



## #2021-185 Randall Plaza Final PUD Amendment Project Review for Planning and Zoning Commission

---

<b><u>Meeting Date:</u></b>	November 3, 2021
<b><u>Request:</u></b>	Final Planned Unit Development Amendment to remove two required parking lot landscape islands a variation from Article 4-400 F.
<b><u>Location:</u></b>	435 Angela Lane
<b><u>Acreage:</u></b>	Approximately 3.6 acres
<b><u>Existing Zoning:</u></b>	B-2 PUD General Commercial
<b><u>Surrounding Properties:</u></b>	North: R-2 PUD Single Family Residential South: R-1 PUD Single Family Residential East: Across Randall Road, McHenry County Conservation District West: B-2 PUD General Commercial
<b><u>Staff Contact:</u></b>	Elizabeth Maxwell (815.356.3615)

---

### **Background:**

- Constructed as part of the Kaper Business Park, the Randall Plaza provides space to a variety of tenants including restaurants, retail and service uses.
- Due to the current parking demand, the petitioner is requesting the removal of two landscape islands to allow two additional parking spaces.
- Landscape islands are required every 10 parking spaces to reduce impervious surface coverage and provide an aesthetic aspect to parking lots.

### **Development Analysis:**

#### **Land Use/Zoning**

- The site is zoned B-2 PUD General Commercial. This is the most appropriate zoning district for retail uses.
- The land use map shows the area as Commerce. This is an appropriate land use designation for retail development.
- The project was approved as a planned unit development. Changes to the approved site and landscape plans, as well as variations from the UDO require a PUD amendment.

Site/Landscape Plan:

- Two landscape islands will be removed to allow two additional parking spaces for customers.
- The image below illustrates which two islands will be removed.



- The required trees and shrubs can be accommodated adjacent to the parking lot in this grassy area. A condition of approval has been added that the landscape be relocated or new landscape planted in this area.



**Findings of fact:**

**FINAL PLANNED UNIT DEVELOPMENT AMENDMENT**

The petitioner is requesting approval of a Final Planned Unit Development to allow the changes to the site and landscape plans removing two required landscape islands. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variation from the UDO:

- A) Article 4-400 F. Site Landscaping, to remove two required landscape islands.

**Comprehensive Land Use Plan 2030 Summary Review:**

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future homes. The following goals are applicable to this request:

Land Use - Commerce

**Goal:** Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Lane Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

**Supporting Action:** Promote, retain and attract businesses that provide a diverse tax base.

**Recommended Conditions:**

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (West Suburban Real Estate Enterprises LLC, received 10/14/21)
  - B. Site Plan (Sketch undated, received 10/14/21)
2. Relocate the landscape from the landscape islands being removed or plant new landscape totaling two trees and 12 shrubs in the grassy area near these islands along the perimeter of the parking lot.
3. The petitioner must address all of the review comments and requirements of the Community Development Department.



PIQ Map  
435 Angela Lane





**City of Crystal Lake  
Development Application  
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: West Suburban Real Estate Enterprises, LLC

Address: 4201 Lake Cook Road, Suite 100

Northbrook, IL 60062

Phone: 847-208-0599

E-mail: vera@xr-partners.com

Project Name & Description: Due to high parking demands, we need more parking to accommodate business. By removing two parking lot islands, we would be able to create two additional parking spaces.

Project Address/Location: 435 Angela Lane, Crystal Lake

Signature

**Vera Putro**

Digitally signed by Vera  
Putro

10-11-2021

*As Agent for Owner*  
Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY  
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS  
IN THE MATTER OF THE PETITION OF West Suburban Real Estate Enterprises, LLC

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by West Suburban Real Estate Enterprises, LLC for a Final Planned Unit Development Amendment, relating to the property at 435 Angela Lane in Crystal Lake, Illinois 60014. PIN: 19-18-478-001.

This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow changes to the site plan removing two parking lot islands, a Variation from Article 4-400 F. Site Landscaping from the required parking lot islands, and any other changes as presented at the hearing, pursuant to Article 4 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday November 3, 2021, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson  
Planning and Zoning Commission City of Crystal Lake

(Published in the Northwest Herald on October 16, 2021)1928186



2 parking  
islands  
to be  
removed  
→ to create  
→ 2  
additional  
parking  
spaces