



#2022-015
60 N Caroline St – Simplified Residential Variations
Project Review for Planning and Zoning Commission

Meeting Date: February 16, 2022

Requests: Simplified Residential Variations from:

1. Article 3-200 from the maximum height of one-story and 15 feet for an accessory structure to allow a two-story structure with a height of 18 feet 10 inches, a variation of 3 feet 10 inches, and
2. Article 3-200 from the required 7-foot interior side yard setback to allow 4.24 feet, a variation of 2.76 feet; from the 30-foot yard abutting a street setback to allow 25.27 feet, a variation of 4.73 feet; and from the 20-foot rear yard setback to allow 17.92 feet, a variation of 2.08 feet, and
3. Article 4-600 from the maximum dormer length of 7 feet 2 inches (20% of the length of the side of the structure) to allow a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches on the front (east) elevation to allow a detached garage.

Location: 60 N Caroline Street

Acreage: Approximately 12,330 square feet

Existing Zoning: R-3B – Multi-Family Residential

Surrounding Properties: North: R-3B – Multi-Family Residential
South: R-3B – Multi-Family Residential
East: R-3B – Multi-Family Residential
West: R-3B – Multi-Family Residential

Staff Contact: Katie Rivard (815.356.3612)

Background:

- **Existing Use:** The subject property is currently improved with a single-family residence and detached garage.

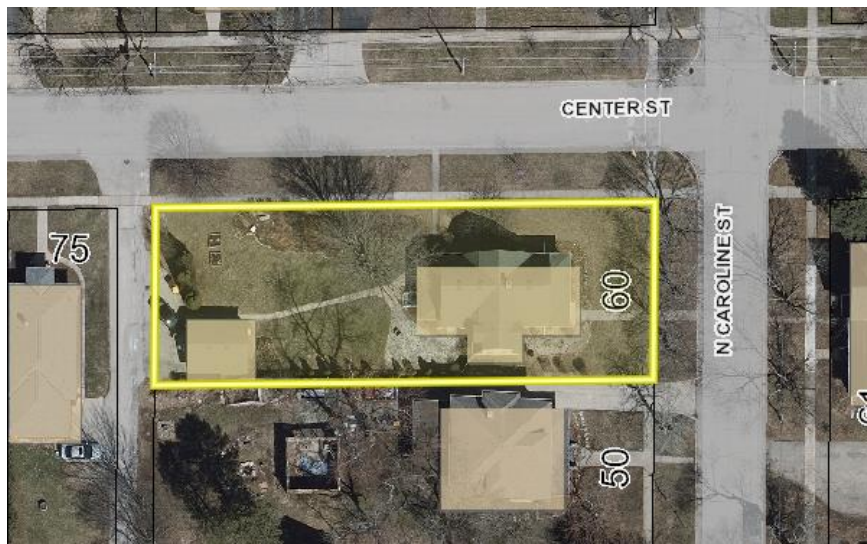
Development Analysis:

General:

- **Land Use:** The Comprehensive Land Use map shows the area as Central Urban Residential, which is an appropriate land use designation.
- **Zoning:** The site is zoned R-3B Multi-Family Residential. Single family residential is permitted in the R-3B zoning district.

Request Overview:

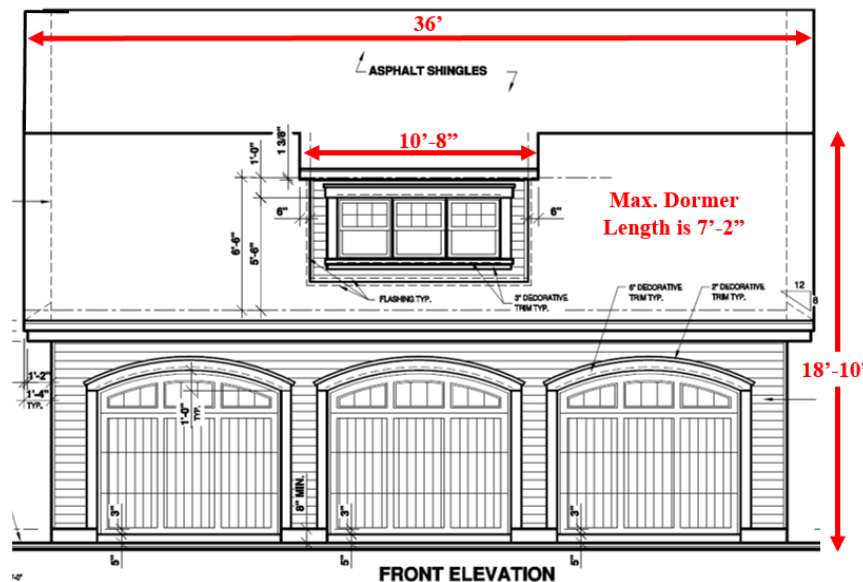
- The petitioners are requesting to replace the existing detached garage with a new, larger detached garage in the same location. The property is a corner lot and only 66 feet wide. The detached garage and driveway are only accessible through an existing alley at the rear of the property.



- The proposed detached garage is 804 square feet. All accessory structures over 600 square feet must meet the principal structure setbacks, as shown below.

	R-3B requirement	Proposed Setbacks
Front Yard Setback	30 feet	>100 feet
Interior Side Yard Setback	7 feet	4.24 feet
Side Yard Abutting a Street Setback	30 feet	25.27 feet
Combined Side Yard Setbacks	30 feet	29.51 feet
Rear Yard Setback	20 feet	17.92 feet

- Lots located in the Walkup's Addition Subdivision adjacent to the core of Downtown Crystal Lake are 66 feet in width, including corner lots. Current UDO standards for platting subdivisions require corner lots to be 15% more in area than the minimum required. This was not a requirement when the subdivision was platted in 1874.
- The proposed detached garage is two stories at 18 feet 10 inches tall. This exceeds the UDO requirements allowing maximum one-story and 15 feet in height.
- The proposed detached garage will have a dormer on the front of the structure, which faces west. The dormer exceeds the Unified Development Ordinance's requirements of no wider than 20% of the length of each side elevation upon which the dormer is constructed.



- The proposed detached garage will have a traditional gambrel roof and will be a buttercream yellow with white trim to match the house.
- Per the petitioners, the second floor will be used as storage.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioners are requesting variations from the following:

- Article 3-200 from the maximum height of one-story and 15 feet for an accessory structure to allow a two-story structure with a height of 18 feet 10 inches, a variation of 3 feet 10 inches, and
- Article 3-200 from the required 7-foot interior side yard setback to allow 4.24 feet, a variation of 2.76 feet; from the 30-foot yard abutting a street setback to allow 25.27 feet, a variation of 4.73 feet; and from the 20-foot rear yard setback to allow 17.92 feet, a variation of 2.08 feet, and
- Article 4-600 from the maximum dormer length of 7 feet 2 inches (20% of the length of the side of the structure) to allow a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches on the front (west) elevation to allow a detached garage.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
- Meets* *Does not meet*
- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
- Meets* *Does not meet*
- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
- Meets* *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioners' request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Montford, dated 01/25/2022, received 01/26/2022)
 - B. Plat of Survey (Montford, received 01/26/2022)
 - C. Site Plan (Montford, received 01/26/2022)
 - D. Garage Plans (Drummond House Plans, dated 05/10/2018, received 01/26/2022)
 - E. Specifications (Montford, received 01/26/2022)
2. The proposed detached garage should match the existing exterior house in material, color, and style of roof.
3. The petitioners must provide the existing and proposed impervious amounts with the permit application for review.
4. The petitioners shall address all of the review comments and requirements of the Community Development and Engineering Departments.

PIQ MAP



Application for Simplified Residential Variation

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

I. Applicant

Mandy and Mike Montford

Name

60 N. Caroline St.

Street

CRYSTAL LAKE IL 60014

City

State

Zip Code

Telephone Number

Fax Number

E-mail address

II. Owner of Property (if different)

Name

Address

Telephone Number

III. Project Data

1. a. Location/Address: 60 N. Caroline St. Crystal Lake, IL 60014

b. PIN #: 1432456008

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

The property is a corner lot, and is only 66' wide. The existing parking area for the home is off the alley, at the rear of the property. If we conform with the 20' setback, a new garage will be in the middle of our backyard, and not adjacent to the alley parking pad. It would also encroach into the roots of a huge maple tree.

IS THE HARDSHIP SELF-CREATED?

No

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

No.

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

No. Our garage project will be designed in keeping with the style of our home and will be be attractive, built from quality materials.

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No.

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUBSTANTIALLY INCREASE THE DANGER OF FIRE; OR ENDANGER PUBLIC SAFETY?

No.

3. List any previous variations that are approved for this property: _____
None.

IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

AMANDA MONTFORD

1/25/22

OWNER: Print and Sign name

[Signature]

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

[Back to Results](#)

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE APPLICATION OF Montford Family 2020 Trust LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Mandy and Mike Montford for approval of variations allowing the construction of a garage at the following real estate known as 60 N. Caroline Street, Crystal Lake, Illinois 60014, PIN: 14-32-456-008. This application is filed for the purpose of seeking Simplified Residential Zoning Variations from the maximum height of 15 feet for an accessory structure to allow 18 feet 10 inches, from the maximum one-story to allow a two story accessory structure, from the limit of a dormer at 20% of the length of the side a maximum of 7 feet 2 inches to allow 10 feet 8 inches, from the required setbacks of 7-foot from the interior side yard setback to allow 4 feet, from the 30-foot yard abutting a street setback to allow 21 feet and the 20-foot rear yard setback to allow 17 feet, and any other variations as noted at the public hearing pursuant to Article 3, Article 4, and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall. A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, February 16, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald on February 1, 2022) 1956328

DISTANCE OFF PROPERTY
(LINE)

ALLEY

66.00'

4.73'

4.24'

17.92'

18.08'

18.24'

20.0'

20.0'

18.2'

18.2'

EXISTING
FRAME
GARAGE

EXISTING
FRAME
GARAGE

ASPHALT
DRIVE

22.4'

36'

LOT 1



WOOD
PORCH

CONCRETE
WALK

CONCRETE
WALK

187.00'

MATURE
MAPLE
TREE

PROPOSED FRAME GARAGE
36' x 22.4'

CENTER

186.63

12.0'

2 STORY
FRAME
RESIDENCE

38.0'

WOOD
DECK

WOOD
DECK

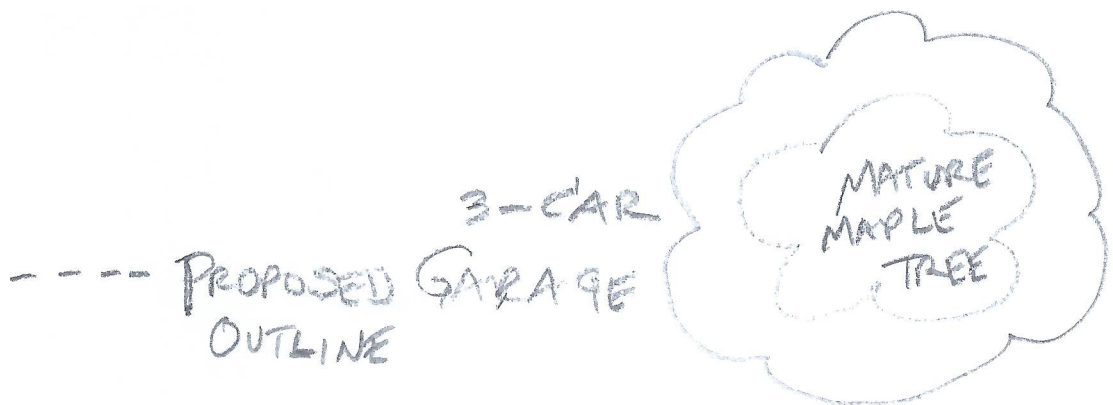
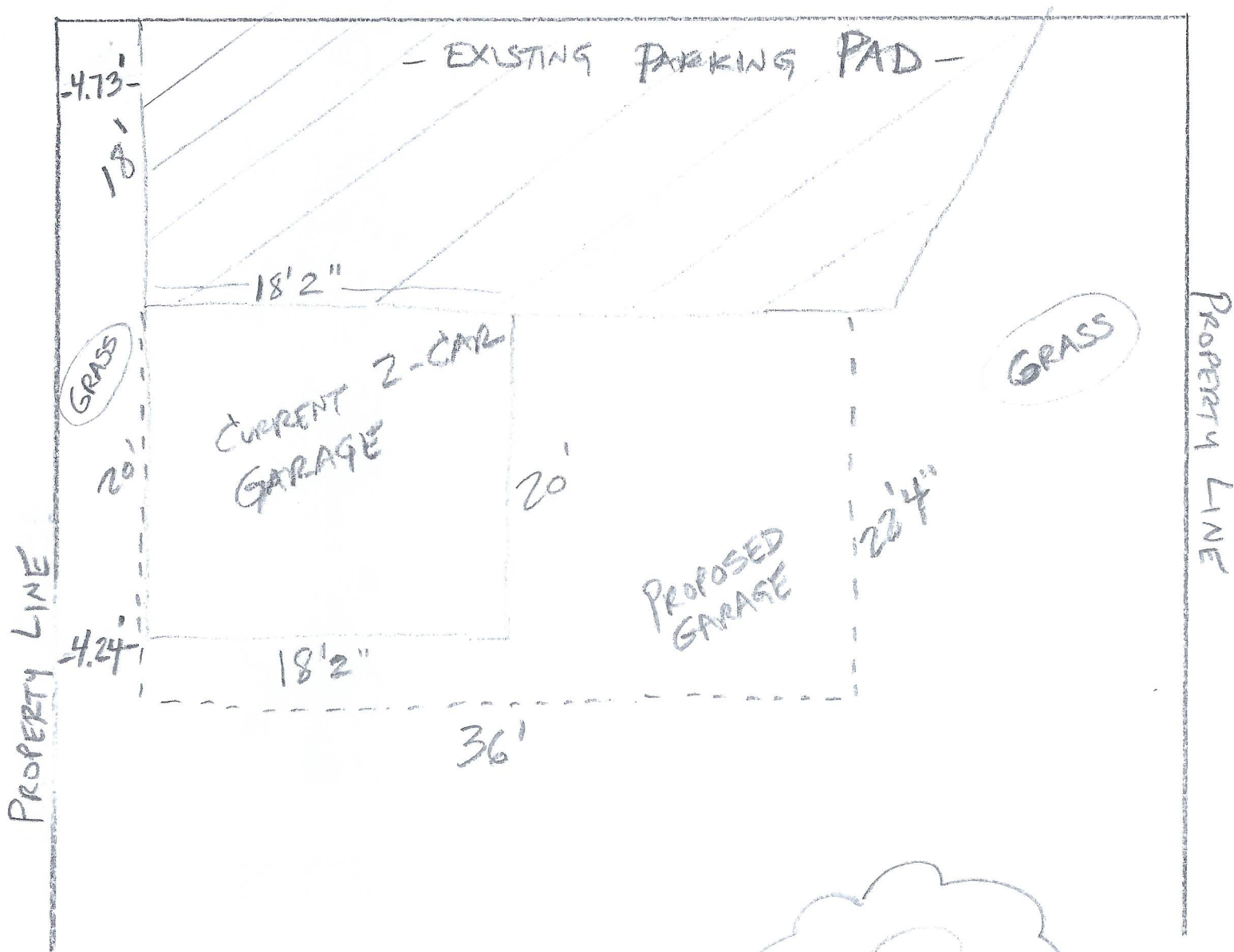
36.45'

CONCRETE
WALK

CONCRETE
WALK

STREET

- ALLEY - 66'



CLOSE-UP VIEW



BUILDER'S PROGRAM

In order to better serve the needs of the builders' community Drummond House Plans has developed its own Builder's Program.

By subscribing to this unique Program, FREE OF CHARGE, you will have access to a wide range of plan packages and marketing tools supplied by Drummond House Plans. Through our 40 years of experience and knowledge of the builder's community, we have come to know and developed the support and services that will help you increase your productivity and differentiate the services you offer from your competitors.

For more information, contact us at 1 800 567-5267 or email us at : info@drummondhouseplans.com

SEND US PICTURES OF YOUR HOUSE !



Drummond House Plans is always looking for homes built from our plans to be used in our different publications.

Once your construction and landscape is completed, simply take a few pictures (exterior and interior) and send them via email to photos@drummondhouseplans.com or by regular mail to:

455 St-Joseph boulevard, Suite 201
Drummondville (Quebec) Canada J2C 7B5

Drummond House Plans could use your pictures and in turn increase your chances of being selected, you will find below some helpful tips in creating the right setting and back drop for your house to take good quality pictures.

- Set your digital camera at the highest resolution (photo quality)
- Make sure to remove everything that could damage the photo or hide the house (car in the driveway, garbage cans, bicycles, etc...)
- Take pictures when the sun is facing the house and ideally when the sky is lightly cloudy to attenuate shadows.
- Take pictures of your house from different angles, the pictures can be surprising.

Drummond House Plans commits to treat the photographs and information received in confidence.

ADDITIONAL SERVICES :

MATERIALS LIST

Make sure you do not miss anything and control your costs by getting the complete list of materials for building your home. You will have in hand the exact quantities of materials needed to facilitate your shopping and order at each stage of construction.

CUSTOM HOME DESIGN SERVICES

Whether you are looking to distinguish yourself and your home from those in your neighbourhood or you simply want for your home to completely reflect your needs and life style, Drummond House Plans has the skilled design team to make your custom dream home reality. We have the tools and the expertise required to create a unique custom home plan suited to your every needs, all the while respecting your budget.

HOME RENOVATION DESIGN SERVICES

You are renovating your home to adapt it to your family's changing needs, or simply to upgrade it ? Drummond House Plans' professional team can design your home renovation or addition and guide you through the process in order to achieve the results you are expecting, whether it would be for the interior layout or for the exterior appearance.

Are you planning on making **MODIFICATIONS** to your new home plan?
Drummond House Plans can help !
Call us NOW! 1 800 567-5267

Here are only a few of the many **MODIFICATIONS** that can be done to your new home plan.

MODIFY THE EXTERIOR SIDING TYPE
Changing the exterior siding might require modifications to the thickness of your foundations and will affect the interior dimensions of your rooms.

ADDING A BASEMENT ACCESS
Water and frost could damage your foundation if a basement access is not built based on good practices.

EXTENDING YOUR HOUSE
To extend, it will be required to add and/or rearrange the supporting walls and beams.

ADDING A FIREPLACE
The addition of a fireplace will affect your living space and the layout of the rooms.

ADDING A GARAGE
You wish to add a garage ? Plan it right now by taking into account its size, its access (to the house, to the basement) and storage spaces.

COPYRIGHT LAW
Your plans are protected by the Copyright law. Only Drummond House Plans is authorized to modify them, unless a license is purchased. Call for information.

FINISHED BASEMENT
The openings for windows and doors must respect the building standards if you plan to have bedrooms in the basement.

Avoid any misunderstandings between you and your builder and possible costly construction errors by modifying your plan by Drummond House Plans' professional team of designers. If you plan on building your home differently than specified on your plan, be sure to make the changes before starting construction!

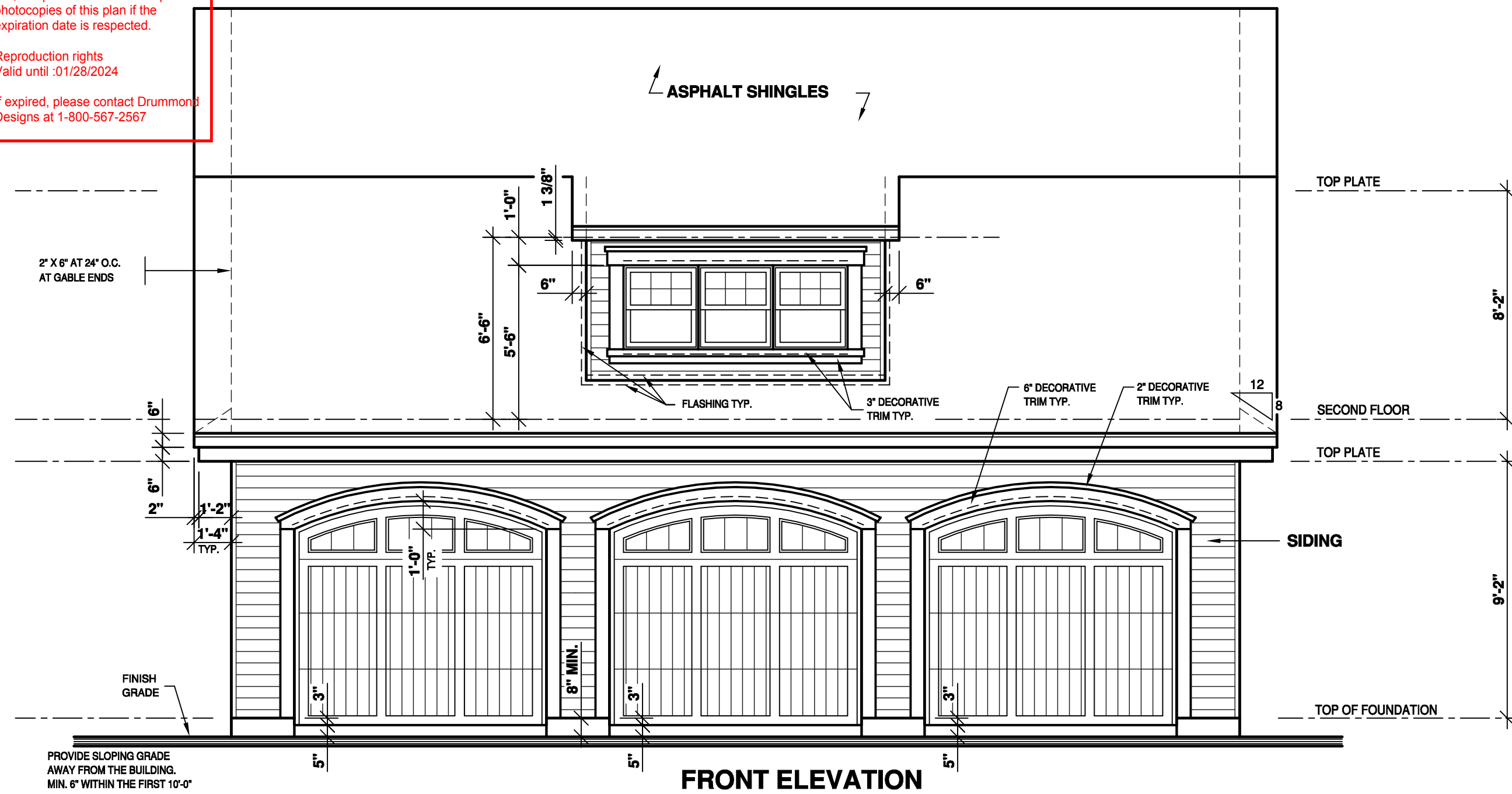
**YOUR PLAN SHOULD
EXPRESS AND REPRESENT
YOUR NEEDS EXACTLY !**

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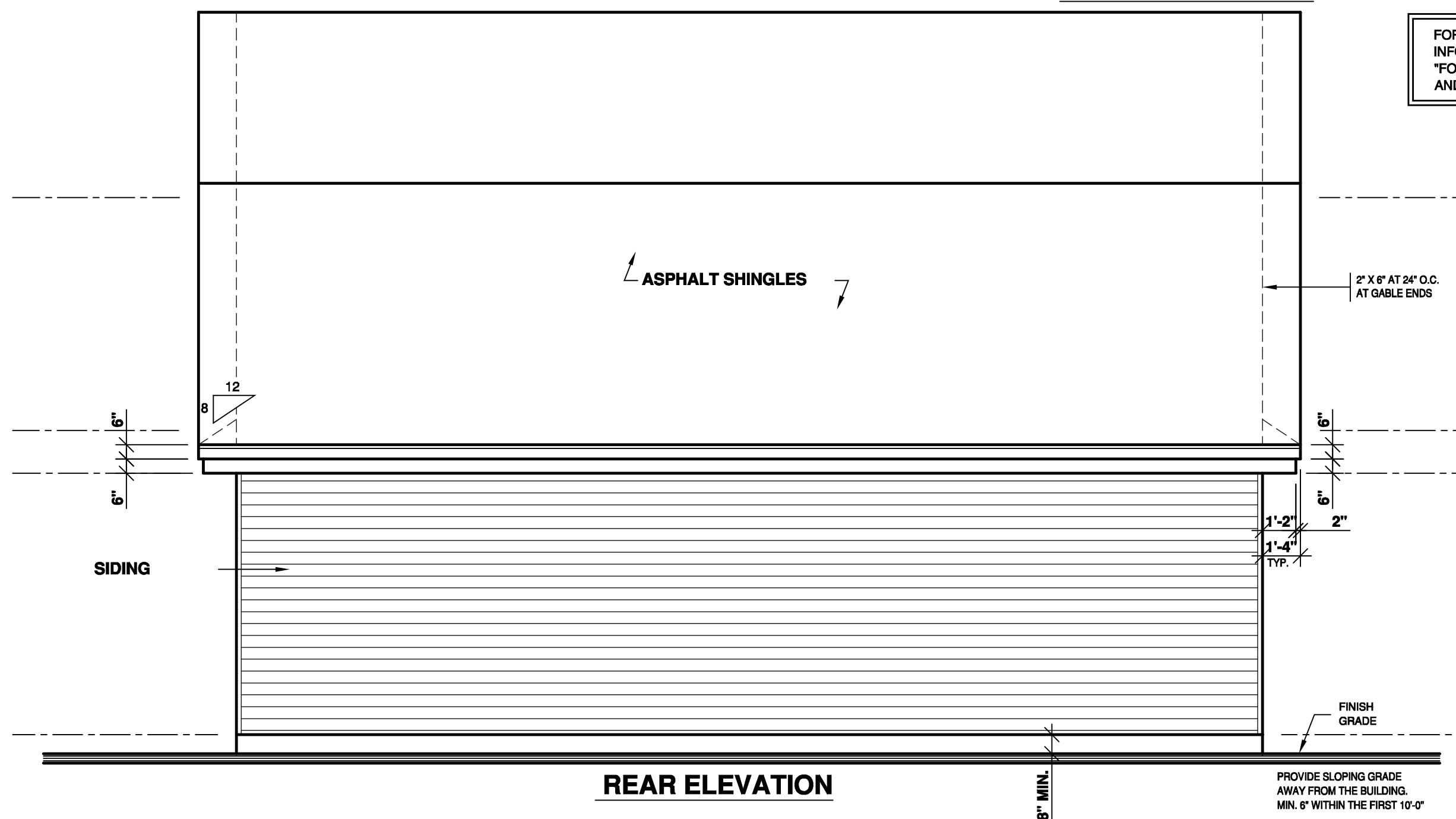
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FRONT ELEVATION

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REAR ELEVATION

NOTES:

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CUSTOMER INFO

AMANDA E. MONTFORD

REVISION

NO	DATE	BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION

DRAWING

ELEVATIONS

DESIGNED BY

D.C.

DRAWN BY

K.A.

CHECKED BY

V.ST-L.

DATE

05/10/2018

SCALE

1/4"=1'-0"

PLAN NO.

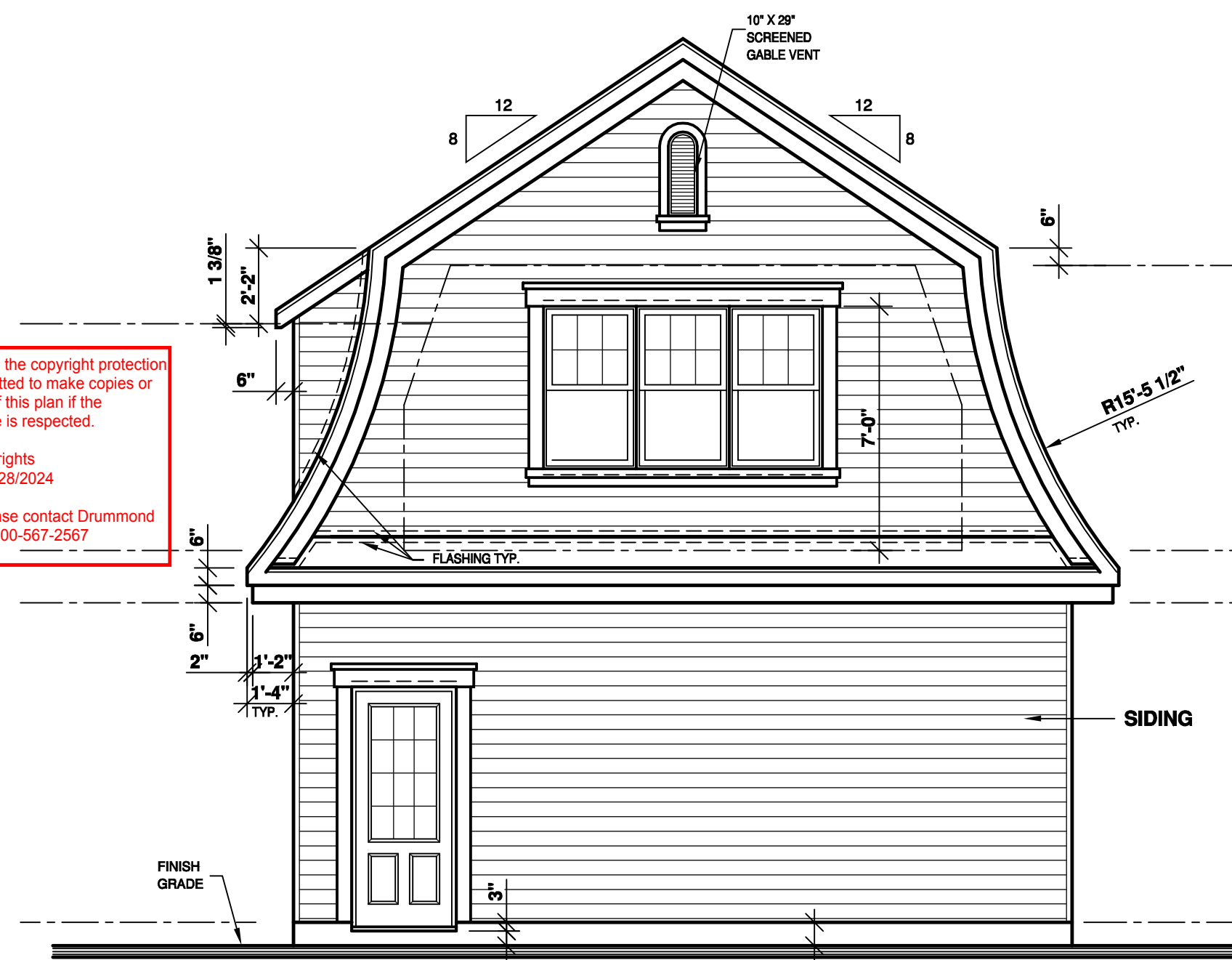
3984

SHEET NO.

1-8

AREA SCHEDULE	SQ.FT.
OTHER
BONUS ROOM	594
GARAGE	804

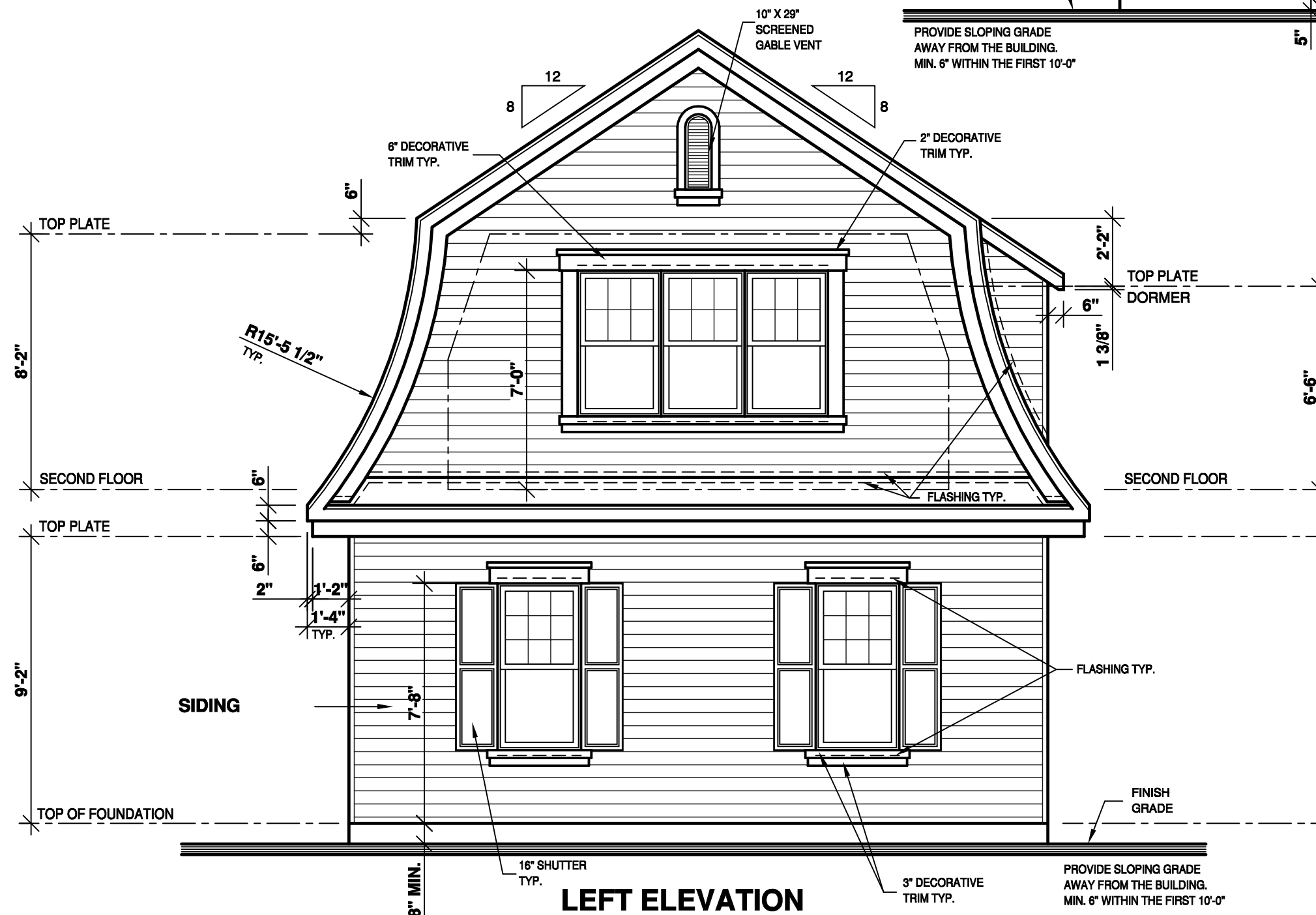
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RIGHT ELEVATION

PROVIDE SLOPING GRADE AWAY FROM THE BUILDING. MIN. 6" WITHIN THE FIRST 10'-0"

FOR FOUNDATION INFORMATION REFER TO THE "FOUNDATION PLAN" PAGES AND "TYPICAL WALL SECTION"



LEFT ELEVATION

PROVIDE SLOPING GRADE AWAY FROM THE BUILDING. MIN. 6" WITHIN THE FIRST 10'-0"

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CUSTOMER INFO

AMANDA E. MONTFORD

REVISION

NO	DATE	BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION

DRAWING

ELEVATIONS

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.
DATE	05/10/2018	SCALE
		1/4"=1'-0"
PLAN NO.	3984	SHEET NO.
		2-8

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GENERAL NOTES:

-BUILDING CONTRACTOR MUST-

- 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.
- THE DIMENSIONS ON THE PLAN HAVE PRIORITY ON THE DRAWING. CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND HOUSE PLANS INC. AS SOON AS POSSIBLE.

IMPORTANT NOTES:

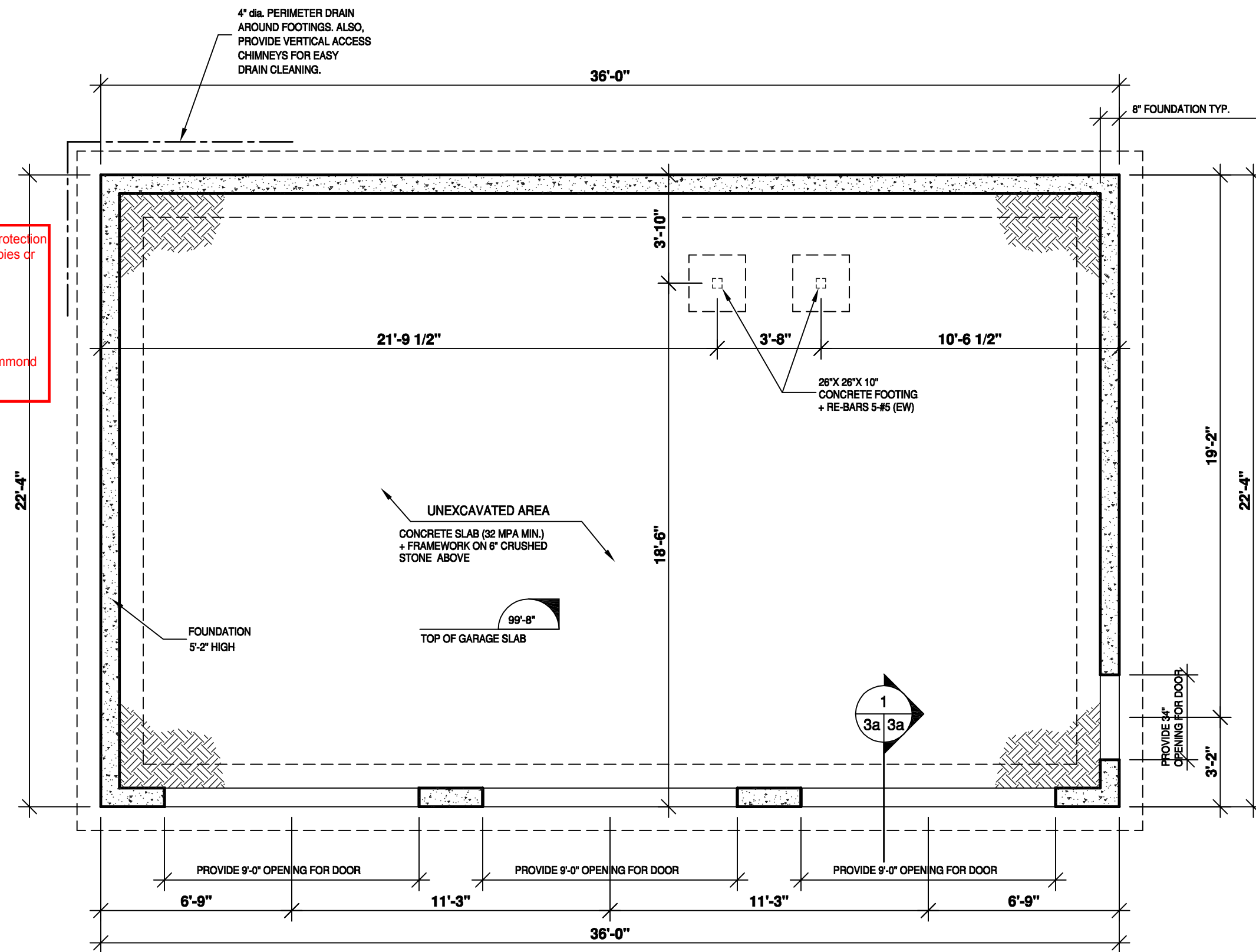
- THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.
- AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.
- ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.
- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".
- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PILASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FIBERBOARD.
- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.
- IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.
- THE WINDOW DIMENSIONS IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. THE WINDOWS MUST COMPLY WITH THE NORTH AMERICAN STANDARD (AAMA / WDMA / CSA). CATEGORY R IS THE MINIMUM CLASSIFICATION LEVEL ACCEPTED.
- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

- STRUCTURAL NOTES:**
- FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.
 - ALL LINTELS TO BE 2-2"x10" UNLESS OTHERWISE SPECIFIED.
 - ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2"x6" UNLESS OTHERWISE SPECIFIED.
 - ALL INTERIOR POSTS TO BE MIN. 3-2"x4" UNLESS OTHERWISE SPECIFIED.
 - THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.
 - TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.
 - THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRESS BOARD PANEL (OSB) OR EQUIVALENT.
 - PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.
 - IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MASON.

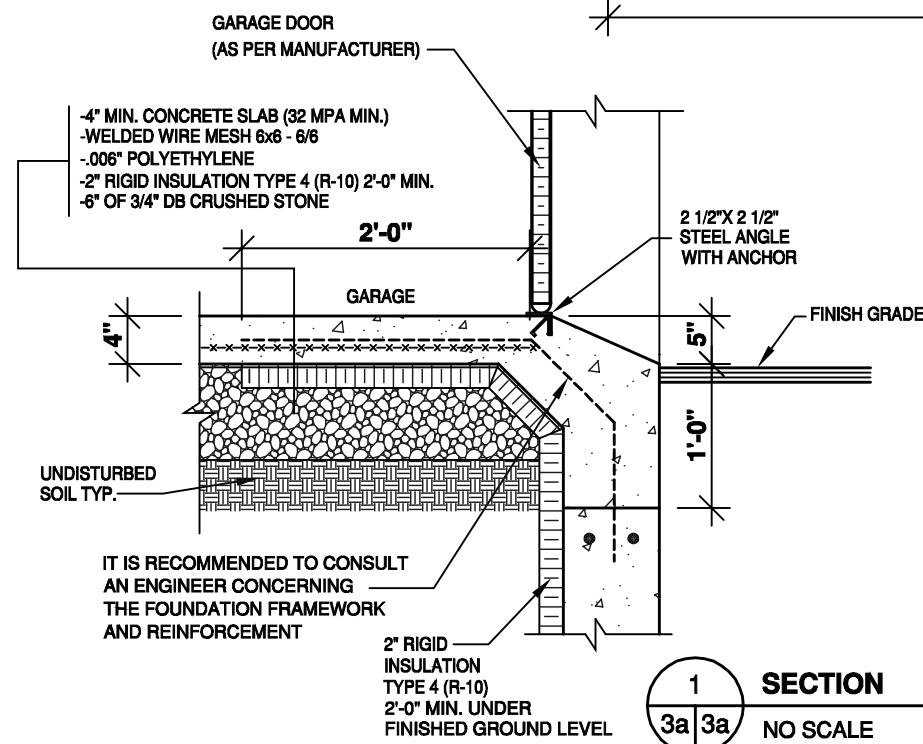
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FLOATING SLAB FOUNDATION



STRUCTURAL LEGEND

- IN-WALL STUD POST
 - REINFORCED BEAMS SUPPORTING STRUCTURE
 - BEARING WALL
- CROSS SECTION**
- ARROW INDICATING THE DIRECTION OF CUT
 - SECTION NUMBER
 - PAGE ON WHICH SECTION IS FOUND
 - PAGE ON WHICH SECTION WAS TAKEN

DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267

DRUMMOND HOUSE PLANS

NOTES:

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CUSTOMER INFO

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
FOUNDATIONS PLAN (FLOATING SLAB)

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	SHEET NO. 3a-8
PLAN NO. 3984		

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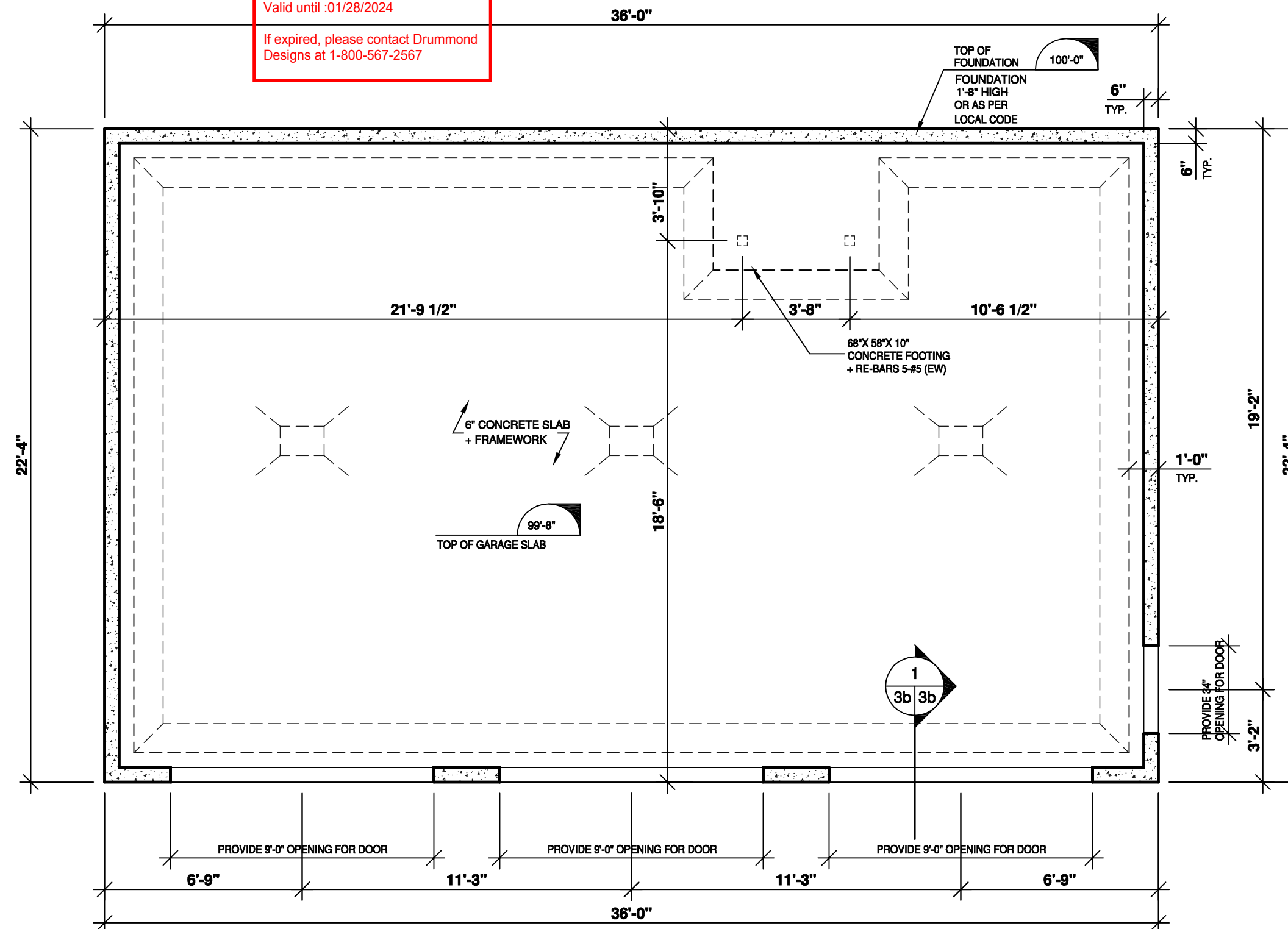
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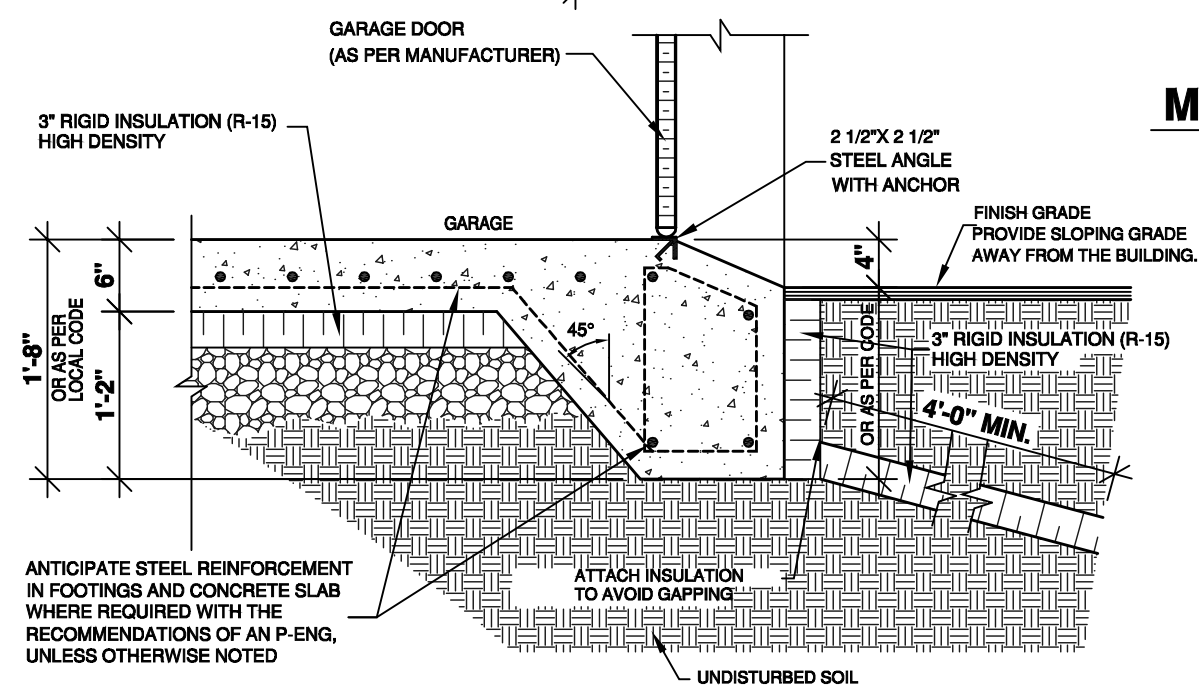
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MONOLITHIC SLAB FOUNDATION



ANTICIPATE STEEL REINFORCEMENT IN FOOTINGS AND CONCRETE SLAB WHERE REQUIRED WITH THE RECOMMENDATIONS OF AN P-ENG, UNLESS OTHERWISE NOTED

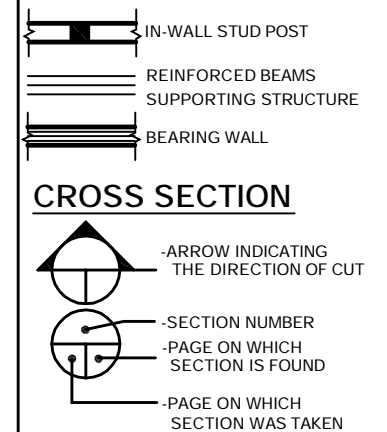
ATTACH INSULATION TO AVOID GAPPING

UNDISTURBED SOIL

THE GENERAL CONTRACTOR SHALL VERIFY THE STRUCTURAL CAPACITY OF THE ELEMENTS OF THE BUILDING, IN CASE OF OMISSION OBTAIN RECOMMENDATIONS OF AN ENGINEER

1 SECTION
3b 3b NO SCALE

STRUCTURAL LEGEND



DRUMMOND HOUSE PLANS

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1-800-567-5267

DRUMMOND HOUSE PLANS

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CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
FOUNDATIONS PLAN (MONOLITHIC SLAB)

DESIGNED BY	DRAWN BY	CHECKED BY	
D.C.	K.A.	V.ST-L.	
DATE	05/10/2018	SCALE	1/4"=1'-0"
PLAN NO.	3984	SHEET NO.	3b-8

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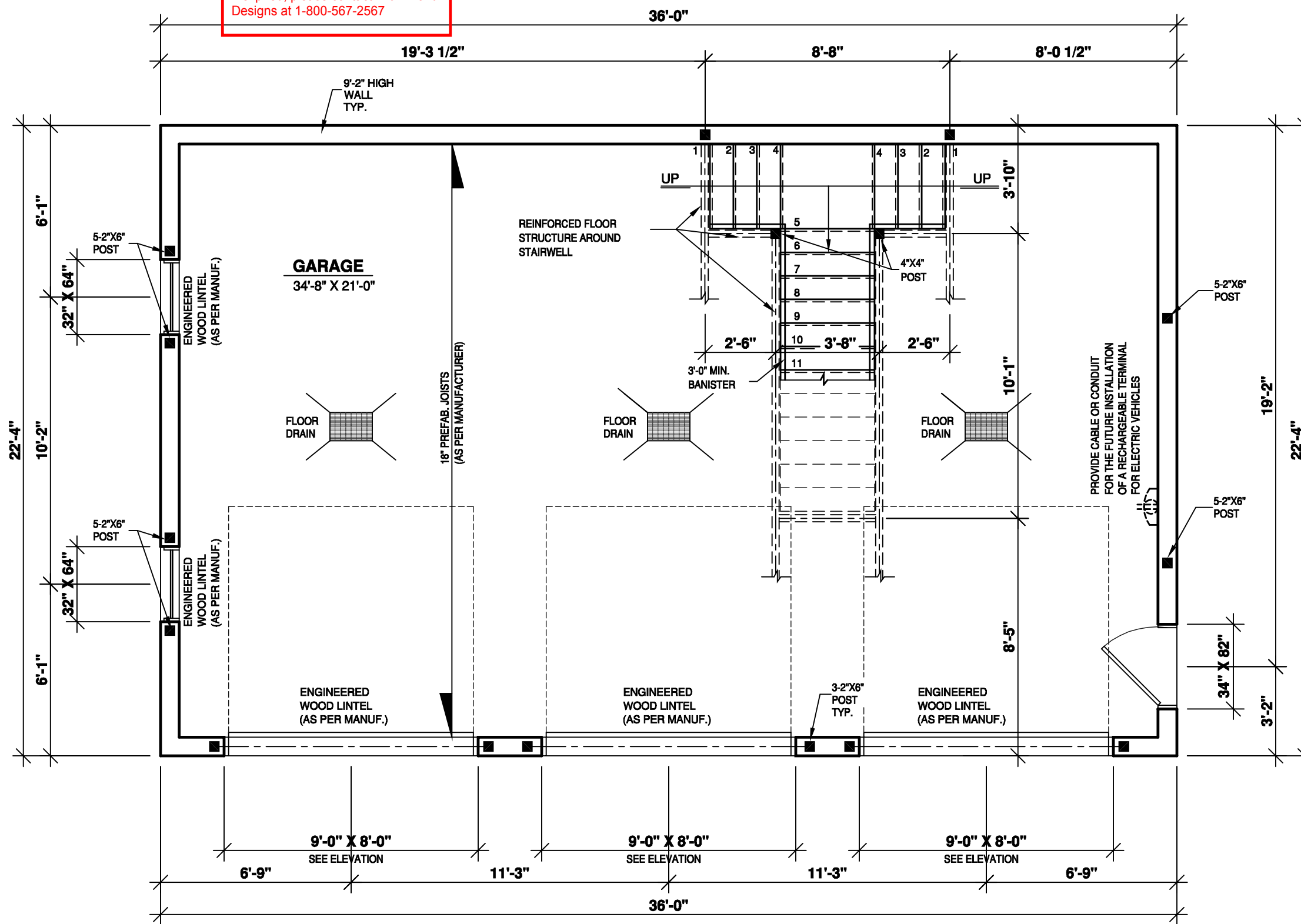
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STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL

CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
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AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
GROUND FLOOR PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 4-8	

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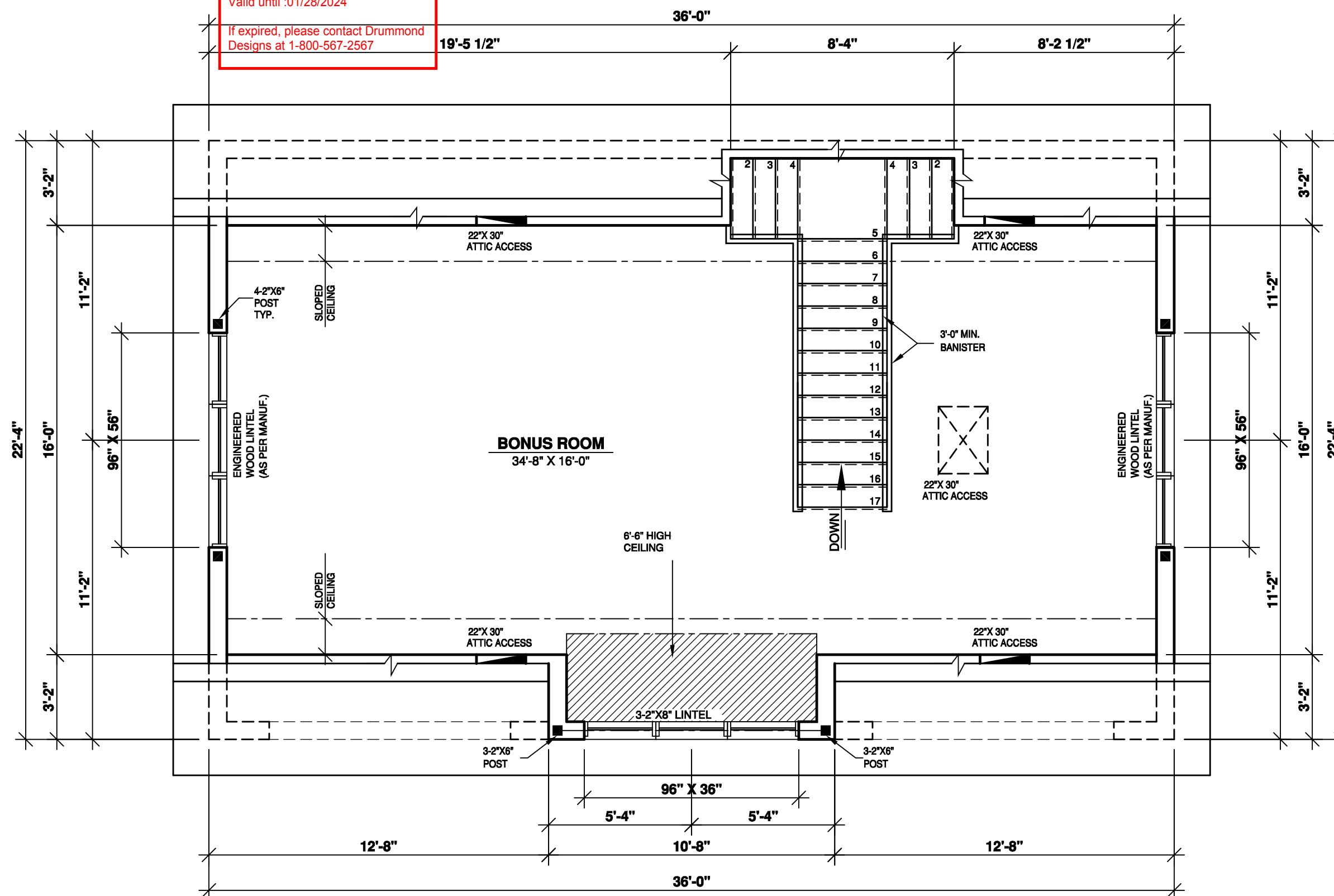
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CUSTOMER INFO

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

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PROJECT INFO


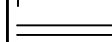

NEW CONSTRUCTION

DRAWING




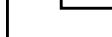
SECOND FLOOR PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4" = 1'-0"	
PLAN NO. 3984	SHEET NO. 5-8	

STRUCTURAL LEGEND

-  IN-WALL STUD POST
-  REINFORCED BEAMS SUPPORTING STRUCTURE
-  BEARING WALL

CROSS SECTION

-  -ARROW INDICATING THE DIRECTION OF CUT
-  -SECTION NUMBER
-  -PAGE ON WHICH SECTION IS FOUND
-  -PAGE ON WHICH SECTION WAS TAKEN

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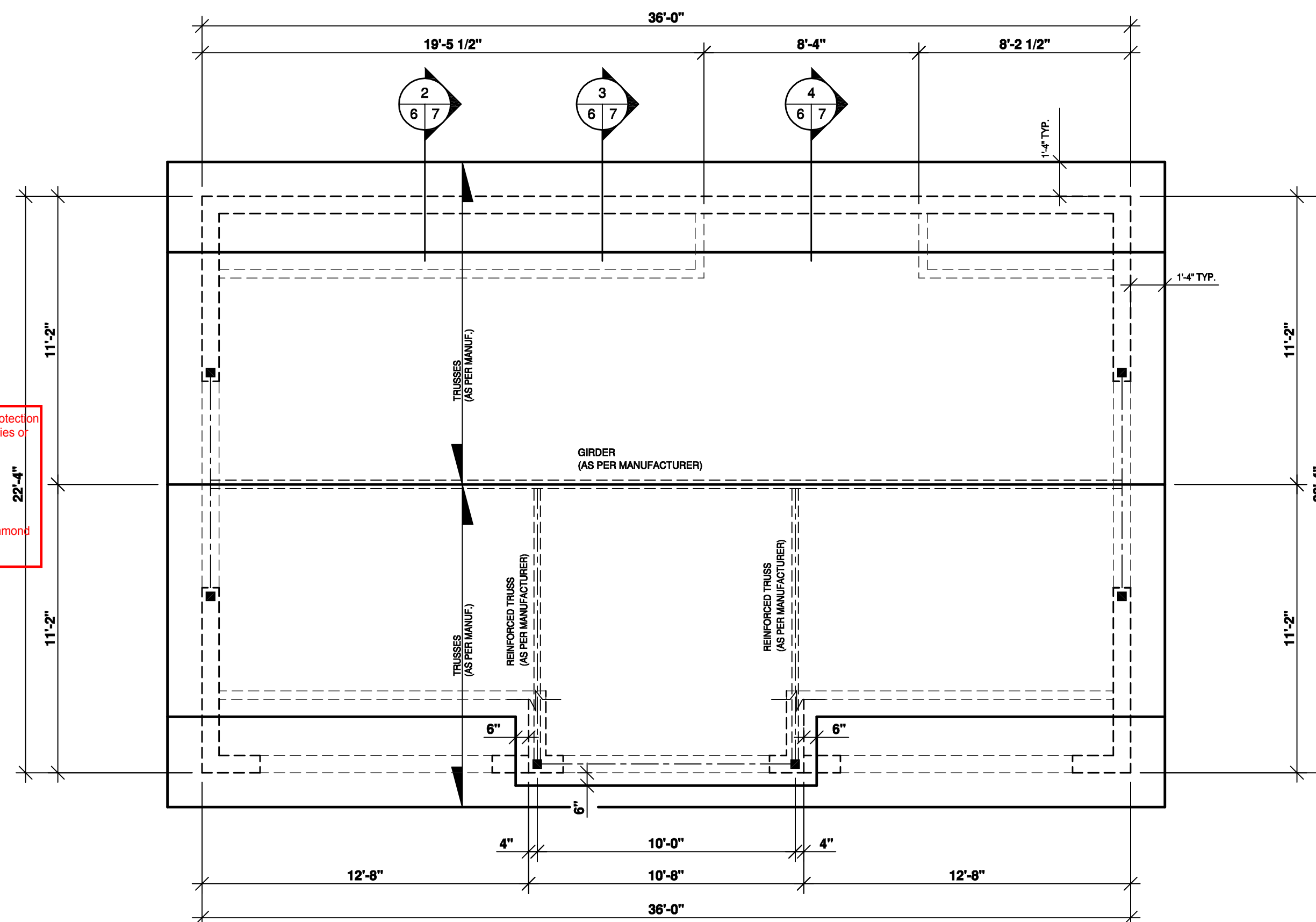
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CUSTOMER INFO

AMANDA E. MONTFORD

REVISION

NO	DATE	BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION

DRAWING

ROOF PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
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DATE 05/10/2018	SCALE 1/4"=1'-0"
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PLAN NO. 3984	SHEET NO. 6-8
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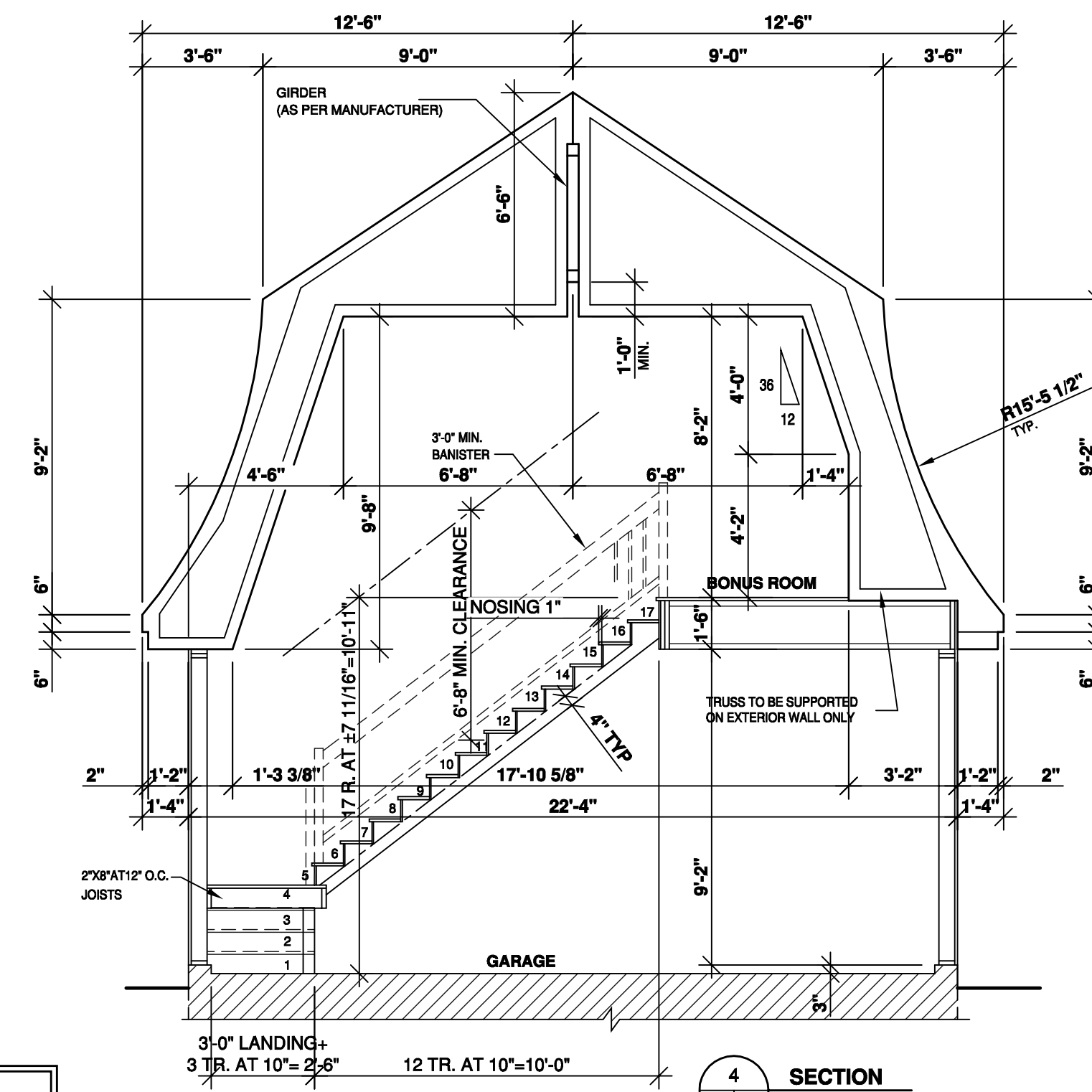
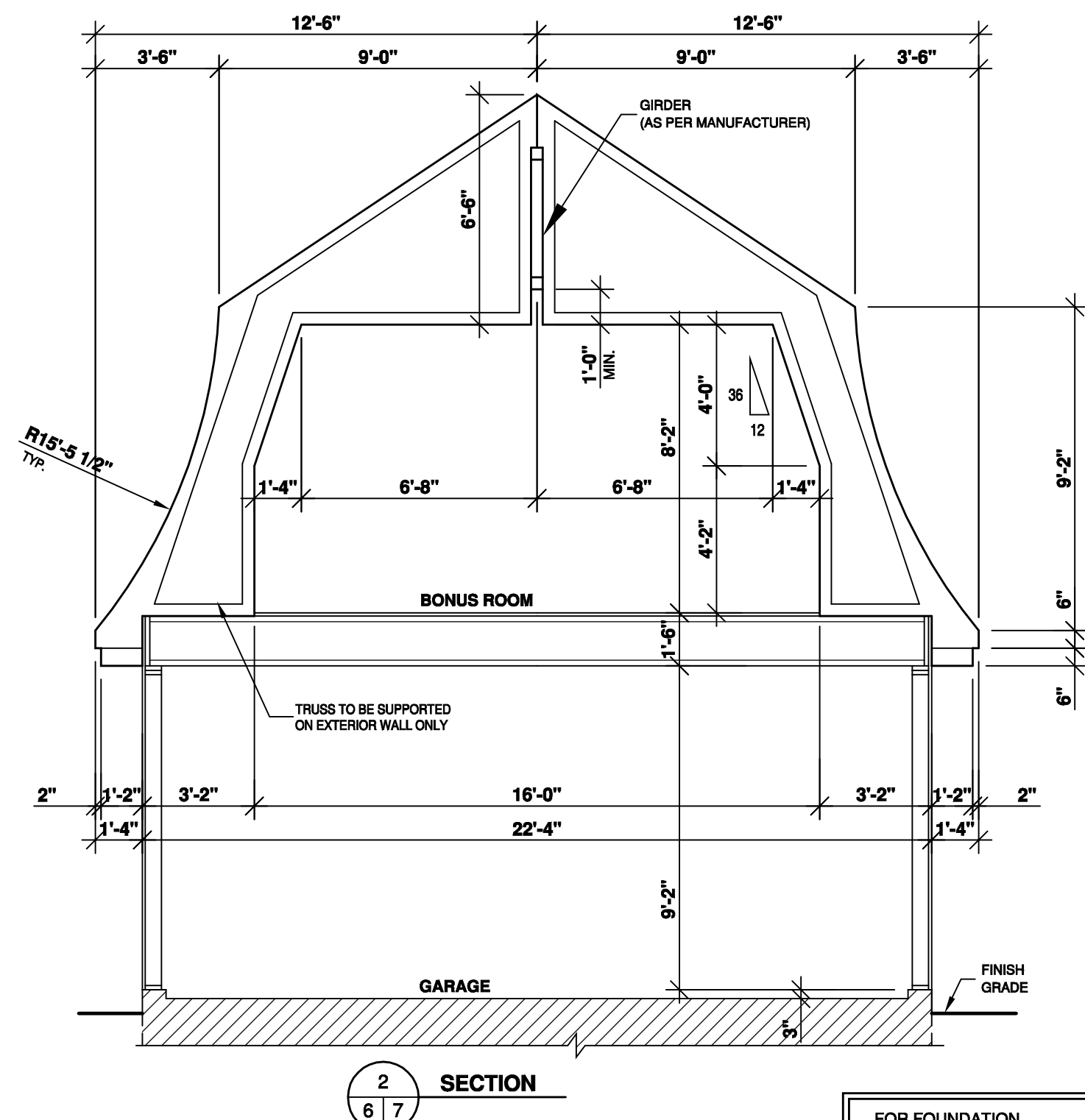
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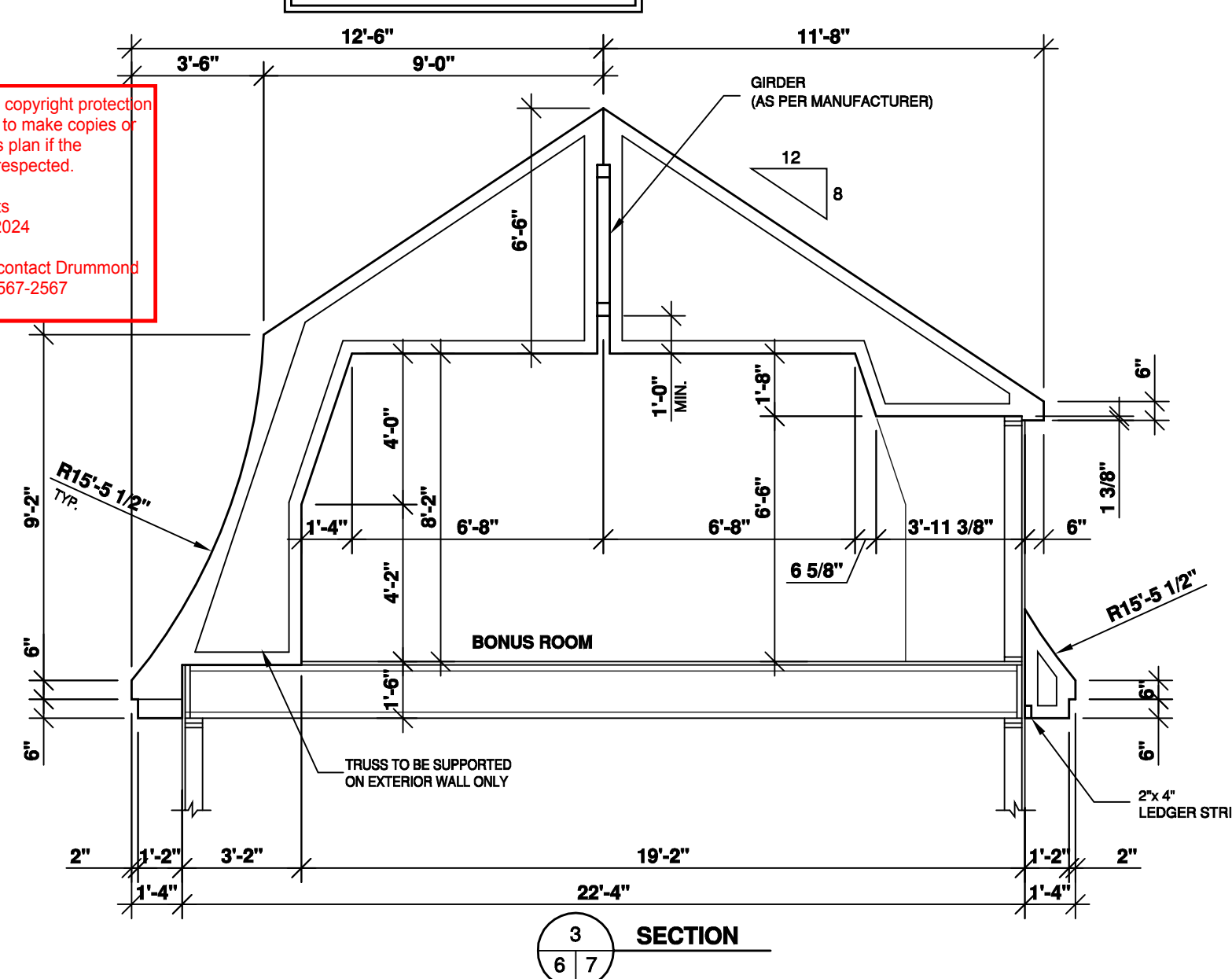


FOR FOUNDATION INFORMATION REFER TO THE "FOUNDATION PLAN" PAGES AND "TYPICAL WALL SECTION"

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THE TRUSS DIAGRAMS ON THIS PLAN ARE ONLY SHOW FOR SCHEMATIC PURPOSE. IT IS THE MANUFACTURER'S RESPONSIBILITY TO DESIGN AND CONVOICE THE TRUSSES TO MEET AND COMPLY LOCAL AND CODE REGULATION.

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CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
TRUSS DIAGRAM

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 7-8	



NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

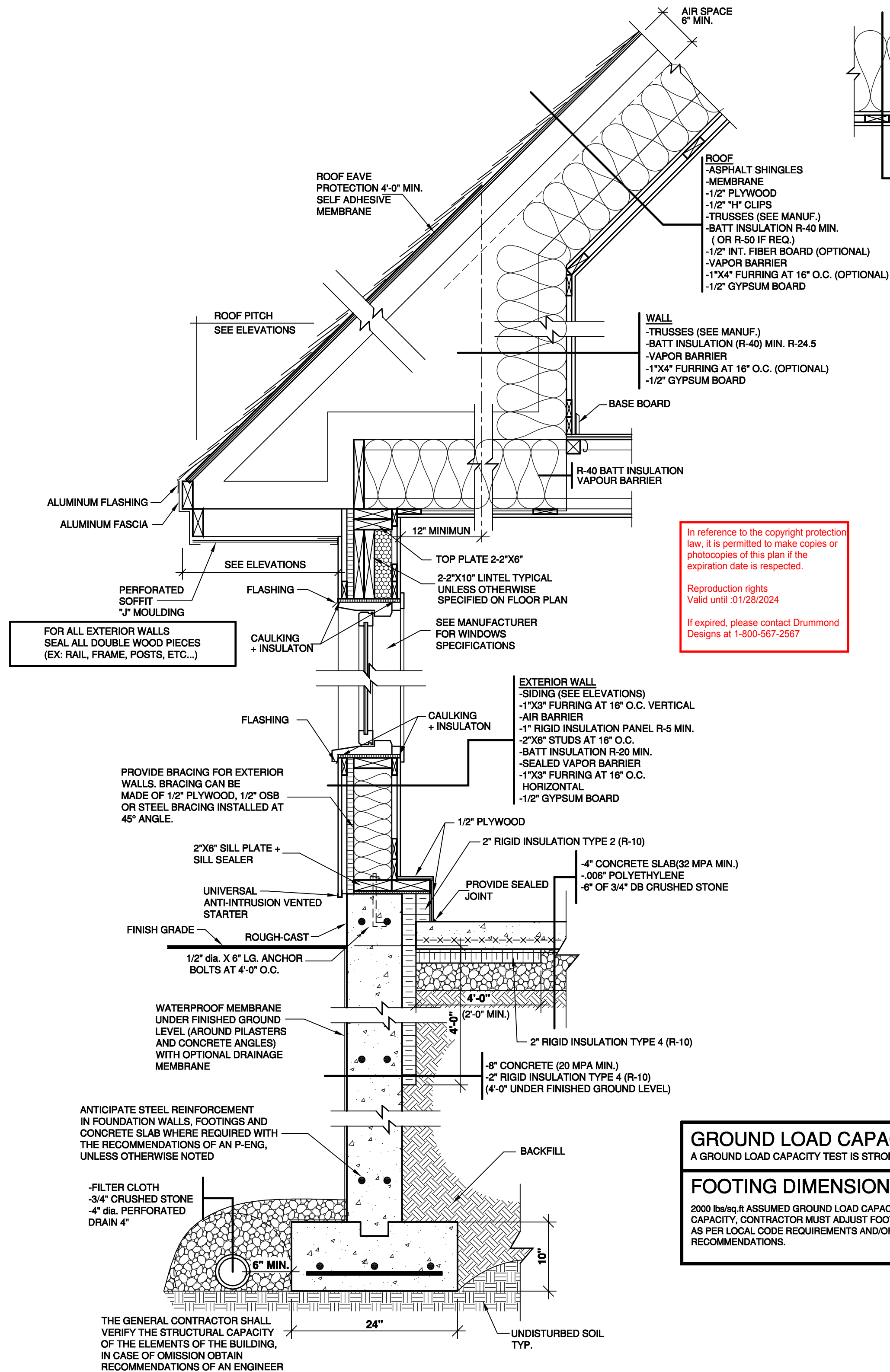
THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

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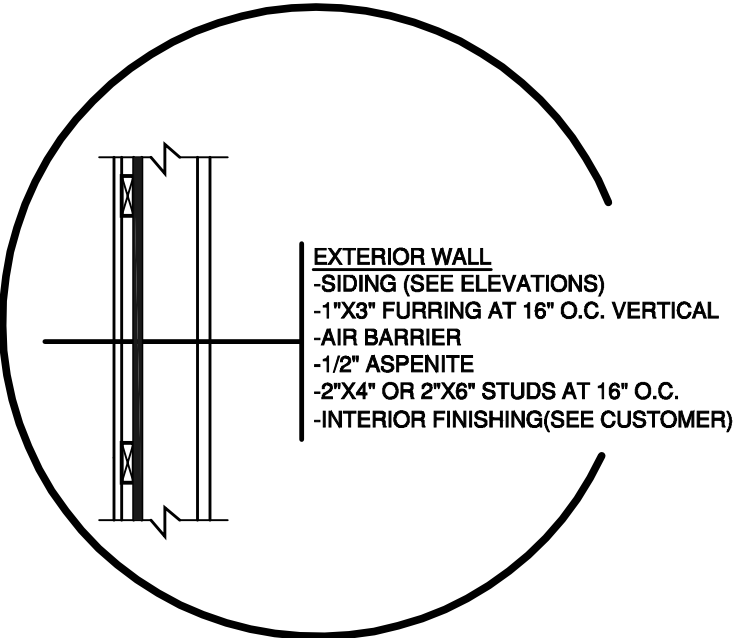


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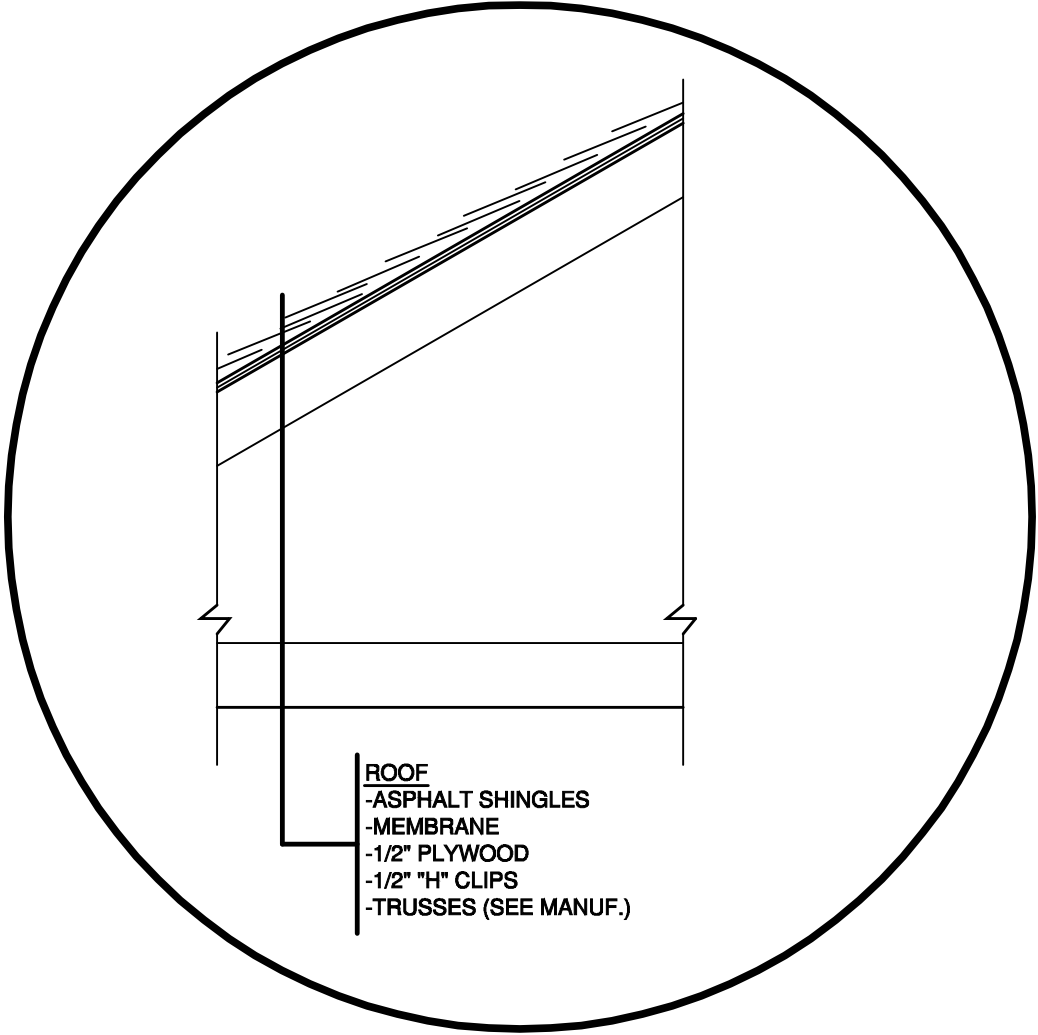
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**SUGGESTED WALL COMPOSITION
IF THE GARAGE IS NOT HEATED**



**SUGGESTED ROOF COMPOSITION
IF THE GARAGE IS NOT HEATED**



GROUND LOAD CAPACITY
A GROUND LOAD CAPACITY TEST IS STRONGLY SUGGESTED

FOOTING DIMENSION
2000 lbs/sq.ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS, AS PER LOCAL CODE REQUIREMENTS AND/OR ENGINEER RECOMMENDATIONS.

CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

PROJECT INFO
NEW CONSTRUCTION

DRAWING
TYPICAL WALL SECTION
(FLOATING SLAB)

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
05/10/2018	1"=1'-0"

PLAN NO.	SHEET NO.
3984	8a-8

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CUSTOMER INFO

AMANDA E. MONTFORD

REVISION

NO DATE BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION

DRAWING

TYPICAL WALL SECTION
(MONOLITHIC SLAB)

DESIGNED BY

D.C.

DRAWN BY

K.A.

CHECKED BY

V.ST-L.

DATE

05/10/2018

SCALE

1"=1'-0"

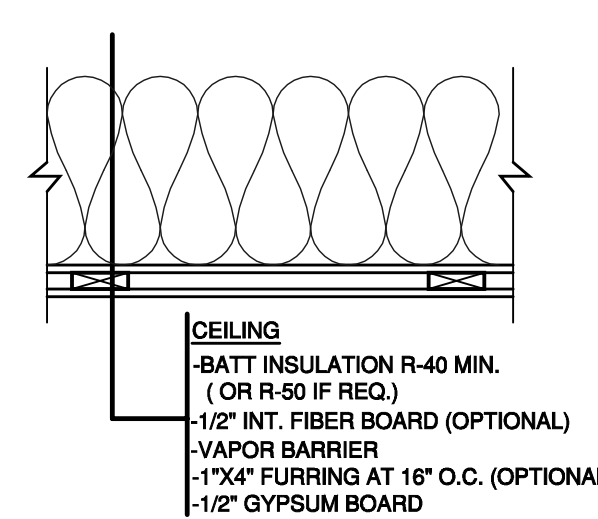
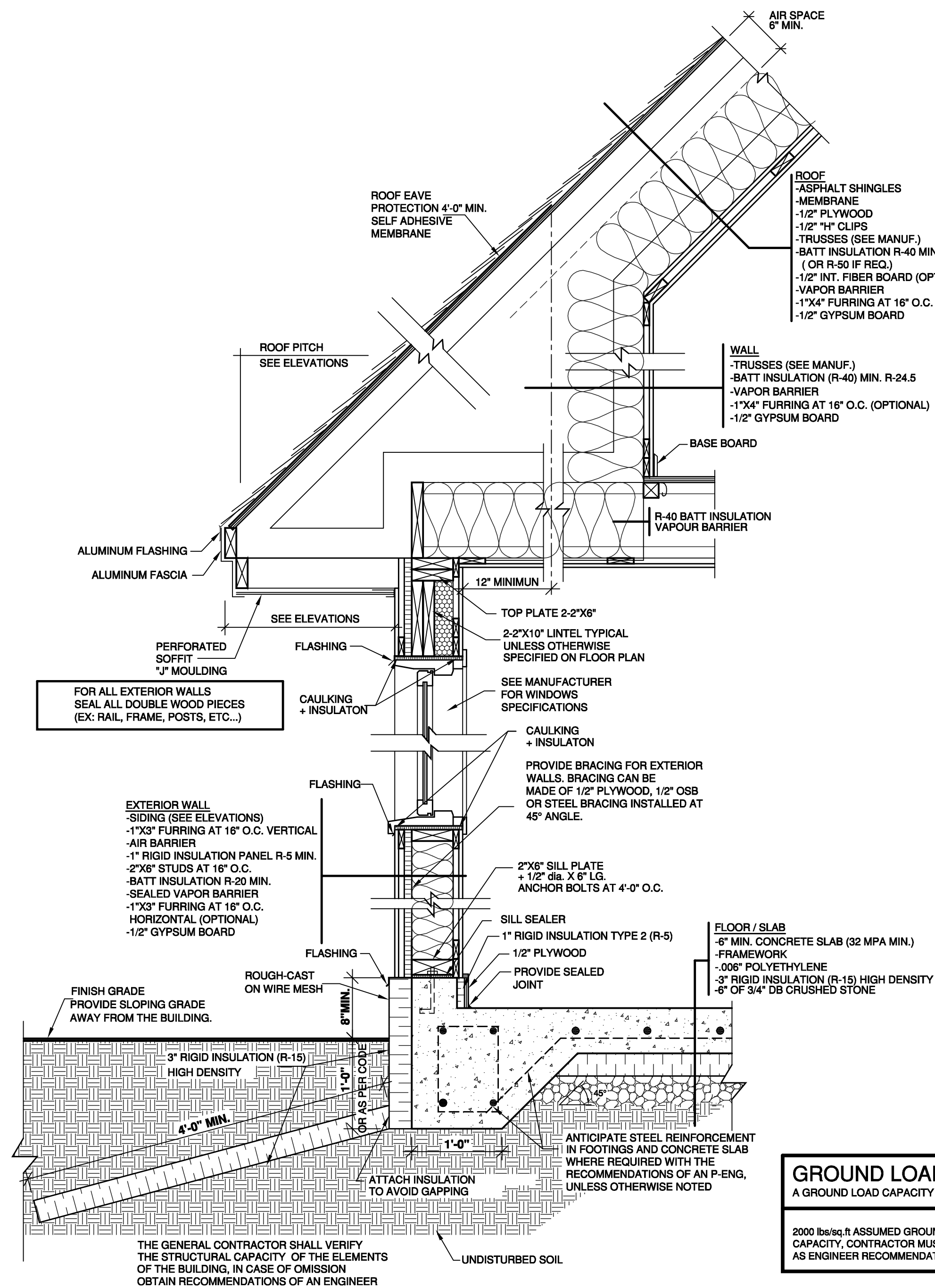
PLAN NO.

3984

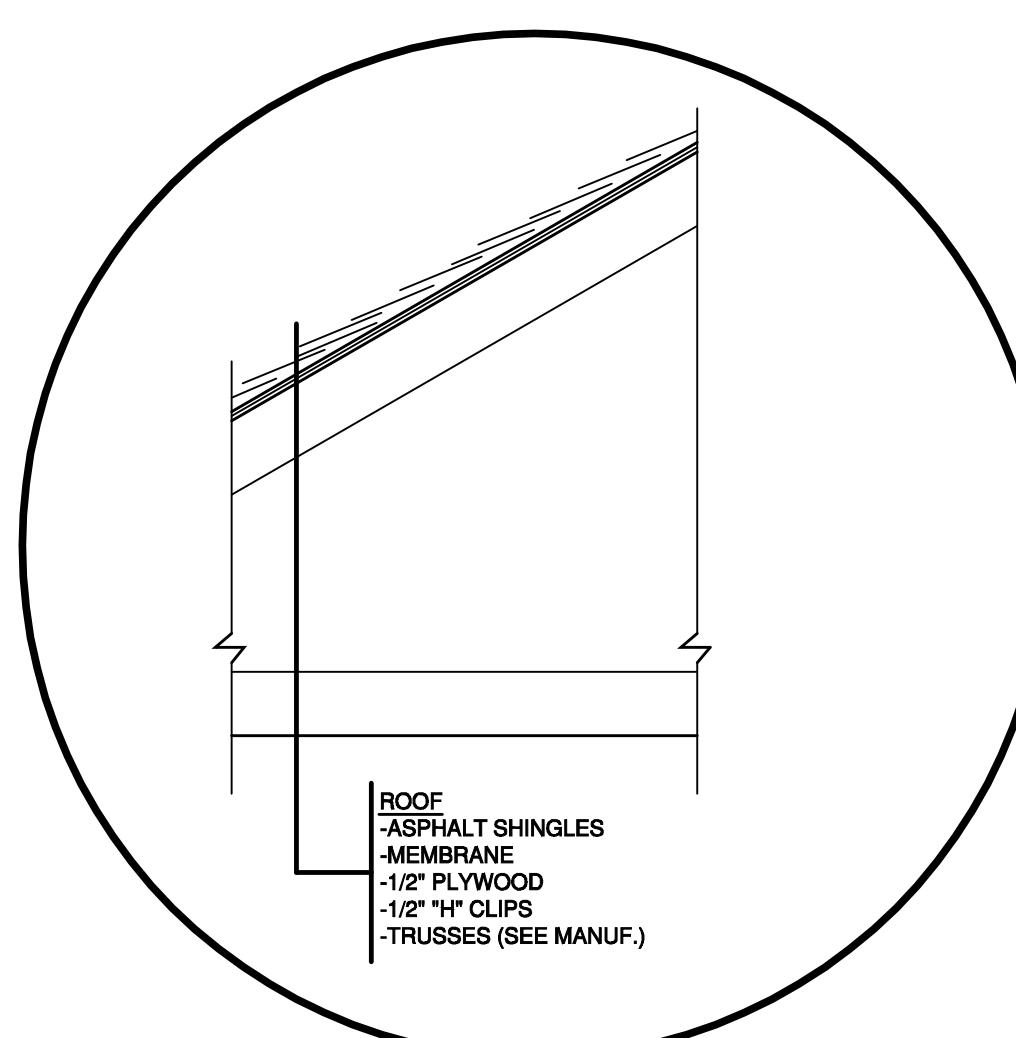
SHEET NO.

8b-8

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**SUGGESTED WALL COMPOSITION
IF THE GARAGE IS NOT HEATED**



**SUGGESTED ROOF COMPOSITION
IF THE GARAGE IS NOT HEATED**

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GROUND LOAD CAPACITY
A GROUND LOAD CAPACITY TEST MUST BE OBLIGATORY.

2000 lbs/sq.ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS, AS ENGINEER RECOMMENDATIONS.

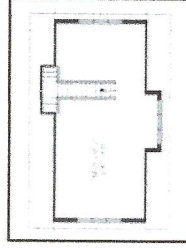
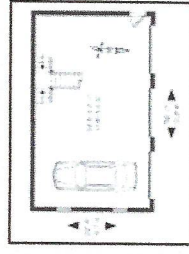
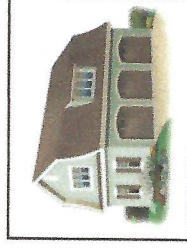
FOR ALL EXTERIOR WALLS SEAL ALL DOUBLE WOOD PIECES (EX: RAIL, FRAME, POSTS, ETC...)

THE GENERAL CONTRACTOR SHALL VERIFY THE STRUCTURAL CAPACITY OF THE ELEMENTS OF THE BUILDING, IN CASE OF OMISSION OBTAIN RECOMMENDATIONS OF AN ENGINEER

ANTICIPATE STEEL REINFORCEMENT IN FOOTINGS AND CONCRETE SLAB WHERE REQUIRED WITH THE RECOMMENDATIONS OF AN P-ENG, UNLESS OTHERWISE NOTED

Plan 028G-0029

Click to enlarge. Views may vary slightly from working drawings. Refer to floor plan for actual layout.



NOTES: - ROOF WILL BE A TRADITIONAL GAMBREL ROOF (NO SLOPES) TO MATCH HOME
- COLOR SCHEME WILL BE BUTTERCREAM YELLOW WITH WHITE TRIM TO MATCH HOME

Plan Details

Heated Sq. Ft.

Total 0 sq. ft.

Unheated Sq. Ft.

Garage 804 sq. ft.

Loft 594 sq. ft.

Dimensions

Width 36 ft. 0 in.

Depth 22 ft. 4 in.

Approx. Height 25 ft. 4 in.

Ceiling Heights

First Floor 9 ft. 6 in.

Second Floor 8 ft. 6 in.

Roof Framing

Truss

Exterior Wall

2x6

Foundation

Floating Slab

Monolithic Slab