



CITY OF CRYSTAL LAKE
AGENDA
CITY COUNCIL
REGULAR MEETING
City of Crystal Lake
100 West Woodstock Street, Crystal Lake, IL
City Council Chambers
July 20, 2021
7:00 p.m.

1. **Call to Order**
2. **Roll Call**
3. **Pledge of Allegiance**
4. **Approval of Minutes – July 6, 2021 Regular City Council Meeting**
5. **Accounts Payable**
6. **Public Presentation**
The public is invited to make an issue oriented comment on any matter of public concern not otherwise on the agenda. The public comment may be no longer than 5 minutes in duration. Interrogation of the City staff, Mayor or City Council will not be allowed at this time, nor will any comment from the Council. Personal invectives against City staff or elected officials are not permitted.
7. **Mayor's Report**
8. **City Council Reports**
9. **Consent Agenda**
 - a. **Historic Landmark Designation for the Main Beach Building at 300 Lake Shore Drive, Crystal Lake Park District**
10. **City Code Amendment to Increase the Number of Class 13 Liquor Licenses - Applicant: Thornton's LLC, 911 Tek Drive**
11. **325 Lee Drive, Ocasio – Variation from Articles 3-200 and 4-700 to allow a 25-foot yard abutting a street setback for a six-foot fence, a variation of five feet**
12. **4220 Northwest Highway, Casey's Retail Company – Final Planned Unit Development Amendment and Special Use Permit for a new Gasoline Station with a Convenience Store, and Preliminary and Final Plat of Subdivision for a three-lot subdivision**
13. **Appropriation of Motor Fuel Tax (MFT) funds for the Dole Avenue Reconstruction Project to Section 21-00132-00-PV**
14. **Revised annual allocation of State Motor Fuel Tax (MFT) funds to include pavement preservation and salt storage facility construction**
15. **Bid Award – Wastewater Plant 3 Primary Effluent Pumping Station (PEPS) Motor Control Replacement Contract**

- 16. Proposal Award – Consultant Selection for Preliminary Design Engineering Services for the Northwest Area Sanitary Sewer Forcemain Project**
- 17. Police Body Worn Cameras and Squad Video Systems**
- 18. Council Inquiries and Requests**
- 19. Adjourn to Executive Session for the purpose of discussing matters of pending and probable litigation, the sale, purchase or lease of real property, collective bargaining and personnel**
- 20. Reconvene to Regular Session**
- 21. Adjourn**

If special assistance is needed in order to participate in a City of Crystal Lake public meeting, please contact Melanie Nebel, Executive Assistant, at 815-459-2020, at least 24 hours prior to the meeting, if possible, to make arrangements.



Agenda Item No: 9a

City Council Agenda Supplement

Meeting Date:

July 20, 2021

Item:

REPORT OF THE HISTORIC PRESERVATION COMMISSION

Historic Landmark Designation for the Main Beach Building at 300 Lake Shore Drive

Jason Herbster, Crystal Lake Park District, petitioner
1 E. Crystal Lake Avenue

HPC Recommendation:

Motion to approve the Historic Preservation Commission (HPC) recommendation and adopt an Ordinance authorizing Historic Landmark designation for the Main Beach Building at 300 Lake Shore Drive.

Staff Contact:

Michelle Rentzsch, Director of Community Development
Elizabeth Maxwell, City Planner

Background:

The Crystal Lake Park District was formed to preserve public access to Crystal Lake. The Main Beach Building was constructed 95 years ago as the bath house. This building is still used as a bath house, as well as for activity programming and a venue for special occasions.

Frederick Stanton was the architect of record. He also designed the additions to the Dole Mansion. The building is mission style architecture with arched windows, a brick façade and tile roof.

The petitioner is requesting the property in question be designated an historic landmark. The requirements for historic landmark designation are below.

1. It is within the corporate boundaries of the City of Crystal Lake; and
2. It is over fifty years old, in whole or in part; and

The Historic Preservation Ordinance continues by listing a host of general considerations and items of architectural and historic significance to be considered for designation. The Main

Beach building satisfies the criteria provided in the Historic Preservation Ordinance, as detailed in the historic landmark application and staff report that is attached.

Once a property is historically landmarked, any significant changes to the exterior of the structure must be reviewed and approved by the Historic Preservation Commission through a Certificate of Appropriateness. The Commission determines if the proposed improvement is historically appropriate. In addition, landmarked buildings are eligible for a \$500 grant every other year provided by the HPC that assists the property owner in their exterior upgrades. The HPC generates this grant funding through the proceeds of their Annual Heritage Trolley Tour.

Main Beach represents a significant landmark of Crystal Lake's local history. The structure is worthy of recognition and preservation because of its historic significance.

The Historic Preservation Commission recommended **approval (8-0 vote)** of the request.

Votes Required to Pass: A simple majority vote.

PIQ Map
300 Lake Shore Drive



DRAFT

Ord. No. xxxx
File No. xxx



The City of Crystal Lake Illinois

**AN ORDINANCE GRANTING HISTORIC LANDMARK DESIGNATION
TO MAIN BEACH AT 300 LAKE SHORE DRIVE**

WHEREAS, the Mayor and City Council of the City of Crystal Lake have by ordinance established an Historic Preservation Commission; and

WHEREAS, pursuant to the terms of a Petition (File #PLN-2021-00096) before the Crystal Lake Historic Preservation Commission, the Petitioner has requested a Historic Landmark Designation for the Main Beach building at 300 Lake Shore Drive; and

WHEREAS, the Historic Preservation Commission of the City of Crystal Lake held a public hearing at 7:30 p.m., on July 8, 2021 at City Hall at 100 W. Woodstock Street, Crystal Lake, Illinois to consider the proposed Historic Landmark Designation and recommended approval of the request; and

WHEREAS, it is in the best interests of the CITY OF CRYSTAL LAKE that the Historic Landmark Designation be issued as requested in said Petition.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

Section I: That the Mayor and City Council of the City of Crystal Lake approve the Historic Landmark Designation of 300 Lake Shore Drive, Crystal Lake, Illinois.

Section II: That the Historic Preservation Commission take all steps necessary to recognize the Historic Landmark Designation of 300 Lake Shore Drive.

Section III: That the City Clerk be and is hereby directed to amend all pertinent records of the City of Crystal Lake to show the issuance of a Historic Landmark Designation in accordance with the provisions of this Ordinance, as provided by law.

Section IV: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provide by law.

DATED at Crystal Lake, Illinois, this 20th day of July, 2021.

DRAFT

Ord. No. xxxx
File No. xxx

City of Crystal Lake, an
Illinois municipal corporation

Haig Haleblian, MAYOR

SEAL

ATTEST:

Nick Kachiroubas, CITY CLERK

Passed: July 20, 2021

Approved: July 20, 2021



Agenda Item No: 5

**Historic Preservation Commission
Agenda Supplement**

- Meeting Date:** July 8, 2021
- Request:** Historic Landmark Designation
- Location:** Main Beach Building
300 Lake Shore Drive
- Petitioner:** Jason Herbster, Executive Director Crystal Lake Park District
- Action:**
1. Vote to recommend the landmark designation
 2. Continue the item
 3. Vote to not recommend the landmark designation
-

Background:

- The Crystal Lake Park District is celebrating its 100-year anniversary
- Constructed in 1926 to provide services to beach-goers, the Main Beach building is one of the most iconic structures in Crystal Lake
- The building is a great example of Mission style architecture with the brick façade and clay tile roof. It also has distinctive arched windows.

Landmark Criteria:

1. It is located within the corporate boundaries of the City of Crystal Lake; and
 Meets *Does not meet*
2. It is over 50 years old, in whole or in part; and
 Meets *Does not meet*
3. One or more of the following conditions exist:
 - A. General consideration.
 1. It has significant character, interest, or value as part of the historic, cultural, aesthetic, or architectural characteristics of the City, the State of Illinois, or the United States;
 Meets *Does not meet* *N/A*
 2. It is closely identified with a person or persons who significantly contributed to the culture or development of the City, the State of Illinois, or the United States;
 Meets *Does not meet* *N/A*

3. It involves the notable efforts of or is the only example of work by a master builder, designer, architect, architectural firm, or artist whose individual accomplishment has influenced the development of the City, the State of Illinois, or the United States;
 Meets *Does not meet* *N/A*
4. It has a unique location or single physical characteristic(s) that make it an established or familiar visual feature;
 Meets *Does not meet* *N/A*
5. Activities associated with it make it a current or former focal point of reference in the City;
 Meets *Does not meet* *N/A*
6. It is of a type associated with a use once common but now rare, or is a particularly fine or unique example of a utilitarian structure and possesses a high level of integrity or architectural significance;
 Meets *Does not meet* *N/A*
7. It is an area that has yielded or is likely to yield historically significant information or even prehistoric data;
 Meets *Does not meet* *N/A*

B. Architectural Significance.

1. It represents certain distinguishing characteristics of architecture inherently valuable for the study of a time period, type of property, method of construction, or use of indigenous materials;
 Meets *Does not meet* *N/A*
2. It embodies elements of design, detail, material, or craftsmanship of exceptional quality;
 Meets *Does not meet* *N/A*
3. It exemplifies a particular architectural style in terms of detail, material, and workmanship, and has undergone little or no alteration since its original construction or has been properly restored;
 Meets *Does not meet* *N/A*
4. It is one of the few remaining examples of a particular architectural style and has undergone little or no alterations since its original construction or has been properly restored;
 Meets *Does not meet* *N/A*
5. It is or is part of a contiguous grouping that has a sense of cohesiveness expressed through a similarity of style, characteristics, time period, type of property, method of construction or use of indigenous materials and accents the architectural significance of an area;
 Meets *Does not meet* *N/A*
6. The detail, material and workmanship of the structure, building, object, or site can be valued in and of themselves as reflective of or similar to those of the majority of the visual elements in the area;
 Meets *Does not meet* *N/A*

C. Historical Significance.

1. It is an exceptional example of an historic or vernacular style or is one of the few such remaining properties of its kind in the City;

Meets *Does not meet* *N/A*

2. It is associated with an organization or group, whether formal or informal, from which persons have significantly contributed to or participated in the historic or cultural events of the City of Crystal Lake, State of Illinois, or the United States;

Meets *Does not meet* *N/A*

3. It is associated with a notable historic event;

Meets *Does not meet* *N/A*

4. It is associated with an antiquated use due to technological or social advances;

Meets *Does not meet* *N/A*

5. It is a monument to or a cemetery of an historic person or persons.

Meets *Does not meet* *N/A*

- Should the Historic Preservation Commission find that the structure meets the criteria for landmark designation, they shall make a motion stating such recommendation to the City Council.



May 27, 2021

City of Crystal Lake
Historic Preservation Committee
100 W. Woodstock Street
Crystal Lake, IL 60014

RE: Landmark Designation – Crystal Lake Park District Main Beach Building

Dear Historic Preservation Committee,

Please accept the attached application and supporting materials for Landmark Designation of the Crystal Lake Park District's Main Beach Building. Please let us know if any additional items are needed for the process to move forward.

The Crystal Lake Park District is celebrating its 100 year anniversary this year and bestowing this designation on the first building constructed in the Park District would be an honor. The yearlong anniversary celebration will culminate with a party at the Main Beach building in November of 2021 with the program that evening announcing the Historic Landmark status if we are able to receive that prestigious honor from the Historic Preservation Committee.

We look forward to working through this process with the Historic Preservation Committee. Thank you!

Sincerely,

Jason Herbster, CPRP
Executive Director

PROJECT NUMBER: _____

CITY OF CRYSTAL LAKE
LANDMARK DESIGNATION
APPLICATION

Please type or print legibly

PROJECT TITLE: Crystal Lake Park District Main Beach Building

PERSON(S) OR GROUP PROPOSING DESIGNATION:

NAME: Crystal Lake Park District (Jason Herbster/Ann Viger)

ADDRESS: 1 E. Crystal Lake Avenue
Crystal Lake, IL 60014

PHONE: (815) 459-0680

OWNER(S) OF PROPERTY(S) PROPOSED FOR DESIGNATION (as shown on the tax assessor's rolls):

NAME: Crystal Lake Park District

ADDRESS: 1 E. Crystal Lake Avenue
Crystal Lake, IL 60014

INDICATE OWNER(S) CONSENT TO PROPOSED DESIGNATION:

YES NO UNKNOWN

ADDRESSES & PROPERTY INDEX NUMBERS (attach legal description): _____

300 Lake Shore Drive, Crystal Lake, IL 60014
19-06-401-054

ATTACH A WRITTEN STATEMENT DESCRIBING THE AREA AND PROPERTY(S) AND REASONS IN SUPPORT OF THE PROPOSED DESIGNATION AS STATED IN THE CRITERIA FOR DESIGNATION AS A HISTORIC LANDMARK@ (ATTACH DOCUMENTATION)

PLEASE PROVIDE A LIST OF SIGNIFICANT EXTERIOR ARCHITECTURAL FEATURES AND/OR OBJECTS THAT SHOULD BE PROTECTED:

Arch Windows, Clay Tile Roof, Brick Facade



Written Statement

The property at Main Beach is the reason the Crystal Lake Park District was formed in 1921. The Main Beach Building has been a fixture at Main Beach since it was originally constructed in 1926. As the Crystal Lake Park District celebrates its 100 year Anniversary on November 19, 2021, designating the Main Beach Building as a Historic Landmark seems appropriate at this time.

Perhaps the best reason to place Historic Landmark status upon the Main Beach Building is because it is identifiable by most residents in the community. With Crystal Lake the focal point of the community, the building at Main Beach is known as a backdrop of the lake. The building provides many services to the residents including the bath house of the beach in the summer, space for numerous programs throughout the year and a highly sought after rental venue for special occasions. It once served as the Administration headquarters for the Crystal Lake Park District and the only gymnasium in town.

At the time of construction, the Main Beach building was one of very few structures on the lake. In addition, it was the only public facility of its kind for many years in the area. The unique shaped windows and mission style roof provide an impressive view from the lake and have never been altered with the exception of required maintenance.



Copyright County of McHenry 2021
All information is provided "as is" with no
guarantee of accuracy, completeness, or currency.





THE BATH HOUSE



Frederick Stanton
Architect



1920s

The original building was constructed in 1926 and was designed by architect Frederick Stanton. Construction cost \$40,000 and as reported in the *Crystal Lake Herald*, "Crystal Lake has taken the lead in erecting a building of this sort as it is the only place anywhere near here where such a building will be found for the use of the public." In addition to the large center portion of the building, two concession stands were built at each end. Mission-style roof tiles and the light buff brick color provided an impressive appearance from the lake.



1960s

Over the decades, improvements were made to the building including the addition of Park District offices, basketball hoops and concessions. Fitness classes and special events were, and remain, popular programs in the main room.



1990s

After Park District staff outgrew the office space and relocated to downtown Crystal Lake, it was clear a major renovation was needed. In 1996, the public approved a \$1.5 million project that tore down and rebuilt both ends of the building. The windows and roof were returned to their historic original designs.



2010s

In 2016, the recreation room was remodeled again and included air conditioning after 90 years! Programs and special events still continue in the main room. Many residents now rent this iconic building for special occasions as it was an instrumental part of their childhood Park District memories.



PHOTO CREDITS:
CRYSTAL LAKE HISTORICAL SOCIETY
SARAH THORNTON
WEITH MEDIA LLC

MINUTES
Historic Preservation Commission
July 8, 2021
City Hall, 100 W. Woodstock Street, Crystal Lake, IL

1) Call to Order

L. Solak called the meeting to order at 7:30 p.m.

2) Roll Call/Attendance

The following Commission members were present, Hamilton Hale, Judi Halter, Nancy Haskins, Diana Kenney, Brittany Niequist, Lisa Solak, Bob Wyman and Jim Wyman. Staff member Elizabeth Maxwell was present.

3) Public Comment

None.

4) Approval of Minutes of the June 3, 2021 Regular Meeting

D. Kenney made a motion to approve the minutes from the June 3, 2021 regular meeting. B. Wyman seconded the motion. All members voted aye. H. Hale and L. Solak abstained. Motion passed.

5) Landmark Designation – 300 Lake Shore Drive – Main Beach Building – Public Hearing

The Commission held the public hearing on the request by the Crystal Lake Park District to landmark the Main Beach Building. Jason Herbster, Executive Director for the Park District, was present to represent the petition. Mr. Herbster presented the background information. He stated that the Park District was founded because there was a community need to preserve public access to the lake. The Park District is celebrating their 100 year anniversary this year and this building has always been an iconic symbol of the Park District.

D. Kenney stated that the Park District has been good stewards of the land and this is one of the top most recognizable buildings in Crystal Lake. The building is 95 years old and has been restored and maintained over the years. The arched windows were put back in and the original tile roof was reinstalled. D. Kenney led the commission members in reviewing the landmark criteria. The commission members noted that this building and organization checked almost every single box for being appropriate to landmark.

D. Kenney made a motion to recommend the Main Beach Building for landmark protection. B. Niequist seconded the motion. On voice vote, all members voted aye. Motion passed.

6) Demolition Permit – 114 Minnie Street

Staff noted that the home and the garage are in poor shape and they need to be removed for life safety concerns. B. Niequist noted that the carriage barn on the adjacent property should be saved. Staff noted that those were likely the next structures that could be demolished. The commission did not find anything significantly historic about the house and garage and noted the structures were in bad shape. They had no objection to the demolition.

7) 2021 Projects – Lake Avenue Cemetery and Veteran’s Research Book

The Commission discussed the work at the Lake Avenue Cemetery. Many of the members had taken a work day and cleaned some additional headstones. Some members returned to do an additional cleaning and noticed the already present changes. The other members would get over there to finish up the cleaning. The job was very fun and satisfying to see the change in the brightness and how much better the stones look. B. Niequist will take the after pictures.

J. Wyman noted he spoke with Tony Zoia and he would not be able to do any structural work at the cemetery until next year. The commission said they would try to call around to other monument companies that can take care of historic stones.

The commission discussed the research book. D. Kenney noted that she has sent a few articles to Nancy for formatting. The other members needed to do their research and start sending in articles.

8) Member Inquiries and Reports

The Commission would like to discuss the trolley tour at the next meeting.

9) Adjournment

There being no further business, J. Wyman a motion to adjourn the meeting. B. Wyman seconded the motion. All members voted aye. The meeting adjourned at 8:12 p.m.



Agenda Item No: 10

**City Council
Agenda Supplement**

Meeting Date:

July 20, 2021

Item:

City Code Amendment to Increase the Number of Class 13 Liquor Licenses – Applicant: Thorntons LLC, located at 911 Tek Drive

Staff Recommendation:

Motion to adopt an Ordinance increasing the number of Class 13 liquor licenses from the currently permitted 33 licenses to 34 licenses, in order to allow for the issuance of a new Class 13 liquor license to Thorntons LLC, located at 911 Tek Drive.

Staff Contact:

Eric T. Helm, Deputy City Manager
Melanie Nebel, Executive Assistant

Background:

Thorntons LLC, which is under construction at 911 Tek Drive, is requesting the creation of a Class 13 liquor license to allow for the sale of alcoholic liquor in the original package at their new location.

The Class 13 license authorizes the sale of alcoholic liquors on the premises specified in the license in packages only but not for consumption on the premises where sold between the hours of 7:00 a.m. and 1:00 a.m. Monday, Tuesday, Wednesday, Thursday, Friday and 7:00 a.m. Saturday and 2:00 am. Sunday and 7:00 a.m. Sunday and 2:00 a.m. Monday. A Class B type restaurant may be located on the premises.

The annual fee for such a license is \$625.00.

The applicant has paid the application fee, submitted paperwork for application and licensing, and a background check is pending. There are no zoning issues with this request.

The following conditions must be met prior to the license being issued:

- Completion of background checks
- Payment of prorated license fee
- Certificate of Occupancy
- Provide location manager information and background check when opening.

The following establishments currently hold Class 13 Liquor Licenses.

<u>Name</u>	<u>Address</u>	<u>Zoning</u>
7-Eleven	60 W. Terra Cotta (Northside Center)	"O PUD"
7-Eleven	1024 McHenry Ave.	"B-1 PUD"
7-Eleven	6225 Northwest Highway	"B-1 PUD"
Bucky's Express	1095 Pyott	"B-2 PUD"
Casey's General Stores	639 E. Terra Cotta Ave.	"B-2"
Circle K	220 W. Virginia	"B-2"
Circle K	280 N. Route 31	"B-2 PUD"
Circle K	681 W. Terra Cotta	"B-2"
Convenient Liquor & Wine	201 E. Virginia	"B-2"
Cost Plus World Market	6000 Northwest Highway (Crystal Point)	"B-2 PUD"
Crystal Lake BP	281 W. Virginia Street	"B-2"
Crystal Lake Food & Liquor	540 E. Terra Cotta Avenue	"B-2 PUD"
Crystal Lake Gas (Marathon)	770 S. Virginia Road	"B-2"
Crystal Lake Amoco	339 W. Virginia	"B-2"
CVS Pharmacy	1305 Randall Road	"B-2 PUD"
CVS Pharmacy	177 W. Virginia	"B-2"
Fresh Market	6000 Northwest Highway	"B-2 PUD"
Fresh Thyme Farmer's Market	5340 Northwest Highway	"B-2 PUD"
KA Sales (Exxon)	415 W. Virginia	"B-2"
Ralph's General Store	1309 North Avenue	"R-2"
LaRosita of Mesos Group, Inc.	131 Main Street	"B-4"
Midwest Petroleum Dev.	7615 U.S. Route 14 (by McDonald's)	"B-2"
Mobil Mart	250 N. Route 31	"B-2"
Murphy's Oil	985 Central Park Drive	"B-2 PUD"
Oak Street Food & Liquor	256 N. Oak Street	"B-1"
Baard Gas Station/Shell #801	4811 Northwest Highway	"B-2"
Oscro Drug	6140 Northwest Highway (The Commons S.C.)	"B-2 PUD"
RJ Pantry & Liquor	19 E. Berkshire Drive	"B-1 PUD"
Sam's Club	5670 Northwest Highway	"B-2 PUD"
Target	5580 Northwest Highway	"B-2 PUD"
Walgreens	151 W. Northwest Highway	"B-2"
Walgreens	315 N. Route 31	"B-2 PUD"
Wal-Mart	1205 Route 31	"B-2 PUD"

The attached Ordinance approves an increase in the number of Class 13 liquor licenses in order to allow Thorntons LLC, located at 911 Tek Drive, to sell alcoholic liquor in the original package.

Votes Required to Pass:

Simple majority

DRAFT

Ord. No.
File No. 255 L



The City of Crystal Lake

**AN ORDINANCE AMENDING THE CODE
OF THE CITY OF CRYSTAL LAKE**

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

SECTION I: That CHAPTER 329 LIQUOR LICENSES Section 329-6 Limitations on licenses shall be as follows:

1. Class 13 License shall be increased from 33 to 34.

SECTION II: That this Ordinance shall be in full force and effect from and after its passage and approval according to law.

SECTION III: That all Ordinances and parts of Ordinances in conflict herewith are hereby repealed.

DATED at Crystal Lake, Illinois, this 20th day of July, 2021.

City of Crystal Lake, an
Illinois municipal corporation

Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: July 20, 2021
APPROVED: July 20, 2021



Agenda Item No: 11

**City Council
Agenda Supplement**

Meeting Date:

July 20, 2021

Item:

REPORT OF THE PLANNING & ZONING COMMISSION

Request:

A variation from Articles 3-200 and 4-700 to allow a 25-foot yard abutting a street setback for a six-foot fence, a variation of five feet

Petitioner:

Corin Ocasio, petitioner
325 Lee Drive

PZC Recommendation:

a) Motion to approve the Planning & Zoning Commission (PZC) recommendation and deny the variation request. **OR**

b) Motion to overturn the Planning & Zoning Commission (PZC) recommendation and adopt an Ordinance granting the variation for a six-foot fence in the setback at 325 Lee Drive.

Staff Contact:

Michelle Rentzsch, Director of Community Development
Kathryn Cowlin, Assistant City Planner

Background:

- Existing Use: The subject property is improved with a single-family home.
- UDO Requirements: A six-foot fence is permitted if it's setback at least 30 feet in the yard abutting a street (known as corner side yard).
- There was an existing six-foot fence at the property that was in disrepair. The petitioner applied for a permit to replace the fence and extend the fence into the corner side yard.
- The permit was approved with conditions that either the six-foot fence meet the 30-foot setback or the height of the fence would have to be reduced to four feet.
- The petitioner installed a six-foot fence and is now requesting a variation.
- Request: A variation to allow a six-foot fence to have a 25-foot corner side yard setback, a variation of five feet.
- **The petitioner has obtained letters of support from the adjacent property owners following the negative recommendation by the Planning & Zoning Commission.** The letters of support has been included in the agenda packet.

- There have been seven variations approved in the Coventry Subdivision relating to fences in the front yard or yard abutting a street.

PZC Highlights:

- The petitioner stated that due to the small backyard, they were requesting a variation to have a 25-foot setback instead of the 30-foot setback for a six-foot fence.
- The petitioner stated that all of the neighbors supported the request since they would have a six-foot fence along the property lines.
- The PZC agreed that the hardship was the lot size and shape, but that many lots in the Coventry Subdivision are nonconforming and if this one is approved then more will follow.
- The majority of the PZC felt the fence should meet the UDO standards for fences in the yard abutting a street.

The PZC recommended **denial (5-1)** of the petitioner's request. If a motion is made to approve the request the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Ocasio, received 05/25/2021)
 - B. Plat of Survey (Ocasio, received 05/25/2021)
2. The petitioner shall address all of the review comments and requirements of the Public Works and Community Development Departments.

Votes Required to Pass:
the PZC's motion to deny.

A super majority vote (5 votes) is required to overturn

PIQ – 325 Lee Drive – Variation



DRAFT

Ord. No. xxxx
File No. xxx



The City of Crystal Lake Illinois

**AN ORDINANCE GRANTING A SIMPLIFIED RESIDENTIAL VARIATION
AT 325 LEE DRIVE**

WHEREAS, pursuant to the terms of a Petition (File #PLN-2021-00095) before the Crystal Lake Planning and Zoning Commission, the Petitioner has requested a simplified residential variation to allow a 25-foot yard abutting a street setback for a six-foot fence, a variation of five feet at 325 Lee Drive; and

WHEREAS, the Planning and Zoning Commission of the City of Crystal Lake, pursuant to notice duly published on June 16, 2021 in the Northwest Herald, held a public hearing at 7:00 p.m., on July 7, 2021 at City Hall at 100 W. Woodstock Street, Crystal Lake, Illinois to consider the proposed simplified residential variation; and

WHEREAS, on July 7, 2021, the Planning and Zoning Commission, having fully heard and considered the testimony of all those present at the public hearing who wished to testify, made findings of fact as required by law and recommended to the Mayor and City Council of the City of Crystal Lake that the proposed simplified residential variation be denied, as documented in the minutes, and

WHEREAS, it is in the best interests of the CITY OF CRYSTAL LAKE that the simplified residential variation be issued as requested in said Petition.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

Section I: That a simplified residential variation be granted to allow a 25-foot yard abutting a street setback for a six-foot fence, a variation of five feet at the property commonly known as 325 Lee Drive (19-08-107-018), Crystal Lake, Illinois.

Section II: Said simplified residential variation is issued with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Ocasio, received 05/25/2021)

DRAFT

Ord. No. xxxx
File No. xxx

B. Plat of Survey (Ocasio, received 05/25/2021)

2. The petitioner shall address all of the review comments and requirements of the Public Works and Community Development Departments.

Section III: That the City Clerk be and is hereby directed to amend all pertinent records of the City of Crystal Lake to show the issuance of a variation in accordance with the provisions of this Ordinance, as provided by law.

Section IV: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provide by law.

DATED at Crystal Lake, Illinois, this 20th day of July, 2021.

City of Crystal Lake, an
Illinois municipal corporation

Haig Haleblian, MAYOR

SEAL

ATTEST:

Nick Kachiroubas, CITY CLERK

Passed: July 20, 2021

Approved: July 20, 2021



Agenda Item No: 12

City Council Agenda Supplement

<u>Meeting Date:</u>	July 20, 2021
<u>Item:</u>	REPORT OF THE PLANNING & ZONING COMMISSION
<u>Requests:</u>	Final Planned Unit Development Amendment and Special Use Permit for a new Gasoline Station with a Convenience Store, and Preliminary and Final Plat of Subdivision for a three-lot subdivision.
<u>Petitioner:</u>	Erik Nikkel, Casey's Retail Company, petitioner Ankeny, IA
<u>PZC Recommendation:</u>	Motion to approve the Planning and Zoning Commission (PZC) recommendation and adopt an Ordinance amending the PUD, granting a Special Use Permit and adopting the Preliminary/Final Plat of Resubdivision for a three-lot subdivision at 4220 Northwest Highway.
<u>Staff Contact:</u>	Michelle Rentzsch, Director of Community Development Elizabeth Maxwell, City Planner

Background

- The property was annexed on March 4, 2003 and was granted a PUD upon annexation for the Crystal Valley RV business.
- In 2018, the owners requested a PUD Amendment for mass grading and tree removal. That work has been completed.
- The property owner proposes a three-lot subdivision to allow for three new retail and service uses.
- Casey's, which is a gasoline station and convenience store, is taking the corner lot. Their request is for a Final PUD Amendment and Special Use Permit to allow the Casey's with an EMC gasoline sign and variations.
- The City will resurface Sands Road in 2022 as part of the annual program.

Request

- Amend the Final PUD to allow the Casey's gasoline station and convenience store. The other three lots would be required to seek their own PUD Amendment when they develop.
- Plat of Subdivision to divide the property into three lots. As part of the subdivision the access points were determined for all three lots, which include a right-in/right-out from Route 14 to an internal access road network and a full access point off Sands Road.
- The traffic study has been completed and needs to be reviewed and approved by IDOT before final acceptance by the City. The traffic study's recommendations for roadway improvements have been incorporated into this PUD Amendment ordinance.

PZC Highlights

- This property has been in an underutilized state for many years and the PZC was supportive of the property owner filling and improving the site for development. They were also glad to see that Casey's was interested in opening a second location in the City.
- There was a lot of discussion about the site plan, landscape plan, and architecture. The PZC made changes to the conditions of approval, some of which the petitioner does not agree to, as detailed below.
 - Condition 2 – Sidewalks.
 - Due to the unique location being bounded by railroad tracks on the east and north and at the edge of the City limits, there is flexibility in the sidewalk design.
 - The petitioner is proposing sidewalk along Sands Road then connecting via a crosswalk across the driveway entrance to the sidewalk in front of the Casey's store.
 - The sidewalk would then extend to the right-in/right-out entrance so it could be connected to the lots to the east and north.
 - This is an acceptable solution to staff.**
 - Condition 3 - Landscaping.
 - **The petitioner provided a letter stating that the required materials would be planted meeting the requirements for foundation landscaping and site screening.**
 - Condition 8. This was added by the PZC. The front banding was not calculated as signage, but viewed as an architectural element. It is a metal panel system with a solid color exterior. To try to break up the panel with a third color or another material may look out of place. **The petitioner is requesting to keep the red paneling as proposed.**

PROPOSED CASEY'S ELEVATION



EXISTING CASEY'S ELEVATION ON ROUTE 176 & TERRA COTTA



RECENT GAS STATION APPROVALS IN CRYSTAL LAKE:

BUCKY'S



THORNTON'S (under construction)



In order to be more inline with other City approvals, staff is suggesting the petitioner made some change to the front red banding. There are two examples that would help meet the PZC's direction of breaking up the red area and/or reducing the red area size.

The petitioner has suggested a paneling for the red area providing score line relief breaking up the solid red.



Staff found a recent store in Iowa City that reduces the red band area by bringing in another material on the front .



- Condition 9 - Landscaping. This was added by the PZC to address the several variations for landscaping.
 - **The petitioner provided a letter stating that the required materials would be planted meeting the requirements for foundation landscaping and site screening.**

The Planning and Zoning Commission recommended **approval (6-0)** of the petitioner's requests with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Jemco Properties LLC, received 11/13/20)
 - B. Site Plan (Arc Design, dated 05/21/21, received 5/24/21)
 - C. Landscape Plan (Arc Design, dated 05/21/21, received 05/24/21)
 - D. Colored Elevations (RTA Technology Solutions, undated 05/12/21, received 05/24/21)
 - E. Elevations (Casey's Construction Division, dated 05/11/21, received 05/24/21)

- F. Civil Plans (Arc Design, dated 05/21/21, received 05/24/21)
 - G. Sign Packet (Jacob Clark, dated 04/28/21, received 05/24/21)
 - H. Plat of Subdivision (Haeger Engineering, dated 05/21/21, received 05/24/21)
 - I. Traffic Study (CivilTech, dated 04/01/21, received 04/01/21)
2. Site Plan
 - A. Per the subdivision and development requirements in the UDO, sidewalk is required along all frontages. Work with staff on sidewalk locations. The remaining two lots will need to install sidewalk as part of their development.
 3. Landscape Plan
 - ~~A. Add additional foundation base landscape along the west side of the building. Also landscape is shown over the sidewalk, correct the plans. (Deleted by PZC)~~
 - ~~B. Work with staff to increase the landscape area along Route 14 adding additional shrubs and plantings to screen the car headlights. (Deleted by PZC)~~
 - C. **Work with staff to add foundation base landscape around the building and add additional landscape along Route 14.** (Added by PZC)
 - ~~4. Elevations

 - A. Ensure the end columns at the front and rear of the building project out, creating a minimum 2 foot projection along the side and rear elevations to meet the design standards. (Deleted by PZC)~~
 5. Traffic Study
 - A. Follow all recommendations in the Final Traffic Study.
 - B. Casey's may not receive temporary or full occupancy approval until the access road is completed.
 6. On the Final Plat of Subdivision document correct the Plan Commission Certificate to remove the "Attest: Secretary" line.
 7. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments, as well as the City's Stormwater Consultant and the final approved Traffic Study.
 8. **Work with staff on a solution to break up the architectural element red paneling.** (Added by PZC)
 9. **Work with staff on site landscaping variations to come closer to compliance.** (Added by PZC)

Votes Required to Pass:

A simple majority vote



Acknowledgement Form

Regarding the Casey's and 3 lot subdivision Project. Please check one of the choices and sign below.

I hereby acknowledge that I have read, understand, and agree to the staff review comments and recommended conditions contained in the staff report, city staff reviews, and consultant reviews (if applicable).

I hereby acknowledge that I have read, understand, and agree to most of the staff review comments and recommended conditions contained in the staff report, city staff reviews, and consultant reviews (if applicable) but have concerns with the following items:

Item #8

Petitioner's Name: _____

Erik Gikkel

Signature

Date: _____

7/12/21

Recommended Conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Jemco Properties LLC, received 11/13/20)
 - B. Site Plan (Arc Design, dated 05/21/21, received 5/24/21)
 - C. Landscape Plan (Arc Design, dated 05/21/21, received 05/24/21)
 - D. Colored Elevations (RTA Technology Solutions, undated 05/12/21, received 05/24/21)
 - E. Elevations (Casey's Construction Division, dated 05/11/21, received 05/24/21)
 - F. Civil Plans (Arc Design, dated 05/21/21, received 05/24/21)
 - G. Sign Packet (Jacob Clark, dated 04/28/21, received 05/24/21)
 - H. Plat of Subdivision (Haeger Engineering, dated 05/21/21, received 05/24/21)
 - I. Traffic Study (CivilTech, dated 04/01/21, received 04/01/21)
2. Site Plan
 - A. Per the subdivision and development requirements in the UDO sidewalk is required along all frontages. Work with staff on sidewalk location. The remaining two lots will need to install sidewalk as part of their development.

(Additional items below)

3. Landscape Plan
 - ~~A. Add additional foundation base landscape along the west side of the building. Also landscape is shown over the sidewalk, correct the plans.~~
 - ~~B. Work with staff to increase the landscape area along Route 14 adding additional shrubs and plantings to screen the car headlights.~~
 - C. Work with staff to add foundation base landscape around the building and add additional landscape along Route 14. (Modified by PZC)**

- ~~4. Elevations~~
 - ~~A. Ensure the end columns at the front and rear of the building project out, creating a minimum 2-foot projection along the side and rear elevations to meet the design standards. **Removed by PZC**~~

5. Traffic Study
 - A. Follow all recommendations in the Final Traffic Study.
 - B. Casey's may not receive temporary or full occupancy approval until the access road is completed.

6. On the Final Plat of Subdivision document correct the Plan Commission Certificate to remove the "Attest: Secretary" line.

7. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments, as well as the City's Stormwater Consultant and the final approved Traffic Study.

- 8. Work with staff on a solution to break up the architectural element red paneling. (Added by PZC)**

- 9. Work with staff on site landscaping variations to come closer to compliance. (Added by PZC)**

July 12, 2021

Mayor Haig Haleblian
100 W. Woodstock Street
Crystal Lake, IL 60014

**RE: Casey's PUD Amendment, Special Use Permit and Final Plat of Subdivision
Arc Project No. 20067**

Dear Mayor Haig Haleblian and City Council Members,

In the days following the July 7th Planning and Zoning Commission meeting, our team has worked with staff regarding the placement of sidewalks, landscaping, and building architecture.

Contingent upon final engineering, sidewalk is planned to be added on the Casey's lot from the southwest property corner to the north approximately 125'. The sidewalk would then turn east, aligning with the sidewalk in front of the store. A crosswalk will allow pedestrians to cross the Casey's driveway to the front of the store. A sidewalk connection from the eastern Casey's sidewalk and parking will be continued east to the shared access drive. This crossing location can be used to connect the future developments to sidewalk system.

Landscaping quantities equivalent to the requested foundation and parking island landscaping variances are intended to be added to the northern portion of the development. Furthermore, additional plantings will be added along the US Rte 14 yard. To comply with the ordinance, an ornamental tree will be added near the monument sign located at the southwest corner of the site.

Finally, we request to engage in additional conversation regarding the front building elevation during the City Council meeting.

Thank you for your consideration,

Lauren Downing, PE
Project Manager

PIQ Map
4220 Northwest Highway



DRAFT

Ord. No.
File No.



The City of Crystal Lake Illinois

**AN ORDINANCE GRANTING A FINAL PLANNED UNIT DEVELOPMENT
AMENDMENT, SPECIAL USE PERMIT AND A PRELIMINARY/FINAL PLAT
OF SUBDIVISION FOR A THREE-LOT SUBDIVISION
AT 4220 NORTHWEST HIGHWAY**

WHEREAS, pursuant to the terms of a Petition (File #PLN-2020-191) before the Crystal Lake Planning and Zoning Commission, the Petitioner has requested the issuance of a Final Planned Unit Development Amendment and Special Use Permit to allow a Casey's gasoline station and convenience store and Preliminary/Final Plat of Subdivision for a three-lot subdivision at 4220 Northwest Highway; and

WHEREAS, the Planning and Zoning Commission of the City of Crystal Lake, pursuant to notice duly published on June 19, 2021 in the Northwest Herald, held a public hearing at 7:00 p.m., on July 7, 2021 at City Hall at 100 W. Woodstock Street, Crystal Lake, Illinois to consider the proposed Final Planned Unit Development Amendment, Special Use Permit and Preliminary/Final Plat of Subdivision, and

WHEREAS, on July 7, 2021, the Planning and Zoning Commission, having fully heard and considered the testimony of all those present at the public hearing who wished to testify, made findings of fact as required by law and recommended to the Mayor and City Council of the City of Crystal Lake that the proposed Final Planned Unit Development, Special Use Permit and Preliminary/Final Plat of Subdivision, all as more specifically set forth in the minutes from the Planning and Zoning Commission in Case #PLN-2020-191, dated as of July 7, 2021; and

WHEREAS, it is in the best interests of the CITY OF CRYSTAL LAKE that the Final Planned Unit Development Amendment, Special Use Permit and Preliminary/Final Plat of Subdivision for 4220 Northwest Highway be issued as requested in said Petition.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

Section I: Final Planned Unit Development Amendment and Special Use Permit for Casey's gasoline station and convenience store and the Preliminary/Final Plat of Subdivision for a three-lot subdivision at 4220 Northwest Highway (19-10-200-041 and 19-03-452-001), Crystal Lake, Illinois.

Section II: Said Final Planned Unit Development Amendment, Special Use Permit and Preliminary/Final Plat of Subdivision is issued with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Jemco Properties LLC, received 11/13/20)
 - B. Site Plan (Arc Design, dated 05/21/21, received 5/24/21)
 - C. Landscape Plan (Arc Design, dated 05/21/21, received 05/24/21)
 - D. Colored Elevations (RTA Technology Solutions, undated 05/12/21, received 05/24/21)
 - E. Elevations (Casey’s Construction Division, dated 05/11/21, received 05/24/21)
 - F. Civil Plans (Arc Design, dated 05/21/21, received 05/24/21)
 - G. Sign Packet (Jacob Clark, dated 04/28/21, received 05/24/21)
 - H. Plat of Subdivision (Haeger Engineering, dated 05/21/21, received 05/24/21)
 - I. Traffic Study (CivilTech, dated 04/01/21, received 04/01/21)

2. Site Plan
 - A. Per the subdivision and development requirements in the UDO, sidewalk is required along all frontages. Work with staff on sidewalk locations. The remaining two lots will need to install sidewalk as part of their development.

3. Landscape Plan
 - A. Work with staff to add foundation base landscape around the building and add additional landscape along Route 14.

4. Traffic Study
 - A. Follow all recommendations in the Final Traffic Study.
 - B. Casey’s may not receive temporary or full occupancy approval until the access road is completed.

5. On the Final Plat of Subdivision document correct the Plan Commission Certificate to remove the “Attest: Secretary” line.

6. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments, as well as the City’s Stormwater Consultant and the final approved Traffic Study.

7. Work with staff on a solution to break up the architectural element red paneling.

8. Work with staff on site landscaping variations to come closer to compliance.

DRAFT

Ord. No.
File No.

Section III: That the City Clerk be and is hereby directed that all pertinent records of the City of Crystal Lake to show the issuance of a Final Planned Unit Development Amendment, Special Use Permit and Preliminary/Final Plat of Subdivision in accordance with the provisions of this Ordinance, as provided by law.

Section IV: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provide by law.

DATED at Crystal Lake, Illinois, this 20th day of July, 2021.

City of Crystal Lake, an
Illinois municipal corporation

Haig Haleblian, MAYOR

SEAL

ATTEST:

Nick Kachiroubas, CITY CLERK

Passed: July 20, 2021

Approved: July 20, 2021



#2020-191

**Casey's – Final Planned Unit Development Amendment,
Special Use Permit and Final Plat of Subdivision
Project Review for Planning and Zoning Commission**

<u>Meeting Date:</u>	July 7, 2021
<u>Requests:</u>	1) Final Planned Unit Development Amendment and Special Use Permit for a new Gasoline Station with a Convenience Store, and 2) Preliminary and Final Plat of Subdivision for a 3-lot subdivision.
<u>Location:</u>	4220 Northwest Highway
<u>Acreage:</u>	Approximately 6.8 acres
<u>Existing Zoning:</u>	B-2 PUD General Commercial Planned Unit Development
<u>Surrounding Properties:</u>	North: M Manufacturing South: B-2 PUD General Commercial and R-3B PUD Multi-Family Residential East: I-1 and B-1 McHenry County West: B-2 PUD General Commercial and M Manufacturing
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The property was annexed on March 4, 2003 and was granted a PUD upon annexation. It was the Crystal Valley RV location.
- In 2018, the owners requested a PUD Amendment for mass grading and tree removal. That work has been completed.
- This request is to subdivide the property and grant PUD approval for the Casey's development.

Land Use Analysis:

ZONING

- The site is currently zoned B-2 PUD General Commercial. Gasoline Stations with Convenience Stores are allowed as a Special Use Permit in the B-2 zoning district.
- The Comprehensive Land Use Plan designates this area as Commerce. The proposed Gasoline Station and Convenience Store use fits in the Commerce land use designation.

SITE PLAN

- The site is at the northeast corner of Northwest Highway and Sands Road. Access into the

site is via a right-in/right-out along Northwest Highway and a full access point at the signalized intersection of Sands Road.

- The Casey's is a 4,900 square-foot convenience store with 16 gas pumps.
- The access will accommodate all three users of the development.

TRAFFIC STUDY

- A traffic study was completed by CivilTech and is in review by IDOT.
- The traffic study recommended
 - A longer southbound left turn lane from Sands Road to Route 14.
 - A longer eastbound left turn lane from Route 14 to Sands Road at final build out of the development.
 - Install a westbound right turn lane on Route 14 at the right-in/right-out.
 - Modify the traffic signal to include a right turn arrow for the eastbound right turn lane from Route 14 to Sands Road at the final build out of the development.
 - Connect the right-in/right-out to the internal roadway system for the overall development.
 - Install a right turn lane on Sands Road into the development.

PARKING

- Parking for a Gasoline Station and Convenience Store is [1 per 4 pumps (4) + 1 per 350 gross square feet of store space (14)] a total of 18.
- The site provides 18 spaces. This meets our requirements.

ELEVATIONS

- The Casey's is primarily a red brick (Redstone Antique) with a variety of architectural details.
- A soldier course of brick in Glacier Gray creates a break from the red brick and distinguishes between the base, middle, and the top of the facade.
- The gray color is also repeated on the end columns, which are stacked cultured stone colored Ashlar Casey's Gray.
- The main façade contains a large sign band area. This area is red EIFS panel system.
- The windows are surrounded by bronze tinted frames.
- Staff has reviewed the elevations based on the criteria listed in the Design Standards. The project meets 6 of the 10 criteria with two being not applicable, provided an off-set of 2 feet is added along the elevations.
- Staff would suggest that the other two users try to incorporate similar architectural details to ensure this site looks like one development.

LANDSCAPE PLAN

- Street trees are provided along Sands Road and Route 14.
- The UDO requires a 15-foot landscape area between parking lots and roadways. The front

of the Casey's paved area is not technically a parking lot since no vehicles will be parking along this area, but there is still a concern of headlights from drivers stopped under the gas canopy shining out to Route 14. It is suggested to work with staff to increase the landscape in this area.

- Foundation Base plantings are required around the building at a minimum of 5 feet in width. Casey's is showing foundation base along the front and rear of the building. There is some landscape on the west side, which should be increased. The east side is reserved as a loading area. Landscape has been added to the opposite side of the loading area around the trash enclosure.
- The monument sign requires 1 square foot of landscape, which is illustrated in shrubs and flowers. Trees are also required, but a variation has been requested from this requirement.
- Casey's has done a good job of using a variety of landscape materials including trees on the interior of the site.

SIGNAGE

- There are three signs on the main façade, the Casey's name and two advertising poster areas.
- The gas canopy is red with gray and black edge trim.
- The detailed analysis of the signage is listed below.
- The proposed signage meets the UDO requirements.

Signs

Sign Type	Size
Casey's on front façade	37.85
Front Advertising	24 SF
Front Advertising	8.56 SF
Canopy "Casey's"	6.14 SF x 3 = 18.42
Monument	9 feet high 53 SF

TOTAL WALL SF 88.83 square feet

SUBDIVISION

- The property is currently two parcels. It will be resubdivided into three lots.
- Casey's will be constructed on Lot 1, leaving the other two lots for potential development.
- All three lots meet the B-2 zoning district requirements.
- The Subdivision Ordinance requires that street trees and sidewalk be installed all frontages. The street trees are shown on private property for the Casey's and will be required as part of the other two lots when they develop. Sidewalks will be required to be installed.

Findings of fact:

Final Planned Unit Development Amendment and Special Use Permit

The petitioner is requesting approval of a Final Planned Unit Development Amendment and Special Use Permit to allow the construction of a Casey's Gasoline Station and the three-lot

subdivision. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.
 Meets Does not meet
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets Does not meet
3. PUDs must provide transitional uses to blend with adjacent development.
 Meets Does not meet
4. PUD phases must be logically sequenced.
 Meets Does not meet
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets Does not meet
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets Does not meet
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets Does not meet
8. Any private infrastructure shall comply with the city standards.
 Meets Does not meet
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets Does not meet
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets Does not meet

Planned Unit Development Variations

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies

those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variations from the UDO:

- 1) 4-400 F Site Landscaping.
 - a. 4-400 F 1.a.i. from having a landscape island every 10 spaces and at the ends of each parking row.
 - b. 4-400 F 4. From the requirement to provide foundation base landscape along the east side of the building.
 - c. 4-400 F 6 landscape around signs to not have any trees around the sign.

- 2) 4-800 D Exterior Lighting Standards.
 - a. 4-800 D.1.a. to allow 347,642 lumens per acre, a variation from the maximum 100,000 lumens allowed. Still allowing 100,000 maximum lumens for the other two lots.
 - b. 4-800 D.2.a Table 4-800 D1 to exceed the on-site lighting levels for a private parking lot, driveway entrances, building entrances and pedestrian paths.

Special Use Permit

The petitioner is requesting approval of a Special Use Permit to allow a Gasoline Service Station with Gasoline Electronic Pricing Sign. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Gasoline Stations have specific Special Use Criteria they have to meet. Gasoline stations must comply with the following standards:

1. Location: Gasoline stations are not permitted within the City's wellhead protection areas. Stations in the Crystal Lake watershed require a site specific analysis by the City's watershed consultant
 Meets *Does not meet*

2. Environmental impact: No gasoline station shall commence operations unless it has first provided an environmental impact statement (EIS) from a qualified expert in the related field that the use will not negatively affect ground water resources or contaminate the soil.
 Meets *Does not meet*

3. Screening: Gasoline stations adjacent to residential properties shall provide a 6-foot tall solid screen consisting of a solid wooden fence, in accordance with the provisions of Article 4-700, Fences, Walls and Screening or opaque landscaping along the perimeters of

the property abutting the residential district or use, in accordance with the provisions of Article 4-400, Landscaping and Screening Standards.

Meets Does not meet

4. Canopy: Flat canopies are not permitted. Canopies must have a minimum 4:12 pitch (Amended per Ord. 6970, 11-5-2013). The edge of the pump canopy shall be setback at least 15 feet from all property lines.

Meets Does not meet

5. Curb cuts: There shall be a maximum of 2 curb cuts per property. Corner lots shall be limited to 1 curb cut per street frontage. Curb cuts for corner lots shall be located at least 75 feet from the intersection, or as deemed appropriate by the City Engineer.

Meets Does not meet

6. Vending machines: One vacuums and one air compressors shall be permitted on-site. Vending machines are treated as outside sales and display. Refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.

Meets Does not meet

7. Outside sales: Outside product display and sales of seasonal items are prohibited. Propane tanks stored in 1 locked metal cage are not treated as outside sales and permitted subject to the approval of the City's Fire Prevention Bureau. For any other outside display and sales, refer to the handout on Outdoor Sales, Service, Storage and Display available through the Planning and Economic Development Department for further clarification.

Meets Does not meet

Since there is no convenience store associated with this use, only the required attendant booth, no outside sales and display is permitted.

8. Monitoring: Monitoring wells finished at appropriate depths and locations best suited to detect a contaminate plume are required to be designed and located by a groundwater professional for stations within the Crystal Lake watershed or as determined by the City Engineer.

Meets Does not meet

9. Electronic Pricing Signs: Electronic pricing signs must be requested as part of the Special Use Permit.

Meets Does not meet

Gasoline electronic pricing signs. All gasoline electronic pricing signs must comply with the following criteria:

- a. Gasoline electronic pricing (GEP) signs are permitted only on properties where a special use permit for a gasoline station has been previously granted by the City.

Meets *Does not meet*

- b. The GEP sign may be incorporated into (1) freestanding business sign on the property. A new freestanding sign incorporating a GEP portion must meet all the ordinance requirements for that sign.

Meets *Does not meet*

- c. The GEP portion of the sign shall meet all the following design conditions:

- (i) The GEP unit must be equipped with both a programmed dimming sequence as well as an additional overriding mechanical photocell that adjusts the brightness of the display to ambient light at all times of the day. Such programming and mechanical equipment shall be set so that the GEP, at night or in overcast conditions, will be no more than 40% of the daytime brightness level;

Meets *Does not meet*

- (ii) The GEP unit must be illuminated by white, amber, or green incandescent lamps, LED (light-emitting diode) or magnetic discs;

Meets *Does not meet*

- (iii) The pricing displayed on the GEP unit may only transition from one message (price) to another by either fading or dissolving to black with another message (price) appearing immediately thereafter, without movement or other transition effects in between;

Meets *Does not meet*

- (iv) Except as otherwise provided herein, all messages displayed on the GEP unit must be static and may not reflect movement, flashing scrolling or changes in shape or size of messages or portions of messages. Streaming and/or live-time video is not permitted and this function of the EMC must be disabled; and

Meets *Does not meet*

- (v) The GEP sign must be set in a manner that the display will turn dark in case of a malfunction.

Meets *Does not meet*

- d. The maximum gross surface area of the GEP portion of the sign shall not exceed 20 square feet.

Meets *Does not meet*

- e. Prices cannot switch between multiple grades on one GEP. The GEP must display only one grade or have separate GEP for each grade.

Meets *Does not meet*

Preliminary and Final Plat of Subdivision

The petitioner is requesting a Preliminary and Final Plat of Subdivision approval for a three-lot subdivision. Final Plats are required to meet the following requirements:

- a) Promote the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of the City by providing for the orderly growth and development of the City;
 Meets *Does not meet*
- b) Coordinating streets and roads within proposed subdivisions with the City's planned street system, and with other public facilities;
 Meets *Does not meet*
- c) Providing right-of-way easements for streets and utilities;
 Meets *Does not meet*
- d) Avoiding congestion and overcrowding, and encouraging the proper arrangement of streets in relation to existing or planned streets;
 Meets *Does not meet*
- e) Ensuring there is adequate open space and recreation facilities to serve development;
 Meets *Does not meet*
- f) Ensuring there is proper recordation of landownership records;
 Meets *Does not meet*
- g) Installation of any public improvements including water, sewer, storm sewer or detention, parkway trees, and sidewalks;
 Meets *Does not meet*
- h) Burial of overhead utility lines and all new lines and services in appropriate easements; and
 Meets *Does not meet*
- i) Ensuring the provision of such other matters as the City Council may deem necessary in order to protect the general health, safety, and welfare of the City
 Meets *Does not meet*

Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan designates the subject property as Commercial, which allows for existing and future commercial and business uses. The following goal is applicable to this request:

Land Use – Commercial

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax

base, goods, services and jobs to the city as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting actions:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Success Indicator: The number of new “chain store” occupancies.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Jemco Properties LLC, received 11/13/20)
 - B. Site Plan (Arc Design, dated 05/21/21, received 5/24/21)
 - C. Landscape Plan (Arc Design, dated 05/21/21, received 05/24/21)
 - D. Colored Elevations (RTA Technology Solutions, undated 05/12/21, received 05/24/21)
 - E. Elevations (Casey’s Construction Division, dated 05/11/21, received 05/24/21)
 - F. Civil Plans (Arc Design, dated 05/21/21, received 05/24/21)
 - G. Sign Packet (Jacob Clark, dated 04/28/21, received 05/24/21)
 - H. Plat of Subdivision (Haeger Engineering, dated 05/21/21, received 05/24/21)
 - I. Traffic Study (CivilTech, dated 04/01/21, received 04/01/21)
2. Site Plan
 - A. Per the subdivision and development requirements in the UDO sidewalk is required along all frontages. Work with staff on sidewalk location. The remaining two lots will need to install sidewalk as part of their development.
3. Landscape Plan
 - A. Add additional foundation base landscape along the west side of the building. Also landscape is shown over the sidewalk, correct the plans.
 - B. Work with staff to increase the landscape area along Route 14 adding additional shrubs and plantings to screen the car headlights.
4. Elevations
 - A. Ensure the end columns at the front and rear of the building project out, creating a minimum 2-foot projection along the side and rear elevations to meet the design standards.
5. Traffic Study
 - A. Follow all recommendations in the Final Traffic Study.
 - B. Casey’s may not receive temporary or full occupancy approval until the access road is completed.

6. On the Final Plat of Subdivision document correct the Plan Commission Certificate to remove the "Attest: Secretary" line.
7. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments, as well as the City's Stormwater Consultant and the final approved Traffic Study.

City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Casey's Crystal Lake

Action Requested

Annexation

Comprehensive Plan Amendment

Conceptual PUD Review

Final PUD

Final PUD Amendment

Final Plat of Subdivision

Preliminary PUD

Preliminary Plat of Subdivision

Rezoning

Special Use Permit

Variation

Other

Petitioner Information

Name: Casey's Retail Company - Erik Nikkel

Address: One SE Convenience Blvd

Ankeny, IA 50021

Phone: 515-381-5722

Fax: _____

E-mail: Erik.Nikkel@caseys.com

Owner Information (if different)

Name: Jemco Properties, LLC - Donald Mueller

Address: 1320 S. Virginia Rd.

Crystal Lake, IL 60014

Phone: (847) 658-4342

Fax: _____

E-mail: dmueller@gosunset.com

Property Information

Project Description: Proposing a minor subdivision, amendment to a PUD, and variance necessary for the development of a Casey's convenience store and fueling station. Improvements include utility extension to serve the subdivision, access driveways, site development of the Casey's, and necessary stormwater management facilities. See plans included with submittal for more information.

Project Address/Location: 4220 Northwest Highway, Crystal Lake, IL

NE Corner of Sands Road and HWY 14

PIN Number(s): 19-10-200-014, 19-03-452-001

Development Team

Please include address, phone, fax and e-mail

Developer: Jemco Properties, LLC - Donald Mueller / Casey's Retail Company - Erik Nikkel

Architect: Jeff Dalton, AIA - SGA Design Group - 1437 S. Boulder Ave. Suite 550 Tulsa, OK 74119, 918-587-8602 x255, JeffD@sgadesigngroup.com

Attorney: _____

Engineer: Mike Anderson, PE - Haeger Engineering - 100 East State Parkway Schaumburg, IL 60173, 847-230-3170, mike-a@haegerengineering.com
Lauren Downing, PE - Arc Design Resources - 5291 Zenith Parkway, Loves Park, IL, 815-484-4300 x 220, ldowning@arcdesign.com

Landscape Architect: Matt Adas - Arc Design Resources - 815-484-4300 x 236, madas@arcdesign.com

Planner: _____

Surveyor: Haeger Engineering (Subdivision Plat)

Other: Arc Design Resources Surveyor - Lee Sprecher 815-484-4300 x 238, lsprecher@arcdesign.com

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Donald J. Mueller  6/30/2021

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



**CRYSTAL LAKE PLANNING AND ZONING COMMISSION
WEDNESDAY, JULY 7, 2021
HELD AT THE CRYSTAL LAKE CITY COUNCIL CHAMBERS**

The meeting was called to order by Chair Greenman at 7:00 p.m.

Mr. Greenman called the meeting to order. On roll call, members Esposito, Gronow, Jouron, Repholz, Skluzacek, and Greenman were present. Mr. Atkinson was absent.

Elizabeth Maxwell, City Planner and Katie Cowlin, Assistant City Planner were present from Staff.

Mr. Greenman said this meeting is being recorded for broadcast and future playback on the City's cable channel. He led the group in the Pledge of Allegiance.

2020-191 CASEY'S (4220 NORTHWEST HWY) – FINAL PUD AMENDMENT, SPECIAL USE PERMIT & PRE/FINAL PLAT OF SUBDIVISION – PUBLIC HEARING

Final Planned Unit Development Amendment and Special Use Permit for a new Gasoline Station with a Convenience Store and Preliminary/Final Plat of Subdivision for a 3-lot subdivision.

Lauren Downing, Arc Design, Mike Anderson, Haeger Engineering and Ryan Swanson Arc Design were present to represent the request.

Ms. Downing provided an overview of the proposed Casey's Gas Station and required subdivision. The convenience store is approximately 4,900 square feet, which is larger than their standard store and the fueling portion has 8 pumps with 16 fueling locations. The subdivision includes the stormwater calculations for all three lots and the Casey's Gas Station would be located on the western most lot. This would be the second location for Casey's. There are new elevations that include a red metal panel on the front façade. The brick and stone are enhancements that were added to the building to meet the Crystal Lake design standards. The freestanding sign materials match the building.

Ms. Downing reviewed the three recommended conditions of approval that they did not agree with, which included items 2A, 3B and 4A. The subject property is not adjacent to any properties that have sidewalks so they do not wish to add those at this time, the foundation landscaping along the eastern side of the building has been pushed to the other side of the drive aisle and the elevation of the gas station is lower than the street so added landscaping along Northwest Highway will not screen headlights from the street.

Ms. Maxwell provided a summary of the request, referenced the standards that were not met and the reasoning behind the recommendation that a sidewalk be added to the site.

The Chairman opened the public hearing. There was no one in the public wishing to speak on the agenda item. The public hearing was closed.

Mr. Jouron asked where and when the fueling trucks deliver to the site. Ms. Downing stated the storage tanks were along the western side of the fueling area and the trucks come based on demand. Ms. Downing explained that the trucks would enter from Sands Road and circle the site to exit on Sands Road.

Mr. Jouron agreed that he would want to have sidewalks, added landscaping and he was indifferent about the projections of the columns on the building.

Mr. Esposito agreed that he would prefer to keep the recommended conditions and add that the petitioner should work with staff to address the landscaping concerns. The elevations are okay as presented.

Ms. Repholz asked about the advertising signs on the front of the building. Ms. Downing explained they are changeable copy areas and show the specials for the week. Ms. Repholz felt there should be less red on the front elevation, it acts like a sign. Ms. Downing stated the red is the corporate Casey's image and they would want to keep it.

Ms. Repholz agreed that there should be added landscaping along Northwest Highway, there should be sidewalks and the two-foot projection is an added feature. If they would want to remove some red, then it would be okay to not add the projections.

Mr. Gronow agreed with Ms. Repholz on the red accent and thanked the petitioner for coming to Crystal Lake. Mr. Gronow agreed with the recommended conditions, was okay to not include the two-foot projections and requested the petitioner work with staff on the lighting variation.

Mr. Skluzacek stated the back of the building is plain and he was not sure if the landscaping will break-up the façade enough. When the other two lots develop people will be driving behind the Casey's to access those uses and the back of the building should be attractive. The landscaping should screen any utilities in the rear. Mr. Skluzacek felt the proposed lighting would be okay for the site.

Mr. Greenman stated the sidewalk should be included in the property, the petitioner should work with staff on the landscaping and added conditions, he is supportive of the request to add two-foot projections to the corners since this is the entrance to Crystal Lake and that the red accent does take away from all of the building features. The petitioner should explore ways to reduce the amount of red metal and the proposed lighting makes sense.

Mr. Anderson stated the sidewalk will not fit on the site in the traditional sense, they will have to be creative on how to add a sidewalk due to the slopes on Sands Road and the railroad overpass to the east. There also is not a pedestrian crossing at the Sands Road and Northwest Highway intersection.

Ms. Downing asked for clarification on the foundation landscaping. Mr. Greenman stated the Commission is looking for the variations to be eliminated by working with staff on landscape enhancements around the site.

Mr. Esposito reinforced that the red accent should be reduced. Ms. Downing and Mr. Swanson shared concerns with trying to reduce the red, the red metal is on a projection over the sidewalk and a heavy material like brick or stone could not be added to that projection. The metal element wraps the edge of the projection and they are uncertain of how to reduce the red and make the front elevation attractive architecturally. Mr. Greenman asked the petitioner to work with staff on ideas for reducing the red metal feature.

Mr. Greenman stated the Findings of Fact have been met for this request with the recommended conditions from the staff report.

Mr. Esposito made a motion to approve the Final Planned Unit Development Amendment and Special Use Permit for a new Gasoline Station with a Convenience Store and Preliminary/Final Plat of Subdivision for a 3-lot subdivision at 4220 Northwest Highway with the following recommended conditions with amendments:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Jemco Properties LLC, received 11/13/20)
 - B. Site Plan (Arc Design, dated 05/21/21, received 5/24/21)
 - C. Landscape Plan (Arc Design, dated 05/21/21, received 05/24/21)
 - D. Colored Elevations (RTA Technology Solutions, undated 05/12/21, received 05/24/21)
 - E. Elevations (Casey's Construction Division, dated 05/11/21, received 05/24/21)
 - F. Civil Plans (Arc Design, dated 05/21/21, received 05/24/21)
 - G. Sign Packet (Jacob Clark, dated 04/28/21, received 05/24/21)
 - H. Plat of Subdivision (Haeger Engineering, dated 05/21/21, received 05/24/21)
 - I. Traffic Study (CivilTech, dated 04/01/21, received 04/01/21)
2. Site Plan
 - A. Per the subdivision and development requirements in the UDO sidewalk is required along all frontages. Work with staff on sidewalk location. The remaining two lots will need to install sidewalk as part of their development.
1. Landscape Plan
 - A. ~~Add additional foundation base landscape along the west side of the building. Also landscape is shown over the sidewalk, correct the plans.~~
 - B. ~~Work with staff to increase the landscape area along Route 14 adding additional shrubs and plantings to screen the car headlights.~~

C. Work with staff to add foundation base landscape around the building and add additional landscape along Route 14. (Modified by PZC)

~~2. Elevations~~

~~A. Ensure the end columns at the front and rear of the building project out, creating a minimum 2-foot projection along the side and rear elevations to meet the design standards. Removed by PZC~~

3. Traffic Study

A. Follow all recommendations in the Final Traffic Study.

B. Casey's may not receive temporary or full occupancy approval until the access road is completed.

4. On the Final Plat of Subdivision document correct the Plan Commission Certificate to remove the "Attest: Secretary" line.

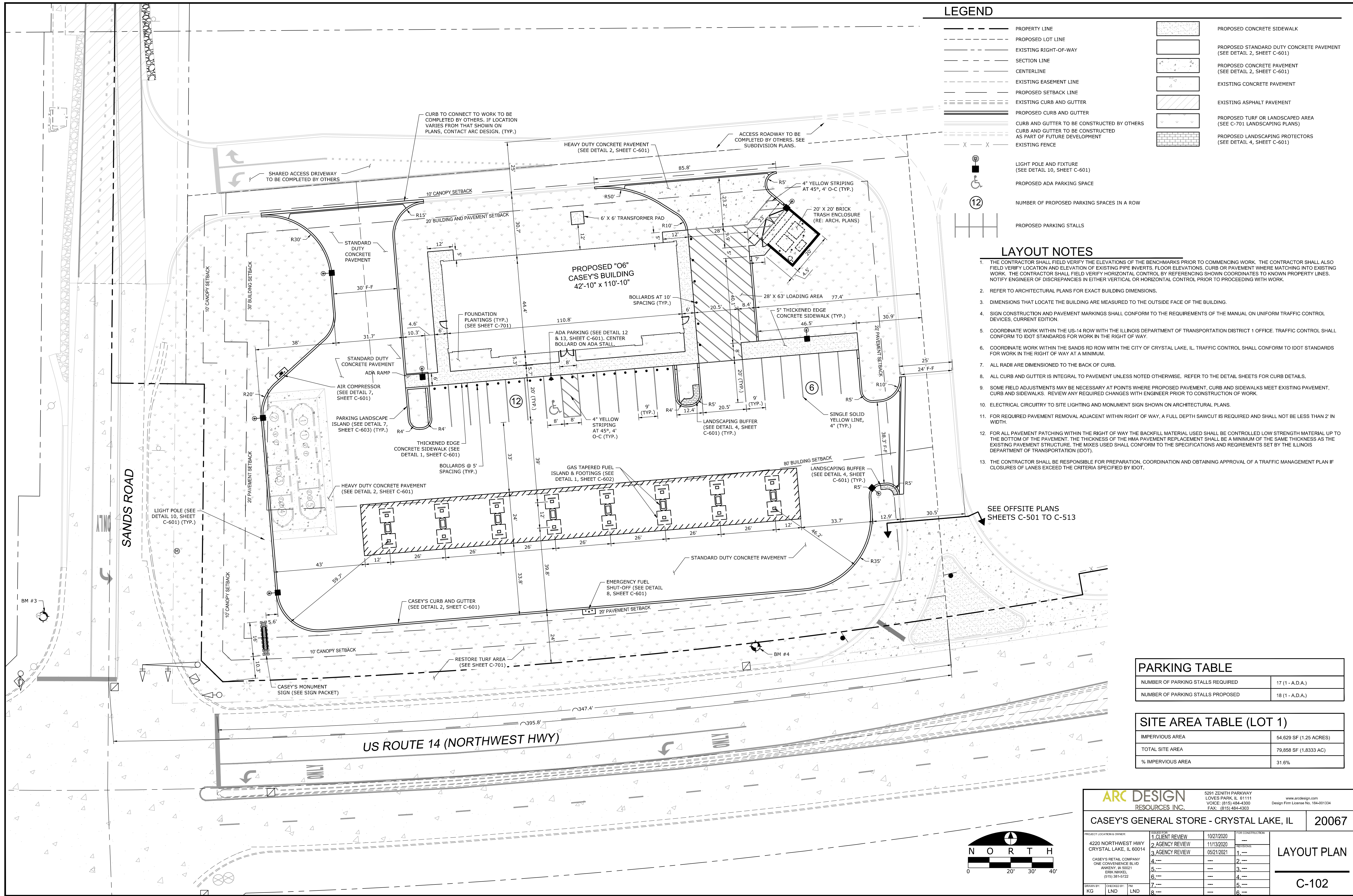
5. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, and Public Works Departments, as well as the City's Stormwater Consultant and the final approved Traffic Study.

6. Work with staff on a solution to break up the architectural element red paneling. (Added by PZC)

7. Work with staff on site landscaping variations to come closer to compliance. (Added by PZC)

Mr. Gronow seconded the motion. On roll call, members Esposito, Gronow, Jouron, Repholz, Skluzacek and Greenman voted aye. Motion passed 6-0.

Mr. Jouron made a motion to adjourn the meeting. Mr. Esposito seconded the motion. On voice vote, all members voted aye. The meeting was adjourned 8:57 p.m.



LEGEND

- PROPERTY LINE
- - - PROPOSED LOT LINE
- - - EXISTING RIGHT-OF-WAY
- SECTION LINE
- CENTERLINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED SETBACK LINE
- - - EXISTING CURB AND GUTTER
- - - PROPOSED CURB AND GUTTER
- - - CURB AND GUTTER TO BE CONSTRUCTED BY OTHERS
- - - CURB AND GUTTER TO BE CONSTRUCTED AS PART OF FUTURE DEVELOPMENT
- - - EXISTING FENCE
- ⊙ LIGHT POLE AND FIXTURE (SEE DETAIL 10, SHEET C-601)
- ♿ PROPOSED ADA PARKING SPACE
- 12 NUMBER OF PROPOSED PARKING SPACES IN A ROW
- ▭ PROPOSED PARKING STALLS
- ▨ PROPOSED CONCRETE SIDEWALK
- ▩ PROPOSED STANDARD DUTY CONCRETE PAVEMENT (SEE DETAIL 2, SHEET C-601)
- ▧ PROPOSED CONCRETE PAVEMENT (SEE DETAIL 2, SHEET C-601)
- ▦ EXISTING CONCRETE PAVEMENT
- ▤ EXISTING ASPHALT PAVEMENT
- ▣ PROPOSED TURF OR LANDSCAPED AREA (SEE C-701 LANDSCAPING PLANS)
- ▢ PROPOSED LANDSCAPING PROTECTORS (SEE DETAIL 4, SHEET C-601)

LAYOUT NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
5. COORDINATE WORK WITHIN THE US-14 ROW WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION DISTRICT 1 OFFICE. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS FOR WORK IN THE RIGHT OF WAY.
6. COORDINATE WORK WITHIN THE SANDS RD ROW WITH THE CITY OF CRYSTAL LAKE, IL. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS FOR WORK IN THE RIGHT OF WAY AT A MINIMUM.
7. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
8. ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
9. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
10. ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
11. FOR REQUIRED PAVEMENT REMOVAL ADJACENT WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT IS REQUIRED AND SHALL NOT BE LESS THAN 2' IN WIDTH.
12. FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL CONFORM TO THE SPECIFICATIONS AND REQUIREMENTS SET BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT).
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA SPECIFIED BY IDOT.

PARKING TABLE	
NUMBER OF PARKING STALLS REQUIRED	17 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	18 (1 - A.D.A.)

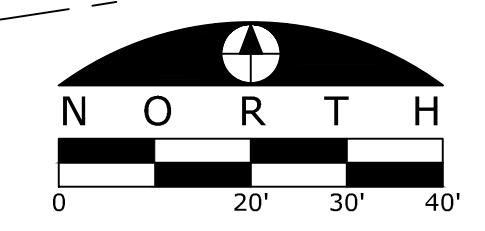
SITE AREA TABLE (LOT 1)	
IMPERVIOUS AREA	54,629 SF (1.25 ACRES)
TOTAL SITE AREA	79,858 SF (1.8333 AC)
% IMPERVIOUS AREA	31.6%

ARC DESIGN RESOURCES INC.
 5201 25TH PARKWAY
 LOVES PARK, IL 61111
 VOICE: (815) 484-4300
 FAX: (815) 484-4303
 www.arcdesign.com
 Design Firm License No. 194-001334

CASEY'S GENERAL STORE - CRYSTAL LAKE, IL 20067

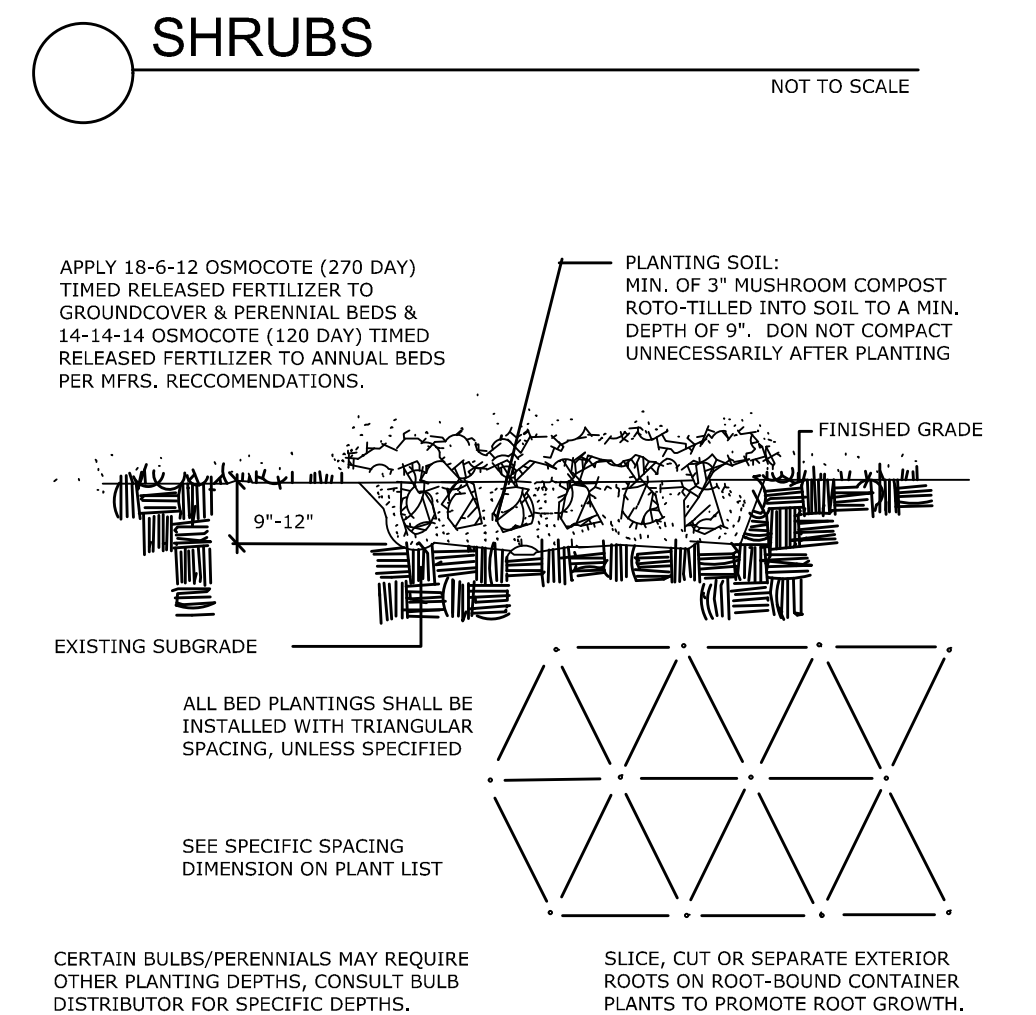
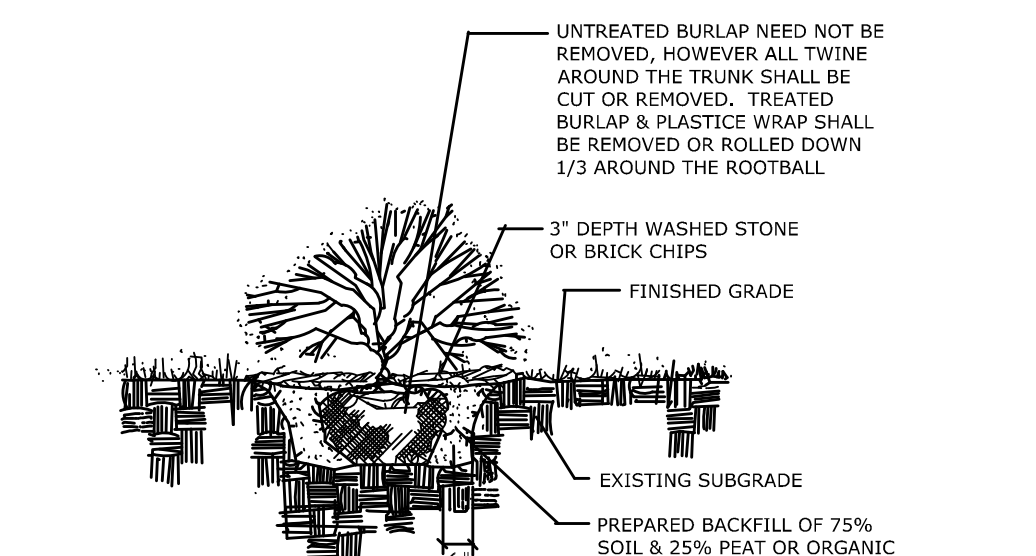
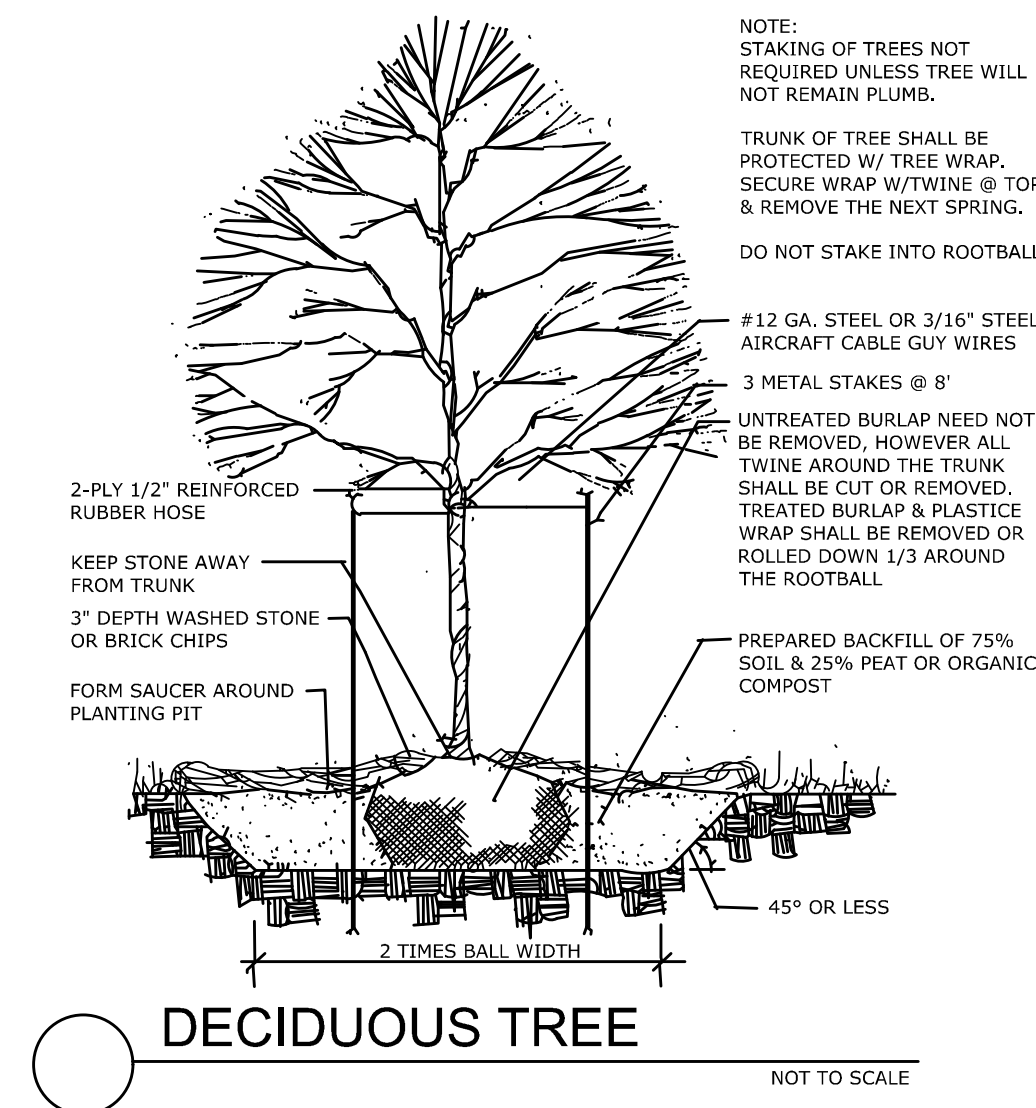
PROJECT LOCATION & OWNER:	4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014	DATE:	10/27/2020	FOR CONSTRUCTION:
CASEY'S RETAIL COMPANY ONE CONVENIENCE BLVD ANNKENY, IA 50201 ERIK NIKOL (515) 281-5722	1. CLIENT REVIEW	11/13/2020	2. AGENCY REVIEW	05/21/2021
DRAWN BY: KG	CHECKED BY: LND	IN CHARGE: LND	DATE: 8	REVISIONS:

LAYOUT PLAN
C-102

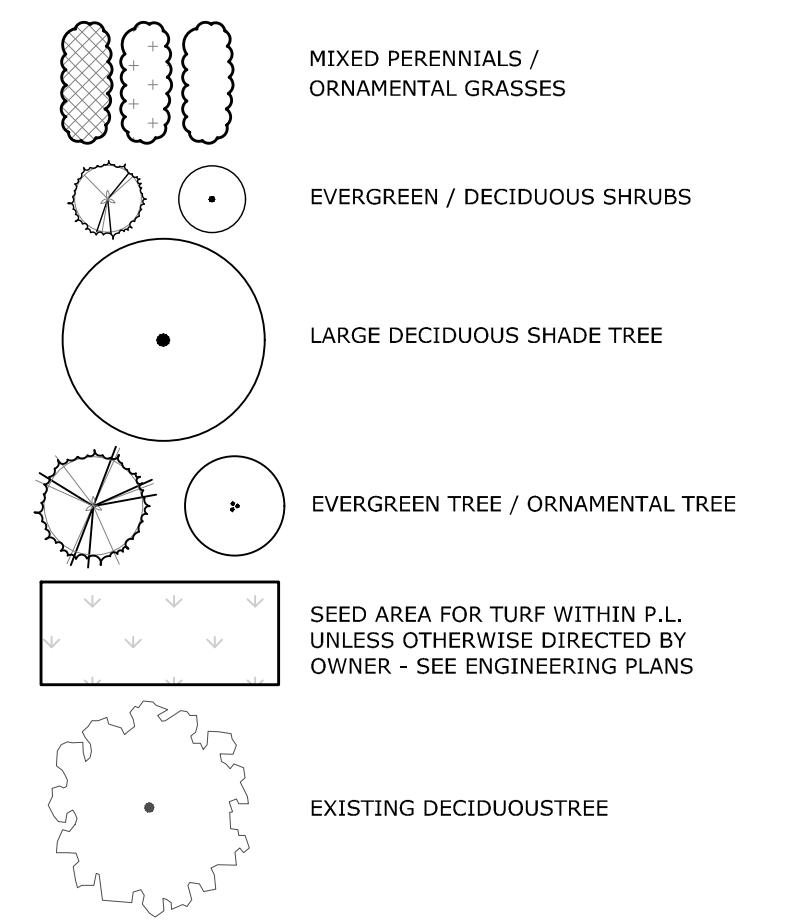


PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at 811. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- For details pertaining to Utilities, Easements, Grading, Retaining Walls, Layout, Geometry, Wetland/Flood Plain Delineations, etc., or other trades refer to Architectural and Civil Engineering plans and/or owner. Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and Landscape Architect.
- Contractor shall grade entire site as per grading/engineering plans and/or correct surface irregularities in preparation for seed/sod. Roto-til, disc, drag, harrow or hand rake sub grade to a depth of 4" in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas are to receive a minimum 3" of approved topsoil and be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation. Sizes and/or spread on plant list represent minimum requirements at the time of installation; mature growth may exceed figures listed.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices. All planting beds and tree saucers shall be finished continuous with 3" depth washed aggregate stone, 1-3" size (CA1), or brick chips with heavy duty weed barrier fabric, see planting details.
- Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.
- Existing plants (trees, shrubs, native vegetation, etc.) as shown on plan are to remain and must be protected from construction activity during construction timeline.



LEGEND



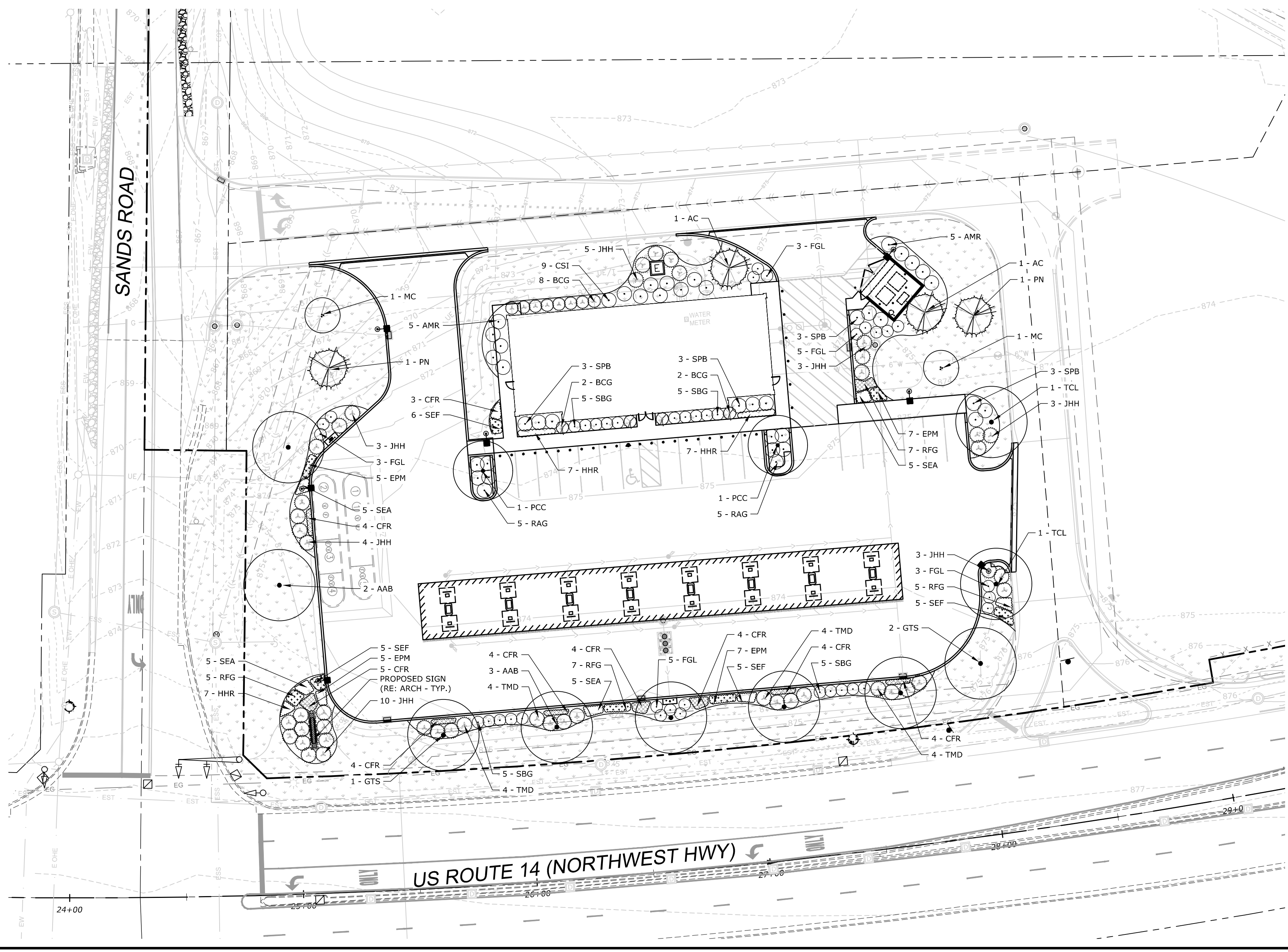
PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AAB	5	Acer x freemanii 'Autumn Blaze' AUTUMN BLAZE MAPLE	2.5"	
AC	2	Abies concolor CONCOLOR WHITE FIR	6'	EVERGREEN
GTS	3	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	2.5"	
MC	2	Malus x 'Cardinal' CARDINAL CRABAPPLE	8'	
PCC	2	Pyrus calleryana x 'Cantideer' CALLERY PEAR TREE	2.5"	MATCHED, NON-FRUITING
PN	2	Pinus nigra AUSTRIAN PINE	6'	EVERGREEN
TCL	2	Tilia cordata 'Littleleaf' LITTLE LEAF LINDEN	2.5"	
AMR	10	Aronia melanocarpa 'Professor Ed' PROFESSOR ED CHOKEBERRY	36"	
CSI	9	Cornus sericea 'Isanti' RED TWIG DOGWOOD	36"	
BCG	12	Buxus microphylla 'Chicago Green' CHICAGO GREEN BOXWOOD	24"	EVERGREEN
FGL	19	Forsythia x intermedia 'Goldlocks' GOLDLOCKS COMPACT FORSYTHIA	18"	
JHH	31	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	5 GAL.	EVERGREEN
RAG	10	Rhus aromatica 'Grow Low' GROW LOW SUMAC	5 GAL.	
SBG	22	Spiraea bumalda 'Goldflame' GOLDFLAME SPIREA	18"	
SPB	12	Syringa patula 'Bloomerang' BLOOMERANG MISS KIM DWARF LILAC	36"	
TMD	16	Taxus x media 'Densiformis' DENSE COMPACT YEW	24"	EVERGREEN
CFR	36	Calamagrostis acutiflora stricta FEATHER REED GRASS	GAL	3'-0" O.C.
EPM	24	Echinacea purpurea 'Magnus' PURPLE CONEFLOWER	GAL	2'-0" O.C.
HHR	21	Hemerocallis 'Happy Returns' HAPPY RETURNS REBLOOMING DAYLILY	GAL	2'-0" O.C.
RFG	24	Rudbeckia fulgida 'Goldsturm' GOLDSTURM BLACK-EYED SUSAN	GAL	2'-0" O.C.
SEA	20	Sedum x 'Autumn Joy' AUTUMN JOY SEDUM	GAL	2'-0" O.C.
SEF	21	Salvia x 'East Freiland' EAST FREISLAND SALVIA	GAL	2'-0" O.C.

ZONING DATA

CATEGORY	QUANTITY	REQUIREMENT	PROVISION
FOUNDATION	305'	5' WIDTH AROUND BUILDING PERIMETER w/ MIX OF DECIDUOUS AND EVERGREEN SPECIES	5' WIDTH CONTINUOUS w/ MIX OF SPECIES AND TREE / SHRUBS
PARKING INTERIOR:	19 SPACES	3 ISLANDS = 3 TREES + 15 SHRUBS (1 ISLAND PER 10 SPACES w/ 1 TREE + 5 SHRUBS, AND AT THE END OF EA. ROW)	3 ISLANDS + 3 TREES AND 15 SHRUBS w/ MIX OF SPECIES
PERIMETER: PARKING NOT ON R.O.W.	8' WIDTH AREA	8' WIDTH + 7 TREES + 35 SHRUBS (250.5' LENGTH) (6' WIDTH w/ 1 TREE + 5 SHRUBS PER 40')	8' WIDTH AREA + 7 TREES AND 37 SHRUBS w/ MIX OF SPECIES
SIGNAGE	114 S.F. (SIGN S.F.)	114 S.F. = PLANTING AREA (1 S.F. PLANTING AREA PER S.F. OF SIGN FACE AREA AT SIGN BASE w/ MIX OF DECIDUOUS AND EVERGREEN SPECIES + 50% PERENNIAL / G.C.	718 S.F. PLANTING AREA w/ MIX OF SPECIES + 50% PERENNIAL / G.C.
BUFFERS	NORTH P.L.: SOUTH P.L.: WEST P.L.: EAST P.L.:	N/A - MANUF./LESSER (E) USE N/A - COM./SAME (D) USE N/A - MANUF./COM. (E/D) USE N/A - MANUF./LESSER (E) USE	N/A N/A N/A N/A

*SUBJECT PROPERTY IS CLASSIFIED AS B-2 GENERAL COMMERCIAL (D USE)



ARC DESIGN
RESOURCES INC.

5201 23RD PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 486-4303
www.arcdesign.com
Design Firm License No. 194-001334

CASEY'S GENERAL STORE - CRYSTAL LAKE, IL 20067

PROJECT LOCATION & OWNER:	DATE	FOR CONSTRUCTION:
4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014	1 CLIENT REVIEW	10/27/2020
	2 AGENCY REVIEW	11/13/2020
	3 AGENCY REVIEW	05/21/2021
	4 ---	---
	5 ---	---
	6 ---	---
	7 ---	---
	8 ---	---

CASEY'S RETAIL COMPANY
ONE CONVENIENCE BLVD
ANKENY, IA 50021
ERIK KROGEL
(515) 281-5722

DRAWN BY: DB CHECKED BY: LND IN CHARGE: LND

LANDSCAPING PLAN
C-701



FRONT ELEVATION



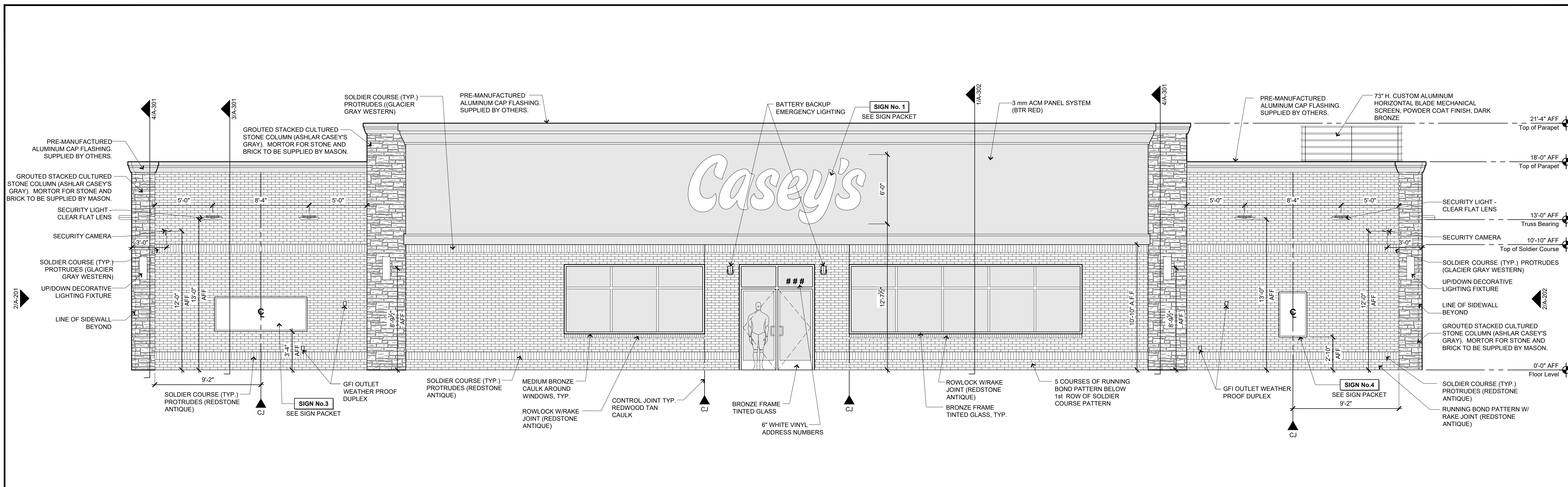
RIGHT ELEVATION



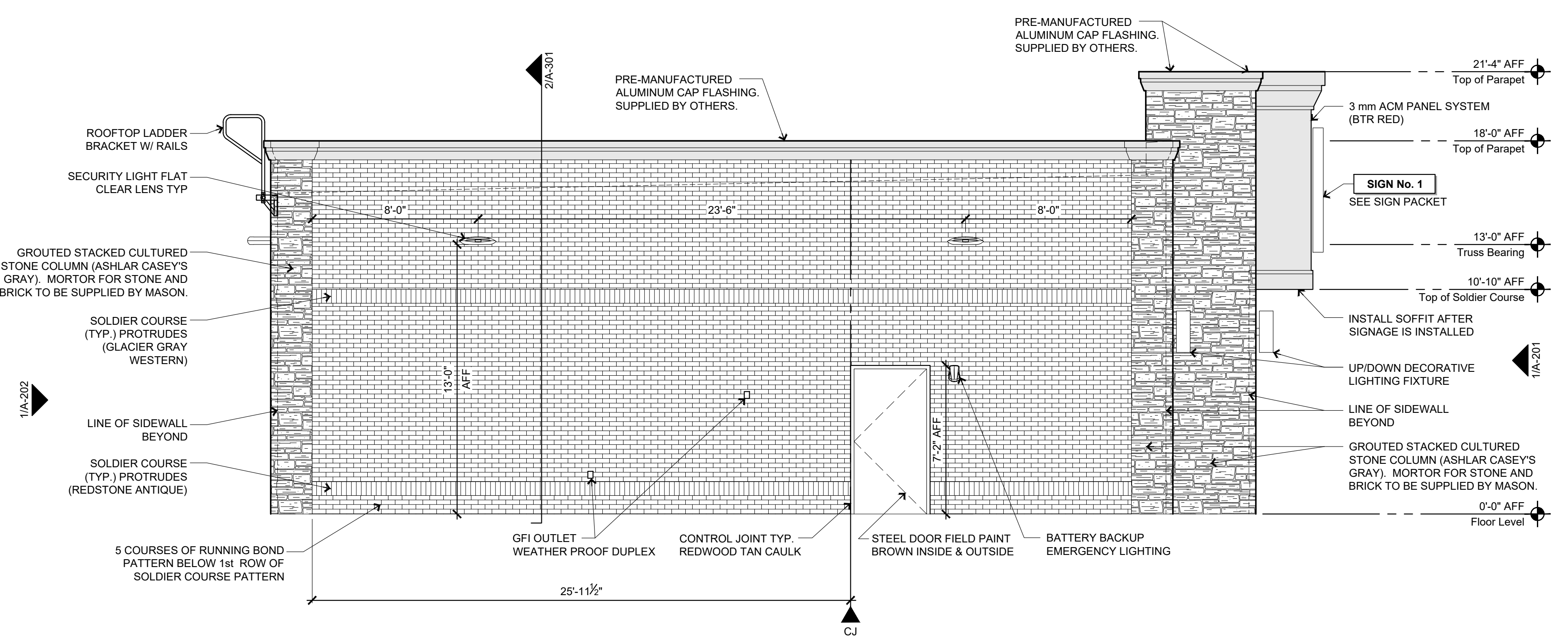
BACK ELEVATION



LEFT ELEVATION



1 Exterior Elevation - Left Side of Building (Plan South)
1/4"=1'-0"





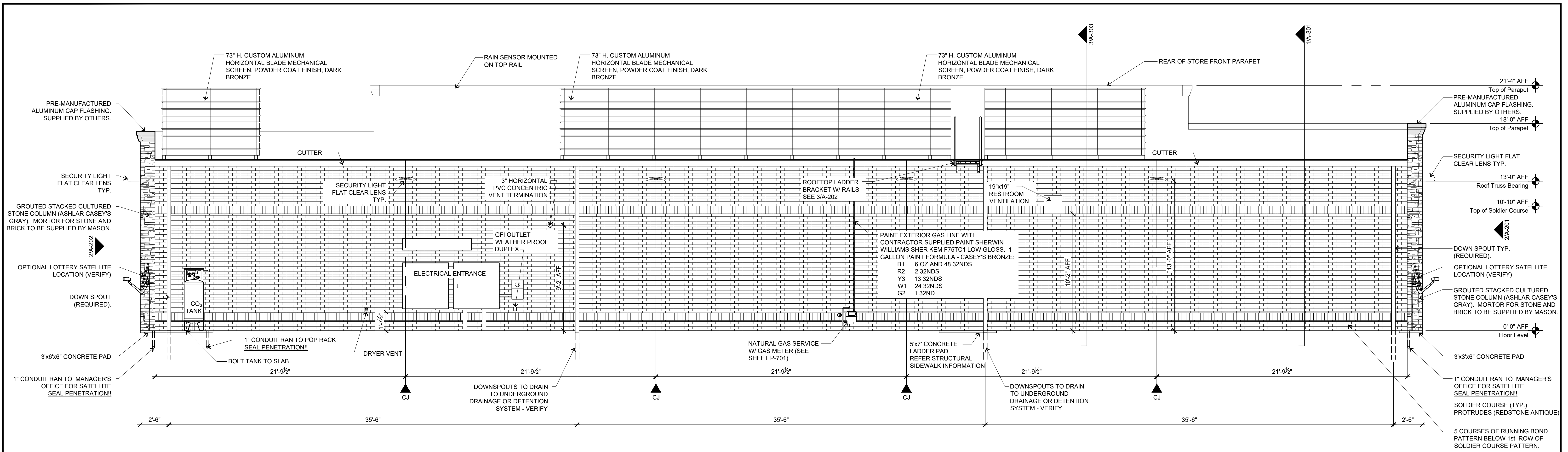
2 Exterior Elevation - Front of Building (Plan West)
1/4"=1'-0"

General Notes

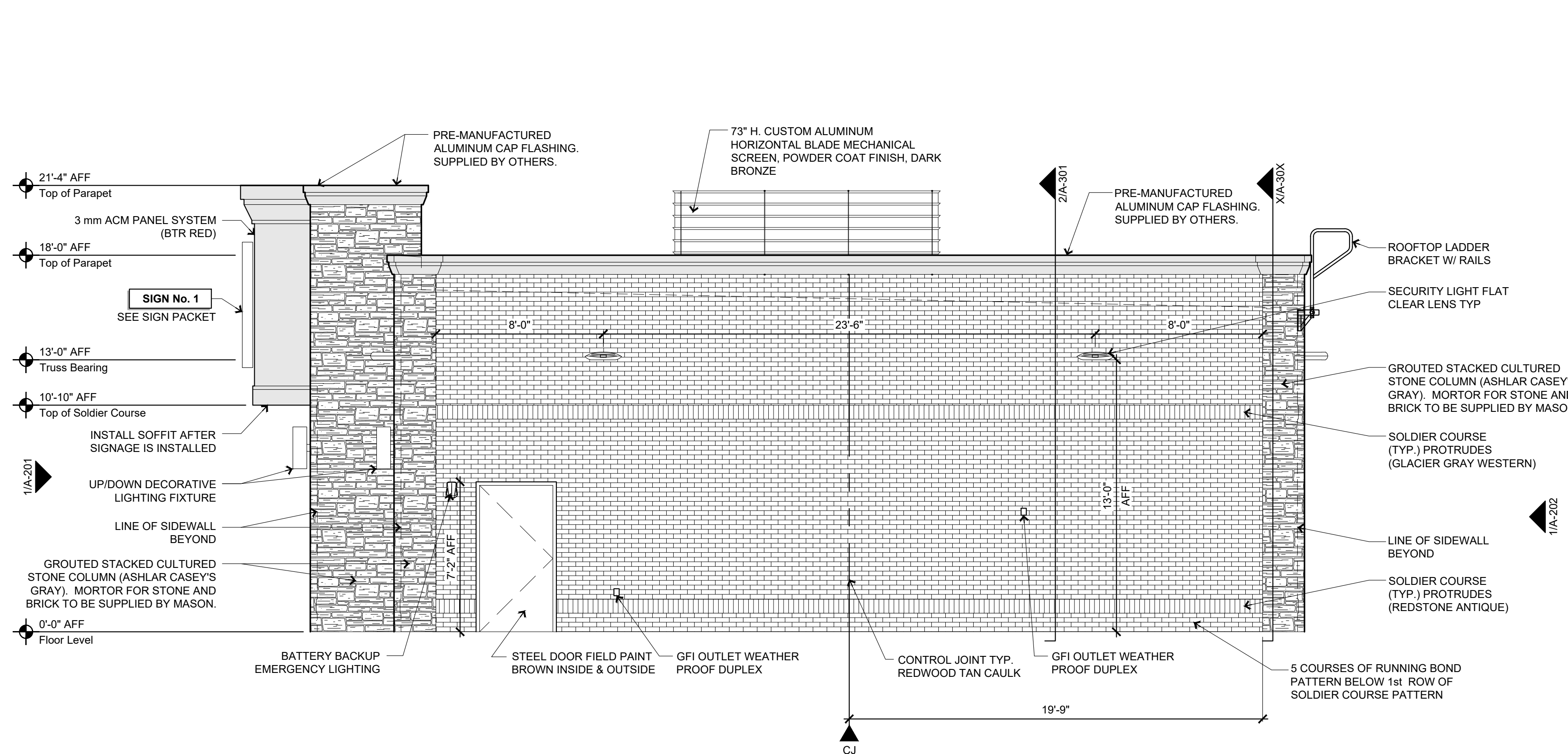
1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. **RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
AL-101: FOR BUILDING LOCATION ON SITE
AL-601: FOR INFORMATION RELATING TO SIGNAGE
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
A-121: ROOF PLAN/ROOF TOP EQUIPMENT
A-601: DOOR & WINDOW SCHEDULES AND NOTES
S-101: FOOTINGS AND FOUNDATIONS
S-102: ROOF TRUSSES
3. **WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

SCREENING

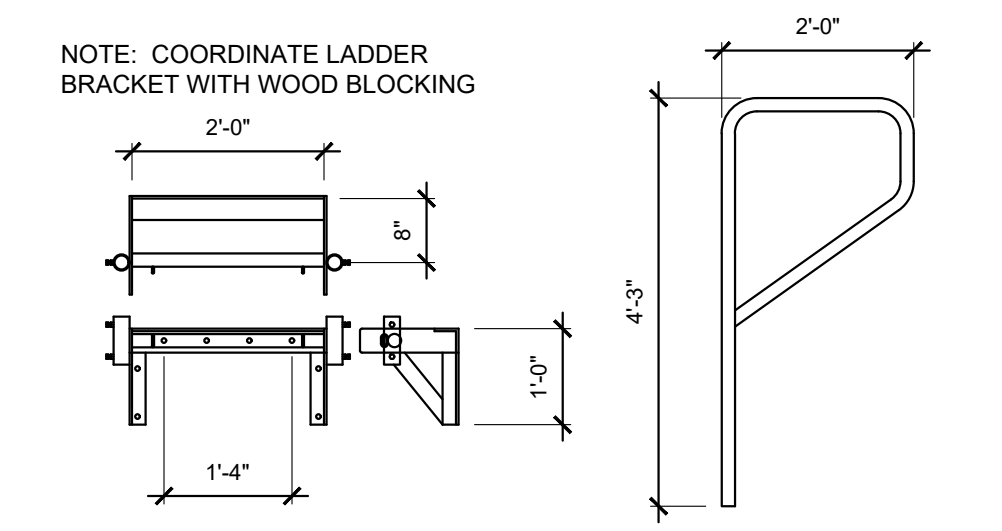
 Casey's 		
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100		
PROJECT: 2021 "06" STYLE STORE FLAT ROOF	DATE: 04/22/21 REVISION: 05/11/21	DRAWING INFORMATION: EXTERIOR ELEVATIONS
DRAWING INFORMATION: CONSTRUCTION DIVISION		A-201



1 Exterior Elevation - Left Side of Building (Plan North)
1/4"=1'-0"



2 Exterior Elevation - Front of Building (Plan East)
1/4"=1'-0"



3 Ladder Bracket
1/2"=1'-0"

General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
AL-101: FOR BUILDING LOCATION ON SITE
AL-601: FOR INFORMATION RELATING TO SIGNAGE
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
A-121: ROOF PLAN/ROOF TOP EQUIPMENT
A-601: DOOR & WINDOW SCHEDULES AND NOTES
S-101: FOOTINGS AND FOUNDATIONS
S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

SCREENING

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
PROJECT: 2021 "06" STYLE STORE FLAT ROOF	DRAWING INFORMATION: DATE: 04/22/21 REVISION: 05/11/21 EXTERIOR ELEVATIONS
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: Arion Goforth III	CHECKED BY:
A-202	

CASEY'S GENERAL STORE - CRYSTAL LAKE, IL

4220 NORTHWEST HWY
CRYSTAL LAKE, IL 60014

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the City, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer or the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the owner's "Description of Work", the City of Crystal Lake, the State of Illinois, and this plan set.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 elevation datum and Illinois State Planes Coordinate System - East Zone horizontal datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per IDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, COMED, AT&T/Xfinity, Nicor, if any. The JULIE phone number is 1-800-892-0123 or 811. Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Notify the owner and City of Crystal Lake of any existing wells. Obtain permit from the Illinois IEPA. Cap and abandon wells in accordance with local, state, and federal regulations.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.
- Contact the City of Crystal Lake at (815) 356-3605 at least 48 hours in advance of the start of construction.
- Compliance with City Ordinance does not relieve the developer from compliance with applicable state, county, federal, and other regulatory agencies.

UTILITY OFFICIALS

CITY PLANNER
CITY OF CRYSTAL LAKE, IL
CITY PLANNER
ELIZABETH MAXWELL
(815) 356-3738
EMAXWELL@CRYSTALLAKE.ORG

BUILDING DEPARTMENT
CITY OF CRYSTAL LAKE, IL
PLANS EXAMINER
MARTY BROWN
(815) 356-3605
MBROWN@CRYSTALLAKE.ORG

IDOT PERMIT OFFICE
IDOT DISTRICT 1
PERMITS SECTION
YELEINA HAYDEL
(847) 705-4145

ELECTRIC:
COMED
NEW BUSINESS LINE
(866) 639-3532

CITY ENGINEER
CITY OF CRYSTAL LAKE, IL
CITY ENGINEER
ABIGAIL WELGREEN
(815) 356-3605
AWLGREEN@CRYSTALLAKE.ORG

WATER & SEWER SERVICE
CITY OF CRYSTAL LAKE, IL
PUBLIC WORKS SUPERINTENDENT
ANDREW RESEK
(815) 356-3614
ARESEK@CRYSTALLAKE.ORG

TELEPHONE & INTERNET:
AT&T
NEW BUSINESS LINE
(877) 219-3898

GAS:
NICOR GAS CO
NEW BUSINESS COORDINATOR
FORAM SHAH
(847) 598-4011
FSHAH@SOUTHERNCO.COM

VICINITY MAP



OWNER:



CASEY'S RETAIL COMPANY
ONE CONVENIENCE BLVD
ANKENY, IA 50021

ERIK NIKKEL
(515) 381-5722

ENGINEER:



5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 2411-11

Sheet List Table

SHEET NUMBER	SHEET TITLE
C-001	COVER
C-002	GENERAL NOTES
C-003	GENERAL NOTES & QUANTITIES
C-004	ALTA SURVEY
C-005	ALTA SURVEY
C-100	REMOVALS PLAN
C-101	LAYOUT OVERVIEW PLAN
C-102	LAYOUT PLAN
C-201	GRADING PLAN
C-202	PLAN & PROFILE
C-203	SECTION VIEWS
C-204	DRAINAGE PLAN
C-301	UTILITY PLAN
C-401	SWPPP
C-501	OFFSITE PLANS COVER
C-502	OFFSITE PLANS GENERAL NOTES
C-503	OFFSITE REMOVALS PLAN
C-504	OFFSITE EROSION CONTROL PLAN
C-505	OFFSITE PLAN & PROFILE
C-506	OFFSITE PLAN & PROFILE
C-507	OFFSITE SECTION STA. 27+50 TO 29+50
C-508	OFFSITE SECTIONS STA. 30+00 TO 32+50
C-509	OFFSITE IDOT DETAILS
C-510	OFFSITE IDOT DETAILS
C-511	OFFSITE IDOT DETAILS
C-512	OFFSITE IDOT DETAILS
C-513	OFFSITE TRAFFIC CONTROL PLAN
C-601	CASEY'S DETAILS
C-602	CASEY'S DETAILS
C-603	CASEY'S DETAILS
C-604	DETAILS
C-605	CITY OF CRYSTAL LAKE DETAILS
C-606	CITY OF CRYSTAL LAKE DETAILS
C-607	CITY OF CRYSTAL LAKE DETAILS
C-608	IDOT DETAILS
C-701	LANDSCAPING PLAN

APPROVAL

CITY OF CRYSTAL LAKE, IL
ILLINOIS DEPARTMENT OF TRANSPORTATION
NPDES

DATE

PENDING
PENDING
PENDING

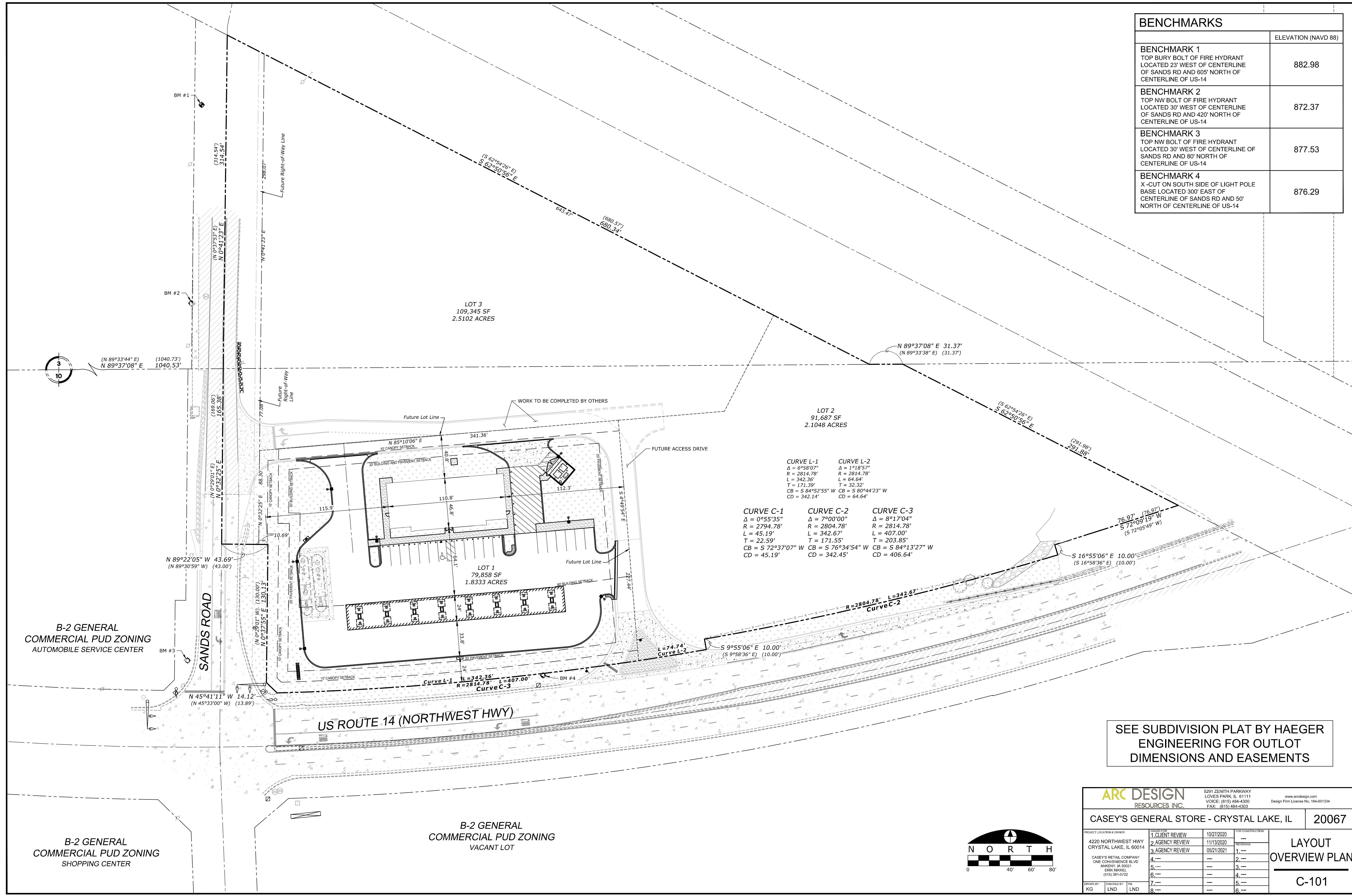


ARC DESIGN RESOURCES INC.		5291 ZENITH PARKWAY LOVES PARK, IL 61111 VOICE: (815) 484-4300 FAX: (815) 484-4303		www.arcdesign.com Design Firm License No. 194-001334	
CASEY'S GENERAL STORE - CRYSTAL LAKE, IL			20067		
PROJECT LOCATION & OWNER:	4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014	PROJECT NO:	1. CLIENT REVIEW	10/27/2020	FOR CONSTRUCTION:
			2. AGENCY REVIEW	11/13/2020	REVISIONS:
			3. AGENCY REVIEW	09/21/2021	1. ---
			4. ---	---	2. ---
			5. ---	---	3. ---
			6. ---	---	4. ---
			7. ---	---	5. ---
			8. ---	---	6. ---
DRAWN BY:	CHECKED BY:	DATE:			
KG	LND	LND			

COVER

C-001

BENCHMARKS	
	ELEVATION (NAVD 88)
BENCHMARK 1 TOP BURY BOLT OF FIRE HYDRANT LOCATED 23' WEST OF CENTERLINE OF SANDS RD AND 605' NORTH OF CENTERLINE OF US-14	882.98
BENCHMARK 2 TOP NW BOLT OF FIRE HYDRANT LOCATED 30' WEST OF CENTERLINE OF SANDS RD AND 420' NORTH OF CENTERLINE OF US-14	872.37
BENCHMARK 3 TOP NW BOLT OF FIRE HYDRANT LOCATED 30' WEST OF CENTERLINE OF SANDS RD AND 80' NORTH OF CENTERLINE OF US-14	877.53
BENCHMARK 4 X-CUT ON SOUTH SIDE OF LIGHT POLE BASE LOCATED 300' EAST OF CENTERLINE OF SANDS RD AND 50' NORTH OF CENTERLINE OF US-14	876.29



CURVE L-1
 $\Delta = 6^{\circ}58'07''$
 $R = 2814.78'$
 $L = 342.36'$
 $T = 171.39'$
 $CB = S 84^{\circ}52'55'' W$
 $CD = 342.14'$

CURVE L-2
 $\Delta = 1^{\circ}18'57''$
 $R = 2814.78'$
 $L = 64.64'$
 $T = 32.32'$
 $CB = S 80^{\circ}44'23'' W$
 $CD = 64.64'$

CURVE C-1
 $\Delta = 0^{\circ}55'35''$
 $R = 2794.78'$
 $L = 45.19'$
 $T = 22.59'$
 $CB = S 72^{\circ}37'07'' W$
 $CD = 45.19'$

CURVE C-2
 $\Delta = 7^{\circ}00'00''$
 $R = 2804.78'$
 $L = 342.67'$
 $T = 171.55'$
 $CB = S 76^{\circ}34'54'' W$
 $CD = 342.45'$

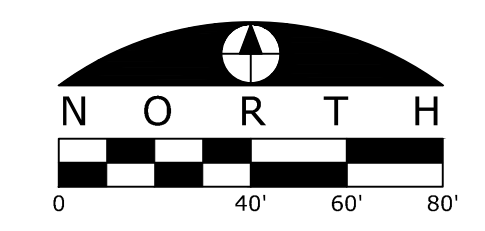
CURVE C-3
 $\Delta = 8^{\circ}17'04''$
 $R = 2814.78'$
 $L = 407.00'$
 $T = 203.85'$
 $CB = S 84^{\circ}13'27'' W$
 $CD = 406.64'$

SEE SUBDIVISION PLAT BY HAEGER
ENGINEERING FOR OUTLOT
DIMENSIONS AND EASEMENTS

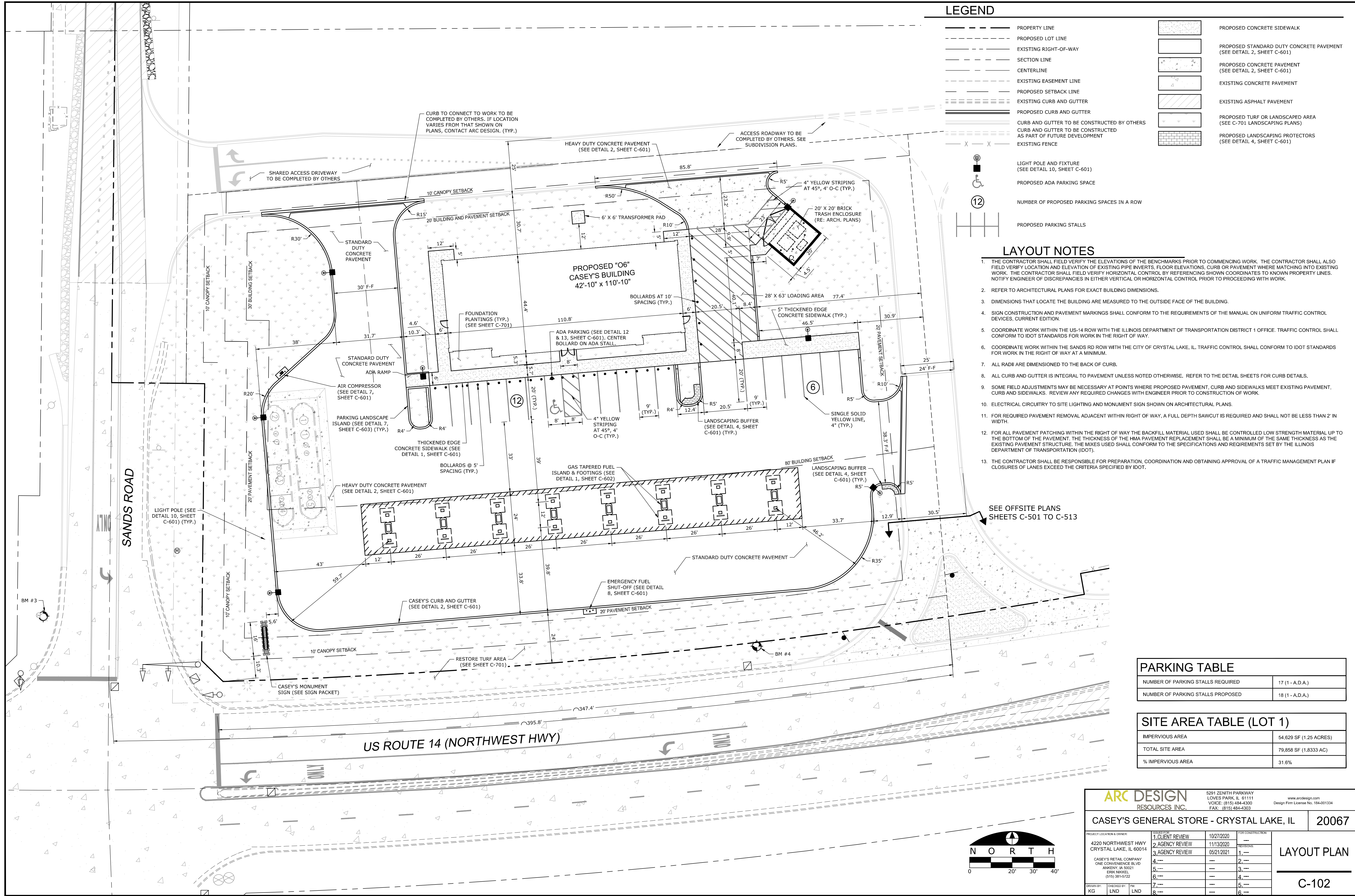
B-2 GENERAL
COMMERCIAL PUD ZONING
AUTOMOBILE SERVICE CENTER

B-2 GENERAL
COMMERCIAL PUD ZONING
SHOPPING CENTER

B-2 GENERAL
COMMERCIAL PUD ZONING
VACANT LOT



ARC DESIGN RESOURCES INC.		5201 ZENITH PARKWAY LOVES PARK, IL 60111 VOICE: (815) 484-4300 FAX: (815) 484-4303		www.arcdesign.com Design Firm License No. 194-001334	
CASEY'S GENERAL STORE - CRYSTAL LAKE, IL			20067		
PROJECT LOCATION & OWNER:	4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014	PROJECT NO:	1027/2020	FOR CONSTRUCTION:	
CASEY'S RETAIL COMPANY ONE CONVENIENCE BLVD ANNKENY, IA 50021 ERIK HANDEL (515) 381-5722		1. CLIENT REVIEW	10/27/2020	1.	
		2. AGENCY REVIEW	11/13/2020	2.	
		3. AGENCY REVIEW	05/21/2021	3.	
		4. ---	---	4.	
		5. ---	---	5.	
		6. ---	---	6.	
		7. ---	---	7.	
		8. ---	---	8.	
DRAWN BY: LND			CHECKED BY: LND	DATE: ---	
			LAYOUT OVERVIEW PLAN		
			C-101		



LEGEND

- PROPERTY LINE
- - - PROPOSED LOT LINE
- - - EXISTING RIGHT-OF-WAY
- SECTION LINE
- CENTERLINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED SETBACK LINE
- - - EXISTING CURB AND GUTTER
- - - PROPOSED CURB AND GUTTER
- - - CURB AND GUTTER TO BE CONSTRUCTED BY OTHERS
- - - CURB AND GUTTER TO BE CONSTRUCTED AS PART OF FUTURE DEVELOPMENT
- - - EXISTING FENCE
- ⊙ LIGHT POLE AND FIXTURE (SEE DETAIL 10, SHEET C-601)
- ♿ PROPOSED ADA PARKING SPACE
- 12 NUMBER OF PROPOSED PARKING SPACES IN A ROW
- ▭ PROPOSED PARKING STALLS
- ▨ PROPOSED CONCRETE SIDEWALK
- ▩ PROPOSED STANDARD DUTY CONCRETE PAVEMENT (SEE DETAIL 2, SHEET C-601)
- ▧ PROPOSED CONCRETE PAVEMENT (SEE DETAIL 2, SHEET C-601)
- ▦ EXISTING CONCRETE PAVEMENT
- ▤ EXISTING ASPHALT PAVEMENT
- ▥ PROPOSED TURF OR LANDSCAPED AREA (SEE C-701 LANDSCAPING PLANS)
- ▧ PROPOSED LANDSCAPING PROTECTORS (SEE DETAIL 4, SHEET C-601)

LAYOUT NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
5. COORDINATE WORK WITHIN THE US-14 ROW WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION DISTRICT 1 OFFICE. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS FOR WORK IN THE RIGHT OF WAY.
6. COORDINATE WORK WITHIN THE SANDS RD ROW WITH THE CITY OF CRYSTAL LAKE, IL. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS FOR WORK IN THE RIGHT OF WAY AT A MINIMUM.
7. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
8. ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
9. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
10. ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
11. FOR REQUIRED PAVEMENT REMOVAL ADJACENT WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT IS REQUIRED AND SHALL NOT BE LESS THAN 2' IN WIDTH.
12. FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL CONFORM TO THE SPECIFICATIONS AND REQUIREMENTS SET BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT).
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA SPECIFIED BY IDOT.

PARKING TABLE	
NUMBER OF PARKING STALLS REQUIRED	17 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	18 (1 - A.D.A.)

SITE AREA TABLE (LOT 1)	
IMPERVIOUS AREA	54,629 SF (1.25 ACRES)
TOTAL SITE AREA	79,858 SF (1.8333 AC)
% IMPERVIOUS AREA	31.6%

ARC DESIGN
RESOURCES INC.

5201 25TH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

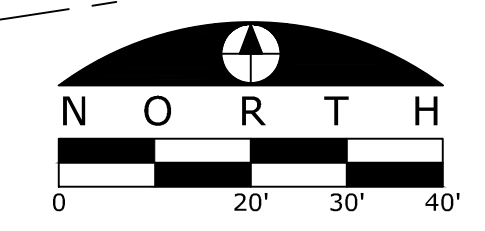
www.arcdesign.com
Design Firm License No. 194-001334

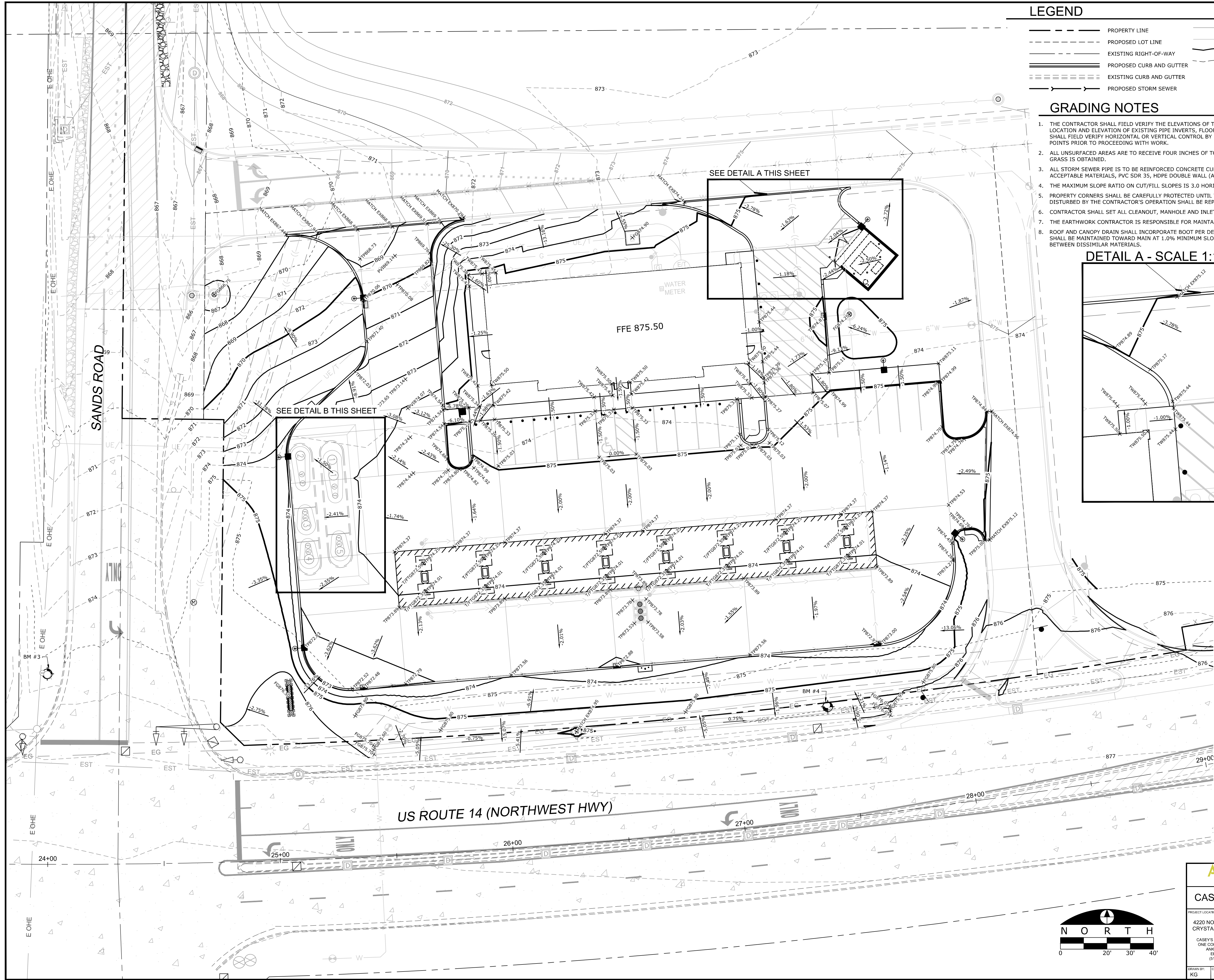
CASEY'S GENERAL STORE - CRYSTAL LAKE, IL 20067

PROJECT LOCATION & OWNER:	4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014	CASEY'S RETAIL COMPANY ONE CONVENIENCE BLVD ANNKENY, IA 50201 ERIK NIKOL (515) 281-5722
DATE:	10/27/2020	FOR CONSTRUCTION:
1. CLIENT REVIEW	11/13/2020	1. ---
2. AGENCY REVIEW	09/21/2021	2. ---
3. AGENCY REVIEW		3. ---
4. ---		4. ---
5. ---		5. ---
6. ---		6. ---
7. ---		7. ---
8. ---		8. ---

LAYOUT PLAN

C-102





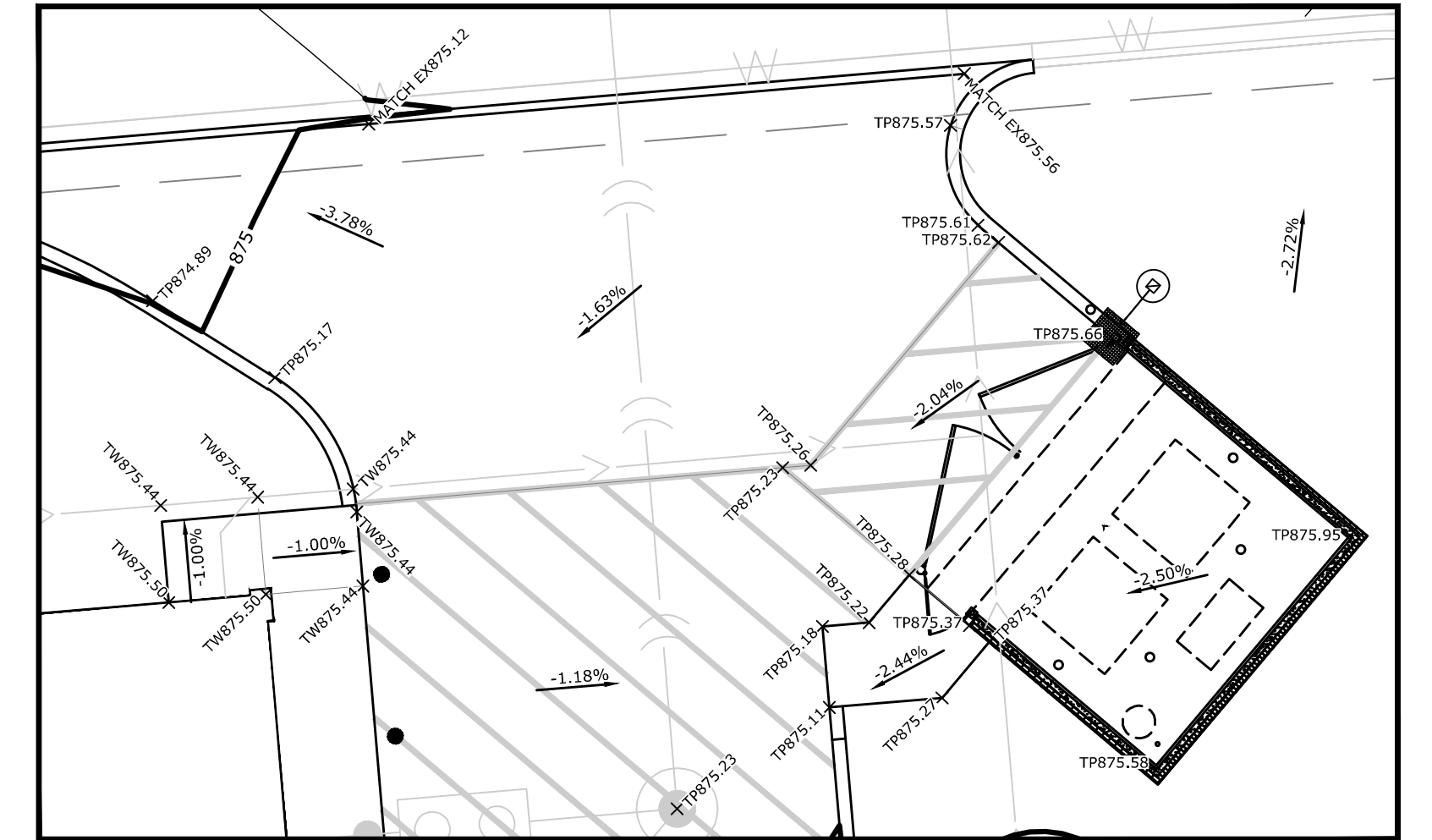
LEGEND

---	PROPERTY LINE	---	EXISTING STORM SEWER	+TW000.00	TOP OF WALK ELEVATION
- - -	PROPOSED LOT LINE	---	PROPOSED GRADE BREAK LINE	+TP000.00	TOP OF PAVEMENT ELEVATION
- - -	EXISTING RIGHT-OF-WAY	---	PROPOSED CONTOUR LINE	+FG000.00	FINISHED GRADE ELEVATION
---	EXISTING CURB AND GUTTER	---	EXISTING CONTOUR LINE	+TF000.00	TOP OF FOOTING ELEVATION
---	EXISTING CURB AND GUTTER	---	PROPOSED CATCH BASIN OR MANHOLE	+MATCH EX 000.00	MATCH EXISTING ELEVATION
---	PROPOSED STORM SEWER	---	PROPOSED CLEANOUT	+RM000.00	TOP OF UGST LID ELEVATION
---		---	DIRECTION OF SHEET FLOW	1.6%	EMERGENCY OVERLAND FLOW ROUTE

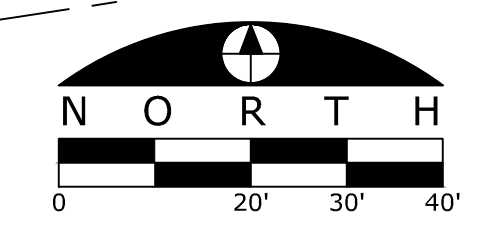
GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDED WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (AOS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.0 HORIZONTAL TO 1 VERTICAL.
5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
7. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
8. ROOF AND CANOPY DRAIN SHALL INCORPORATE BOOT PER DETAIL. 6" PVC PIPE SHALL EXTEND TO A MAIN AS SHOWN ON THE PLAN. POSITIVE DRAINAGE SHALL BE MAINTAINED TOWARD MAIN AT 1.0% MINIMUM SLOPE. 6" PVC CONNECTION TO BE MADE WITH INSERT-A-TEE OR ENGINEER APPROVED EQUIVALENT BETWEEN DISSIMILAR MATERIALS.

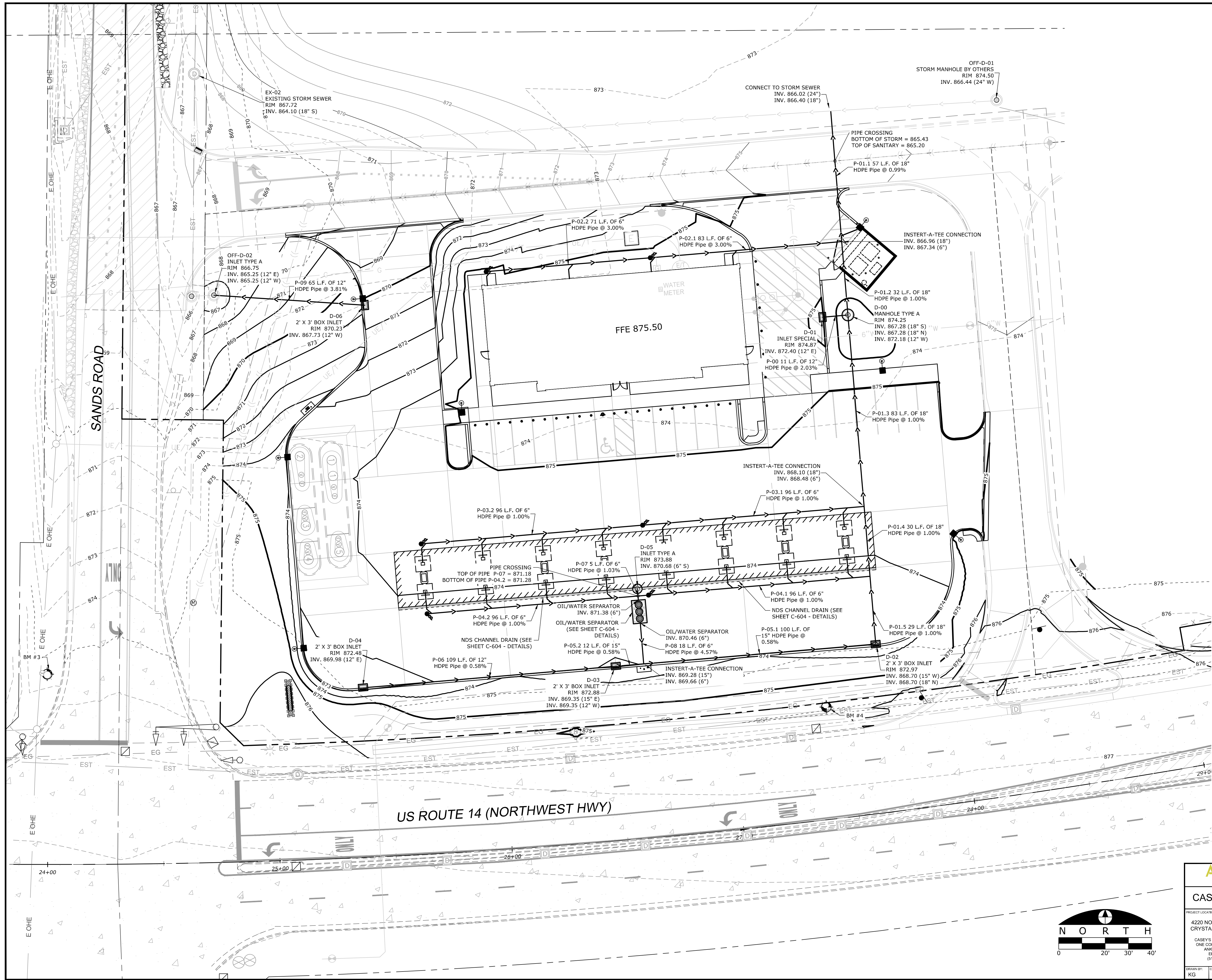
DETAIL A - SCALE 1:10



DETAIL B - SCALE 1:10

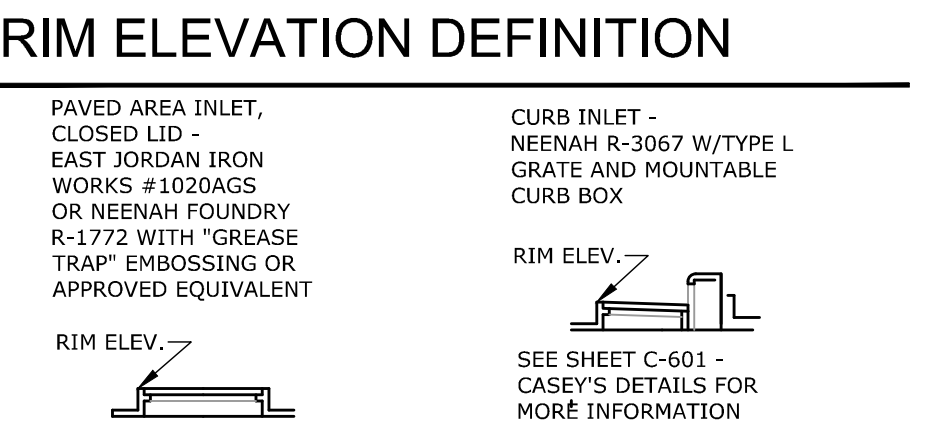


ARC DESIGN RESOURCES INC.		5201 25TH PARKWAY LOVES PARK, IL 60111 VOICE: (815) 484-4300 FAX: (815) 484-4303		www.arcdesign.com Design Firm License No. 194-001334	
CASEY'S GENERAL STORE - CRYSTAL LAKE, IL			20067		
PROJECT LOCATION & OWNER: 4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014 CASEY'S RETAIL COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 ERIC HOOVER (515) 281-5722		CLIENT REVIEW: 10/27/2020 AGENCY REVIEW: 11/13/2020 AGENCY REVIEW: 05/21/2021		FOR CONSTRUCTION: 1. --- 2. --- 3. --- 4. --- 5. --- 6. --- 7. --- 8. ---	
DRAWN BY: KG CHECKED BY: LND DATE: LND			GRADING PLAN <hr/> C-201		



LEGEND

	PROPERTY LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	SECTION LINE
	CENTERLINE
	EXISTING EASEMENT LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED GRADE BREAK LINE
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SEWER
	PROPOSED GAS MAIN
	PROPOSED UNDERGROUND ELECTRIC SERVICE
	PROPOSED TELEPHONE SERVICE
	EXISTING MANHOLE OR CATCH BASIN
	PROPOSED CATCH BASIN OR MANHOLE
	PROPOSED CLEANOUT
	DIRECTION OF SHEET FLOW



BENCHMARKS

	ELEVATION (IL SP EAST)
BENCHMARK 1 TOP BURY BOLT OF FIRE HYDRANT LOCATED 23' WEST OF CENTERLINE OF SANDS RD AND 605' NORTH OF CENTERLINE OF US-14	882.98
BENCHMARK 2 TOP NW BOLT OF FIRE HYDRANT LOCATED 30' WEST OF CENTERLINE OF SANDS RD AND 420' NORTH OF CENTERLINE OF US-14	872.37
BENCHMARK 3 TOP NW BOLT OF FIRE HYDRANT LOCATED 30' WEST OF CENTERLINE OF SANDS RD AND 80' NORTH OF CENTERLINE OF US-14	877.53
BENCHMARK 4 X-CUT ON SOUTH SIDE OF LIGHT POLE BASE LOCATED 300' EAST OF CENTERLINE OF SANDS RD AND 50' NORTH OF CENTERLINE OF US-14	876.29

ARC DESIGN
RESOURCES INC.

5201 23RD PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 486-4303

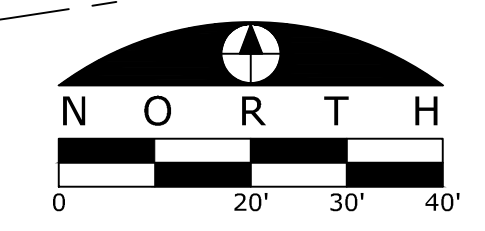
www.arcdesign.com
Design Firm License No. 194-001334

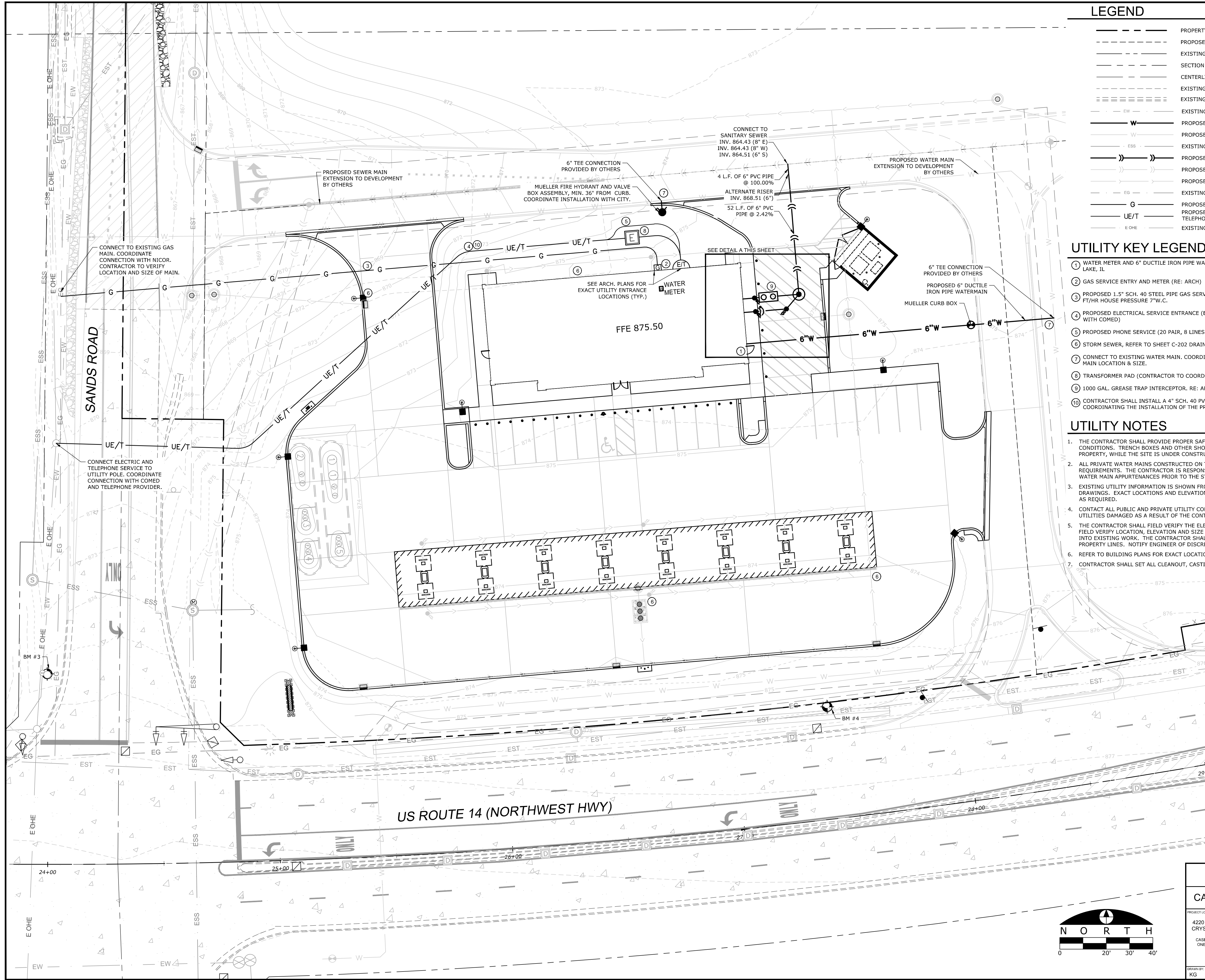
CASEY'S GENERAL STORE - CRYSTAL LAKE, IL 20067

PROJECT LOCATION & OWNER:	4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014
DATE:	10/27/2020
1. CLIENT REVIEW	11/13/2020
2. AGENCY REVIEW	09/21/2021
3. AGENCY REVIEW	---
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---

DRAINAGE PLAN

C-204





LEGEND

---	PROPERTY LINE	[E]	PROPOSED TRANSFORMER
---	PROPOSED LOT LINE	[FH]	EXISTING FIRE HYDRANT ASSEMBLY
---	EXISTING RIGHT-OF-WAY	[FPH]	PROPOSED FIRE HYDRANT ASSEMBLY BY OTHERS
---	SECTION LINE	[X]	EXISTING WATER VALVE
---	CENTERLINE	[WV]	PROPOSED WATER VALVE
---	EXISTING EASEMENT LINE	[D]	PROPOSED WATER VALVE BY OTHERS
---	EXISTING CURB AND GUTTER	[M]	EXISTING MANHOLE OR CATCH BASIN
---	EXISTING WATER MAIN	[SM]	PROPOSED SANITARY MANHOLE
W	PROPOSED WATER SERVICE	[SMH]	PROPOSED SANITARY MANHOLE BY OTHERS
W	PROPOSED WATER MAIN BY OTHERS	[SC]	PROPOSED SANITARY CLEANOUT
ESS	EXISTING SANITARY SEWER	[G]	PROPOSED GREASE TRAP (SEE ARCH. PLANS FOR DETAIL)
---	PROPOSED SANITARY SEWER	[G]	EXISTING SANITARY MANHOLE
---	PROPOSED SANITARY SEWER BY OTHERS	[G]	EXISTING UTILITY POLE
---	PROPOSED STORM SEWER	[G]	EXISTING LIGHT POLE
---	EXISTING GAS MAIN	[G]	EXISTING OVERHEAD UTILITY LINES
G	PROPOSED GAS SERVICE	[G]	
UE/T	PROPOSED UNDERGROUND TELEPHONE AND ELECTRIC UTILITIES	[G]	
E OHE	EXISTING OVERHEAD UTILITY LINES	[G]	

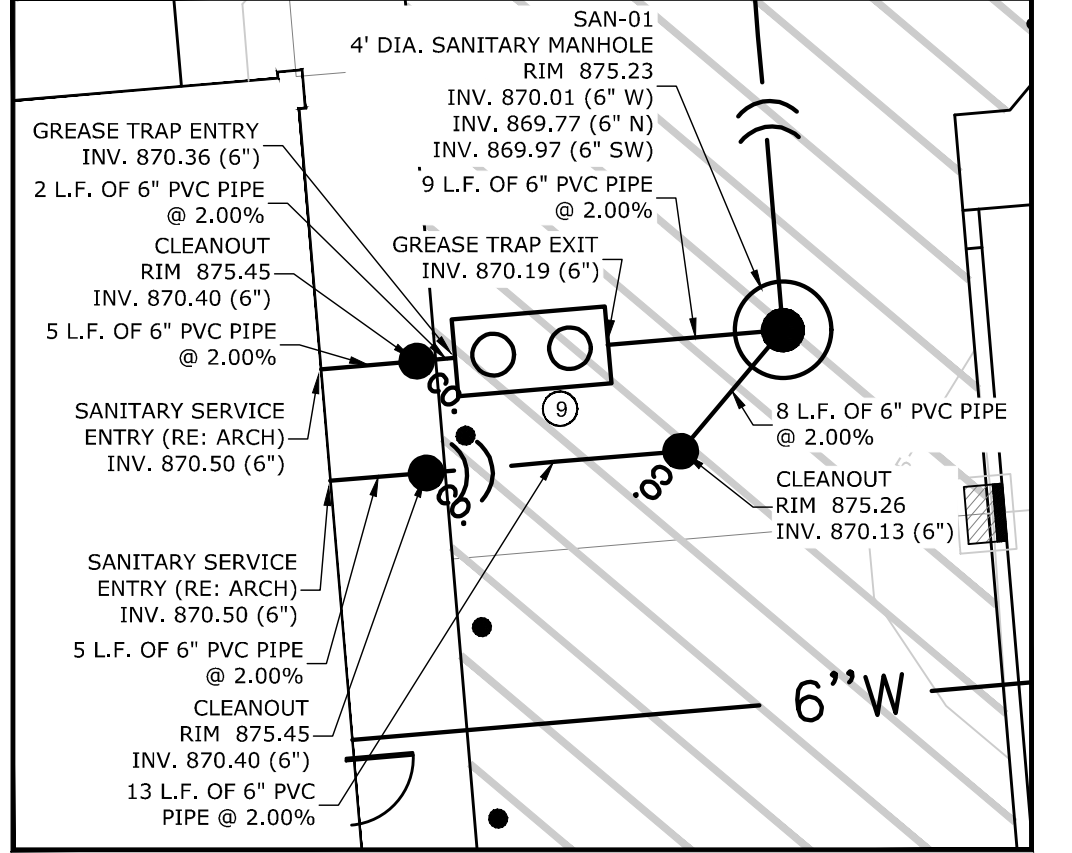
UTILITY KEY LEGEND

- 1 WATER METER AND 6" DUCTILE IRON PIPE WATER SERVICE. CONTRACTOR SHALL PURCHASE THE WATER METER THROUGH THE CITY OF CRYSTAL LAKE, IL
- 2 GAS SERVICE ENTRY AND METER (RE: ARCH)
- 3 PROPOSED 1.5" SCH. 40 STEEL PIPE GAS SERVICE (COORDINATE INSTALLATION WITH NICOR GAS). 680 MBH - 680,000 MBH INPUT - 618 CU FT/HR HOUSE PRESSURE 7" W.C.
- 4 PROPOSED ELECTRICAL SERVICE ENTRANCE (ELECTRIC 3 PHASE, 800 AMP 120/208 VOLTS, 4 WIRE) (CONTRACTOR TO COORDINATE CONNECTION WITH COMED)
- 5 PROPOSED PHONE SERVICE (20 PAIR, 8 LINES)
- 6 STORM SEWER, REFER TO SHEET C-202 DRAINAGE PLAN
- 7 CONNECT TO EXISTING WATER MAIN. COORDINATE CONNECTION WITH THE CITY PUBLIC WORKS DEPARTMENT. FIELD VERIFY EXISTING WATER MAIN LOCATION & SIZE.
- 8 TRANSFORMER PAD (CONTRACTOR TO COORDINATE WITH COMED). SEE ARCH. PLANS FOR PAD DETAIL.
- 9 1000 GAL. GREASE TRAP INTERCEPTOR. RE: ARCH. PLANS SHEET P-501 FOR DETAIL.
- 10 CONTRACTOR SHALL INSTALL A 4" SCH. 40 PVC CONDUIT FOR THE PROPOSED ELECTRICAL SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PROPOSED SERVICE WITH COMED.

UTILITY NOTES

1. THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
2. ALL PRIVATE WATER MAINS CONSTRUCTED ON THE PROPERTY ARE TO BE CONSTRUCTED WITH MATERIALS THAT FOLLOW THE STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL REQUIREMENTS FOR PIPE MATERIAL AND OTHER WATER MAIN APPURTENANCES PRIOR TO THE START OF CONSTRUCTION.
3. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK BY OTHERS, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
4. CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
6. REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
7. CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.

DETAIL A - SCALE 1:10



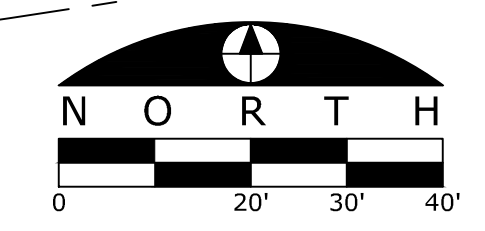
ARC DESIGN RESOURCES INC.
 5201 25TH PARKWAY
 LOVES PARK, IL 61111
 VOICE: (815) 484-4300
 FAX: (815) 486-4303
 www.arcdesign.com
 Design Firm License No. 194-001334

CASEY'S GENERAL STORE - CRYSTAL LAKE, IL 20067

PROJECT LOCATION & OWNER: 4220 NORTHWEST HWY CRYSTAL LAKE, IL 60014	DATE: 10/27/2020	FOR CONSTRUCTION:
CASEY'S RETAIL COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 ERIK BUCKEL (515) 281-5722	1. CLIENT REVIEW 10/27/2020	
DRAWN BY: KG	2. AGENCY REVIEW 11/13/2020	
CHECKED BY: LND	3. AGENCY REVIEW 05/21/2021	
DATE: LND	4. ---	1. ---
	5. ---	2. ---
	6. ---	3. ---
	7. ---	4. ---
	8. ---	5. ---
		6. ---

UTILITY PLAN

C-301



Casey's

SIGN PACKET

JACOB CLARK | SIGNAGE PROJECT BUYER
3305 SE Delaware Ave | Ankeny, IA 50021
P: 515-963-3831 | E: jacob.clark@caseys.com

Crystal Lake, IL

O6 Flat

- 6' Building Signage
- 29" Canopy Signage
- 4 Product Custom Monument

04-28-21

Building & Wall Signs (O6 Flat Roof)

Sign #	Sign	Type	Location	Illumination	Dimensions				Area Ft ²
					Height	Width	Bottom	Top	
1	"Casey's"	Surface	Building Front	Internal	6'-0"	15' 4-1/4"	12' 2"	18' 2"	37.85
2	DO NOT INSTALL								
3	Snap Frame	Advertising	Building Front	N/A	3' 0"	8' 0"	3' 4"	6' 8-1/2"	24
4	Snap Frame	Advertising	Building Front	N/A	3' 8"	2' 4"	2' 10"	6' 10-1/2"	8.56
								Total	70.41

Canopy

Sign #	Sign	Type	Location	Illumination	Dimensions				Area Ft ²
					Height	Width	Bottom	Top	
5	"Casey's"	Surface	Canopy Front	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
								Total	18.42

Canopy Snap Frame Signs Not Allowed

Monument Sign (Custom)

Sign #	Sign	Type	Location	Illumination	Dimensions				Area Ft ²
					Height	Width	Bottom	Top	
6	Weathervane	Freestanding	Street	N/A	1' 3-9/16"	1' 2-1/8"	7' 8-7/16"	9' 0"	0.69
	House Logo	Freestanding	Street	Internal	3' 0"	5' 6-7/16"	4' 8-7/16"	7' 8-7/16"	11.29
	Product Labels	Freestanding	Street	Internal	1' 11"	10' 2"	3' 0"	4' 1"	11.02
	Digital Price Displays	Freestanding	Street	Internal	1' 6"	10' 2"	1' 6"	3' 0"	15.25
								Total	38.25

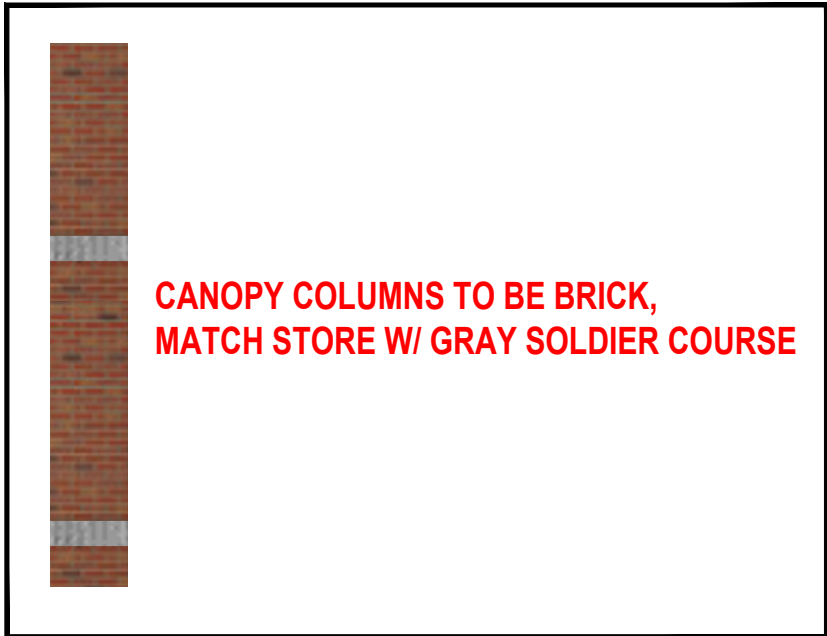
Max 9' OAH, Max 80 Ft², Digital Price Sign Colors Amber, White, or Green Only & Max 20 Ft², Must Mimic Existing Crystal Lake Casey's Sign

1



3

4



NO SNAP FRAMES



**CRYSTAL LAKE, IL
FUEL CANOPY**

**DRAWN BY:
J. CLARK**

**DATE:
12-11-20**

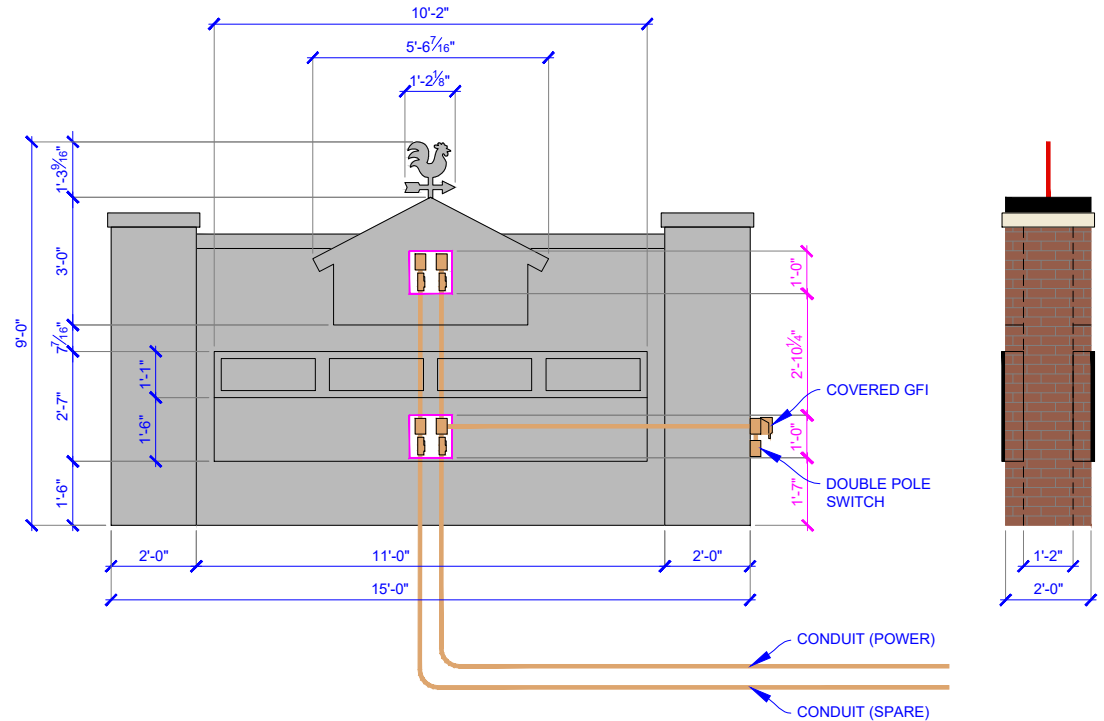
Monument Sign (Custom)

SIGN 6

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
6	Weathervane	Freestanding	Street	N/A	1' 3-9/16"	1' 2-1/8"	7' 8-7/16"	9' 0"	0.69
	House Logo	Freestanding	Street	Internal	3' 0"	5' 6-7/16"	4' 8-7/16"	7' 8-7/16"	11.29
	Product Labels	Freestanding	Street	Internal	1' 11"	10' 2"	3' 0"	4' 1"	11.02
	Digital Price Displays	Freestanding	Street	Internal	1' 6"	10' 2"	1' 6"	3' 0"	15.25
								Total	38.25

Max 9' OAH, Max 80 Ft², Digital Price Sign Colors Amber, White, or Green Only & Max 20 Ft², Must Mimic Existing Crystal Lake Casey's Sign

GRAY BRICK AND STONE CAP TO MATCH BUILDING

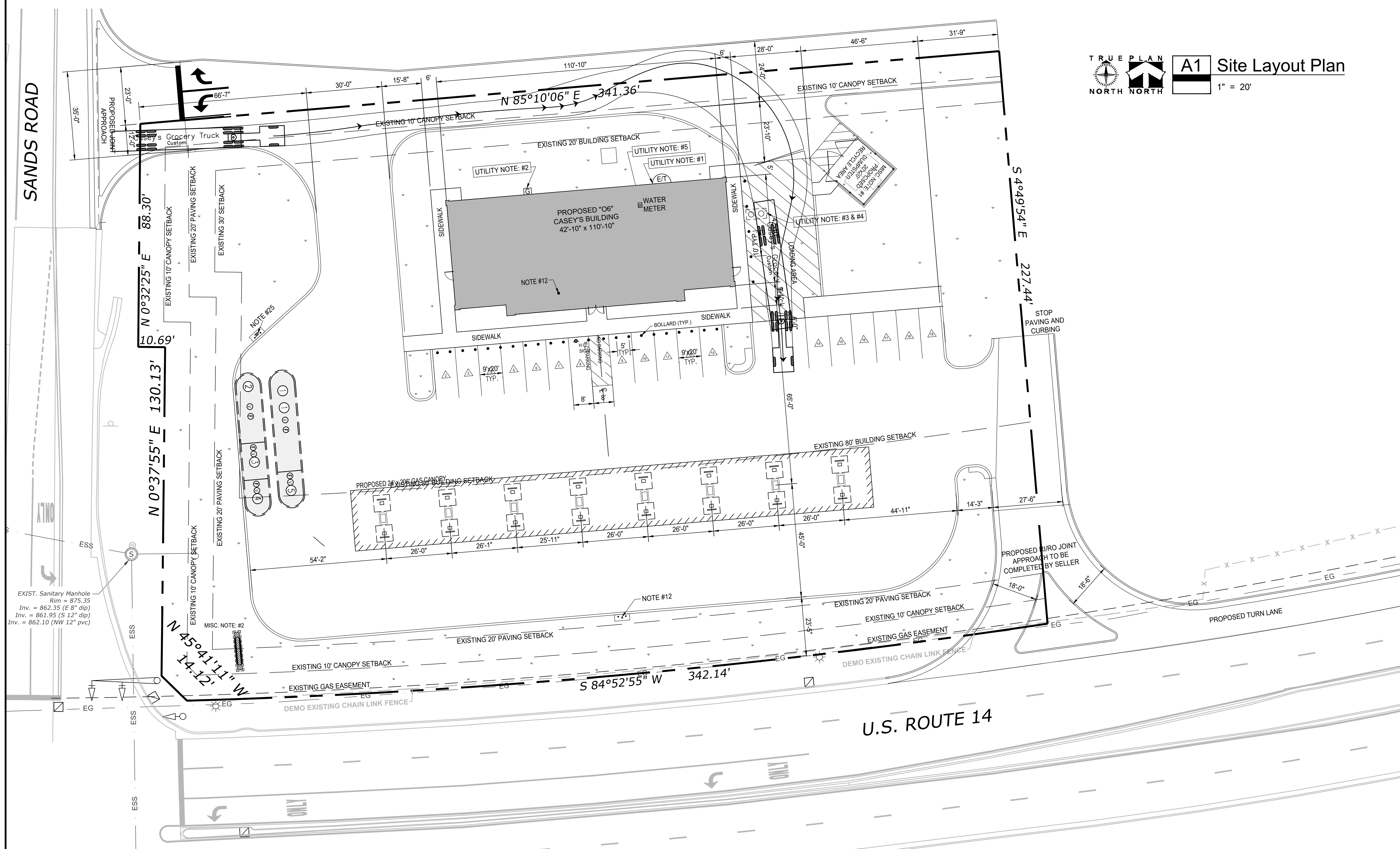


CRYSTAL LAKE, IL #2

CUSTOM MONUMENT

DRAWN BY: J. CLARK

DATE: 12-11-20



TRUE PLAN NORTH NORTH A1 Site Layout Plan 1" = 20'

General Construction Notes

- PETROLEUM:**
- 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS.
 - TANK 1 - 22,000 GALLON (87E)
 - TANK 2 - 14,000 GALLON (BIODIESEL BLEND)
 - TANK 3 - 8,000 GALLON (91E)
 - TANK 4 - 8,000 GALLON (93E)
 - TANK 5 - 8,000 GALLON (E63)
 - TANK SETTING DETAILS PAGE QF-301
 - FILL PIPE AND MANHOLE DETAIL PAGE QF-301
 - GILBARCO WIRING PAGE QF-601
 - GAS ISLAND SIZE - 3' x 5' W/DUAL GUARD PIPE
 - 8 - GAS GILBARCO 700 S DISPENSERS (BLENDED)
 - 2 = NG1 4 NOZZLES & 8 METERS EACH
 - 6 = NF8 8 NOZZLES & 8 METERS EACH
 - ISLAND DETAILS PAGE AL-501
 - ISLAND CONDUIT DETAIL PAGE E-602
 - DO NOT PLACE PRODUCT PIPING UNDER ISLAND
 - 18" MIN. FROM TANK PIPING TO FINISH SURFACE
 - RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
 - ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS **DO NOT** FALL WITHIN A 100 RADIUS.
- APPROACHES/CONCRETE:**
- DRIVEWAY JOINTS TO BE PACKED & CAULKED
 - CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
 - CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
 - CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
 - APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
 - SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1:50 ALL DIRECTIONS
 - ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
 - 2% MAX. CROSS-SLOPE IN APPROACH SIDEWALK AREA
 - 10" ROLL-OVER CURB TYP. - SEE STANDARD CIVIL DETAILS
 - CANOPY FOOTING: SIZE 6'-3" LENGTH x 6'-3" WIDTH x 3'-0" DEPTH. CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF F-C-3000 p.s.i. CONCRETE REINFORCING: ASTM A-615 GRADE 60. REBAR CAGE: (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
 - SIGN BASE AND DETAILS PAGE AL-601
- SITE ITEMS:**
- VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
 - IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.
 - AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON CONCRETE PAD 16" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.

Keyed Construction Notes

NOTE: ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF CRYSTAL LAKE & I.L.D.O.T. APPROVAL AND SPECIFICATIONS.
SEE CIVIL

Legal Description:

SEE CIVIL

Legend

- MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- TYP. CONCRETE PAVING OR SIDEWALKS (51,606 SQ. FT.)
- AREA TO BE SOD
- AREA LIGHTS (0 SHOWN) REFER TO LIGHTING PLAN RL-2-S1 DONE BY RED LEONARD

NOTE:
SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.

- SPECIAL REQUIREMENTS:**
- ROOFTOP SCREENING REQ.
 - PARKING LOT LANDSCAPING ISLANDS REQ.
 - BRICK DUMPSTER ENCLOSURE REQ.
 - TRAFFIC IMPACT STUDY REQ.
 - KNOX BOX REQ.
 - SPRINKLER SYSTEM REQ.

Casey's		Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Arkeny, IA 50021 515-965-6100			
PROJECT: Crystal Lake, IL NEC U.S. 14 & SANDS RD.	DATE: 08/21/20	REVISIONS: 09/25/20 09/29/20 10/09/20 10/27/20 12/15/20	SITE PLAN
CONSTRUCTION DIVISION	DRAWN BY: Derek Wheatley	CHECKED BY:	AL-101

U.G.S.T. Notes

- FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP.)
- TURBINE ENCLOSURE TYP. CONTAINS: SUB-PUMP W/LINE LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- VENT W/SPILL CONTAINMENT & EXTRACTOR
- SUMP SENSOR @ EACH DISPENSER.

General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY ARC DESIGN ENGINEERING.

Utility Notes

- UTILITY NOTE #1:** ELECTRICAL: ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 800 AMP, 480 VOLTS, 4 WIRE. TELEPHONE 20 PAIR, 8 LINES.
- UTILITY NOTE #2:** GAS: 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 880 MSH. TOTAL CONNECTED LOAD IS 880,000 BTU @ 618 CU.FT. HR. HOUSE PRESSURE IS 7" W.C.
- UTILITY NOTE #3:** SANITARY SEWER: 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4:** SANITARY SEWER: 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
- UTILITY NOTE #5:** WATER: 2" CTS. HDPE. SDR9 C5-200 PSI WATER SERVICE CONNECTION.

Misc. Notes

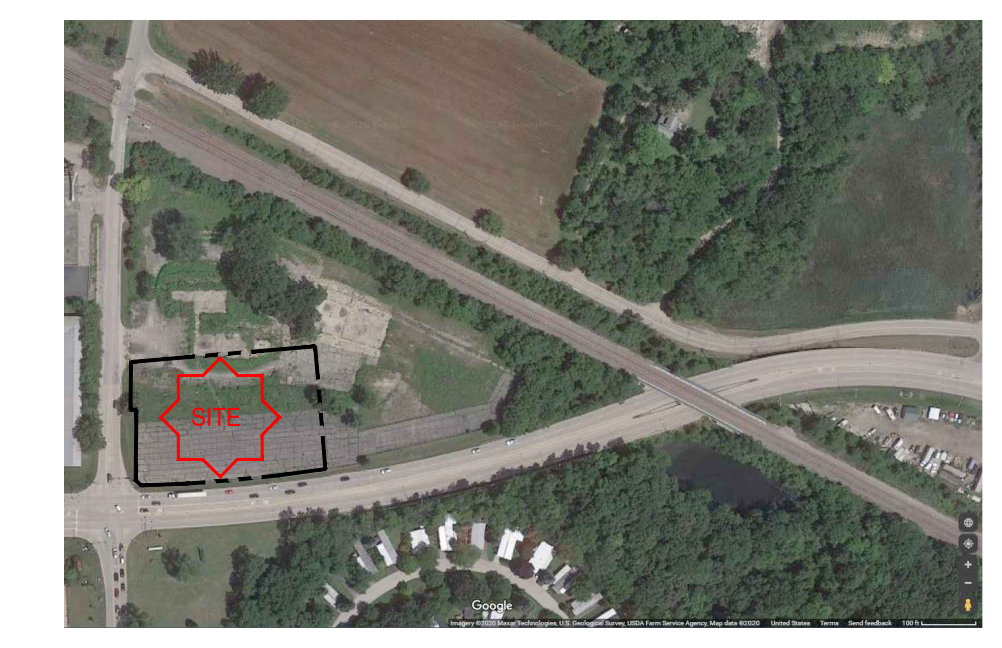
- Misc. #1:** DUMPSTER ENCLOSURE 6' HEIGHT BRICK 2-9" METAL GATES AND 4" METAL SERVICE GATE
- Misc. #2:** 4 PRODUCT CUSTOM MONUMENT SIGN - REFER TO SIGN PACKET

Zoning Information

ZONED: GENERAL BUSINESS (B-2)

SETBACKS:
FRONT (S): 80' BUILDING SETBACK
SIDE (W): 30' BUILDING SETBACK
REAR (N): 20' BUILDING SETBACK
ALL SIDES: 10' CANOPY SETBACK

PARKING:
1 SPACE / 4 PUMPS + 1 SPACE / 300 SQ. FT. GROSS FLOOR AREA REQ.
(8 / 4) * (4.517 / 300) = 17 SPACES REQUIRED PLUS 1 ADA SPACE
19 SPACES PROVIDED INCLUDING 1 ADA SPACE.



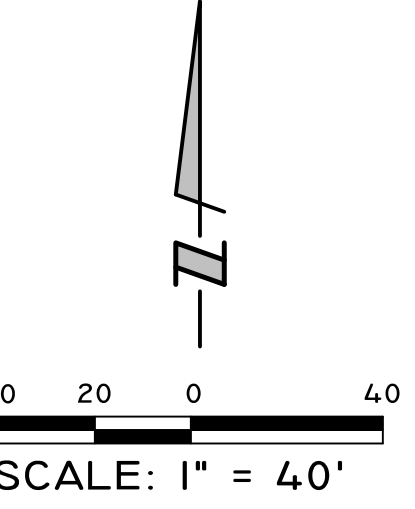
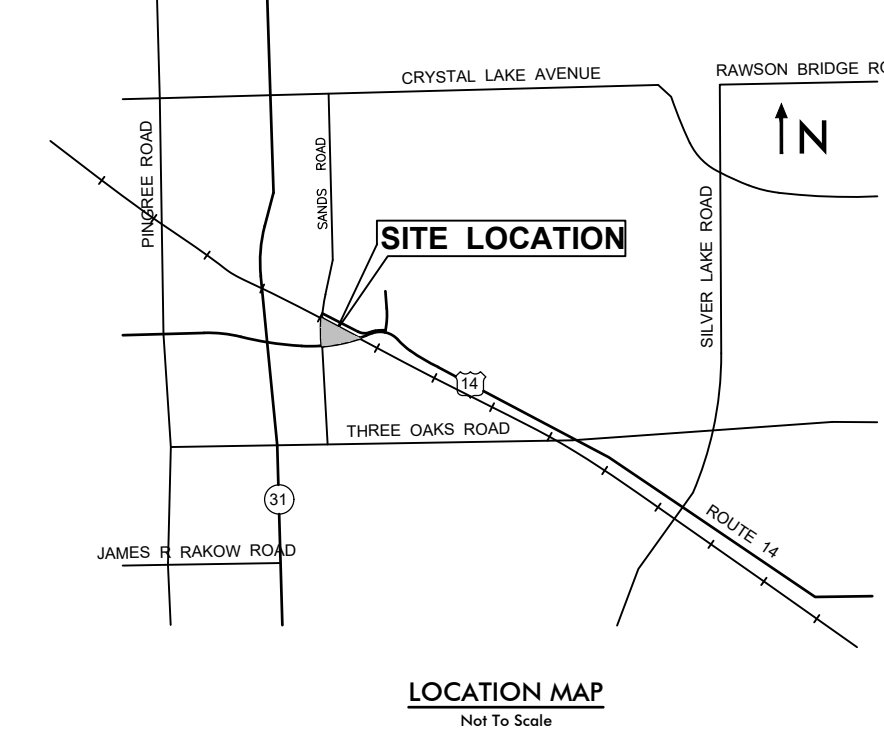
VICINITY MAP

NTS

MAIL PLAT TO:
HAEGER ENGINEERING LLC
CONSULTING ENGINEERS AND LAND SURVEYORS
100 EAST STATE PARKWAY
SCHUMBERG, IL 60173

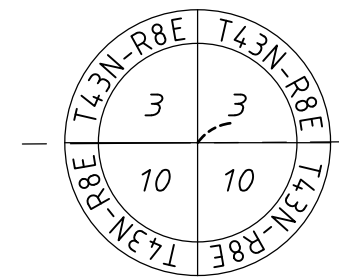
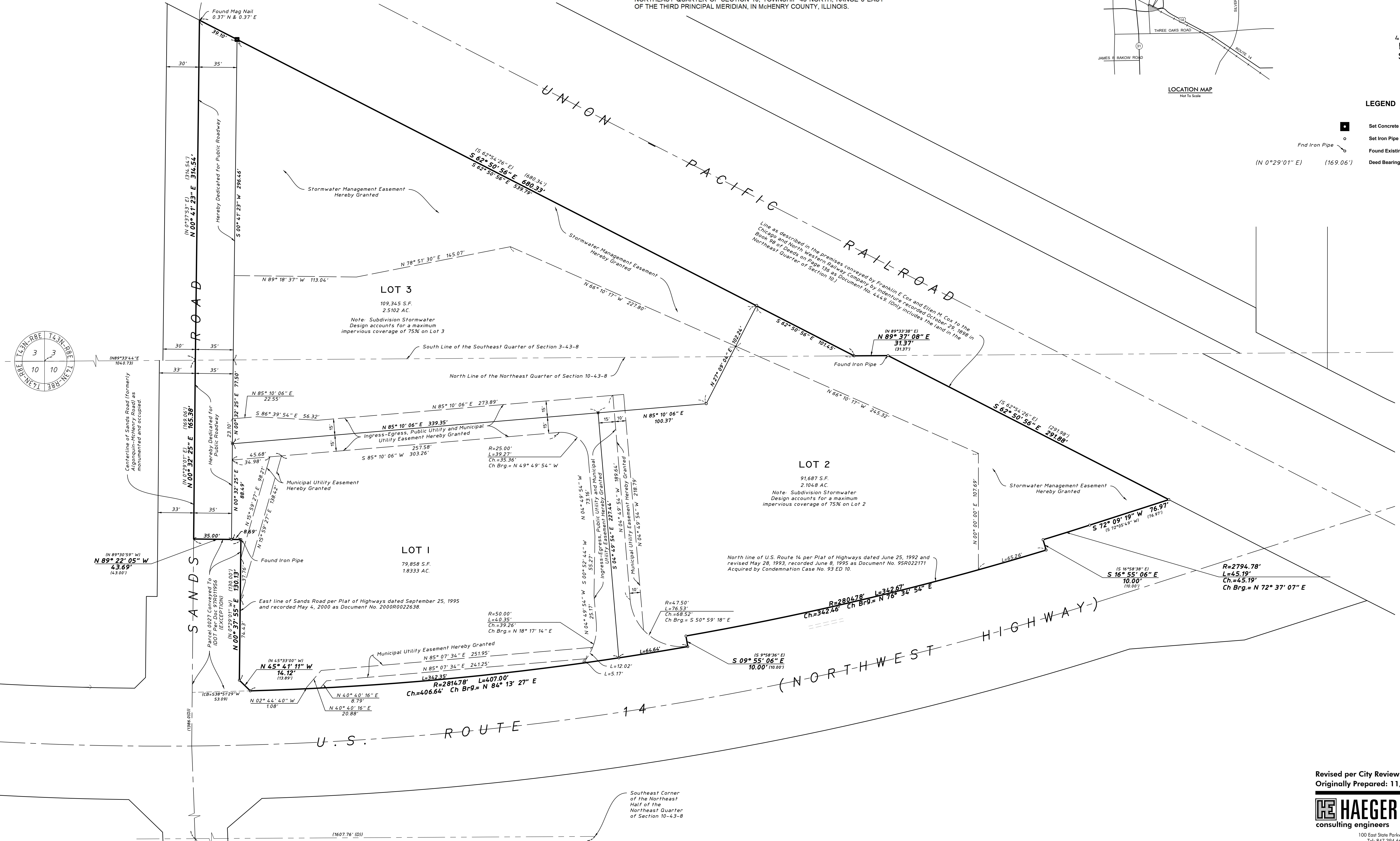
FINAL PLAT OF SANDS LANDING

BEING A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 3 AND THE
NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 43 NORTH, RANGE 8 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN McHENRY COUNTY, ILLINOIS.



LEGEND

- Set Concrete Subdivision Monument
- Set Iron Pipe
- Found Existing Monument as Noted
- Deed Bearing & Distance



Revised per City Review: 12/23/20, 5/21/21
Originally Prepared: 11/13/20 Project No. 18-095

HAEGER ENGINEERING
consulting engineers • land surveyors

100 East State Parkway, Schaumburg, IL 60173
Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-0003152
www.haegerengineering.com

FINAL PLAT OF SANDS LANDING

BEING A SUBDIVISION IN THE SOUTHEAST QUART OF SECTION 3 AND THE
NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 43 NORTH, RANGE 8 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN McHENRY COUNTY, ILLINOIS.

MAIL PLAT TO:

HAEGER ENGINEERING LLC
CONSULTING ENGINEERS AND LAND SURVEYORS
100 EAST STATE PARKWAY
SCHAUMBURG, IL 60173

PLAT PREPARED FOR:

JEMCO PROPERTIES LLC
1320 S. VIRGINIA ROAD
CRYSTAL LAKE, IL 60014

SEND NEW TAX BILL TO:

JEMCO PROPERTIES LLC
1320 S. VIRGINIA ROAD
CRYSTAL LAKE, IL 60014

**THIS PLAT SUBMITTED
FOR RECORDING BY:**

PROFESSIONAL AUTHORIZATION

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, JEFFREY W. GLUNT, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF ILLINOIS,
LICENSE NUMBER 35-3695, DO HEREBY AUTHORIZE THE VILLAGE OF LAKE ZURICH,
LAKE COUNTY, ILLINOIS, ITS STAFF OR AUTHORIZED AGENT, TO PLACE THIS
DOCUMENT OF RECORD IN THE COUNTY RECORDERS OFFICE IN MY NAME AND IN
COMPLIANCE WITH THE ILLINOIS STATUTES CHAPTER 109 PARAGRAPH 2, AS
AMENDED.

SCHAUMBURG, ILLINOIS NOVEMBER 10, 2020

JEFFREY W. GLUNT
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3695
MY LICENSE EXPIRES NOVEMBER 30, 2020 AND IS RENEWABLE

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, JEFFREY W. GLUNT, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY
CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED
PROPERTY:

PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 3 AND PART
OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 10, DESCRIBED AS
FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE SAID NORTH HALF OF
THE NORTHEAST QUARTER OF SAID SECTION 10 AND RUNNING THENCE WEST
ALONG THE SOUTH LINE THEREOF, 24 CHAINS AND 36 LINKS TO THE CENTER OF THE
HIGHWAY KNOWN AS THE ALGONQUIN AND McHENRY ROAD; THENCE NORTH 1-1/2
DEGREES WEST ALONG THE CENTER OF SAID HIGHWAY, 21 CHAINS; THENCE NORTH
11 DEGREES EAST ALONG THE CENTER OF SAID HIGHWAY, 3 CHAINS AND 86 LINKS,
MORE OR LESS, TO THE SOUTH LINE OF THE RIGHT OF WAY OF THE CHICAGO AND
NORTHWESTERN RAILROAD COMPANY; THEN SOUTH 62-1/2 DEGREES EAST ALONG
THE SAID SOUTH LINE OF SAID RIGHT OF WAY TO THE EAST LINE OF THE SAID NORTH
HALF OF THE NORTHEAST QUARTER OF SAID SECTION 10; THENCE SOUTH ALONG
THE SAID EAST LINE TO THE PLACE OF BEGINNING (EXCEPT FROM SAID TRACT THAT
PART THEREOF LYING SOUTH OF THE NORTH LINE OF STATE ROUTE NO. 14), IN
TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO
EXCEPT THAT PART OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 43
NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS
FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST
QUARTER; THENCE NORTH 89 DEGREES 33 MINUTES 44 SECONDS EAST, 1040.73
FEET (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) ALONG THE NORTH
LINE OF SAID NORTHEAST QUARTER TO THE CENTERLINE OF SAND ROAD; THENCE
SOUTH 00 DEGREES 29 MINUTES 1 SECOND WEST, 169.06 FEET ALONG SAID
CENTERLINE TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 30 MINUTES
59 SECONDS EAST, 43.00 FEET; THENCE SOUTH 00 DEGREES 29 MINUTES 1 SECOND
WEST, 130 FEET; THENCE SOUTH 45 DEGREES 33 MINUTES 00 SECONDS EAST, 13.89
FEET TO THE N011HERLY RIGHT OF WAY LINE OF U.S. ROUTE 14 AS PER CIRCUIT
COURT CASE NUMBER 93ED10, FILED APRIL 11, 1994; THENCE WESTERLY 53.02 FEET
ALONG SAID NORTHERLY RIGHT OF WAY, ON A NON-TANGENT CURVE TO THE RIGHT,
HAVING A RADIUS OF 2814.78 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 88
DEGREES 51 MINUTES 29 SECONDS WEST, 53.02 FEET TO THE CENTER LINE OF
SANDS ROAD; THENCE NORTH 0 DEGREES 29 MINUTES 1 SECOND EAST, 141.15 FEET
ALONG THE CENTERLINE OF SANDS ROAD TO THE POINT OF BEGINNING, ALL IN
McHENRY COUNTY, ILLINOIS.

THE LANDS SHOWN ON THE PLAT AND DESCRIBED IN THE ABOVE CAPTION, AND
THAT THE SAID PLAT, DRAWN TO A SCALE OF 40 FEET PER 1 INCH ON SHEET ONE IS
A TRUE AND CORRECT REPRESENTATION OF THE SAID SURVEY AND SUBDIVISION,
DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF AND ARE
CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

I FURTHER CERTIFY THAT UPON COMPLETION OF CONSTRUCTION BUT NOT LONGER
THAN ONE YEAR FROM THE RECORDING OF THIS PLAT, CONCRETE MONUMENTS, AS
SHOWN, AND IRON PIPES AT ALL LOT CORNERS AND POINTS OF CHANGE IN
ALIGNMENT WILL BE SET, AS REQUIRED BY THE PLAT ACT (765 ILCS 205/0.01 ET SEQ.).
THIS IS TO FURTHER CERTIFY THAT THE LAND INCLUDED IN THE ANNEXED PLAT IS
WITHIN THE CORPORATE LIMITS OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY,
ILLINOIS, WHICH HAS AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE
SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS
5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.

I DO HEREBY FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS
ENTIRELY WITHIN THE CORPORATE LIMITS OF THE CITY OF CRYSTAL LAKE, ILLINOIS,
WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS
AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS
AMENDED.

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE
NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR McHENRY
COUNTY, ILLINOIS, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE
FLOOD INSURANCE RATE MAP, PANEL NO. 17111C0335J DATED NOVEMBER 16, 2008.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM
STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

SCHAUMBURG, ILLINOIS NOVEMBER 10, 2020

JEFFREY W. GLUNT
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3695
MY LICENSE EXPIRES NOVEMBER 30, 2020 AND IS RENEWABLE

Revised per City Review: 12/23/20, 5/21/21
Originally Prepared: 11/13/20 Project No. 18-095



100 East State Parkway, Schaumburg, IL 60173
Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegereengineering.com

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF McHENRY)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE
PROPERTY DESCRIBED HEREON AND THAT IT HAS CAUSED SAID PROPERTY
TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON FOR THE USES AND
PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND
ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON SHOWN.

IT FURTHER CERTIFIES TO THE BEST OF ITS KNOWLEDGE, THAT THE LAND
INCLUDED HEREIN FALLS WITHIN CRYSTAL LAKE ELEMENTARY DISTRICT 47
AND COMMUNITY HIGH SCHOOL DISTRICT 155.

SIGNED AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D.
20__.

BY: _____

ATTEST: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF McHENRY)

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE
STATE AFORESAID DOES HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME OR PROVED TO ME ON THE BASIS OF
SATISFACTORY EVIDENCE TO BE THE SAME PERSON WHOSE NAME IS
SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS
DAY IN PERSON AND ACKNOWLEDGE THAT HE SIGNED AND DELIVERED SAID
INSTRUMENT AS HIS OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND
VOLUNTARY ACT OF SAID CORPORATION FOR THE USES AND PURPOSES
THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____
, 20__.

PRINT NAME _____

NOTARY PUBLIC _____

COMMISSION EXPIRES: _____ (SEAL)

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF McHENRY)

I, _____, COUNTY CLERK OF McHENRY COUNTY,
ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL
TAXES, NO UNPAID FORFEITED TAXES AND NO REDEMABLE TAX SALES
AGAINST ANY OF THE LAND IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I
HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED
PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK, McHENRY COUNTY,
ILLINOIS.

DATED THIS _____ DAY OF _____, A.D. 20__.

BY: _____
 COUNTY CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF McHENRY)

REVIEWED BY THE PLAN COMMISSION OF THE CITY OF CRYSTAL LAKE,
McHENRY COUNTY, ILLINOIS.

THIS _____ DAY OF _____, A.D. 20__.

CHAIRPERSON _____

ATTEST: SECRETARY _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF McHENRY)

THIS SUBDIVISION IS APPROVED BY THE CITY COUNCIL OF THE CITY OF
CRYSTAL LAKE, ILLINOIS, AT A MEETING HELD

THIS _____ DAY OF _____, A.D. 20__.

MAYOR _____

CITY CLERK _____

ILLINOIS DEPARTMENT OF TRANSPORTATION

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF
TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO
PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS
AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE
DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE
HIGHWAYS" WILL, BE REQUIRED BY THE DEPARTMENT.

BY: _____
 ANTHONY J. QUIGLEY, P.E.
 REGION ONE ENGINEER

DATE: _____

MUNICIPAL UTILITY EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH DOMESTIC WATER,
SANITARY SEWER AND STORMWATER DRAINAGE IS HEREBY RESERVED FOR AND GRANTED TO
THE CITY OF CRYSTAL LAKE, ILLINOIS, THEIR SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE,
MAINTAIN, RELOCATE, RENEW AND REMOVE FACILITIES USED IN CONNECTION WITH SEWER AND
WATER MAINS, IN, UNDER, ACROSS, ALONG, AND UPON THE SURFACE OF THE PROPERTY SHOWN
ON THE PLAT WITHIN THE AREAS MARKED AS "MUNICIPAL UTILITY EASEMENT" (MUE) AND THOSE
PARTS DESIGNATED ON THE PLAT AS DEDICATED FOR PUBLIC STREET, TOGETHER WITH THE
RIGHT TO CUT, TRIM, OR REMOVE TREES, BUSHES, AND ROOTS AS MAY BE REASONABLY
REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE
PROPERTY FOR ALL SUCH PURPOSES.

EACH INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING TITLE TO ALL OR ANY PART OF THE
MUNICIPAL UTILITY EASEMENT (MUE) SHALL CONCLUSIVELY BE DEEMED TO HAVE COVENANTED
AND AGREED, JOINTLY AND SEVERALLY, TO:

- I. THE SURFACE OF THE MUE MAY BE GRASS, SOD, OR PAVEMENT TO ALLOW FOR DRIVEWAYS
OR PARKING. MINOR LANDSCAPING AS SHOWN ON THE APPROVED LANDSCAPE PLAN MAY BE
PERMITTED.
- II. CARE FOR AND MAINTAIN THE SURFACE OF THAT PORTION OF THE MUE WHICH IS LOCATED
ON SUCH PARTY'S PROPERTY SO THAT IT IS IN GOOD CONDITION FOR ITS INTENDED
PURPOSE AS A MUE WHICH MAINTENANCE MAY INCLUDE, BUT SHALL NOT BE LIMITED TO, THE
REGULAR SEEDING, WATERING AND MOWING OF ALL LAWNS OR PAVEMENT RESTORATION.

NO TITLEHOLDER OF ANY PART OR PORTION OF THE MUE (OR ANY PARTY ACTING ON BEHALF OF
THE TITLEHOLDER) SHALL:

- III. INSTALL, CONSTRUCT, ERECT, PLACE OR PLANT ANY BUILDING, STRUCTURES,
IMPROVEMENTS OR VEGETATION (OTHER THAN GRASS OR CITY APPROVED PLANTINGS)
UPON THE MUE, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PATIOS, SHEDS, POSTS,
TREES, PLANTS OR SHRUBBERY, EXCEPT AS SHOWN ON THE APPROVED LANDSCAPE PLAN,
OR
- IV. ALTER, MODIFY OR CHANGE IN ANY WAY THE TOPOGRAPHY OR ELEVATIONS OF THE MUE.

THE CITY SHALL MAINTAIN THE SEWER AND WATER MAINS LOCATED WITHIN THE MUE UP TO AND
INCLUDING THE SHUT OFF VALVES, THE MANHOLES, FIRE HYDRANTS AND THE SANITARY SEWER
MAIN, BUT NOT INCLUDING THE SERVICE CONNECTIONS AND LATERALS (REFERRED TO AS THE
"SYSTEM"). THE CITY'S DUTIES WILL INCLUDE ALL NECESSARY WORK UP TO AND INCLUDING THE
BACKFILL STAGE IN THE EVENT OF REPAIR AND REPLACEMENT WORK ON THE SYSTEM.

EACH INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING TITLE TO ALL OR ANY PART OF THE MUE
WILL BE RESPONSIBLE FOR PROMPT, QUALITY RESTORATION OF ALL SURFACE AND ABOVE-
GRADE IMPROVEMENTS MEETING OR EXCEEDING THE ORIGINAL CONSTRUCTION REQUIREMENTS
OF ALL AREAS IN THE MUE THAT WERE DAMAGED BY THE CITY IN THE PROCESS OF REPAIRING,
REPLACING OR CONSTRUCTING THE SYSTEM. THE CITY AGREES TO EXERCISE REASONABLE
CARE IN REPAIRS MADE SO AS NOT TO CAUSE UNNECESSARY DAMAGES.

THE MUE IS EXCLUSIVE OF ANY OTHER BLANKET EASEMENT ON THE PROPERTY.

STORMWATER MANAGEMENT EASEMENT (SME)

EACH INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING TITLE TO ALL OR ANY PART
OF THE STORMWATER MANAGEMENT EASEMENT (SME) SHALL CONCLUSIVELY BE
DEEMED TO HAVE COVENANTED AND AGREED, JOINTLY AND SEVERALLY, TO:

- I. CARE FOR AND MAINTAIN THE SURFACE OF THAT PORTION OF THE SME WHICH
IS LOCATED ON SUCH PARTY'S PROPERTY AS A WELL LANDSCAPED, HIGH-
QUALITY PARCEL (WHICH MAINTENANCE SHALL INCLUDE, BUT SHALL NOT BE
LIMITED TO, THE REGULAR SEEDING, WATERING, AND MOWING OF ALL LAWNS),
AND
 - II. KEEP ALL SURFACE OPENINGS OF THE DRAINAGE PIPES UNDERLYING THE SME
FREE OF ALL GRASS CLIPPINGS, LEAVES, OR OTHER RELATED OR FOREIGN
MATERIALS.
- NO INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING TITLE TO ALL OR ANY PART OF
THE SME SHALL:

- I. INSTALL, CONSTRUCT, ERECT, PLACE OR PLANT ANY BUILDING, STRUCTURES,
IMPROVEMENTS OR VEGETATION (OTHER THAN GRASS OR CITY APPROVED
PLANTINGS) UPON THE SME INCLUDING, BUT NOT LIMITED TO, FENCES, WALLS,
PATIOS, SHEDS, POSTS, TREES, PLANTS OR SHRUBBERY, EXCEPT AS SHOWN
ON THE APPROVED LANDSCAPE PLAN, OR
- II. ALTER, MODIFY, OR CHANGE IN ANY WAY THE TOPOGRAPHY OR ELEVATIONS OF
THE SME, OR
- III. OBSTRUCT, ALTER, OR MODIFY THE ESTABLISHED DRAINAGE PATTERN FROM
OR OVER THE SME.

MAINTENANCE OF THE STORM SEWERS AND STORM STRUCTURES WITHIN THE SME
SHALL BE THE SOLE RESPONSIBILITY OF EACH INDIVIDUAL ENTITY OR OTHER PARTY
ACCEPTING TITLE PURSUANT TO THE REQUIREMENTS CONTAINED HEREIN.

IF THE CITY DETERMINES THAT THE INDIVIDUAL ENTITY OR OTHER PARTY
ACCEPTING TITLE IS IN DEFAULT OF SAID MAINTENANCE OBLIGATIONS AND UPON
FIVE (5) DAYS NOTICE TO THE INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING
TITLE SERVED BY CERTIFIED MAIL, THE CITY AND ITS SUCCESSORS AND ASSIGNS
SHALL BE GRANTED AN EASEMENT OVER THE AREA DESCRIBED ON THIS DEED
RESTRICTION FOR THE RIGHT, PRIVILEGE AND AUTHORITY, WITHOUT OBLIGATION,
TO PERFORM SAID MAINTENANCE AND REPAIRS. THE CITY MAY ENTER UPON THE
EASEMENT FOR THE PURPOSE OF EMERGENCY REPAIRS.

THE CHARGE OF THE EMERGENCY REPAIRS AND/OR MAINTENANCE IS THE
RESPONSIBILITY OF THE INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING TITLE.
THE CITY MAY, AT ITS SOLE ELECTION, RECORD NOTICE OF LIEN WITH THE
RECORDER OF DEEDS FOR McHENRY COUNTY AS DESCRIBED ABOVE AGAINST THE
SUBJECT REAL PROPERTY. SAID LIEN SHALL INCLUDE THE APPLICABLE EXPENSE TO
THE INDIVIDUAL ENTITY OR OTHER PARTY ACCEPTING TITLE PLUS ATTORNEY'S FEES
AND COURT COSTS. UPON PAYMENT OF SAID LIEN, THE CITY SHALL ISSUE THE
APPROPRIATE RELEASE OF LIEN TO THE INDIVIDUAL ENTITY OR OTHER PARTY
ACCEPTING TITLE. IT SHALL NOT BE THE OBLIGATION OF THE CITY TO RECORD THE
RELEASE OF THE LIEN BUT SHALL BE THE OBLIGATION OF THE PARTY PROCURING
THE RELEASE.

INGRESS-EGRESS EASEMENT PROVISIONS

A PERPETUAL NONEXCLUSIVE EASEMENT FOR "ACCESS" BEING ACCESS OF
VEHICLES AND PEDESTRIAN TRAFFIC, IS HEREBY RESERVED FOR AND
GRANTED TO THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION AND TO
THEIR RESPECTIVE SUCCESSORS, ASSIGNS, TENANTS, LICENSEES, INVITEES,
AND EMPLOYEES ON, OVER, THROUGH, ALONG AND ACROSS THE AREA OF
HEREON DESIGNATED AS "INGRESS-EGRESS EASEMENT". THE GRANTORS
HEREBY COVENANT AND AGREE THAT NOTHING SHALL BE ERECTED OR
MAINTAINED OR ALLOWED TO BE ERECTED OR MAINTAINED UPON SAID
EASEMENT FOR ACCESS WHICH WOULD IN ANY WAY HINDER OR PREVENT
THE FREE FLOW OF TRAFFIC FOR THE USE AND BENEFIT OF THE OWNERS,
OCCUPANTS AND INVITEES OF THE LAND SHOWN HEREON.

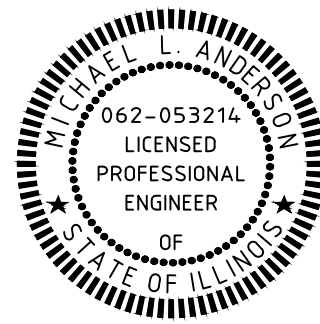
SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

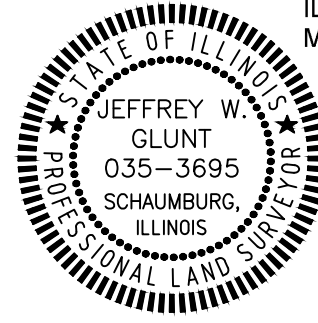
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS
WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART
THEREOF. OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED,
ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION, DIVERSION, AND
DISCHARGE OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE
SUBDIVIDER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE
PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING
PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE
ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

BY: _____ DATED _____
 OWNER

BY: _____ DATED _____
 ILLINOIS PROFESSIONAL ENGINEER
 NO. 062-053214



EXPIRES 11-30-21



EXPIRES 11-30-20

IV. TRAFFIC EVALUATION

The results of the capacity analyses and the queue analysis at the roadway network intersections and site access driveways are discussed below.

A. U.S. Route 14 (Northwest Highway) and Sands Road

The results of the existing capacity analysis indicate that the signalized intersection of U.S. Route 14 (Northwest Highway) and Sands Road currently operates at an acceptable Level-of-Service (LOS) B overall during the weekday morning peak hour and evening peak hour and Level-of-Service (LOS) C overall during the Saturday midday peak hour. Under 2026 Background traffic conditions, vehicle delays increase slightly yet the overall intersection LOS remains unchanged. With the additional traffic resulting from the proposed Casey's development under **Stage I**, the intersection continues to perform the same as under 2026 Background conditions except that the morning peak hour overall intersection LOS drops from A to B. Adding the additional traffic resulting from the development of the north and east parcels under **Stage II**, the intersection experiences additional delays but continues to operate at the same overall LOSs as under **Stage I** development conditions except that the evening peak hour overall intersection LOS drops from B to C. The magnitude of delay increases are fairly minor and do not exceed five seconds per vehicle on average for any specific turning movement.

The results of the queue analysis indicate that the existing storage bay lengths for the turn lanes are adequate for all turning lanes except the northbound left turn movement where the 95th percentile queue exceeds the storage length under 2020 Existing traffic and 2026 Background traffic. For **Stage I** development, in addition to the northbound left turn queues exceeding the available storage, the 95th percentile queue for the southbound left turn movement also exceeds the provided storage bay length for all peak hours and eastbound right turn movement exceeds the provided storage bay length for the Saturday midday peak hour. Under **Stage II** development, queues continue to increase as traffic generated by the site increases. Upon full build-out of the Stage II development plan, the 95th percentile queue for the eastbound left turn movement also is anticipated to exceed the existing storage bay length for the evening peak hour by approximately 80 feet (5 vehicles).

Based on the capacity and queuing analysis results, the following improvements are recommended at the U.S. Route 14/Sands Road intersection:

- The southbound left turn lane on Sands Road should be designed with 275 feet of storage with a 9:1 taper as part of the **Stage I** development to accommodate most queues resulting from the full development of the site. While shorter queues are anticipated to be occurring prior to **Stage II**, adding the full turn lane length as part of **Stage I** improvements will avoid the need to widen Sands Road and modify the site access road intersection at a later date.
- The eastbound left turn lane on U.S. Route 14 should be extended from 220 feet to 300 feet in length as part of the **Stage II** development improvements. As there is a striped center median west of the existing turn lane, this should only require restriping to extend the length of the turn bay.
- Because the northbound left turn storage need is an existing condition, it is not considered attributable to the development and should be considered if the south leg of the intersection needs to be improved at some point in the future.
- Under **Stage II** development, the eastbound right turn queue may exceed the available storage in the right turn lane during the Saturday midday peak hour. In order to reduce the queuing for this movement, it is recommended that an eastbound right turn overlap signal phase be installed as part of the **Stage II** development plan to operate concurrently with the protected northbound left turn phase.

B. U.S. Route 14 at South Site RIRO Access

The results of the capacity analysis for 2026 total traffic conditions **Stage I** indicate that the movements at the unsignalized intersection of U.S. Route 14 (Northwest Highway) at the RIRO access driveway operate at a Level-of-Service (LOS) D or better during all analyzed peak hours. The 95th percentile queue is less than 2 vehicles during all peak hours for the southbound approach.

The results of the capacity analysis for 2026 total traffic conditions **Stage II** indicate that the movements at the unsignalized intersection of U.S. Route 14 (Northwest Highway) at the RIRO access driveway operate at a Level-of-Service (LOS) D or better during all analyzed peak hours with the exception of the evening peak hour which operates at a LOS F with a delay of just over one minute. The 95th percentile queue is less than 6 vehicles during all peak hours for the southbound approach. Therefore, it is concluded that while the southbound right turn movement may experience undesirable delays during the evening peak hour, these delays would not adversely affect site traffic circulation as long as a distance of 150 feet is maintained between the stop bar and the parking lot for the southbound approach.

To facilitate efficient internal site circulation as well as development of the other parcels on the site, it is recommended that the RIRO access be connected internally to the main east-west access roadway through the site as part of the **Stage I** development plan. Additionally, the exclusive westbound right turn lane proposed on the site plan should be constructed prior to opening of **Stage I** of the proposed development in order to satisfy IDOT BDE requirements.

C. Sands Road at West Site Access

The results of the capacity analysis for 2026 total traffic conditions under **Stage I** development indicate that the movements at the unsignalized intersection of Sands Road at the west site access roadway operate at a Level-of-Service (LOS) B or better during all analyzed peak hours. The 95th percentile queue is less than 1 vehicle during all peak hours for the westbound approach. The results of the capacity analysis for 2026 total traffic conditions **Stage II** indicate that the movements at the unsignalized intersection of Sands Road at the west site access roadway will continue to operate at a Level-of-Service (LOS) B or better during all analyzed peak hours. The 95th percentile queue is less than 2 vehicles during all peak hours for the westbound approach. Because the queues are anticipated to be short in length based on the capacity analysis, it is recommended that a 75 foot long right turn lane with a 9:1 taper be provided to allow right turning vehicles to bypass fuel delivery trucks departing the site.

Additionally, an exclusive northbound right turn lane should be constructed prior to opening of **Stage II** of the proposed development as discussed in **Section III-A**, and designed as specified in that section.

V. CONCLUSIONS AND RECOMMENDATIONS

Based on the proposed development plans and the preceding traffic impact study, the following conclusions and recommendations are presented.

- Generally, the roadway system surrounding the proposed site has sufficient reserve capacity in the 2026 design year and can accommodate both **Stage I** and **Stage II** development of the site without excessive negative impacts to the operation of the roadways.

- It is our understanding that the developer has obtained conceptual approval from IDOT for the proposed RIRO site driveway along U.S. Route 14 (Northwest Highway). The driveway is currently proposed to be located 400 feet east of the Sands Road intersection, which is less than the 500 foot spacing required by IDOT SRA access criteria. The proposed location is acceptable provided that IDOT provides formal approval of the location as part of their access permit review process.
- We offer the following recommendations with respect to the intersection of U.S. Route 14 and Sands Road:

Stage I Development Improvement Recommendations

- The southbound left turn lane should be lengthened to provide a total of 275 feet of storage with a 9:1 taper to accommodate the increased volume of left turns anticipated to be generated by full build-out of the proposed development.
- An exclusive westbound right turn lane is recommended along U.S. Route 14 at the RIRO access driveway based on the right turn lane criteria in the IDOT BDE Manual. The westbound right turn lane should be designed to be 145 feet long with a 175 foot taper to meet IDOT BDE requirements.
- In order to avoid impacts to internal site circulation due to queues exiting the site, the distance between the stop bar on the RIRO driveway at U.S. Route 14 and any parking lot or driveway within the site should be no shorter than 150 feet.
- In order to facilitate efficient site circulation and future development, the proposed RIRO access should be internally connected to the proposed east-west site access roadway.

Stage II Development Improvement Recommendations

- The eastbound left turn lane on U.S. Route 14 at Sands Road should be lengthened to provide 300 feet of storage to accommodate the left turns anticipated to be generated by the development.
- An eastbound right turn overlap phase at the U.S. Route 14 and Sands Road intersection should be considered prior to Stage II development in order to reduce potential queuing during Saturday midday peak hours.
- We offer the following recommendations with respect to the intersection of Sands Road and the internal access roadway.

Stage I Development Recommendations

- In order to accommodate the southbound left turn lane extension at U.S. Route 14 and the northbound right turn lane into the site on Sands Road, the site access roadway intersection should be located no closer than 275 feet from the southbound stop bar at the U.S. Route 14/Sands Road intersection.

- The right turn storage for vehicles exiting the site onto Sands Road should be increased. It is recommended that a right turn lane length of 75 feet with a 9:1 taper be provided on the site access roadway approach.

Stage II Development Recommendations

- Based on the anticipated volumes entering the site from the south upon full development of the site, a northbound right turn lane should be constructed on Sands Road to serve the internal access roadway. The storage provided should be 135 feet with a 9:1 taper.



Agenda Item No: 13

**City Council
Agenda Supplement**

<u>Meeting Date:</u>	July 20, 2021
<u>Item:</u>	Appropriation of Motor Fuel Tax (MFT) funds for the Dole Avenue Reconstruction Project to Section 21-00132-00-PV
<u>Staff Recommendation:</u>	Motion to adopt a Resolution appropriating \$114,000 in MFT funds for the Dole Avenue Reconstruction Project
<u>Staff Contact:</u>	Michael Magnuson, Director of Public Works and Engineering

Background:

On June 15, 2021 the City selected Gewalt Hamilton to complete the design engineering services for the Dole Avenue Reconstruction project. The project will consist of the full reconstruction of Dole Avenue from the intersection of Lakeshore Drive to the intersection of Crystal Lake Avenue. The work will include new pavement, curb and gutter, sidewalks, and driveway approaches. The consultant will also provide water main upsizing design and minor improvements design for storm sewer systems including structure replacement and/or reconstructions, and possible additional storm sewer inlets. The project will also investigate the feasibility of extending sanitary sewer on Dole Avenue from Eagle Street to Lakeshore Drive. Bike lanes exist along Dole Avenue except at the US Route 14 intersection. As part of the engineering, providing bike lanes or other accommodations will be studied and implemented if feasible.

Motor Fuel Tax (MFT) funds will be utilized for the design engineering services. In order to utilize MFT funds, the Illinois Department of Transportation (IDOT) requires a separate resolution appropriating MFT funds to the project. The attached IDOT MFT Resolution appropriates \$114,000 in MFT funds for this project. Any funds that are obligated and not spent will be returned to the City's unobligated balance once the project is complete. The City has sufficient reserves in its MFT fund for this expenditure. The project is budgeted in the FY 2021/2022 budget.

Votes Required to Pass:

A simple majority.



Agenda Item No: 14

City Council Agenda Supplement

Meeting Date:

July 20, 2021

Item:

Revised annual allocation of State Motor Fuel Tax (MFT) funds to include pavement preservation and salt storage facility construction.

Staff Recommendation:

Motion to adopt a Resolution appropriating an additional \$475,000 in MFT funds for FY the 2021/2022 maintenance program for pavement preservation and salt storage facility construction.

Staff Contact:

Michael Magnuson, P.E., Director of Public Works and Engineering

Background:

The City uses Motor Fuel Tax (MFT) funds to fund maintenance activities such as traffic signal maintenance, street light maintenance, and snow-fighting material purchases and has budgeted to do so again for Fiscal Year 2021/2022. The use of MFT funds is regulated by the State of Illinois through the Illinois Department of Transportation (IDOT). IDOT requires the City to formally appropriate MFT funds through a City Council resolution for these purposes annually even though these expenditures are contained in the approved FY 2021/2022 City budget.

For Fiscal Year 2021/2022, the City has added three programs to the maintenance program: the pavement marking program, the crack sealing program, and the construction of a salt storage facility. These two programs were not included in the annual appropriation approved by the City Council on May 4, 2021.

Pavement Marking Program - \$100,000

The City has annually conducted a pavement marking program to refresh and add to pavement markings. Previously, the City used other fund sources for this program.

Crack Sealing Program - \$50,000

The City has annually conducted pavement crack sealing. This extends to life of the pavement. Previously, the City used other fund sources for this program.

Salt Storage Facility Construction - \$350,000

The City has budgeted MFT funds to construct a new salt storage facility at Wastewater Treatment Plant 3. This resolution will appropriate the MFT funds for the project.

This additional allocation of \$500,000, brings the total allocation for the MFT general maintenance program to \$1,363,000.00. Any funds that are obligated and not spent will be returned to the City's unobligated MFT fund balance. The funds will then be available for future projects. The City's MFT fund has sufficient resources to support this additional allocation.

Votes Required to Pass:

Simple majority vote

DRAFT



Illinois Department of Transportation

Resolution for Maintenance Under the Illinois Highway Code



Resolution Number	Resolution Type	Section Number
	Supplemental	22-00000-00-GM

BE IT RESOLVED, by the Council of the City of Crystal Lake Illinois that there is hereby appropriated the sum of four hundred and seventy-five thousand Dollars (\$500,000.00)

of Motor Fuel Tax funds for the purpose of maintaining streets and highways under the applicable provisions of Illinois Highway Code from 05/01/21 to 04/30/22.

BE IT FURTHER RESOLVED, that only those operations as listed and described on the approved Estimate of Maintenance Costs, including supplemental or revised estimates approved in connection with this resolution, are eligible for maintenance with Motor Fuel Tax funds during the period as specified above.

BE IT FURTHER RESOLVED, that City of Crystal Lake shall submit within three months after the end of the maintenance period as stated above, to the Department of Transportation, on forms available from the Department, a certified statement showing expenditures and the balances remaining in the funds authorized for expenditure by the Department under this appropriation, and

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to transmit four (4) certified originals of this resolution to the district office of the Department of Transportation.

I Nick Kachiroubas City Clerk in and for said City of Crystal Lake in the State of Illinois, and keeper of the records and files thereof, as provided by statute, do hereby certify the foregoing to be a true, perfect and complete copy of a resolution adopted by the

Council of Crystal Lake at a meeting held on 07/06/21.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this 20th day of July, 2021.

(SEAL)

Clerk Signature

APPROVED

Regional Engineer
Department of Transportation

Date



Agenda Item No: 15

**City Council
Agenda Supplement**

Meeting Date: July 20, 2021

Item: Bid Award - Wastewater Plant 3 Primary Effluent Pumping Station (PEPS) Motor Control Center (MCC) Replacement Contract

Staff Recommendation: Motion to award the contract for Wastewater Plant #3 Improvements PEPS Station MCC Replacement to the lowest responsive, responsible bidder, Ron Jones Electric, and adopt a Resolution authorizing the City Manager to execute a contract with Ron Jones Electric in the submitted bid amounts with a 10% contingency for unforeseen expenses and approve warranted completion date extensions.

Staff Contact: Michael Magnuson, P.E., Director of Public Works & Engineering

Background:

On July 6, 2021, the City of Crystal Lake publicly opened and read aloud the bids received to perform the Wastewater Plant 3 Primary Effluent Pumping Station (PEPS) Motor Control Center (MCC) replacement. The bid results are:

	√ Ron Jones Electric South Elgin, IL	Northwest Technical Crystal Lake, IL	Boller Construction Waukegan, IL
Allowance - Installing New Wires	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
Project Lump Sum	\$ 234,097.00	\$ 244,450.00	\$ 321,600.00
Total Project Cost	\$ 239,097.00	\$ 249,450.00	\$ 326,600.00

√ Indicates the lowest responsive and responsible bidder

Project Need:

The PEPS building is an important component of the wastewater treatment process at Wastewater Plant 3. This station ensures the wastewater is flowing through the plant by pumping the effluent up to the top of the biopack towers for additional treatment. The MCC is a group of electrical control panels, large circuit breakers, switches and controls that allow for operation of the six pumps located in the station and other electrical equipment in the PEPS building. This equipment is in operation 24 hours a day, 365 days a year. The current MCC was purchased in the early 1980s and parts are starting to become difficult to obtain. In addition, Public Works strives to replace MCC's in industrial settings on a 30-year rotation.

Recommendation:

The Public Works Department has reviewed all bids received for completeness and accuracy in accordance with the invitation to bid document. Ron Jones Electric has submitted the lowest responsive and responsible bid per the specifications. Public Works Department staff has worked with Ron Jones Electric and received satisfactory results. Therefore, it is the recommendation of staff to award the contract to the lowest responsive, responsible bidder, Ron Jones Electric to perform the work on the Wastewater Plant 3 Improvements for Primary Effluent Pumping Station (PEPS) MCC Replacement, in accordance with the terms and conditions of the bid document.

There are FY2021/2022 budget funds available for this project.

Votes Required to Pass:

Simple majority.

DRAFT



RESOLUTION

WHEREAS the CITY OF CRYSTAL LAKE has identified the need to replace the Wastewater Plant 3 Primary Effluent Pumping Station's Motor Control Center to provide for the continued treatment of wastewater; and

WHEREAS the CITY received and publicly opened bids for this project on July 6, 2021; and

WHEREAS the lowest responsive and responsible bidder is Ron Jones Electric, South Elgin, IL.

NOW THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the foregoing recitals are repeated and incorporated as though fully set forth herein; and

BE IT FURTHER RESOLVED the City Manager is authorized to execute a contract between the CITY OF CRYSTAL LAKE and Ron Jones Electric for the Wastewater Plant 3 Primary Effluent Pumping Station's Motor Control Center Replacement in the amount of \$239,097.00; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute change orders for up to 10% of the contract amount and to approve warranted completion date change orders relating to the contract.

DRAFT

DATED this 20th day of July, 2021.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: July 20, 2021
APPROVED: July 20, 2021



Agenda Item No: 16

**City Council
Agenda Supplement**

Meeting Date:

July 20, 2021

Item:

Proposal Award - Consultant Selection for Preliminary Design Engineering Services for the Northwest Area Sanitary Sewer Forcemain Project

Staff Recommendation:

Motion to award the proposal for Preliminary Design Engineering Services for the Northwest Area Sanitary Sewer Forcemain Project to the most responsible and responsive proposer, Fehr Graham, and adopt a Resolution authorizing the City Manager to execute an agreement with Fehr Graham in the amount of \$105,700.00, execute change orders for up to 10 percent of the agreement amount, and approve necessary completion date change orders relating to the agreement.

Staff Contact:

Michael Magnuson, P.E., Director of Public Works and Engineering

Background:

A majority of the undeveloped land in the northwest area of the City does not currently have direct access to sanitary sewer. The City has determined that additional sanitary sewer service to this area will have to come from the City's Wastewater Treatment Plant 3, 400 Knaack Boulevard. Plant 3 has adequate treatment capacity to service this area.

The most efficient and cost effective route for the new sanitary sewer would be along the existing ComEd right-of-way. To acquire the necessary easement from ComEd, preliminary design plans are required. This new forcemain will also require modifications at Wastewater Treatment Plant 3 to accept the new flows. Preliminary engineering of the forcemain and plant modifications will provide the City with a cost estimate that can be used in applying for grants, discussions with developers and land owners and assist in preparing the multi-year Capital Improvement Program (CIP).

Project Need:

Over the years, developers have expressed interest in the vacant land in the City's northwest area. However, one of the main challenges for a developer to overcome is providing public sanitary sewer in this area. In order to pursue any grant funding, staff would like to obtain the required easement from ComEd and refine the estimated construction cost for the project. In addition, having the ComEd easement secured and the 30% engineering plans completed allows the City to aggressively pursue grant funding.

The scope of work includes design of a new force main system/combination gravity and force main approximately 3.4 miles long. Two force mains will be installed for redundancy with a new lift station to intercept existing and future sanitary sewer flows at the west project limits (near Route 14 and the ComEd right-of-way) and pump the wastewater to the Plant. The scope includes identification of plant modifications and costs to accept the new sewer.

Consultant Selection Process

The Public Works Department followed the City’s Purchasing Policy to secure a consulting firm to address this project. City staff conducted an open solicitation Request for Proposal (RFP) for preliminary design engineering services to complete the required plans to obtain approval from ComEd and identify needed improvements at Wastewater Treatment Plant 3.

The City received proposals from two firms, Fehr Graham and GSG Consulting. Staff did reach out to a third local firm who reviewed the RFP but did not submit. They indicated they do not have technical staff currently available to complete the work.

Fehr Graham provided an exceptional proposal outlining their approach to the project as well as potential hurdles and how to address them. They have recent firsthand experience obtaining easements with ComEd for a project of similar nature. The project team not only includes engineers but licensed sewer operators who have experience running facilities and will provide valuable insight into the design and future function of the lift station and plant.

The following summarizes the proposal costs:

Firm	Cost
Fehr Graham	\$105,700.00
GSG Consultants	\$244,414.00

Recommendation:

This contract is being presented pursuant to a request for proposal (RFP) process. Under such process, the contract is to be awarded to the vendor whose proposal “will be the most advantageous to the City.” City staff has reviewed the proposals received, and determined that the recommended contractor is the most well-suited for the project.

Based upon a review of the RFP requirements, qualifications, and cost, Fehr Graham is the most responsible and responsive proposer for the Preliminary Design Engineering Services for the Northwest Area Sanitary Sewer Forcemain Project. Staff has satisfactorily worked with Fehr Graham on recent projects such as the McCormick Park area water main project, Wastewater Treatment Plant 2 Alum Tank replacement and the phosphorous reduction feasibility studies for both wastewater plants.

Funds have been budgeted for this work.

Votes Required to Pass:

Simple majority.

DRAFT



RESOLUTION

WHEREAS, it is necessary to adequately plan for the City's future sanitary sewer and wastewater treatment needs; and

WHEREAS, to support economic development in the northwest area of the City there is a need to determine the costs of expanding sanitary sewer to the northwest area; and

WHEREAS, City staff publically sought Preliminary Design Engineering Services for the Northwest Area Sanitary Sewer Forcemain Project;

NOW THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the foregoing recitals are repeated and incorporated as though fully set forth herein; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute an agreement with Fehr Graham for consulting preliminary design engineering services for the Northwest Area Sanitary Sewer Forcemain Project in the amount of \$105,700.00 and allowing for a 10 percent contingency; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute change orders for up to 10 percent of the contract amount and to approve warranted completion date change orders relating to the contract.

DRAFT

DATED this 20th day of July, 2021.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: July 20, 2021

APPROVED: July 20, 2021



Agenda Item No: 17

City Council Agenda Supplement

Meeting Date:	July 20, 2021
Item:	Police Body Worn Cameras and Squad Video Systems
Staff Recommendation:	Motion to adopt a Resolution authorizing the City Manager to execute a five-year agreement with Axon Enterprise, Inc. for the purchase of twenty-four (24) Axon Fleet 2 Police Vehicle Video systems, sixty-seven (67) Axon Body 3 Body Worn Camera systems, and associated storage services, allowing for a 10 percent contingency and to authorize the City Manager to approve necessary change orders relating to the contract for other unforeseen technology and hardware needs that may arise, through the National Association of State Procurement Officials' cooperative purchase program.
Staff Contacts:	James Black, Chief of Police Greg Fettes, Director of Information Technology

Background:

The Crystal Lake Police Department, in our steadfast effort to remain a transparent organization, continues to explore policies and systems that enhance this commitment. For instance, we have outfitted our patrol fleet with dash cameras for more than twenty (20) years. Squad video has proved extremely useful not only in assisting in the prosecution of criminal cases, but also as a means to conduct thorough inquiries into complaints lodged against our officers, improve upon training needs, and enhance officer safety. Quality video evidence provides the Police Department with the ability to fine tune tactics used by officers by improving procedures and responses to critical and routine events that may have gone unnoticed but for the existence of squad video that captures officers' actions.

The Police Department has been considering the implementation of Body Worn Cameras (BWCs) for several years, but began physical testing of camera systems in the latter half of 2020. Additionally, given that our current squad video systems are nearing their "end of service life", and should soon be replaced to maintain effective squad car video systems, the Department explored available squad video systems, as well, with the hope that both systems would interface. City staff agreed that both systems ideally would be provided by the same vendor in order to ensure all captured video evidence is securely maintained in the same storage platform. As a result of product knowledge, product quality, product reputation and specific camera capabilities for both patrol car cameras and BWC's, the Police Department selected three vendors to test; Axon, Panasonic, and Watchguard.

Body Worn Cameras (BWCs):

The Police Department field tested BWCs provided by three vendors: Axon Enterprise Inc., Watchguard, and Panasonic. Each product was evaluated by patrol officers in the field during actual calls for service and Police administrators who are responsible for reviewing, redacting, copying, transmitting, and ensuring video evidence was properly labeled and retained. The vendors’ backend platforms for storage, cataloging, and retrieval were also evaluated.

- User evaluation - Five officers tested each product for a period of one month per vendor. The officers were asked to evaluate each product, on a scale of 1 to 5 (1 being the worst and 5 being the best) based on Video Quality (VQ), Audio Quality (AQ), Comfort, Upload Speed (US), and Backend Navigation (BN). Based on the users’ evaluations, Axon’s BWC scored considerably higher than the other two vendors. The chart below demonstrates the results of the users’ evaluations:

User Evaluations: Ratings (5 being the highest possible)						
Vendor	VQ	AQ	Comfort	US	BN	Total Rating
Axon	4.8	4.6	4.8	4.2	4	4.5
Watchguard	2.3	3.1	3.8	3	2.9	3.0
Panasonic	3.6	3.6	3.5	3.6	3.8	3.6

- Police Administrator evaluation - Police Administrators also evaluated the vendors’ product (cloud environment) based on their ability to redact video, ease of navigation on the backend, and ability to import and export media files. Many companies offering media storage, including the three vendors evaluated, have been moving toward cloud platform environments for evidence storage and management in lieu of onsite server hardware platforms. Police Administrators also preferred Axon’s backend environment over the other two vendors. Axon’s redaction software is part of their evidence storage cloud environment, whereas Watchguard and Panasonic’s redaction software is separate from their storage environment. All three systems allow Police Administrators to transmit captured video to other entities. For instance, video evidence requested by the McHenry County State’s Attorney can be sent securely and directly to their office. Of note, the State’s Attorney’s Office currently has access to Axon’s platform, Evidence.com, thereby ensuring seamless transmissions of video evidence.
- Additional features - Axon and Watchguard’s BWCs offer GPS and livestreaming, enhancing officer safety by providing police staff with the ability to monitor officers in real-time, providing not only their exact location but also the advantage in approved circumstances to remotely view activities and events as they are occurring. Panasonic does not have this capability.

Squad Video Systems:

The Police Department currently deploys the Panasonic Arbitrator video systems in our squads. The City purchased and installed the Arbitrator systems in the fall of 2016. The warranty (five year) on these systems is set to expire later this year and Panasonic has indicated that the

warranties cannot be extended. We have already seen an increase in required repairs for this technology. Following the expiration of the warranty, we can anticipate the need for the City to begin to shoulder the costs of repairs should we not replace the Arbitrators with a new system under warranty.

As noted, the Police Department currently deploys the Panasonic Arbitrator squad video system and are familiar with its capabilities, although the current Panasonic model is being phased out and likely unavailable for purchase. The anticipated new Panasonic model is yet to be released and therefore untested. Due to vendor constraints, we were not able to field test Watchguard or Axon's squad video systems. The Police Department previously deployed Watchguard's squad video system, prior to the Arbitrators. Watchguard provided a demonstration of their new product, which offered similar features compared to the model the Police Department once deployed, yet with contemporary technology upgrades, including License Plate Reader (LPR) technology. We surveyed several area police departments (North Chicago, Gurnee, North Chicago, Elgin, Roselle, Schaumburg, and Vernon Hills) that deploy Axon's Fleet 2 systems. Nearly all expressed their satisfaction with Axon's hardware, reliability, functionality, and customer service.

Interoperability:

The three vendors offer squad video systems that work in conjunction with their BWCs. Common "triggers", or automatic video activations, exist between the vendors' systems. These triggers will lessen the likelihood that any event that would normally require video activation will go uncaptured. Common triggers between all three vendors include the activation of emergency lights, squads reaching certain speeds, squads involved in crashes, gun racks unlocked, and rear doors opening (prisoner transport). Axon and Panasonic offer a trigger (sensor) for the officers' firearm holsters; Watchguard currently does not have a firearm trigger (sensor). Axon and Panasonic offers a trigger (sensor) for the officers' Taser holsters; Watchguard does not. Taser is an Axon product and their trigger (embedded in the Taser battery) is proprietary. Nonetheless, Panasonic reported they can provide custom holsters, or sensors for our current holsters, for the Tasers that would include a trigger mechanism. Axon's triggers will also activate other BWCs and video systems nearby (within 30 feet) for a period of 30 seconds following a triggered event.

Each vendor offers a cloud-based evidence/media storage option, a method of storing evidence preferred by City Staff considering the vast amount of storage space we anticipate needing. Captured squad video and BWC video is downloaded in the same storage platform supplied by each vendor. Therefore, City Staff strongly recommends the purchase of both the BWC systems and squad video systems from the same vendor in order to maintain all video evidence in the same storage platform. Conversely, purchasing BWCs from one vendor and a squad video system from another would require City Staff to maintain two separate evidence storage platforms that would not interface with each other and increase the amount of time City Staff will have to dedicate to managing two separate platforms. Additionally, as noted above, purchasing both systems from the same vendor ensures interoperability.

Pricing Comparison:

We made every effort to ensure that the vendor quotes reflected below were equalized to reflect programs that are essentially the same regarding services provided and equipment replacement

schedules. A cost analysis was conducted that contrasted the pricing offered by each vendor. A chart outlining the analysis conducted is attached to this supplement as an addendum. In brief, the sum totals:

Axon	\$652,346.61
Watchguard	\$624,492.00
Panasonic	\$1,006,438.00

Upfront payment vs. installments- All three vendors offered the City the ability to pay for their products with annual installments. Axon offered a 10% discount if the City paid all costs upfront. This discount is reflected in the pricing above and in the chart addendum.

Grant/Assisted Funding Opportunities:

- Crystal Lake Crime Stoppers - Graciously offered the Police Department approximately \$15,000 going toward the purchase of BWCs.
- Intergovernmental Risk Management Agency (IRMA) - We have applied for a grant offered by IRMA, whereas IRMA will reimburse the City for the purchase of BWCs up to \$10,000.
- Prior to purchase, the Police Department will also determine if any grant monies have become available through the Illinois Law Enforcement Training and Standards Board as a result of Public Act 102-0028 being signed into law in June 2021, which mandates a tiered implementation requirement statewide of BWC’s for all law enforcement agencies.

Additional Costs:

- Squad outfitting - Ultra Strobe, the Police Department’s installer for squad equipment, including video systems, will charge \$675.00 per squad to remove the old video system and install the new video system. Total price for 24 squads: \$16,200.
- Cellular costs - Annual cellular data costs will not exceed \$42,000. Cellular services will allow the video systems to automatically download any video footage in the field. This option reduces the likelihood of losing video due to damaged or lost equipment. The other download options require the systems to be physically present at the Police Department. Moreover, cellular download will allow police supervisors the ability to livestream events of significance as they are occurring and track BWCs via GPS.
- Computer Aided Dispatching (CAD) integration - Costs to provide an “auto-tagging” feature have been built into the quotes. “Auto-tagging” involves an interface between the video systems vendor and our CAD provider, Central Square. This feature automatically integrates calls for service data generated by CAD into the assigned officer’s video systems (BWC and squad). One benefit of “auto-tagging” includes the accurate labeling of captured video, thereby reducing the human error factor and police staff time to correct any labeling errors. The feature also would allow officers to focus on more essential tasks on hand rather than making sure they properly label all their video.

Staff Recommendation:

Taking into consideration all information as outlined in this supplement, Axon’s video system is the best fit for Crystal Lake’s needs for BWCs. Axon boasts a 70% market share with their product (BWC) nation-wide, a 99.8% client retention rate, and a product failure rate of less than

1%. Axon is a responsive and responsible company. Further, we surveyed several area police departments that deploy Axon's BWCs and/or Fleet 2 systems. Nearly all expressed their satisfaction with Axon's hardware, reliability, functionality, and customer service.

The warranties for Axon BWCs and squad video systems will be valid for the entire five year agreement. Additionally, with Axon's Technology Assurance Plan (TAP), the BWCs and BWC docking stations will be replaced twice during the term of the agreement: First, at the 30 month mark, and second, at the end of five year agreement. Even if the City decides not to renew the agreement with Axon, the BWCs and docking stations received at the end of the original five year agreement will be under warranty for an additional year.

The National Association of State Procurement Officials (NASPO) has awarded a competitive contract to Axon Enterprise, Inc. for the purchase of Body Worn and Dash Cameras for Police Departments. NASPO contracts are competitively awarded and are approved for use by the State of Illinois. In addition, the City Council has previously included NASPO as an approved cooperative purchasing source for the City. Staff is confident purchasing through the cooperative is in the best interest of the City and will provide the City with the lowest pricing available.

NASPO has also awarded a competitive contract to Watchguard for similar goods and services and their quote is in compliance with their NASPO contract. Panasonic has indicated that they are in the process of completing a competitive contract through Sourcewell, another approved cooperative purchasing source for the City. They have indicated that they do not anticipate the Sourcewell contract will provide a lower price than they have provided in their quote.

It is the recommendation of City Staff to purchase twenty-four (24) Axon Fleet 2 Police Vehicle units, sixty-seven (67) Axon Body 3 BWCs, and associated storage services in the amount of \$652,346.61 from Axon Enterprise, Inc. allowing for a 10 percent contingency for other unforeseen technology and hardware needs that may arise, through the National Association of State Procurement Offices' cooperative purchase program. Funds have been budgeted for this purchase.

City legal staff has reviewed the Axon purchasing contract.

Votes Required to Pass:

Resolution: Simple majority

BWC/Squad Video Systems: Vendors' Quote Comparison				
Category	Item	Axon	Watchguard	Panasonic
Squad Video	Video Systems x 24	\$ 35,193.60	\$ 272,160.00	\$ 111,912.00
Squad Video	Warranty	\$ 1,759.68	Included	\$ 10,680.00
Squad Video	Wireless Cloud Connection x24	\$ 34,043.04	\$ 17,232.00	Not Included
Squad Video	Antennas x 24	\$ 6,091.20	\$ 5,040.00	\$ 8,160.00
Squad Video	Door Triggers x 44	\$ 769.12	\$ 19,080.00	\$ 440.00
Squad Video	Storage	\$ 105,514.08	Included	\$ 183,600.00
Squad Video	Training/Set Up	\$ 1,880.00	\$ 5,000.00	\$ 8,190.00
Squad Video	Server Hardware	\$ 3,290.00	\$ 6,000.00	Not Included
Squad Video	Software Maintenance	\$ 2,820.00	\$ 8,245.00	Included
Squad Video	Incidentals	\$ -	\$ 1,850.00	\$ 10,344.00
Squad Video	Total	\$ 191,360.72	\$ 334,607.00	\$ 333,326.00
BWC				
BWC	BWC x67	\$ 44,023.02	\$ 126,420.00	\$ 241,200.00
BWC	Replacement Plan BWC	\$ 105,806.40	\$ 67,000.00	\$ 313,560.00
BWC	Docking Stations x8	\$ 11,242.40	\$ 14,400.00	\$ 12,240.00
BWC	Replacement Plan Docks	\$ 13,310.40	\$ 28,800.00	\$ 24,480.00
BWC	Firearm Holster Triggers x67	\$ 15,682.02	\$ 53,265.00	\$ 19,363.00
BWC	Taser Holster Triggers x57	\$ 5,851.05	No	\$ 30,153.00
BWC	Auto Tagging License	\$ 34,009.20	Included	\$ 22,950.00
BWC	Basic License for Users	\$ 54,990.00	Included	Included
BWC	Professional License for Admin	\$ 10,998.00	Included	Included
BWC	Storage	\$ 90,691.20	Included	Included
BWC	Training/Set Up	\$ 2,585.00	Included	\$ 7,960.00
BWC	Livestream/GPS	\$ 71,797.20	Included	No
BWC	Shipping	\$ -	\$ -	\$ -
BWC	Discounts	Reflected	\$ -	\$ -
BWC	Incidentals	\$ -	\$ -	\$ 1,206.00
BWC	Total	\$ 460,985.89	\$ 289,885.00	\$ 673,112.00
Both Systems				
Both Systems	Total	\$ 652,346.61	\$ 624,492.00	\$ 1,006,438.00

DRAFT



RESOLUTION

WHEREAS, the City of Crystal Lake Police Department has continuously striven to remain a transparent organization and to explore policies and systems to enhance this commitment; and

WHEREAS, in furtherance of that commitment the Police Department has equipped its patrol fleet with dash cameras for more than twenty years; and

WHEREAS, the use of dash cameras and squad videos assist the Police Department with the prosecution of criminal cases and have proven useful in conducting inquiries into complaints lodged against officers and improve training for officers and enhance officer safety; and

WHEREAS, the City has considered the implementation of Body Worn Cameras (BWCs) and began testing camera systems in the latter part of 2020; and

WHEREAS, testing of BWCs was conducted by allowing testing officers to utilize the BWC's made by a number of manufactures for a period of one month for each BWC system; and

WHEREAS, such testing allowed the officers to rate the BWCs based upon a number of characteristics and to obtain cumulative ranking scores for each system tested; and

WHEREAS, the testing further considered the capabilities of each BWC and related squad video system and conducted a comparative evaluation of the systems and their functionality; and

WHEREAS, the City sought proposals for the various systems which were tested including obtaining proposals through the National Association of State Procurement Officials' (NASPO) cooperative purchase program; and

WHEREAS, based upon the thorough and thoughtful analysis of the BWC and squad video systems by the City of Crystal Lake Police Department, the Mayor and City Council have found and determined that the Axon BWCs and squad video systems, as presented through the National Association of State Procurement Officials cooperative purchasing program, represents the proposal which is the most advantageous to the City, when taking into consideration the price and the evaluation factors utilized by the Police Department in seeking proposal and evaluating systems.

NOW BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE as follows:

1. Recitals. The foregoing recitals are repeated and incorporated as though fully set forth herein
2. Authorization to Accept Proposal. The City Manager is hereby authorized to participate in the National Association of State Procurement Officials cooperation purchasing program and to execute a five year Purchase Agreement between the CITY OF CRYSTAL LAKE and Axon Enterprise, Inc. for the purchase of sixty-seven (67) Police Body Worn Camera Systems, twenty-four (24) Police Squad Video Systems, and associated storage services in the amount of \$652,346.61, allowing for a 10 percent contingency for other unforeseen technology and hardware needs that may arise. Further, the City Manager is authorized to execute an agreement to provide for the cellular services associated with this purchase in the amount of \$42,000 annually for a period of five years. The funds to purchase these systems will be from the Fiscal Year 2021/2022 Budget.

DATED this 20th day of July, 2021.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, Mayor

SEAL

ATTEST

DRAFT

Nick Kachiroubas, City Clerk

PASSED: July 20, 2021

APPROVED: July 20, 2021