



#2021-165
1200 McHenry Avenue (CLS) – SUP Amendment & Variation
Project Review for Planning and Zoning Commission

Meeting Date:

October 6, 2021

Request:

1. Special Use Permit Amendment to Special Use Permit Ordinance No. 7195 to allow an additional accessory structure (football scoreboard).
2. Variation from Article 3-200 to allow a 30-foot tall accessory structure (football scoreboard), a variation of 15 feet.

Location:

1200 McHenry Avenue – Crystal Lake South High School

Acreage:

59 acres

Existing Zoning:

R-2 – Single-Family Residential

Surrounding Properties:

North: R-2 – Single-Family Residential, R-3B PUD – Multi-Family Residential PUD, B-1 PUD – Neighborhood Business
South: R-2 PUD – Single-Family Residential PUD and R-3B PUD – Multi-Family Residential
East: RE – Residential Estate and O - Office
West: R-2 – Single-Family Residential

Staff Contact:

Katie Rivard (815.356.3612)

Background:

- Existing Use: The subject property is the existing Crystal Lake South High School and associated parking areas and athletic fields.
- UDO Requirements: The maximum height of an accessory structure in the R-2 - Single-Family Residential zoning district is 15 feet.
- Previous Approvals:
 - The property was annexed in 1977. At the time of annexation, a Special Use Permit was not required. The property was considered legal non-conforming.

- In 2015, the school was granted a Special Use Permit for the continued operations of the high school, a variation from the required number of parking spaces and a variation to allow new bleachers.

Development Analysis:

General:

- **Request:** The petitioner is requesting a Special Use Permit Amendment to Special Use Permit Ordinance No. 7195 allow an additional accessory structure (football scoreboard), and a variation to allow the scoreboard to be 30 feet in height instead of the maximum 15 feet for accessory structures in the R-2 - Single-Family Residential district.
- **Land Use:** The Comprehensive Land Use map shows the area as Public and Semi-Public, which is an appropriate land use designation.
- **Zoning:** The site is zoned R-2 - Single-Family Residential, which permits secondary schools (high schools), subject to Special Use Permit approval.

Request Overview:

- Per Special Use Permit and Variation Ordinance No. 7195, Condition #7 states that no additional accessory structures shall be constructed or installed without the petitioner having first applied for and obtained approval of an amendment to the Special Use Permit.
- Per the submitted plans, the proposed scoreboard would be 30 feet in height, which exceeds the maximum allowable height of 15 feet for accessory structures. The existing scoreboard is 21'-8" tall.
- The scoreboard would have 480 square feet of sign area. Per the petitioner, the advertisements on the scoreboard are not illuminated.
- The football field is located along the western property line of the South High School property. The proposed scoreboard would be located at the north end of the football field.
- The proposed scoreboard would replace the existing scoreboard in the same location and would be oriented towards the playing field.
- The UDO sets standards for lighting of playing fields, the recommended conditions of approval reflect the standards outlined in the UDO.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Public and Semi-Public, which allows for secondary schools subject to Special Use Permit approval. The following goal is applicable to this request:

Land Use – Public and Semi-Public

Goal: Provide area for high quality public and semi-public facilities, such as schools, libraries, municipal facilities and private service providers, throughout the city to support the diverse and evolving needs of people in the city.

This can be accomplished with the following supporting action:

Supporting Action: The City shall support the school districts, library, park district, neighboring municipalities, private service providers and other public and semi-public agencies.

Findings of Fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit Amendment to Special Use Permit Ordinance No. 7195 to allow an additional accessory structure (football scoreboard). Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 B of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.

Meets *Does not meet*

8. The use will meet requirements of all regulating governmental agencies.

Meets *Does not meet*

9. The use will conform to any conditions approved as part of the issued Special Use Permit.

Meets *Does not meet*

10. The use will conform to the regulations established for specific special uses, where applicable.

Meets *Does not meet*

ZONING ORDINANCE VARIATION

The Petitioner is requesting a variation from Article 3-200 to allow a 30-foot tall accessory structure (football scoreboard), a variation of 15 feet.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property.

To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

a. That the conditions upon which the application for variation is based would not be

applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (District 155, date signed 09/10/2021, received 09/13/2021)
 - B. Site Plan (District 155, received 09/13/2021)
 - C. Sign Elevations (Thompson Engineering Services, LLC and Nevco, dated 08/31/2021, received 09/13/2021,)
2. All advertisements, logos and any non-score related signage must remain non-illuminated.
3. There shall be no additional field lights projected towards or off the scoreboard.
4. The illuminated surface of the scoreboard shall not exceed the maximum average light level (footcandles) as determined by Illuminating Engineering Society of North American (IESNA).
5. The scoreboard shall be allowed to remain illuminated until 30 minutes after the conclusion of the event, but no later than 11:30 p.m.
6. The scoreboard shall not blink, flash, move, scintillate, flicker, or change intensity or colors.

7. The Petitioner shall address all of the review comments and requirements of the Community Development Department.

PIQ MAP



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: _____

Action Requested

Annexation

Preliminary PUD

Comprehensive Plan Amendment

Preliminary Plat of Subdivision

Conceptual PUD Review

Rezoning

Final PUD

Special Use Permit

Final PUD Amendment

Variation

Final Plat of Subdivision

Other

Petitioner Information

Owner Information (if different)

Name: Community High School District 155

Name: Community High School District 155

Address: 1 Virginia Rd.
Crystal Lake, IL 60014

Address: 1 Virginia Rd
Crystal Lake, IL 60014

Phone/contact: Troy Stinger 815-455-8500

Phone: (815) 455-8500

Fax: _____

Fax: _____

E-mail: tstinger@d155.org

E-mail: _____

Property Information

Project Description: Install of 480 sq/ft football scoreboard
at Crystal Lake South High School

Project Address/Location: 1200 S. McHenry Ave
Crystal Lake, IL 60014

PIN Number(s): 19-18-200-005 and 19-18-200-008

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: _____

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

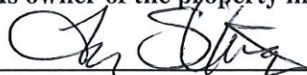
Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.



Troy Stinger

9/10/21

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

**BEFORE THE PLANNING AND ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE APPLICATION OF)
McHenry County Board of School Trustees, as Owner,
and Community High School District 155 and the
Board of Education of Community High School
District 155, as Petitioner)

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by McHenry County Board of School Trustees, as Owner, and Community High School District 155 and the Board of Education of Community High School District 155, as Petitioner for approval of a Special Use Permit Amendment and Variation allowing a football scoreboard at the following real estate known as Crystal Lake South High School, 1200 McHenry Avenue, Crystal Lake, Illinois 60014, **PIN:** 19-18-200-005 and 19-18-251-008.

This application is filed for the purposes of seeking a Special Use Permit Amendment to Special Use Permit Ordinance No. 7195 to allow an additional accessory structure (football scoreboard) and a height variation from the 15-foot height limitation for accessory structures to allow the football scoreboard to be 30 feet in height pursuant to Article 3 and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

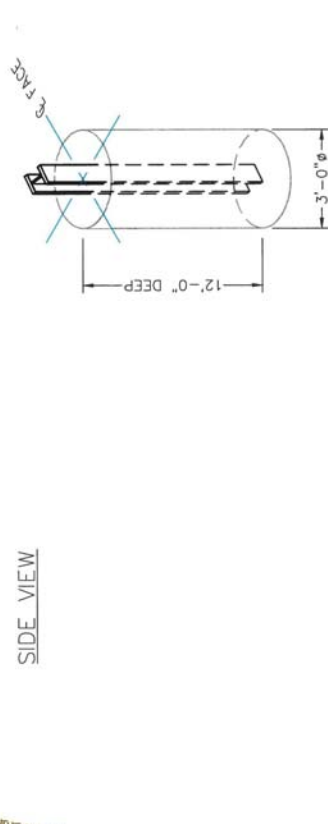
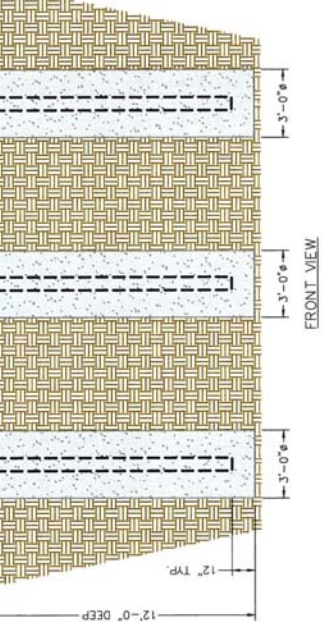
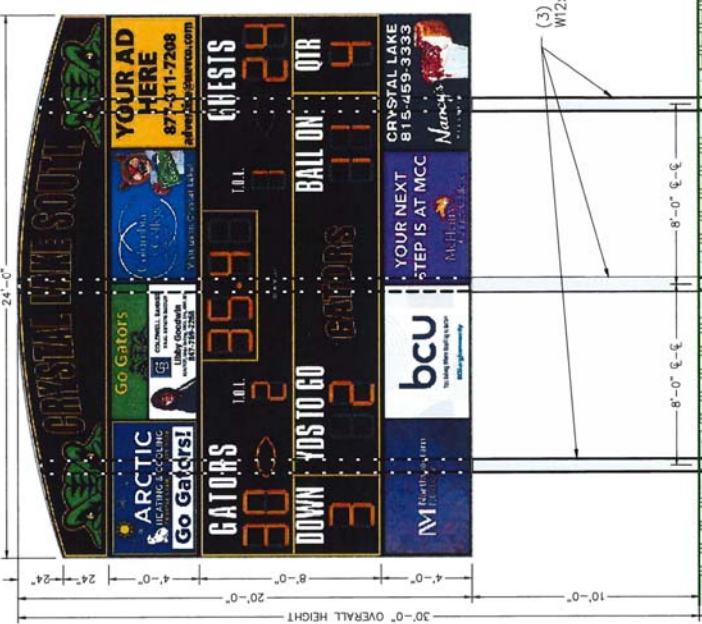
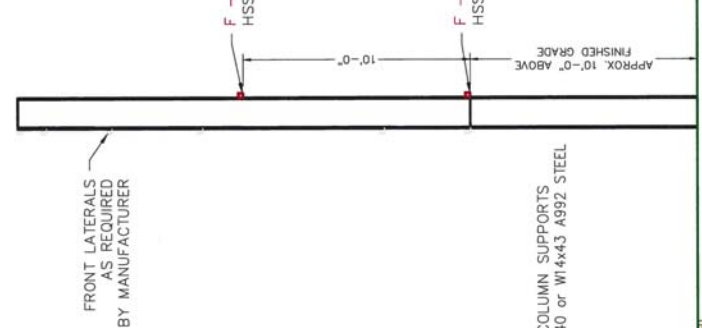
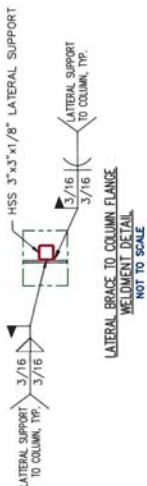
A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, October 6, 2021, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(TO BE PUBLISHED IN THE NORTHWEST HERALD ON OR BEFORE SEPTEMBER 21, 2021)

GENERAL NOTES:

- All design, detailing, fabricating and construction shall conform to the following codes and specifications:
 - The 2010 International Building Code (ASCE 5, 16)
 - The 2010 International Building Code (ASCE 5, 16)
 - Building Code Requirements for Reinforced Concrete (ACI 318) (Current Edition)
 - Code for Welding in Building Construction of the American Welding Society
 - Specifications for Design, Fabrication and Erection of Structural Steel for Buildings by The American Institute of Steel Construction (AISC) (Current Edition)
 - Aluminum Association Aluminum Design Manual (2010 Edition)
- Concrete shall be 2,500 P.S.I. ± 28 Days (Compressive Strength 3700 PSI (50 MPa))
- Reinforcing Steel shall be ASTM A-615 Grade 60. (If required),
 - Minimum concrete cover shall be 3" for bars in tension, 2" for bars in compression, or 1" for bars in slabs.
 - All reinforcing bars shall lap 30 diameters minimum, except as noted.
 - Minimum concrete cover on ties, stirrups and main bars shall be 3/4 inch for slabs, wall and surfaces not exposed to weather or in contact with ground. 3 inches for surfaces exposed to weather or in contact with ground.
- Structural Material Specifications:
 - Aluminum shapes shall be extended from 6061-T6 alloy.
 - Welding filler metal shall be E518, E516, E518, E516, or equivalent.
 - Structural Steel shall be ASTM A-500 (Fy = 46 ksi)
 - W-Shape Steel shall be ASTM A-992 (Fy = 50 ksi)
 - Structural tubing shall be ASTM A-500, Grade B, (Fy = 46 ksi)
 - Structural piping shall be ASTM A-53, Grade B, Type E or S, (Fy = 35 ksi), ASTM A572 Grade 42 (Fy = 42 ksi) or ASTM A572 Grade 50 (Fy = 50 ksi).
 - (See drawing for individual material specifications).
- High strength bolts (if required) for connections shall be ASTM A325, unless otherwise noted.
- Welding electrodes shall comply with AWS D11.4 (Current Edition), ENXW (All welding to be done by welder certified for specified weld type)
- Design Wind Speed, V, is 107 MPH Equivalent Wind Load, Ps = 34.4 PSF @ 30'Z above the ground (3 Sec Wind Load), Exposure "C", Risk Category II, Iy = 1.0, G = 0.85
- Soil Bearing Capacity Requirements:
 - Minimum Allowable Vertical Bearing Capacity shall be N/A PSF (150 PP + 2), 300 P.S.F. per foot of depth.
 - (Values may increase per IRC Section 1809.3.4)
- Contractor shall verify all dimensions and conditions in the field before erection and notify the Engineer of any discrepancies.



USE FIBER REINFORCED CONCRETE
 Polypropylene fiber: ASTM C1116, for Type III Synthetic-Fiber Reinforced Concrete, and as follows:
 Synthetic reinforcing fibers shall be 100 percent virgin polypropylene fibrillated fibers containing no recycled fibers, shall be manufactured to a minimum length of 1.5 inches, and shall be of 70 Micron diameter, and shall be specifically manufactured to an optimum gradation for use as concrete reinforcement. Provide a minimum of 1.5 pounds fiber reinforcement per cubic yard of concrete. Fibers shall be added at the batch plant.

3rd party design review
 Sec cover letter
 5/1/11



James Wright Jr.
 By: [Signature]
 8/1/11



This seal has been electronically signed by James Wright Jr. If this seal is used on any electronic copy, the seal and the signature must be verified on any electronic copy.

Location: Crystal Lake South High School | Scoreboard 20'-0" x 24'-0" @ 30'-0" O.A.H.
 Crystal Lake South High School | Scoreboard 20'-0" x 24'-0" @ 30'-0" O.A.H.

Crystal Lake South High School, Crystal Lake, IL

PROOF #51104A-PR

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Northwestern Medicine

SIGNATURE OF APPROVAL _____

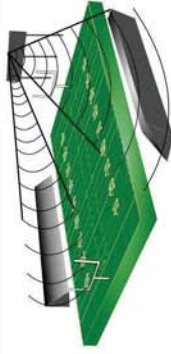
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This rendering is for conceptual purposes only. It may not be to exact scale or specifications and should not be used for installation purposes. Every effort has been made to make it as accurate as possible. Beams and or pillars are for illustration only. Engineering specifications may require changes in the quantity, size and/or shape of beams and pillars to meet installation requirements. Nevco assumes no obligations or liability regarding the viability of applicability of existing structures. THIS DRAWING IS THE PROPERTY OF NEVCO INC. AND SHALL NOT BE REPRODUCED, COPIED, SHARED OR DISTRIBUTED WITH ANYONE OTHER THAN THE INTENDED STAFF OR CLIENT OF THE PROPOSED PROJECT WITHOUT THE EXPRESSED PERMISSION OF NEVCO INC.

PROOF INCLUDES:

- **Model 3619 Football/Soccer LED Scoreboard**
24"W x 8"H x 8"D
Scoreboard Color: #76 Print Black
Digit Color: Amber
Custom Team Name: GATORS
Custom Striping: #99 Golden Yellow
Imprinted Logo: 5W x 1.5H
- **Non-illuminated Sign**
(2) 24"W x 4"H
- **Non-illuminated Arch Sign**
24"W x 4"H w/2' Ends

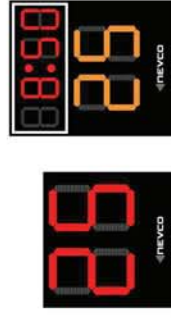
You may also be interested in these scoring accessories.



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MESSAGE CENTER



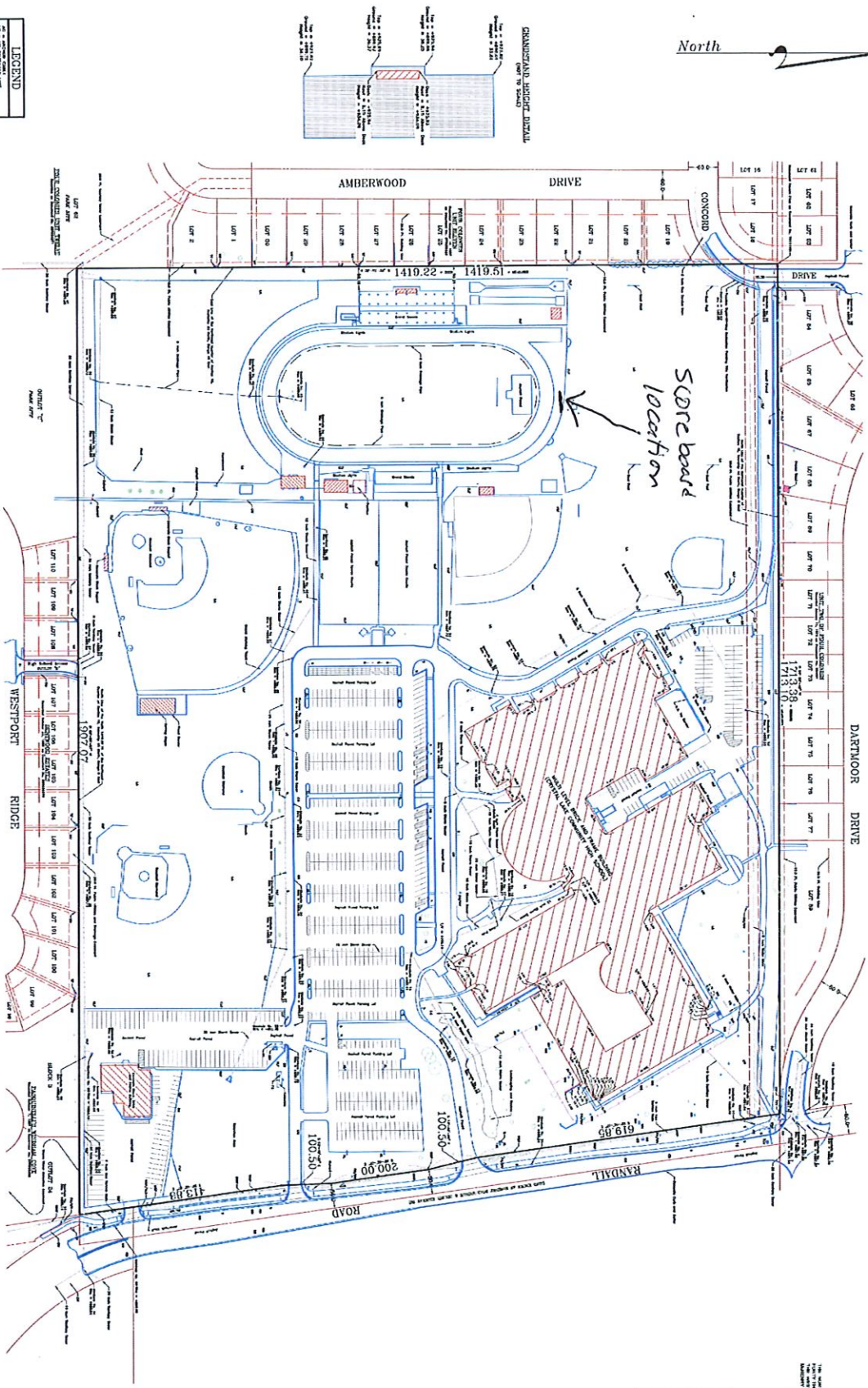
DELAY OF GAME TIMER



INTEGRATED DISPLAY AND SCORING SOLUTIONS
WWW.NEVCO.COM

Crystal Lake South High School

* Proposed scoreboard would be 30' from grade



LEGEND

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NOTE: UNDESIGNED UTILITIES SHOWN HEREON, HAVE BEEN FIELD CHECKED BY THE ENGINEER FOR CONFORMANCE WITH CITY OF RANDALL CODES. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA.

PARKING STALL SUMMARY

STANDARD STALLS	703
HANDICAPPED STALLS	16
TEMPORARY STALLS	14
BUS STALLS	102
TOTAL	835

LEGEND

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147. 294" DIA. LIGHT PIPE
148. 296" DIA. LIGHT PIPE
149. 298" DIA. LIGHT PIPE
150. 300" DIA. LIGHT PIPE



SHEET: 1 OF 2

PROJECT: 14-223-01
 PREPARED BY: JEFF DANFORTH
 APPROVED: JEFF DANFORTH
 DATE: 01-14-2015
 SHEET NO.: 01-14-2015
 CLIENT: RANDALL DISTRICT NO. 156
 PROJECT: NEW 600,000 SQ. FT. HIGH SCHOOL BUILDING WITH 800 CAR POKING LOTS AND 30' HIGH SCOREBOARD. ALSO INCLUDING 100' WIDE SIDEWALKS AND 10' WIDE BICYCLE LANE. ALSO INCLUDING 100' WIDE SIDEWALKS AND 10' WIDE BICYCLE LANE. ALSO INCLUDING 100' WIDE SIDEWALKS AND 10' WIDE BICYCLE LANE.

* The advertisements on the football scoreboard are not illuminated.

PLAT OF SURVEY
 Prepared by
MARCHESE AND SONS, Inc.
 Land - machine - construction surveys
 1400 W. 100th Street
 Crystal Lake, IL 60145
 Phone: (815) 835-8888
 Fax: (815) 835-8889
 Website: www.marceson.com

UNDESIGNED UTILITIES SHOWN HEREON, HAVE BEEN FIELD CHECKED BY THE ENGINEER FOR CONFORMANCE WITH CITY OF RANDALL CODES. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA.