
COMPLIANCE WITH THE ILLINOIS STATUTES CHAPTER 109 PARAGRAPH 2, AS
AMENDED.

SCHAUMBURG, ILLINOIS MAY 19, 2021

JEFFREY W. GLUNT
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3695
MY LICENSE EXPIRES NOVEMBER 30, 2020 AND IS RENEWABLE

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
) SS:
COUNTY OF COOK)

I, JEFFREY W. GLUNT, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY
CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED
PROPERTY:

LOT 110 AND PART OF OUTLOT 203 IN ASHTON POINTE, BEING A SUBDIVISION OF
PART OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 8,
EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF
RECORDED ON FEBRUARY 4, 2005 AS DOCUMENT NUMBER 2005R0009632, IN
MCHENRY COUNTY, ILLINOIS.

THE LANDS SHOWN ON THE PLAT AND DESCRIBED IN THE ABOVE CAPTION, AND
THAT THE SAID PLAT, DRAWN TO A SCALE OF 20 FEET PER 1 INCH ON SHEET ONE IS
A TRUE AND CORRECT REPRESENTATION OF THE SAID SURVEY AND SUBDIVISION.
DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF AND ARE
CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

I FURTHER CERTIFY THAT UPON COMPLETION OF CONSTRUCTION BUT NOT LONGER
THAN ONE YEAR FROM THE RECORDING OF THIS PLAT, CONCRETE MONUMENTS, AS
SHOWN, AND IRON PIPES AT ALL LOT CORNERS AND POINTS OF CHANGE IN
ALIGNMENT WILL BE SET, AS REQUIRED BY THE PLAT ACT (765 ILCS 205/0.01 ET SEQ.).
THIS IS TO FURTHER CERTIFY THAT THE LAND INCLUDED IN THE ANNEXED PLAT IS
WITHIN THE CORPORATE LIMITS OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY,
ILLINOIS, WHICH HAS AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE
SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS
5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.

I DO HEREBY FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS
ENTIRELY WITHIN THE CORPORATE LIMITS OF THE CITY OF CRYSTAL LAKE, ILLINOIS,
WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS
AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS
AMENDED.

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE
NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR MCHENRY
COUNTY, ILLINOIS, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE
FLOOD INSURANCE RATE MAP, PANEL NO. 17111C0335J DATED NOVEMBER 16, 2006.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM
STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

SCHAUMBURG, ILLINOIS MAY 19, 2021

BY: _____

JEFFREY W. GLUNT
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3695
MY LICENSE EXPIRES NOVEMBER 30, 2020 AND IS RENEWABLE

Originally Prepared: 05-19-21 Project No. 20-085



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