



CITY OF CRYSTAL LAKE
AGENDA
CITY COUNCIL
REGULAR MEETING
City of Crystal Lake
100 West Woodstock Street, Crystal Lake, IL
City Council Chambers
March 1, 2022
7:00 p.m.

1. **Call to Order**
2. **Roll Call**
3. **Pledge of Allegiance**
4. **Approval of Minutes – February 15, 2022 Regular City Council Meeting**
5. **Accounts Payable**
6. **Public Presentation**
The public is invited to make an issue oriented comment on any matter of public concern not otherwise on the agenda. The public comment may be no longer than 5 minutes in duration. Interrogation of the City staff, Mayor or City Council will not be allowed at this time, nor will any comment from the Council. Personal invectives against City staff or elected officials are not permitted.
7. **Mayor’s Report**
8. **City Council Reports**
9. **Consent Agenda**
 - a. **Referral of a Text Amendment of the Unified Development Ordinance (UDO) to remove restrictions on Electric Vehicle Charging Stations to the Planning and Zoning Commission**
10. **Retailer Façade and Commercial Tenant Improvement Grant Funds request for Crystal Lake Junction, 88 Railroad Street, Unit B, requesting up to \$10,000 in matching grant funds**
11. **60 N. Caroline Street, Montford – Simplified Residential Variations from Article 3-200 from the maximum height of one-story and 15 feet for an accessory structure to allow a two-story structure with a height of 18 feet 10 inches, a variation of 3 feet 10 inches, Article 3-200 from the required 7-foot interior side yard setback to allow 4.24 feet, a variation of 2.76 feet; from the 30-foot yard abutting a street setback to allow 25.27 feet, a variation of 4.73 feet; and from the 20-foot rear yard setback to allow 17.92 feet, a variation of 2.08 feet, and Article 4-600 from the maximum dormer length of 7 feet 2 inches (20% of the length of the side of the structure) to allow a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches on the front (east) elevation to allow a detached garage**
12. **Bid Award – 2022 Street Resurfacing Program**
13. **Bid Award – 2022 Sidewalk, Curb and Pedestrian Ramp (ADA) Construction Program**
14. **Bid Award – Union Street/College Street Storm Water Project**
15. **Proposal Award – Vehicle License Software and Printing, Mailing and Online Services**
16. **AT&T Lease Agreement Amendment**
17. **City Code Amendment to permit private irrigation wells where there is no reasonable access to a public water supply**

- 18. Council Inquiries and Requests**
- 19. Adjourn to Executive Session for the purpose of discussing matters of pending and probable litigation, the sale, purchase or lease of real property, collective bargaining, and personnel**
- 20. Reconvene to Regular Session**
- 21. Adjourn**

If special assistance is needed in order to participate in a City of Crystal Lake public meeting, please contact Melanie Nebel, Executive Assistant, at 815-459-2020, at least 24 hours prior to the meeting, if possible, to make arrangements.



Agenda Item No: 9a

**City Council
Agenda Supplement**

Meeting Date: March 1, 2022

Item: Referral of a Text Amendment of the Unified Development Ordinance (UDO) to remove restrictions on Electric Vehicle Charging Stations to the Planning and Zoning Commission

Recommendation: Motion to refer the UDO Text Amendment to the March 2, 2022 Planning and Zoning Commission meeting for review and recommendation.

Staff Contact: Kathryn Cowlin, Director of Community Development
Elizabeth Maxwell, City Planner

Background:

- The Unified Development Ordinance (UDO) is a fluid document and is amended from time to time to address changes in legislation, errors in the Ordinance, and current development patterns.
- The Illinois Legislature is considering a new act to promote and require electric vehicle charging stations in new and redeveloped properties. The act is currently in the Illinois House for review. The push for additional charging stations and the desire from current developers and commercial property owners to start incorporating these into their sites prompted staff to review the Ordinance.

Proposed Amendment:

- The proposed text amendment would remove the restrictions on Electric Vehicle Charging Stations, with the exception of advertising signage, to accommodate more charging stations.
- Below are the proposed changes to the Land Use Table and Limited Use criteria, see strikethrough language below.

ARTICLE 2-300

P = Permitted Use L = Limited Use Permit S = Special Use Permit

	F	E	RE	R-1	R-2	R-3A	R-3B	R-O	O	B-1	B-2	B-4	M-L	M	W	Use Criteria
Parking Electric Vehicle Charging Stations	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	2-400C-69

ARTICLE 2-400 C

69. Charging stations are permitted to utilize existing parking spaces without affecting a property’s ability to meet parking requirements. Electric vehicle charging stations shall comply with the following criteria:

[Added 3-1-2016 by Ord. No. 7200]

- ~~a. A maximum of two charging stations per property are permitted.~~
- ~~b. Charging stations shall not be located in front or side yards abutting a street.~~
- ~~c. Charging stations cannot block access to handicapped accessible spaces.~~
- d. Each charging station is permitted a maximum of one square foot of signage.

Votes Required to Pass: A simple majority.



**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: City of Crystal Lake

Address: 100 W Woodstock Street

Crystal Lake

Phone: 815-459-2020

E-mail: planning @crystallake.org

Project Name & Description: UDO Text Amendment for electric
vehicle charging stations

Project Address/Location: _____

Signature

Gary J. Mayerhofer

2/16/2022
Date

Owner: Print and Sign name

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Elizabeth Maxwell-Allen
Proposed Legislation - Electric Vehicle Charging Act

HB3125 is under review by the Illinois House and would require new or renovated residential or nonresidential buildings that have parking spaces to be "electric vehicle capable or ready". This proposal would apply to new or renovated multi-family residential or commercial buildings. The legislation does not apply to single-family residential. The intent of the Act is to provide access to electric charging stations for residents of multi-unit dwellings since the majority of vehicle charging occurs at a residence. If approved, the Act would be effective immediately.

Definitions:

"Electric vehicle capable" means having an installed electrical panel capacity with a dedicated branch circuit and a continuous raceway from the panel to the future electric vehicle parking space.

"Electric vehicle ready" means a parking space that is designed and constructed to include a fully-wired circuit with a 208-volt to 250-volt, rated no more than 50-ampere electric vehicle charging receptacle outlet or termination point, including the conduit, wiring, and electrical service capacity necessary to serve that receptacle, to allow for future electric vehicle supply equipment.

"New" means any newly constructed building and associated newly constructed parking facility.

"Renovated" means altered or added where electrical service capacity is increased.

Applicability:

This Act applies to new or renovated residential or nonresidential buildings that have parking spaces and are constructed or renovated after the effective date of this Act.

Residential requirements:

A new or renovated residential building shall have:

- 100% of its total parking spaces electric vehicle ready, if there are one to 6 parking spaces.
- 100% of its total parking spaces electric vehicle capable, of which at least 20% shall be electric vehicle ready, if there are 6 to 23 parking spaces.
- 100% of its total parking spaces electric vehicle capable, if there are 24 or more parking spaces, of which at least 5 spots shall be EV Ready.
- If there are 24 or more parking spaces, a new or renovated residential building shall provide at least one parking space with electric vehicle supply equipment installed, and for each additional parking space with electric vehicle supply equipment installed, the electric vehicle ready requirement is decreased by 2%.

Nonresidential requirements.

A new or renovated nonresidential building shall have:

- 20% of its total parking spaces electric vehicle ready.



Agenda Item No: 10

**City Council
Agenda Supplement**

Meeting Date: March 1, 2022

Item: Retailer Facade and Commercial Tenant Improvement Grant Funds request for Crystal Lake Junction, 88 Railroad Street Unit B, requesting up to \$10,000 in matching grant funds

Recommendation: City Council's discretion:

1. Motion to award up to \$10,000 in Retailer Façade and Commercial Tenant Improvement Grant Funds to Crystal Lake Junction located at 88 Railroad Street Unit B, and to adopt a Resolution authorizing the City Manager to execute the Grant Agreement with Crystal Lake Junction.
2. Motion to deny the grant application request.

Staff Contact: Kathryn Cowlin, Director of Community Development
Heather Maieritsch, Economic Development Manager

Background:

The Retailer and Manufacturer Job Creation and Investment Program was introduced in 2011 as a tool to help attract new or expanding businesses to Crystal Lake. This program includes the Retailer Façade and Commercial Tenant Improvement grant and provides matching grant funding to new and existing retailers and manufacturers who occupy vacant space, hire new full-time or part-time employees, and/or install eligible furniture, fixtures, and equipment (FFE).

KEY FACTOR

- James Tomasek entered into a lease at 88 Railroad Street Unit B and will be opening a new bourbon and bites restaurant.
- Crystal Lake Junction is eligible for a \$10,000 grant award under the matching grant program guidelines.

Upon approval of the grant by the City Council, the City and applicant will enter into an agreement that includes all the stipulations for the grant award. The agreement specifies what documentation must be submitted before the payment is disbursed. Additionally, it has provisions to recoup the grant in case the business closes before the required four-year period.

In order to objectively analyze the applications for funding, eligibility criteria have been established in the Ordinance approving this program. The list below outlines the evaluation of the applicant's request in relation to our eligibility criteria:

1. The program is open to any new sales-tax generating business that will occupy vacant retail space or a building or that will construct a new building for its business.
 Meets *Does not meet*
2. Applicant must meet a minimum annual taxable sales threshold of at least \$150,000.
 Meets *Does not meet*
3. Applicant's business must provide a stocked retail showroom for retail products.
 Meets *Does not meet*
4. Applicant must provide written proof of façade, fixture, furniture, and equipment (FFE) costs.
 Meets *Does not meet*
5. Applicant must file an application for grant funding prior to commencing improvements.
 Meets *Does not meet*
6. Grant recipient may re-apply after five years from the date of recipient's previous award.
 Meets *Does not meet*
7. Eligible FFE includes, but is not limited to, shelving, racks, tables, chairs, furniture, point-of-sale systems, fixed computer equipment used in business operation, televisions located in dining rooms or showrooms, office furniture and appliances.
 Meets *Does not meet*

The applicant's request has been evaluated based on the above eligibility criteria and their planned purchase of FFE. The current application would meet seven of the seven eligibility criteria.

FUNDING STATUS OF 2021-2022 PROGRAM

For the 2021-2022 Fiscal Year, there is \$80,000 budgeted for the Retailer and Manufacturer Job Creation and Investment Program. This is the third application received this fiscal year for the program, so there are sufficient funds for the grant.

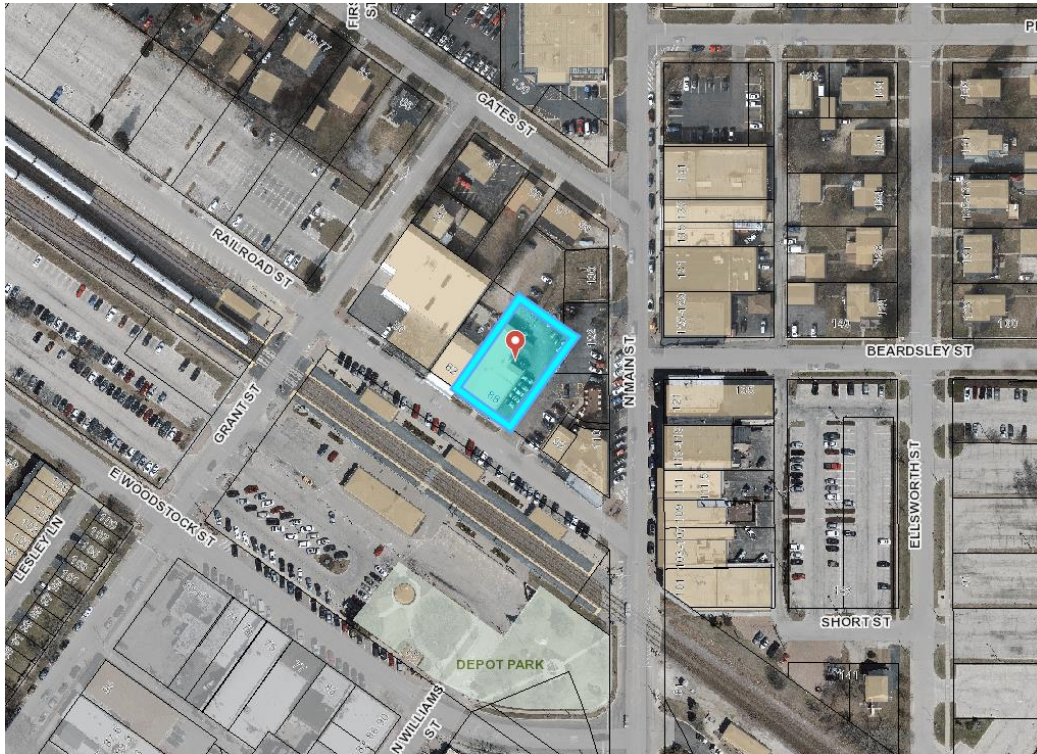
Applicant Name/ Business Name	Address	Total Requested	Date Approved	Amount Approved
Cantina 52	52 N. Brink Street	\$10,000	<i>May 2021</i>	<i>\$10,000</i>
Mario's Cart	1145 S. Illinois Route 31	\$10,000	<i>December 2021</i>	<i>\$10,000</i>
Crystal Lake Junction	88 Railroad, Unit B	\$10,000	<i>Pending</i>	<i>Pending</i>
Totals		\$30,000		Pending

Votes Required to Pass:

A simple majority vote.

2022- Crystal Lake Junction

88 Railroad Street, Unit B





The City of Crystal Lake Illinois

RESOLUTION

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the City Manager is hereby authorized and directed to execute an agreement with the owner of the property for Crystal Lake Junction at 88 Railroad Street Unit B, for a Retail Façade and Commercial Tenant Improvement Matching Grant in an amount not to exceed \$10,000.

DATED at Crystal Lake, Illinois, this 1st day of March, 2022.

CITY OF CRYSTAL LAKE, an Illinois
Municipal Corporation

BY: _____
Haig Haleblian, MAYOR

SEAL

ATTEST:

Nick Kachiroubas, CITY CLERK

PASSED: March 1, 2022

APPROVED: March 1, 2022



Agenda Item No: 11

**City Council
Agenda Supplement**

Meeting Date:

March 1, 2022

Item:

REPORT OF THE PLANNING & ZONING COMMISSION

Request:

Simplified Residential Variations from:

1. Article 3-200 from the maximum height of one-story and 15 feet for an accessory structure to allow a two-story structure with a height of 18 feet 10 inches, a variation of 3 feet 10 inches, and
2. Article 3-200 from the required 7-foot interior side yard setback to allow 4.24 feet, a variation of 2.76 feet; from the 30-foot yard abutting a street setback to allow 25.27 feet, a variation of 4.73 feet; and from the 20-foot rear yard setback to allow 17.92 feet, a variation of 2.08 feet, and
3. Article 4-600 from the maximum dormer length of 7 feet 2 inches (20% of the length of the side of the structure) to allow a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches on the front (east) elevation to allow a detached garage

Petitioner:

Michael and Mandy Montford, petitioners
60 N. Caroline Street

PZC Recommendation:

To approve the Planning and Zoning Commission (PZC) recommendations and adopt an Ordinance granting variations for a detached garage at 60 N. Caroline Street

Staff Contact:

Kathryn Cowlin, Director of Community Development
Katie Rivard, Assistant City Planner

Background:

- Request: The petitioners are requesting variations for accessory structure height, setbacks from interior side yard, side yard abutting a street, and rear yard, and maximum dormer length to allow a new detached garage.
- Land Use: The Comprehensive Land Use map shows the area as Central Urban Residential, which is an appropriate land use designation.

- Zoning: The site is zoned R-3B Multi-Family Residential. Single family residential is permitted in the R-3B zoning district.
- The petitioners are requesting to construct a new two-story, 18'-10" tall detached garage that encroaches 2.76 feet into the required 7-foot interior side yard setback, 4.73 feet into the required 30-foot side yard abutting a street setback, and 2.08 feet into the required 20-foot rear yard setback. Additionally, the detached garage will have a dormer that is 10 feet 8 inches in length, which exceeds the maximum allowable 7 feet 2 inches (20% of the length of the side of the structure).
- Lots located in the Walkup's Addition Subdivision adjacent to the core of Downtown Crystal Lake are 66 feet in width, including corner lots. Current UDO standards for platting subdivisions require corner lots to be 15% more in area than the minimum required. This was not a requirement when the subdivision was platted in 1874.

PZC Highlights:

- The petitioners explained their justifications for the variations. They stated they need additional storage space in order to be able to stay in the home. They also need additional space to park vehicles on the property, as the current parking area is inadequate for the number of drivers and vehicles for their household. They spoke to the narrowness of the lot and that the proposed location would allow them to preserve an existing maple tree in their yard. They noted the proposed garage would maintain the existing interior side and rear yard setbacks as the current garage.
- The PZC was supportive of the request. They understood the uniqueness of the property and noted similar two-story detached garages in the area. They thought the garage would complement the Downtown. They were appreciative the petitioners were preserving the existing tree.
- The PZC found that the Findings of Fact had been met.

The PZC recommended **approval (6-0)** of the petitioners' request with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Montford, dated 01/25/2022, received 01/26/2022)
 - B. Plat of Survey (Montford, received 01/26/2022)
 - C. Site Plan (Montford, received 01/26/2022)
 - D. Garage Plans (Drummond House Plans, dated 05/10/2018, received 01/26/2022)
 - E. Specifications (Montford, received 01/26/2022)
2. The proposed detached garage should match the existing exterior house in material, color, and style of roof.
3. The petitioners must provide the existing and proposed impervious amounts with the permit application for review.

4. The petitioners shall address all of the review comments and requirements of the Community Development and Engineering Departments.

Votes Required to Pass: A simple majority.



Acknowledgement Form

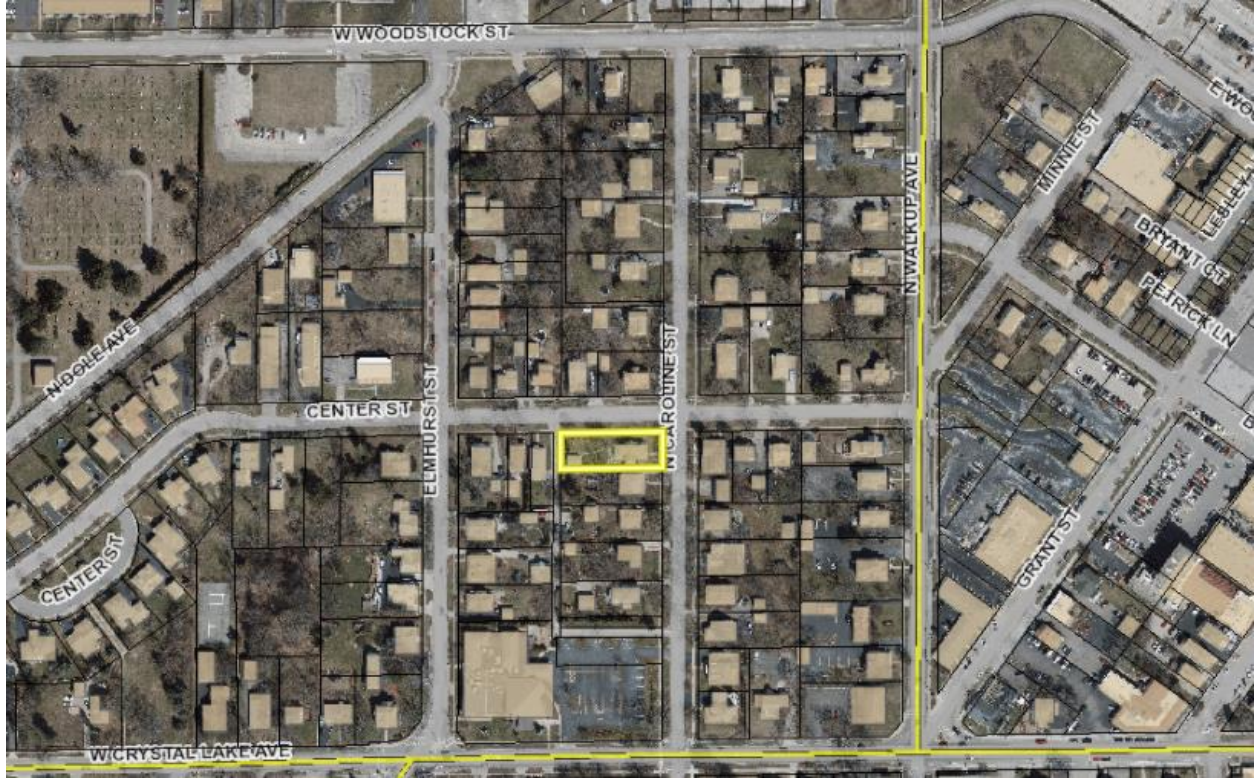
Regarding 60 N Caroline St – Simplified Residential Variations for accessory structure height, setbacks for interior side yard, side yard abutting a street, and rear yard, and maximum dormer length to allow a new detached garage. Please check one of the choices and sign below.

- I hereby acknowledge that I have read, understand, and agree to the staff review comments and recommended conditions contained in the staff report, city staff reviews, and consultant reviews (if applicable).
- I hereby acknowledge that I have read, understand, and agree to most of the staff review comments and recommended conditions contained in the staff report, city staff reviews, and consultant reviews (if applicable) but have concerns with the following items:

Petitioner's Name: *Mandy Montford* dotloop verified
02/18/22 12:48 PM CST
NCC1-9KTV-4P3Q-N00E Date: 02/18/2022

Signature

PIQ MAP





The City of Crystal Lake Illinois

**AN ORDINANCE GRANTING SIMPLIFIED RESIDENTIAL VARIATIONS
AT 60 N. CAROLINE STREET**

WHEREAS, pursuant to the terms of a Petition (File #PLN-2022-015) before the Crystal Lake Planning and Zoning Commission, the Petitioners have requested Variations from Article 3 Section 3-200 allowing a two-story accessory structure with a height of 18 feet 10 inches, a variation of one-story and 3 feet 10 inches from the maximum one-story and 15-foot maximum height, Article 3 Section 3-200 allowing a 4.24-foot interior side yard setback, a variation of 2.76 feet from the minimum 7-foot interior side yard setback, a 25.27-foot side yard abutting a street setback, a variation of 4.73 feet from the minimum 30-foot side yard abutting a street setback, a 17.92-foot rear yard setback, a variation of 2.08 feet from the minimum 20-foot rear yard setback, and from Article 4 Section 4-600 allowing a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches from the maximum 7 feet 2 inches for a detached garage at 60 N. Caroline Street; and

WHEREAS, the Planning and Zoning Commission of the City of Crystal Lake, pursuant to notice duly published on February 1, 2022 in the Northwest Herald, held a public hearing at 7:00 p.m., on February 16, 2022 at City Hall at 100 W. Woodstock Street, Crystal Lake, Illinois to consider the proposed setback variation; and

WHEREAS, on February 16, 2022, the Planning and Zoning Commission, having fully heard and considered the testimony of all those present at the public hearing who wished to testify, made findings of fact as required by law and recommended to the Mayor and City Council of the City of Crystal Lake that the proposed Variations be approved, as documented in the minutes, and

WHEREAS, it is in the best interests of the CITY OF CRYSTAL LAKE that the Variations be issued as requested in said Petition.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

Section I: That Variations from Article 3 Section 3-200 allowing a two-story accessory structure with a height of 18 feet 10 inches, a variation of one-story and 3 feet 10 inches from the maximum one-story and 15-foot maximum height, Article 3 Section 3-200 allowing a 4.24-foot interior side yard setback, a variation of 2.76 feet from the minimum 7-foot interior side yard setback, a 25.27-foot side yard abutting a street setback, a variation of 4.73 feet from the minimum 30-foot side yard abutting a street setback, a 17.92-foot rear yard setback, a variation of 2.08 feet from the minimum

20-foot rear yard setback, and from Article 4 Section 4-600 allowing a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches from the maximum 7 feet 2 inches for a detached garage for the property commonly known as 60 N. Caroline Street (14-32-456-008), Crystal Lake, Illinois.

Section II: Said Variations are issued with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Montford, dated 01/25/2022, received 01/26/2022)
 - B. Plat of Survey (Montford, received 01/26/2022)
 - C. Site Plan (Montford, received 01/26/2022)
 - D. Garage Plans (Drummond House Plans, dated 05/10/2018, received 01/26/2022)
 - E. Specifications (Montford, received 01/26/2022)
2. The proposed detached garage should match the existing exterior house in material, color, and style of roof.
3. The petitioners must provide the existing and proposed impervious amounts with the permit application for review.
4. The petitioners shall address all of the review comments and requirements of the Community Development and Engineering Departments.

Section III: That the City Clerk be and is hereby directed that all pertinent records of the City of Crystal Lake to show the issuance of a Variation in accordance with the provisions of this Ordinance, as provided by law.

Section IV: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provide by law.

Ord. No.
File No.

DATED at Crystal Lake, Illinois, this 1st day of March, 2022.

City of Crystal Lake, an
Illinois municipal corporation

Haig Haleblian, MAYOR

SEAL

ATTEST:

Nick Kachiroubas, CITY CLERK

Passed: March 1, 2022
Approved: March 1, 2022

Draft



#2022-015
60 N Caroline St – Simplified Residential Variations
Project Review for Planning and Zoning Commission

Meeting Date: February 16, 2022

Requests: Simplified Residential Variations from:

1. Article 3-200 from the maximum height of one-story and 15 feet for an accessory structure to allow a two-story structure with a height of 18 feet 10 inches, a variation of 3 feet 10 inches, and
2. Article 3-200 from the required 7-foot interior side yard setback to allow 4.24 feet, a variation of 2.76 feet; from the 30-foot yard abutting a street setback to allow 25.27 feet, a variation of 4.73 feet; and from the 20-foot rear yard setback to allow 17.92 feet, a variation of 2.08 feet, and
3. Article 4-600 from the maximum dormer length of 7 feet 2 inches (20% of the length of the side of the structure) to allow a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches on the front (east) elevation to allow a detached garage.

Location: 60 N Caroline Street

Acreage: Approximately 12,330 square feet

Existing Zoning: R-3B – Multi-Family Residential

Surrounding Properties: North: R-3B – Multi-Family Residential
South: R-3B – Multi-Family Residential
East: R-3B – Multi-Family Residential
West: R-3B – Multi-Family Residential

Staff Contact: Katie Rivard (815.356.3612)

Background:

- **Existing Use:** The subject property is currently improved with a single-family residence and detached garage.

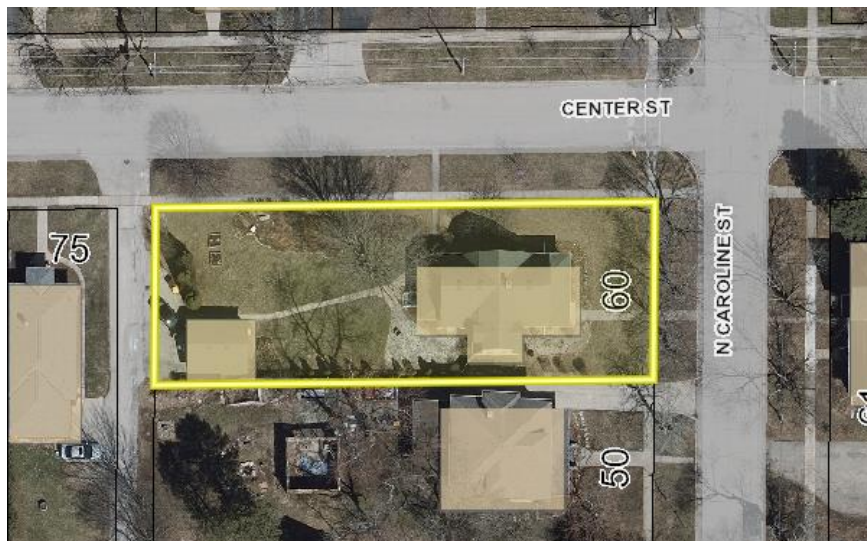
Development Analysis:

General:

- **Land Use:** The Comprehensive Land Use map shows the area as Central Urban Residential, which is an appropriate land use designation.
- **Zoning:** The site is zoned R-3B Multi-Family Residential. Single family residential is permitted in the R-3B zoning district.

Request Overview:

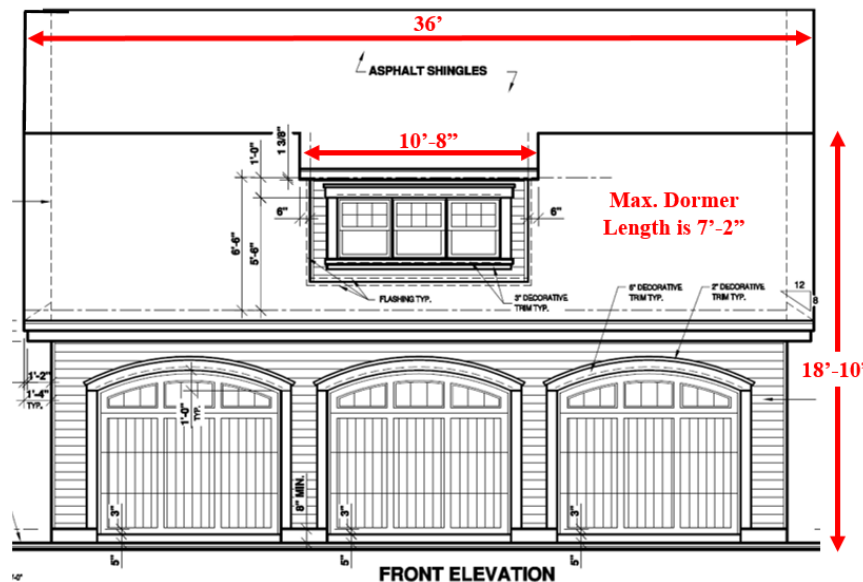
- The petitioners are requesting to replace the existing detached garage with a new, larger detached garage in the same location. The property is a corner lot and only 66 feet wide. The detached garage and driveway are only accessible through an existing alley at the rear of the property.



- The proposed detached garage is 804 square feet. All accessory structures over 600 square feet must meet the principal structure setbacks, as shown below.

	R-3B requirement	Proposed Setbacks
Front Yard Setback	30 feet	>100 feet
Interior Side Yard Setback	7 feet	4.24 feet
Side Yard Abutting a Street Setback	30 feet	25.27 feet
Combined Side Yard Setbacks	30 feet	29.51 feet
Rear Yard Setback	20 feet	17.92 feet

- Lots located in the Walkup's Addition Subdivision adjacent to the core of Downtown Crystal Lake are 66 feet in width, including corner lots. Current UDO standards for platting subdivisions require corner lots to be 15% more in area than the minimum required. This was not a requirement when the subdivision was platted in 1874.
- The proposed detached garage is two stories at 18 feet 10 inches tall. This exceeds the UDO requirements allowing maximum one-story and 15 feet in height.
- The proposed detached garage will have a dormer on the front of the structure, which faces west. The dormer exceeds the Unified Development Ordinance's requirements of no wider than 20% of the length of each side elevation upon which the dormer is constructed.



- The proposed detached garage will have a traditional gambrel roof and will be a buttercream yellow with white trim to match the house.
- Per the petitioners, the second floor will be used as storage.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioners are requesting variations from the following:

- Article 3-200 from the maximum height of one-story and 15 feet for an accessory structure to allow a two-story structure with a height of 18 feet 10 inches, a variation of 3 feet 10 inches, and
- Article 3-200 from the required 7-foot interior side yard setback to allow 4.24 feet, a variation of 2.76 feet; from the 30-foot yard abutting a street setback to allow 25.27 feet, a variation of 4.73 feet; and from the 20-foot rear yard setback to allow 17.92 feet, a variation of 2.08 feet, and
- Article 4-600 from the maximum dormer length of 7 feet 2 inches (20% of the length of the side of the structure) to allow a dormer length of 10 feet 8 inches, a variation of 3 feet 5 inches on the front (west) elevation to allow a detached garage.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioners' request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Montford, dated 01/25/2022, received 01/26/2022)
 - B. Plat of Survey (Montford, received 01/26/2022)
 - C. Site Plan (Montford, received 01/26/2022)
 - D. Garage Plans (Drummond House Plans, dated 05/10/2018, received 01/26/2022)
 - E. Specifications (Montford, received 01/26/2022)
2. The proposed detached garage should match the existing exterior house in material, color, and style of roof.
3. The petitioners must provide the existing and proposed impervious amounts with the permit application for review.
4. The petitioners shall address all of the review comments and requirements of the Community Development and Engineering Departments.

Application for Simplified Residential Variation

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

I. Applicant

Mandy and Mike Montford

Name

60 N. Caroline St.

Street

CRYSTAL LAKE IL 60014

City

State

Zip Code

Telephone Number

Fax Number

E-mail address

II. Owner of Property (if different)

Name

Address

Telephone Number

III. Project Data

1. a. Location/Address: 60 N. Caroline St. Crystal Lake, IL 60014

b. PIN #: 1432456008

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

The property is a corner lot, and is only 66' wide. The existing parking area for the home is off the alley, at the rear of the property. If we conform with the 20' setback, a new garage will be in the middle of our backyard, and not adjacent to the alley parking pad. It would also encroach into the roots of a huge maple tree.

IS THE HARDSHIP SELF-CREATED?

No

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

No.

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

No. Our garage project will be designed in keeping with the style of our home and will be be attractive, built from quality materials.

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No.

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUBSTANTIALLY INCREASE THE DANGER OF FIRE; OR ENDANGER PUBLIC SAFETY?

No.

3. List any previous variations that are approved for this property: _____
None.

IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

AMANDA MONTFORD

1/25/22

OWNER: Print and Sign name



Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



**CRYSTAL LAKE PLANNING AND ZONING COMMISSION
WEDNESDAY, FEBRUARY 16, 2022
HELD AT THE CRYSTAL LAKE CITY COUNCIL CHAMBERS**

The meeting was called to order by Mr. Jouron at 7:00 p.m.

CALL TO ORDER

Mr. Jouron called the meeting to order. On roll call, members Atkinson, Gronow, Jouron, Repholz, Skluzacek and Teetsov were present. Member Greenman was absent.

Kathryn Cowlin, Director of Community Development and Katie Rivard, Assistant City Planner were present from Staff.

Mr. Jouron said this meeting is being recorded for broadcast and future playback on the City's cable channel. He led the group in the Pledge of Allegiance.

APPROVE MINUTES OF THE JANUARY 19, 2022 PLANNING AND ZONING COMMISSION MEETING

Mr. Skluzacek moved to approve the minutes from the January 19, 2022 regular Planning and Zoning Commission meeting as presented. Mr. Gronow seconded the motion. On roll call, members Gronow, Jouron, Teetsov, Repholz, Skluzacek, and Atkinson voted aye. Motion passed.

2022-15 – 60 CAROLINE STREET – SIMPLIFIED RESIDENTIAL VARIATIONS

Simplified Residential Variations for a new detached garage

Michael and Mandy Montford were present to represent the petition. Ms. Montford stated the existing garage will be torn down. She explained reasons why they are seeking the variations to construct a new detached garage. She stated their home has limited room for storage and they need more storage to be able to stay in their home. She further stated the existing parking area does not have adequate space for the five drivers in their household. It also made it difficult to have guests over. She noted they have a narrow corner lot, and the proposed garage would keep the same interior side yard and rear yard setbacks as the existing. They would also like to preserve the existing maple tree in their yard. She spoke to the variation for the dormer, and that the dormer was included in the plans they found online.

Mr. Jouron opened the public hearing. There was no one who wanted to speak, Mr. Jouron closed the public hearing.

Mr. Skluzacek said he understood the requests and noted there are several other two-story garages in the area. He asked if the existing shed would be torn down. Ms. Montford responded yes.

Mr. Gronow stated this is a unique situation, and it would be difficult to build any additional structures on the property. He noted a similar two-story garage on Crystal Lake Avenue that recently received variations. He asked if the garage would match the color of the house. Ms. Montford responded yes. He asked if the second story would be used for storage. Ms. Montford responded yes.

Ms. Repholz stated she is in favor of the petition. She thinks it will be good for the value of the home.

Mr. Atkinson said he understood the hardship due to the number of drivers and limited space for storage. He had no concerns with the variations.

Ms. Teetsov stated this will make Downtown look nicer. She was appreciative they were preserving the existing tree.

Mr. Skluzacek asked about the floor drains shown on the plans. Ms. Montford indicated that Mr. McGinnis felt it would be a good idea and they could connect to the existing sanitary sewer service.

Mr. Gronow asked the petitioners if they agreed with all the recommended conditions of approval. Ms. Montford agreed to the conditions of approval.

Staff member Ms. Rivard, presented the information about the request. She explained the requested variations and spoke to the existing conditions of the property.

Mr. Skluzacek asked the petitioners if they would remove the existing shed on the property. Ms. Montford confirmed the shed would also be removed.

Mr. Jouron stated they have met the Findings of Fact.

Mr. Gronow made a motion to approve the variations for a new detached garage with the following recommended conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Montford, dated 01/25/2022, received 01/26/2022)
 - B. Plat of Survey (Montford, received 01/26/2022)
 - C. Site Plan (Montford, received 01/26/2022)
 - D. Garage Plans (Drummond House Plans, dated 05/10/2018, received 01/26/2022)
 - E. Specifications (Montford, received 01/26/2022)
2. The proposed detached garage should match the existing exterior house in material, color, and style of roof.
3. The petitioners must provide the existing and proposed impervious amounts with the permit application for review.
4. The petitioners shall address all of the review comments and requirements of the Community

Development and Engineering Departments.

REPORT FROM PLANNING

Ms. Rivard summarized the items that were approved by City Council and noted the items scheduled for the next PZC meeting, March 2, 2022.

COMMENTS FROM THE COMMISSION

There were no comments from the Commission.

ADJOURNMENT

Mr. Atkinson made a motion to adjourn the meeting. Ms. Teetsov seconded the motion. On voice vote, all members voted aye. The meeting was adjourned at 7:19 p.m.

DISTANCE OFF PROPERTY
(LINE)
4.73'

4.24'

ALLEY

66.00'

14.0'

5.0'

43.00'

CENTER

PROPOSED FRAME GARAGE
36' x 22'4"

MATURE
MAPLE
TREE

187.00'

LOT 1



EXISTING
FRAME
GARAGE

ASPHALT
DRIVE

CONCRETE
WALK

CONCRETE
WALK

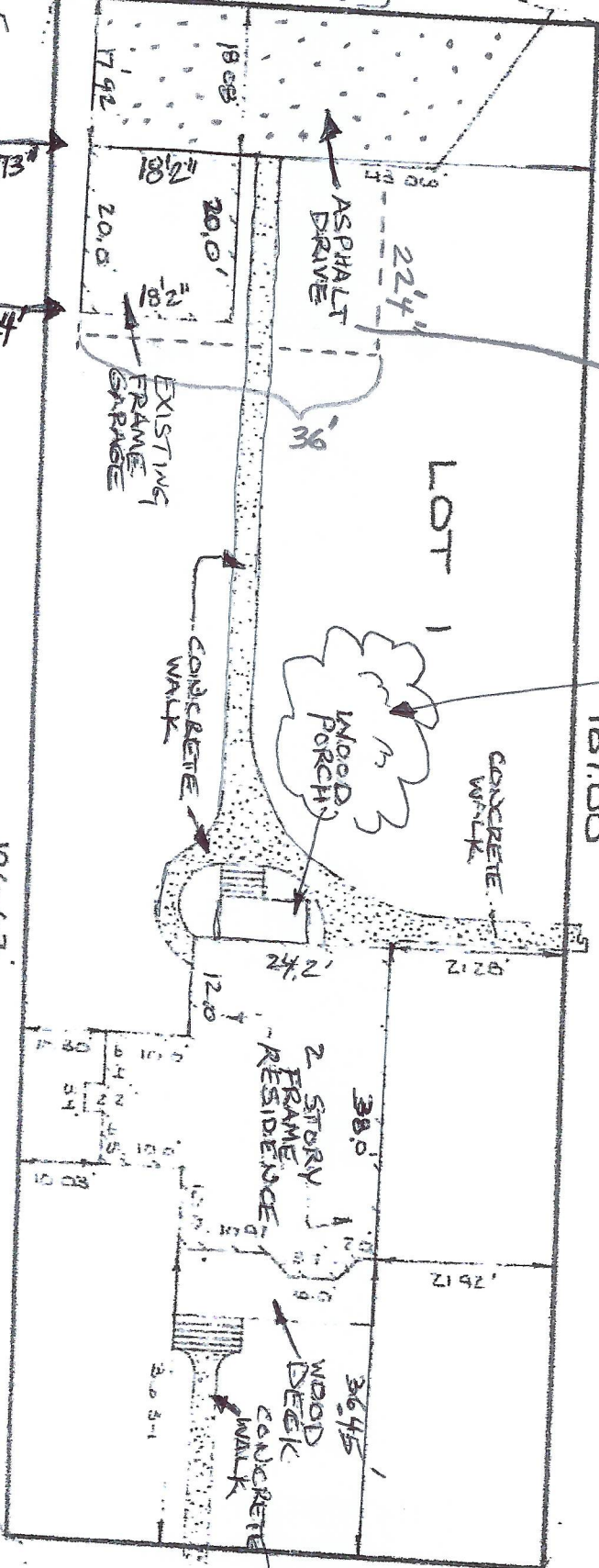
2 STORY
FRAME
RESIDENCE

WOOD
DECK

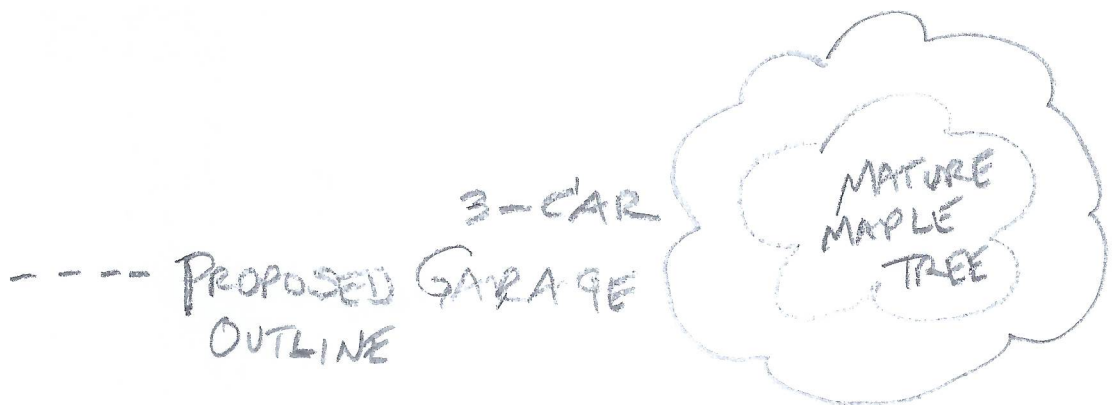
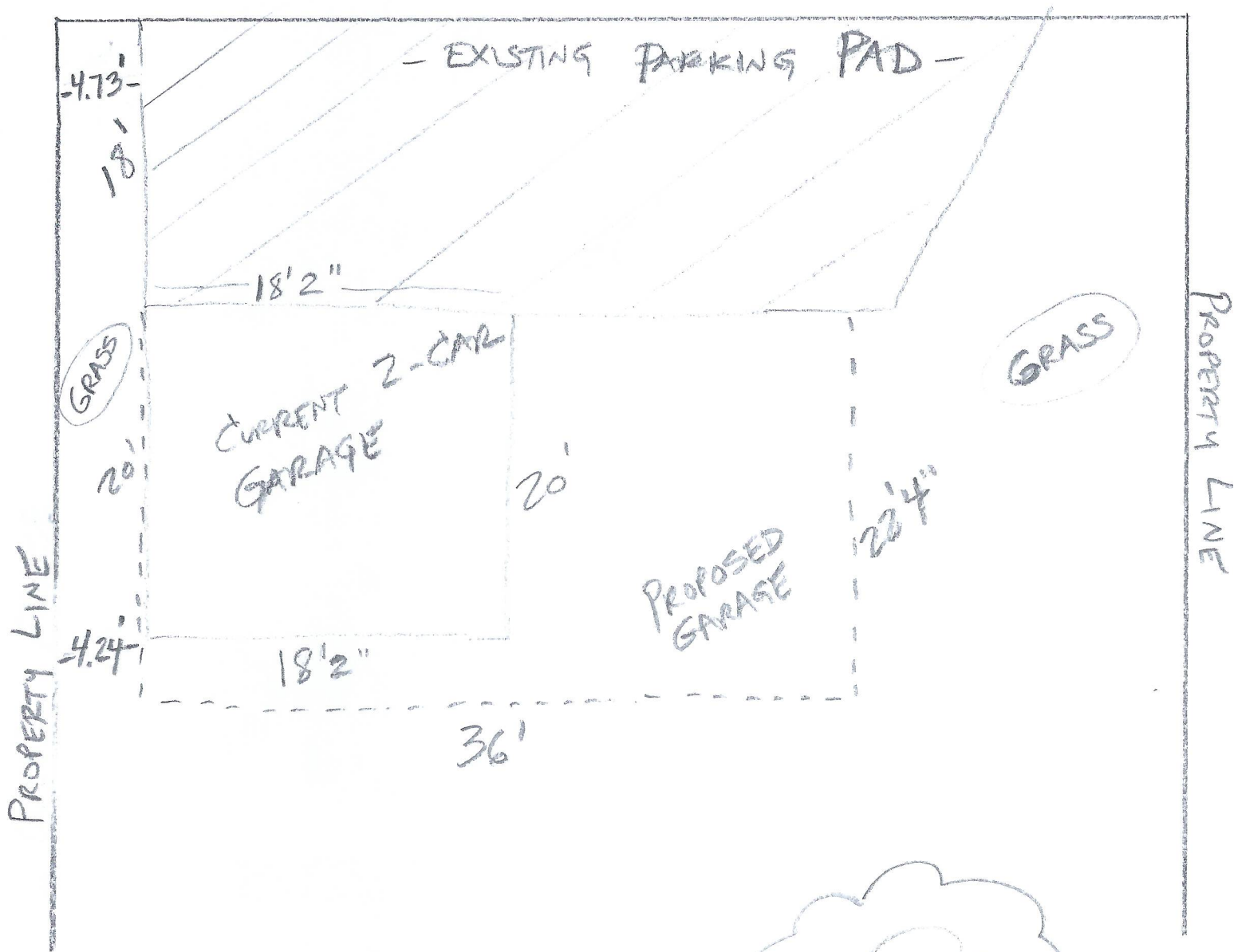
CONCRETE
WALK

186.63

STREET



- ALLEY - 66'



CLOSE-UP VIEW



BUILDER'S PROGRAM

In order to better serve the needs of the builders' community Drummond House Plans has developed its own Builder's Program.

By subscribing to this unique Program, FREE OF CHARGE, you will have access to a wide range of plan packages and marketing tools supplied by Drummond House Plans. Through our 40 years of experience and knowledge of the builder's community, we have come to know and developed the support and services that will help you increase your productivity and differentiate the services you offer from your competitors.

For more information, contact us at 1 800 567-5267 or email us at : info@drummondhouseplans.com

SEND US PICTURES OF YOUR HOUSE !



Drummond House Plans is always looking for homes built from our plans to be used in our different publications.

Once your construction and landscape is completed, simply take a few pictures (exterior and interior) and send them via email to photos@drummondhouseplans.com or by regular mail to:

455 St-Joseph boulevard, Suite 201
Drummondville (Quebec) Canada J2C 7B5

Drummond House Plans could use your pictures and in turn increase your chances of being selected, you will find below some helpful tips in creating the right setting and back drop for your house to take good quality pictures.

- Set your digital camera at the highest resolution (photo quality)
- Make sure to remove everything that could damage the photo or hide the house (car in the driveway, garbage cans, bicycles, etc...)
- Take pictures when the sun is facing the house and ideally when the sky is lightly cloudy to attenuate shadows.
- Take pictures of your house from different angles, the pictures can be surprising.

Drummond House Plans commits to treat the photographs and information received in confidence.

ADDITIONAL SERVICES :

MATERIALS LIST

Make sure you do not miss anything and control your costs by getting the complete list of materials for building your home. You will have in hand the exact quantities of materials needed to facilitate your shopping and order at each stage of construction.

CUSTOM HOME DESIGN SERVICES

Whether you are looking to distinguish yourself and your home from those in your neighbourhood or you simply want for your home to completely reflect your needs and life style, Drummond House Plans has the skilled design team to make your custom dream home reality. We have the tools and the expertise required to create a unique custom home plan suited to your every needs, all the while respecting your budget.

HOME RENOVATION DESIGN SERVICES

You are renovating your home to adapt it to your family's changing needs, or simply to upgrade it ? Drummond House Plans' professional team can design your home renovation or addition and guide you through the process in order to achieve the results you are expecting, whether it would be for the interior layout or for the exterior appearance.

Are you planning on making **MODIFICATIONS** to your new home plan?
Drummond House Plans can help !
Call us NOW! 1 800 567-5267

Here are only a few of the many **MODIFICATIONS** that can be done to your new home plan.

MODIFY THE EXTERIOR SIDING TYPE
Changing the exterior siding might require modifications to the thickness of your foundations and will affect the interior dimensions of your rooms.

ADDING A BASEMENT ACCESS
Water and frost could damage your foundation if a basement access is not built based on good practices.

EXTENDING YOUR HOUSE
To extend, it will be required to add and/or rearrange the supporting walls and beams.

ADDING A FIREPLACE
The addition of a fireplace will affect your living space and the layout of the rooms.

ADDING A GARAGE
You wish to add a garage ? Plan it right now by taking into account its size, its access (to the house, to the basement) and storage spaces.

COPYRIGHT LAW
Your plans are protected by the Copyright law. Only Drummond House Plans is authorized to modify them, unless a license is purchased. Call for information.

FINISHED BASEMENT
The openings for windows and doors must respect the building standards if you plan to have bedrooms in the basement.

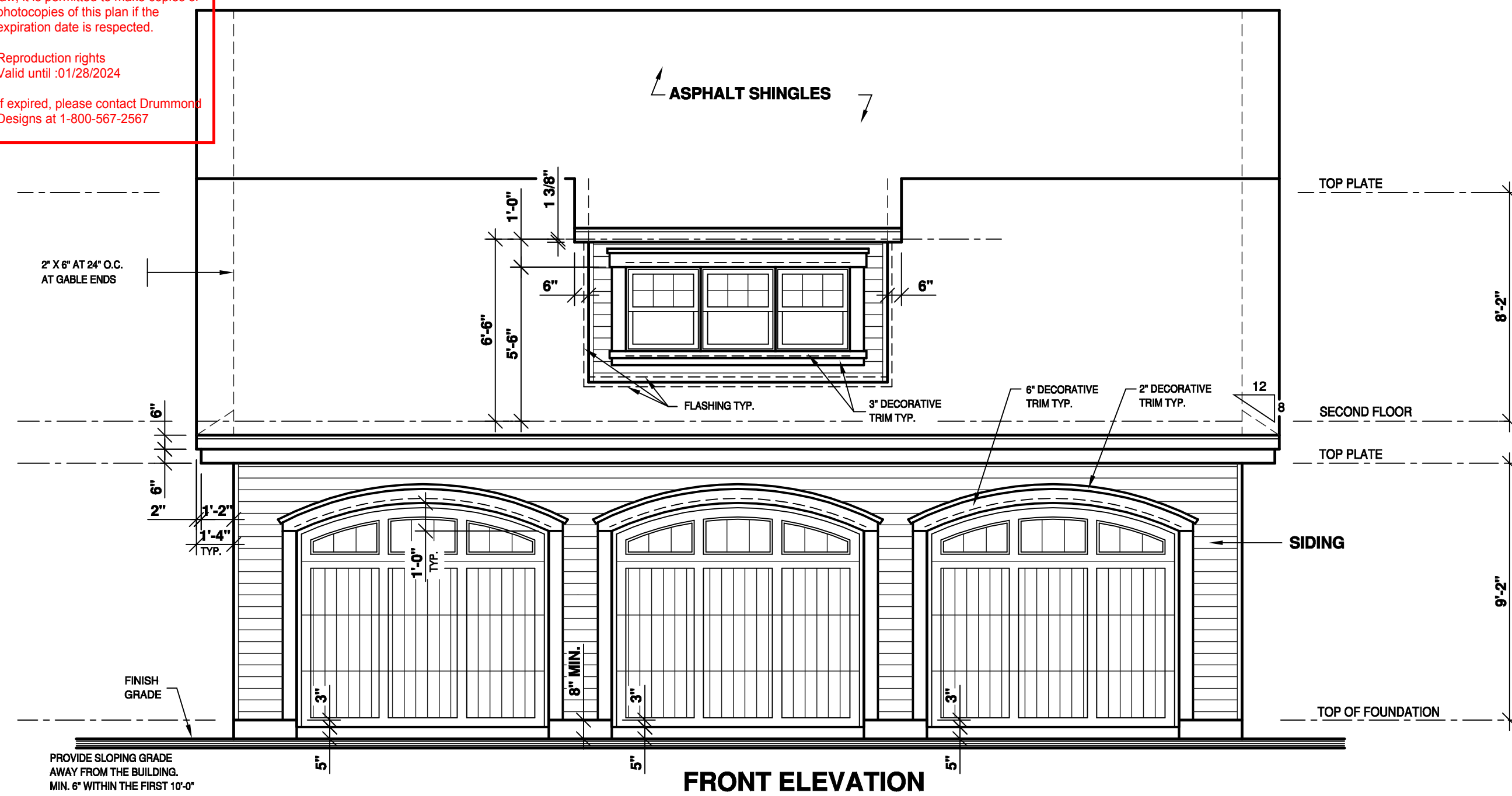
Avoid any misunderstandings between you and your builder and possible costly construction errors by modifying your plan by Drummond House Plans' professional team of designers. If you plan on building your home differently than specified on your plan, be sure to make the changes before starting construction!

**YOUR PLAN SHOULD
EXPRESS AND REPRESENT
YOUR NEEDS EXACTLY !**

Also discover over 1300 HOUSE PLANS, cottages, garages and multi-family homes by visiting www.drummondhouseplans.com

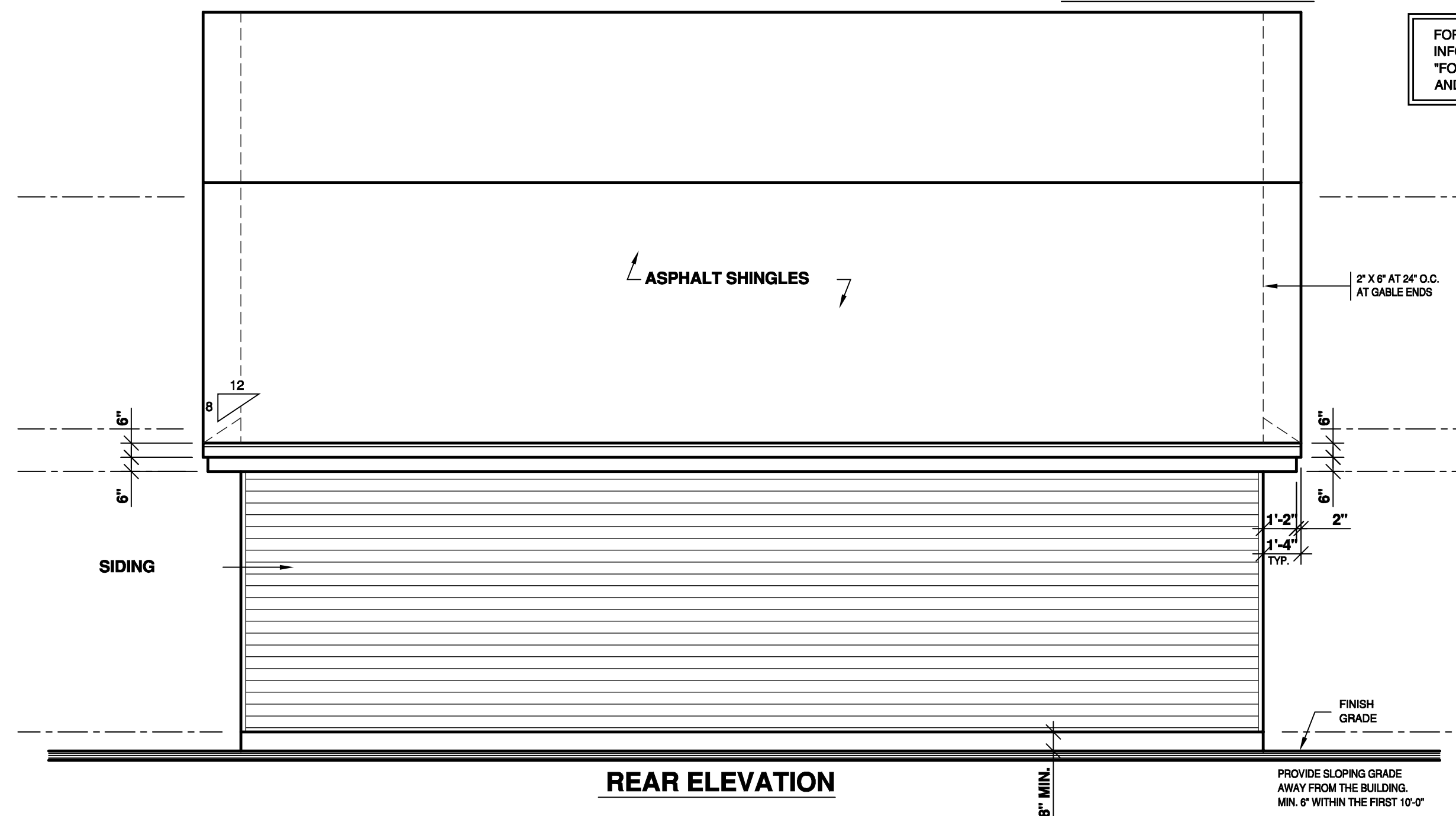


In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.
 Reproduction rights Valid until :01/28/2024
 If expired, please contact Drummond Designs at 1-800-567-2567



PROVIDE SLOPING GRADE AWAY FROM THE BUILDING. MIN. 6" WITHIN THE FIRST 10'-0"

FOR FOUNDATION INFORMATION REFER TO THE "FOUNDATION PLAN" PAGES AND "TYPICAL WALL SECTION"



PROVIDE SLOPING GRADE AWAY FROM THE BUILDING. MIN. 6" WITHIN THE FIRST 10'-0"

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CUSTOMER INFO
 AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
 NEW CONSTRUCTION

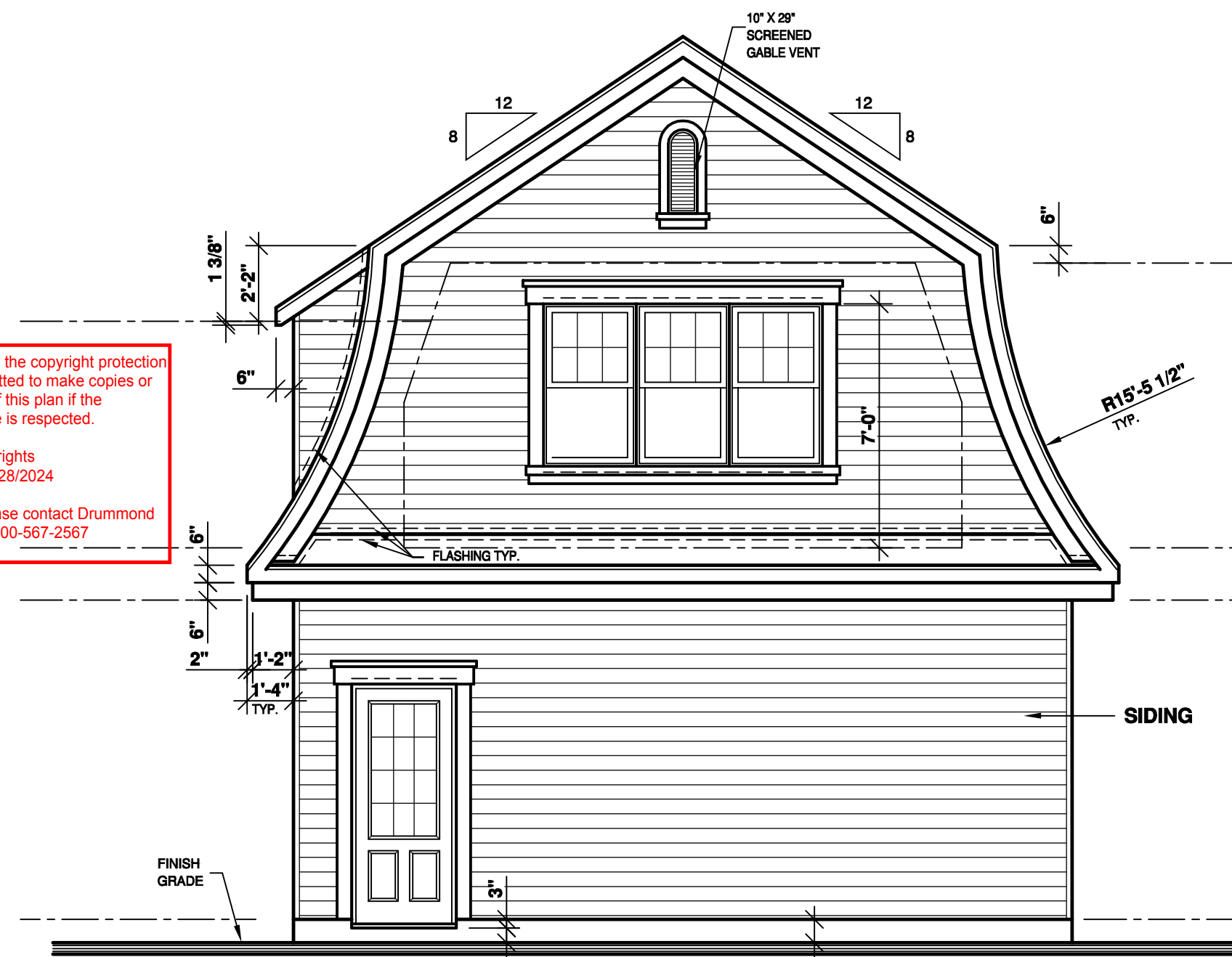
DRAWING
 ELEVATIONS

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 1-8	

AREA SCHEDULE	SQ.FT.
OTHER
BONUS ROOM	594
GARAGE	804

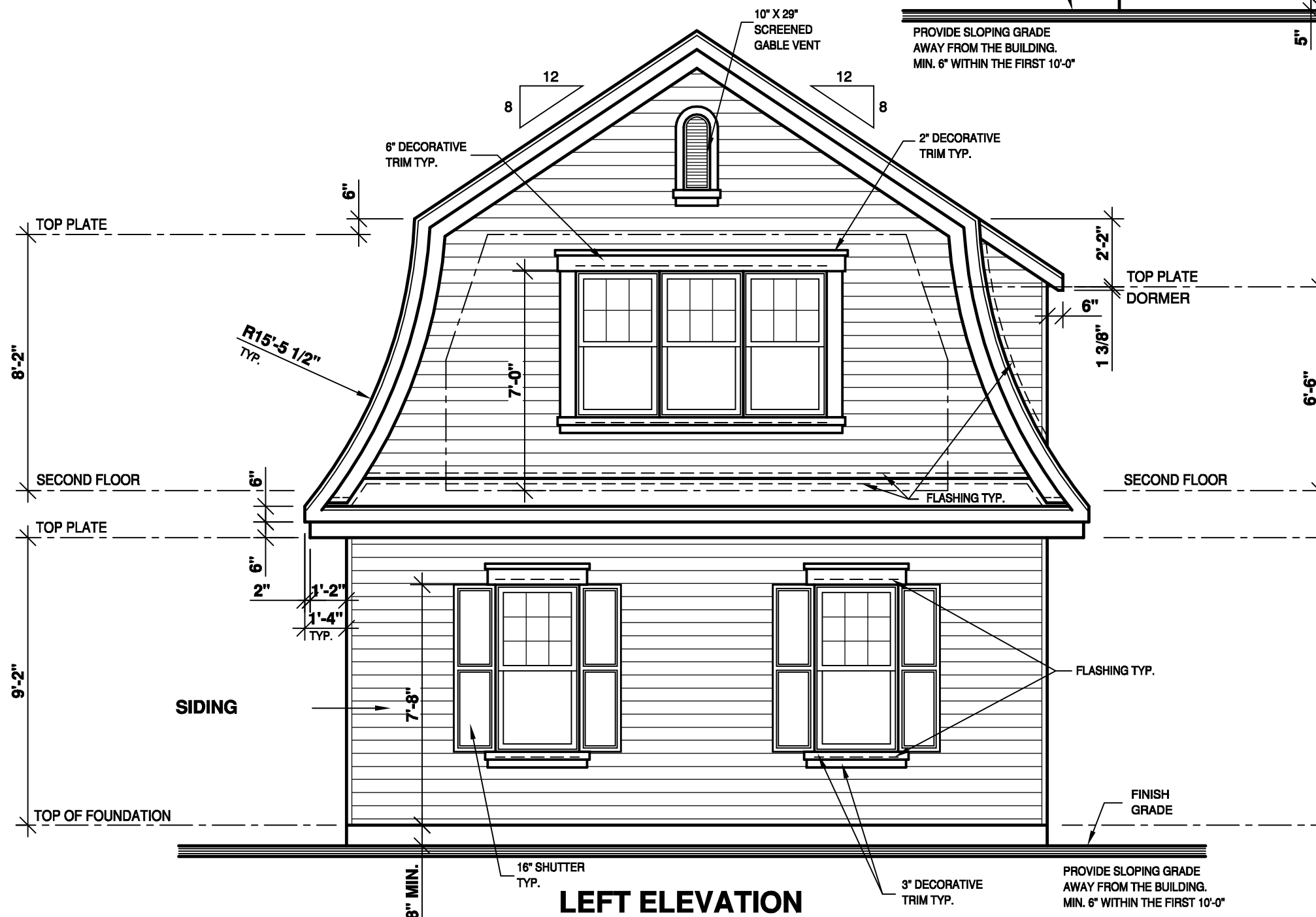
DRUMMOND HOUSEPLANS.COM All Rights Reserved

In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.
Reproduction rights Valid until :01/28/2024
If expired, please contact Drummond Designs at 1-800-567-2567



RIGHT ELEVATION

FOR FOUNDATION INFORMATION REFER TO THE "FOUNDATION PLAN" PAGES AND "TYPICAL WALL SECTION"



LEFT ELEVATION

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.
THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.
DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.
THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.
THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.
YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
ELEVATIONS

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.
DATE	05/10/2018	SCALE
		1/4"=1'-0"
PLAN NO.	3984	SHEET NO.
		2-8

GENERAL NOTES:

-BUILDING CONTRACTOR MUST-

- 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.
- THE DIMENSIONS ON THE PLAN HAVE PRIORITY ON THE DRAWING. CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND HOUSE PLANS INC. AS SOON AS POSSIBLE.

IMPORTANT NOTES:

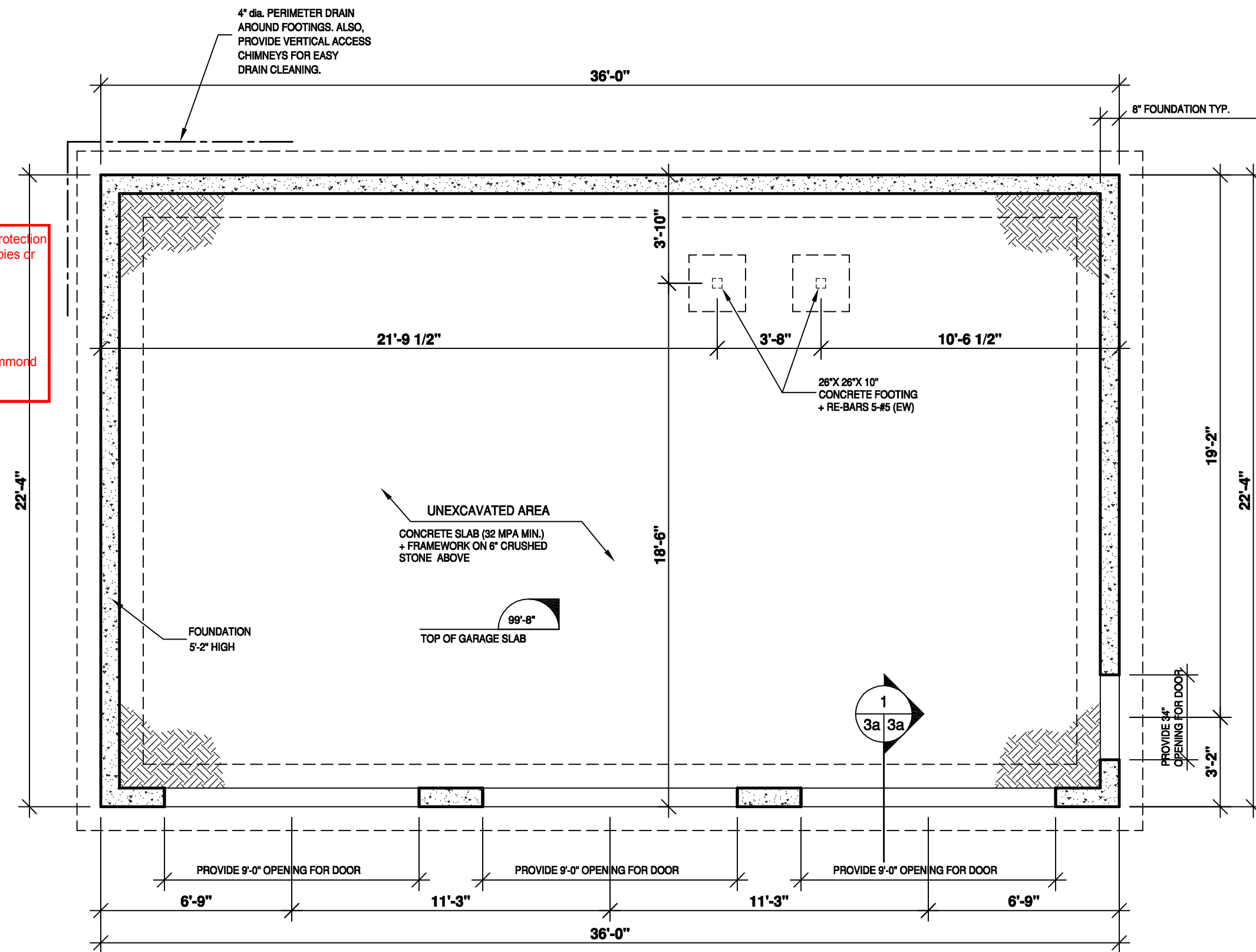
- THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.
- AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.
- ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.
- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".
- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PILASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FIBERBOARD.
- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.
- IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.
- THE WINDOW DIMENSIONS IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. THE WINDOWS MUST COMPLY WITH THE NORTH AMERICAN STANDARD (AAMA / WDMA / CSA). CATEGORY R IS THE MINIMUM CLASSIFICATION LEVEL ACCEPTED.
- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

- STRUCTURAL NOTES:**
- FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.
 - ALL LINTELS TO BE 2-2"x10" UNLESS OTHERWISE SPECIFIED.
 - ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2"x6" UNLESS OTHERWISE SPECIFIED.
 - ALL INTERIOR POSTS TO BE MIN. 3-2"x4" UNLESS OTHERWISE SPECIFIED.
 - THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.
 - TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.
 - THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRESS BOARD PANEL (OSB) OR EQUIVALENT.
 - PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.
 - IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MASON.

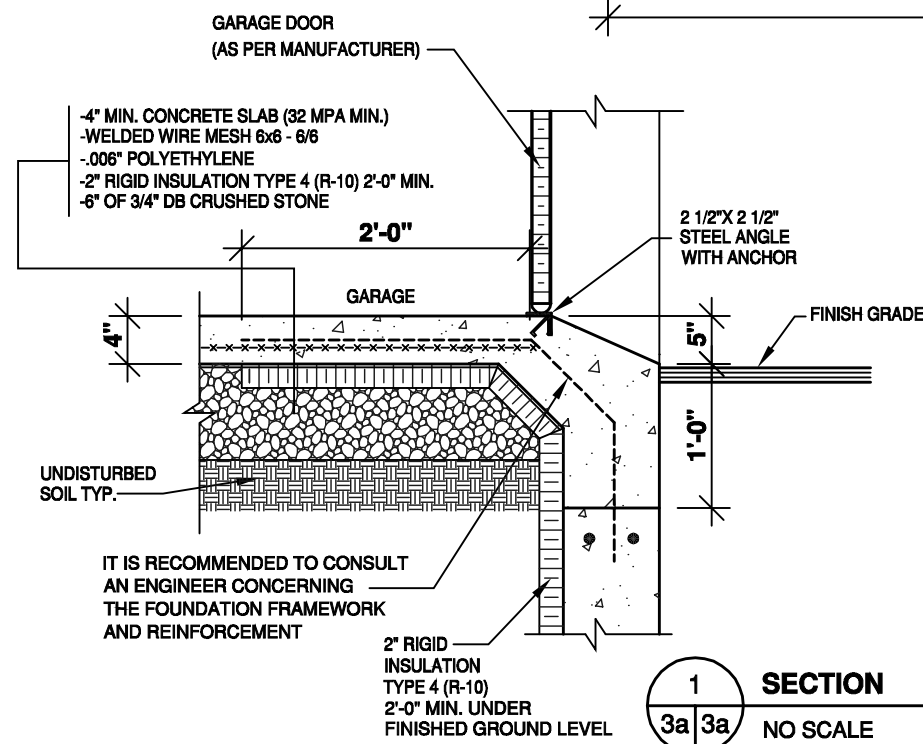
In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights Valid until :01/28/2024

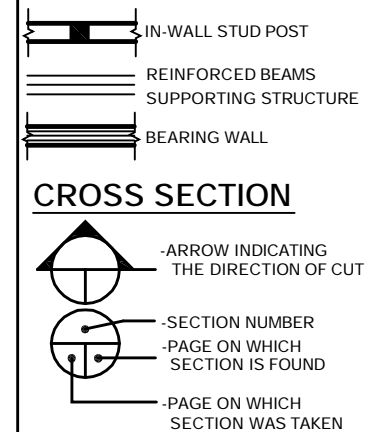
If expired, please contact Drummond Designs at 1-800-567-2567



FLOATING SLAB FOUNDATION



STRUCTURAL LEGEND



DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267

DRUMMOND HOUSE PLANS

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CUSTOMER INFO

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
FOUNDATIONS PLAN (FLOATING SLAB)

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 3a-8	

DRUMMOND HOUSEPLANS.COM All Rights Reserved

GENERAL NOTES:

- BUILDING CONTRACTOR MUST-**
- 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.
- THE DIMENSIONS ON THE PLAN HAVE PRIORITY ON THE DRAWING. CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND HOUSE PLANS INC. AS SOON AS POSSIBLE.

IMPORTANT NOTES:

- THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.
- AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.
- ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.
- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".
- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PILASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FIBERBOARD.
- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.
- IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.
- THE WINDOW DIMENSIONS IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. THE WINDOWS MUST COMPLY WITH THE NORTH AMERICAN STANDARD (AAMA / WDMA / CSA). CATEGORY R IS THE MINIMUM CLASSIFICATION LEVEL ACCEPTED.
- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

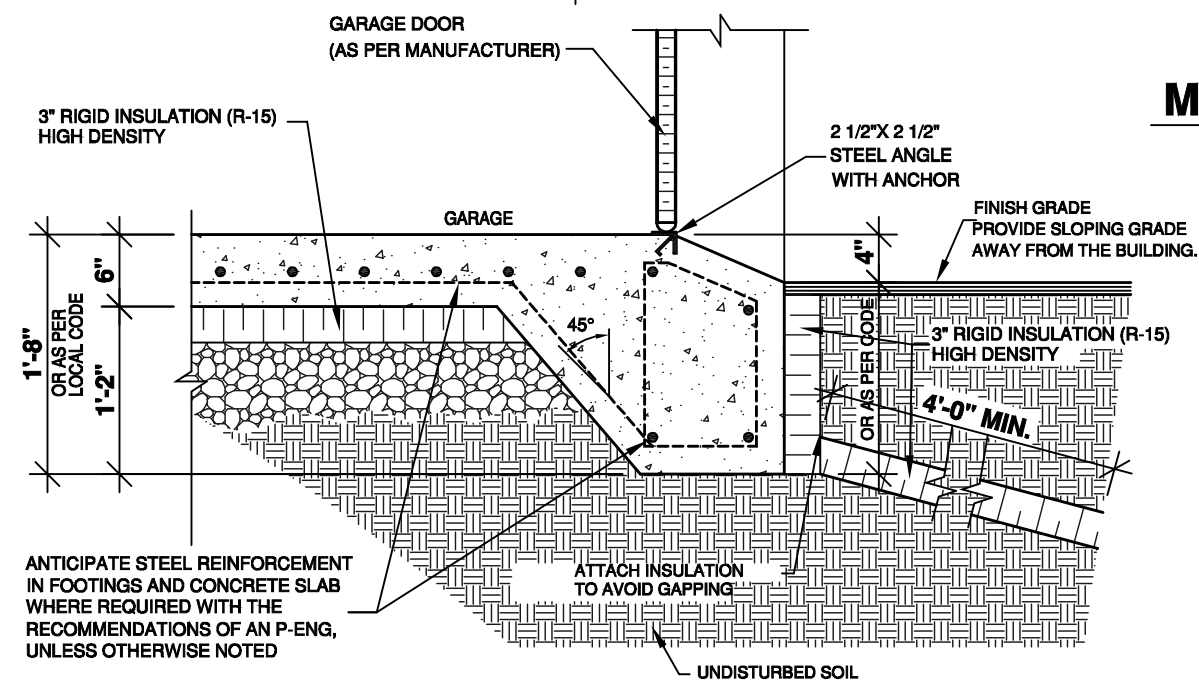
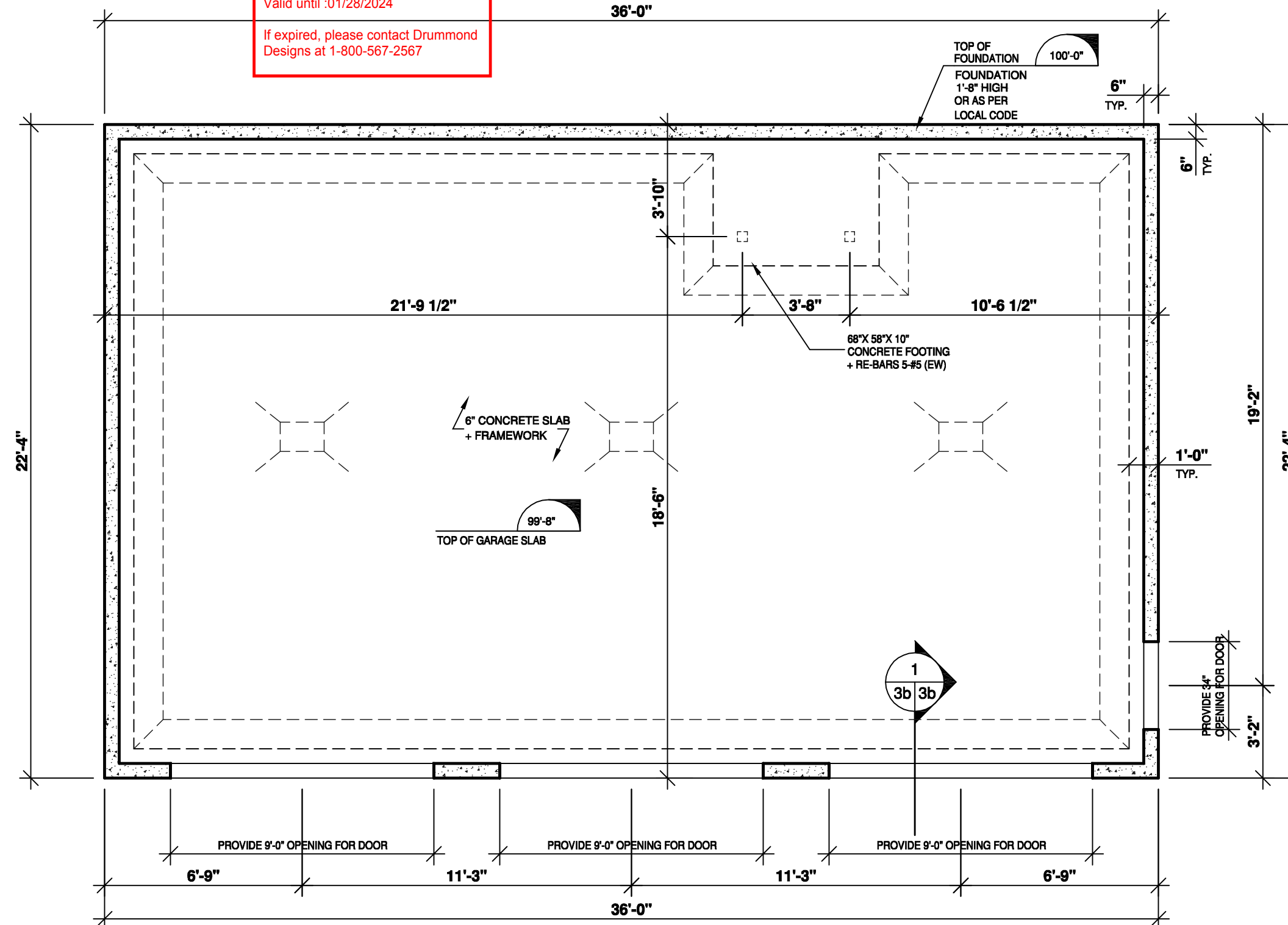
STRUCTURAL NOTES:

- FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.
- ALL LINTELS TO BE 2-2"x10" UNLESS OTHERWISE SPECIFIED.
- ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2"x6" UNLESS OTHERWISE SPECIFIED.
- ALL INTERIOR POSTS TO BE MIN. 3-2"x4" UNLESS OTHERWISE SPECIFIED.
- THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.
- TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.
- THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRESS BOARD PANEL (OSB) OR EQUIVALENT.
- PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.
- IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MASON.

In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights
Valid until :01/28/2024

If expired, please contact Drummond Designs at 1-800-567-2567



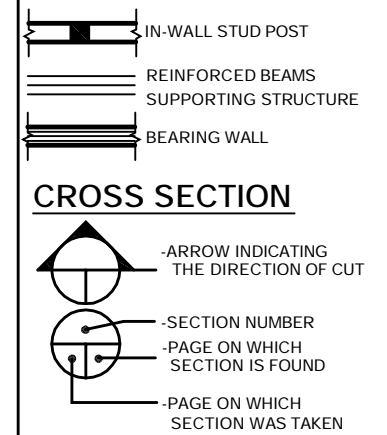
MONOLITHIC SLAB FOUNDATION

ANTICIPATE STEEL REINFORCEMENT IN FOOTINGS AND CONCRETE SLAB WHERE REQUIRED WITH THE RECOMMENDATIONS OF AN P-ENG, UNLESS OTHERWISE NOTED

THE GENERAL CONTRACTOR SHALL VERIFY THE STRUCTURAL CAPACITY OF THE ELEMENTS OF THE BUILDING, IN CASE OF OMISSION OBTAIN RECOMMENDATIONS OF AN ENGINEER

1 SECTION
3b 3b NO SCALE

STRUCTURAL LEGEND



DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267

DRUMMOND HOUSE PLANS

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
FOUNDATIONS PLAN (MONOLITHIC SLAB)

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	SHEET NO. 3b-8
PLAN NO. 3984		

DRUMMONDHOUSEPLANS.COM All Rights Reserved

GENERAL NOTES:

- BUILDING CONTRACTOR MUST-**
- 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.
- THE DIMENSIONS ON THE PLAN HAVE PRIORITY ON THE DRAWING. CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND HOUSE PLANS INC. AS SOON AS POSSIBLE.

IMPORTANT NOTES:

- THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.
- AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.
- ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.
- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".
- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PLASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FIBERBOARD.
- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.
- IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.
- THE WINDOW DIMENSIONS IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. THE WINDOWS MUST COMPLY WITH THE NORTH AMERICAN STANDARD (AAMA / WDMA / CSA). CATEGORY R IS THE MINIMUM CLASSIFICATION LEVEL ACCEPTED.
- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

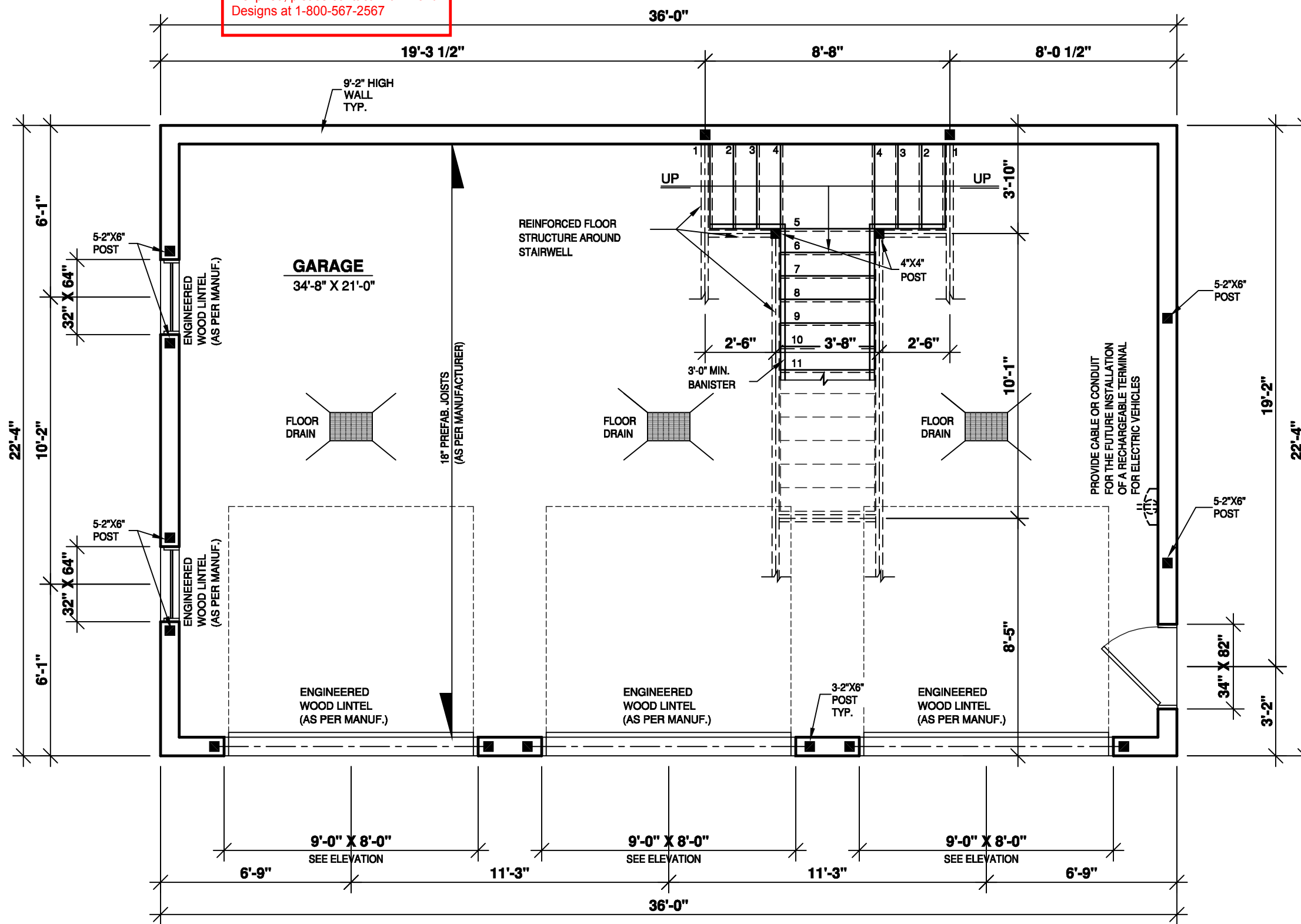
STRUCTURAL NOTES:

- FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.
- ALL LINTELS TO BE 2-2"x10" UNLESS OTHERWISE SPECIFIED.
- ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2"x6" UNLESS OTHERWISE SPECIFIED.
- ALL INTERIOR POSTS TO BE MIN. 3-2"x4" UNLESS OTHERWISE SPECIFIED.
- THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.
- TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.
- THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRESS BOARD PANEL (OSB) OR EQUIVALENT.
- PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.
- IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MASON.

In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights
Valid until :01/28/2024

If expired, please contact Drummond
Designs at 1-800-567-2567



STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL

CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
- PAGE ON WHICH SECTION WAS TAKEN

DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267

DRUMMOND HOUSE PLANS

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
GROUND FLOOR PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 4-8	

DRUMMOND HOUSEPLANS.COM All Rights Reserved

GENERAL NOTES:

BUILDING CONTRACTOR MUST:

- 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
 - 2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.
- THE DIMENSIONS ON THE PLAN HAVE PRIORITY ON THE DRAWING. CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND HOUSE PLANS INC. AS SOON AS POSSIBLE.

IMPORTANT NOTES:

- THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.
- AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.
- ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-4". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.
- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".
- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PLASTER AND CONCRETE ANGLES MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FIBERBOARD.
- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.
- IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.
- THE WINDOW DIMENSIONS IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. THE WINDOWS MUST COMPLY WITH THE NORTH AMERICAN STANDARD (AMA / WDMA / CSA) CATEGORY R IS THE MINIMUM CLASSIFICATION LEVEL ACCEPTED.
- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

STRUCTURAL NOTES:

- FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.
- ALL LINTELS TO BE 2-2"x10" UNLESS OTHERWISE SPECIFIED.
- ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2"x6" UNLESS OTHERWISE SPECIFIED.
- ALL INTERIOR POSTS TO BE MIN. 3-2"x4" UNLESS OTHERWISE SPECIFIED.
- THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.
- TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.
- THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRESS BOARD PANEL (OSB) OR EQUIVALENT.
- PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.
- IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MASON.

DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

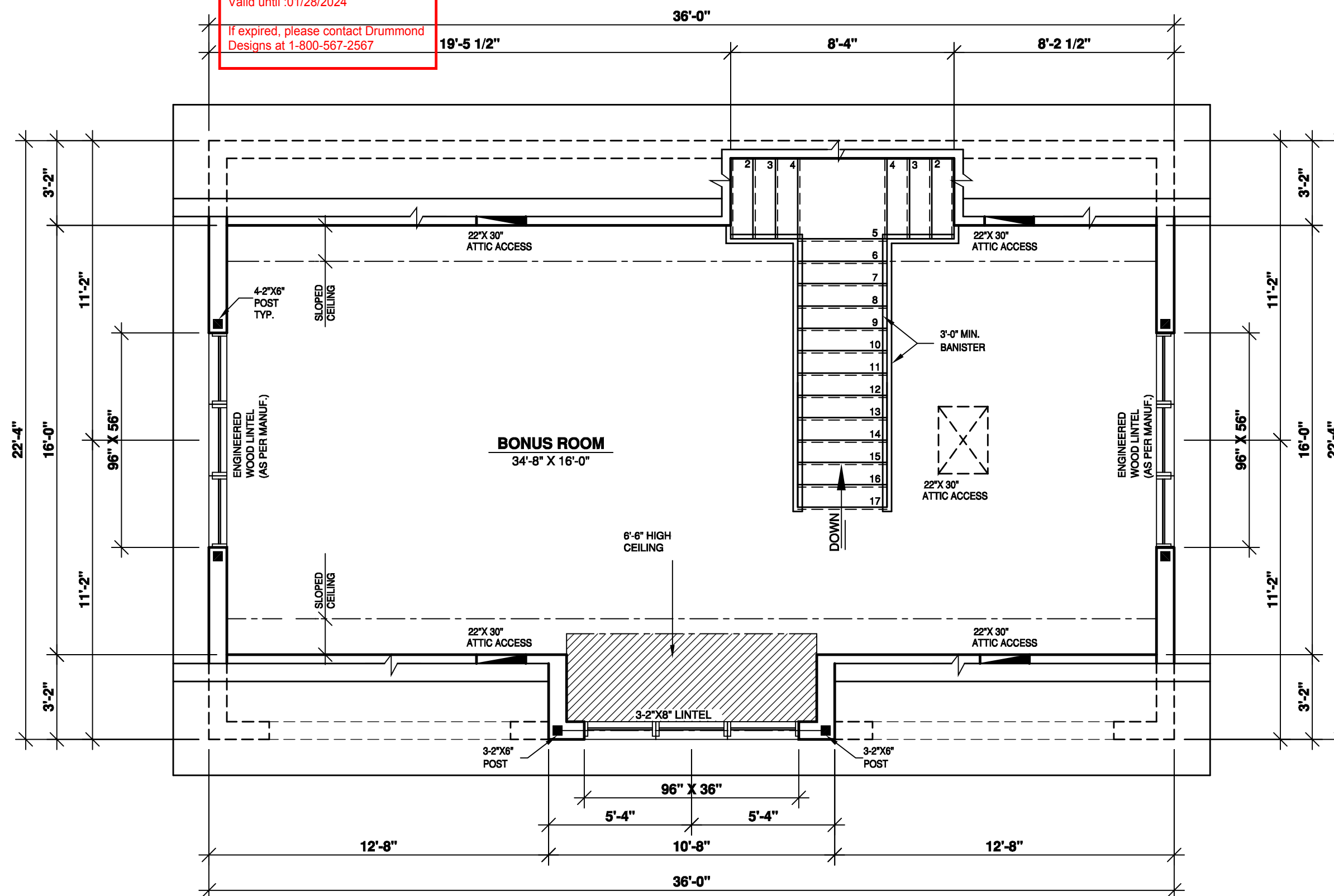
1-800-567-5267

DRUMMOND HOUSE PLANS

In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights Valid until :01/28/2024

If expired, please contact Drummond Designs at 1-800-567-2567



NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISION AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CUSTOMER INFO

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

--	--

PROJECT INFO

NEW CONSTRUCTION

DRAWING

SECOND FLOOR PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4" = 1'-0"	
PLAN NO. 3984	SHEET NO. 5-8	

STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL

CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
- PAGE ON WHICH SECTION WAS TAKEN

DRUMMOND HOUSEPLANS.COM All Rights Reserved

DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267



NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

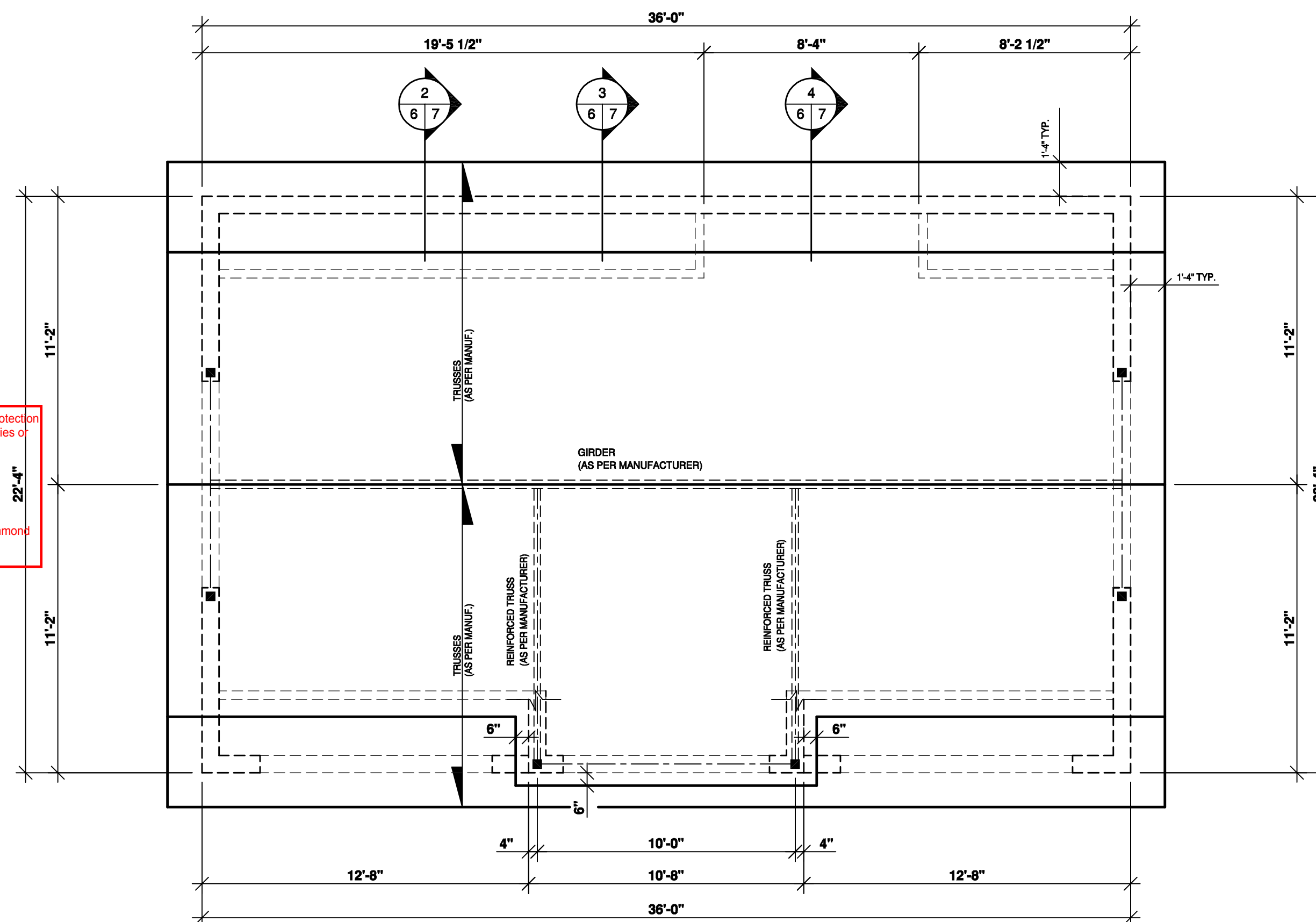
DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

In reference to the copyright protection law, it is permitted to make copies of photocopies of this plan if the expiration date is respected.
 Reproduction rights
 Valid until :01/28/2024
 If expired, please contact Drummond Designs at 1-800-567-2567



CUSTOMER INFO

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
ROOF PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 6-8	

DRUMMOND HOUSEPLANS.COM All Rights Reserved



NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

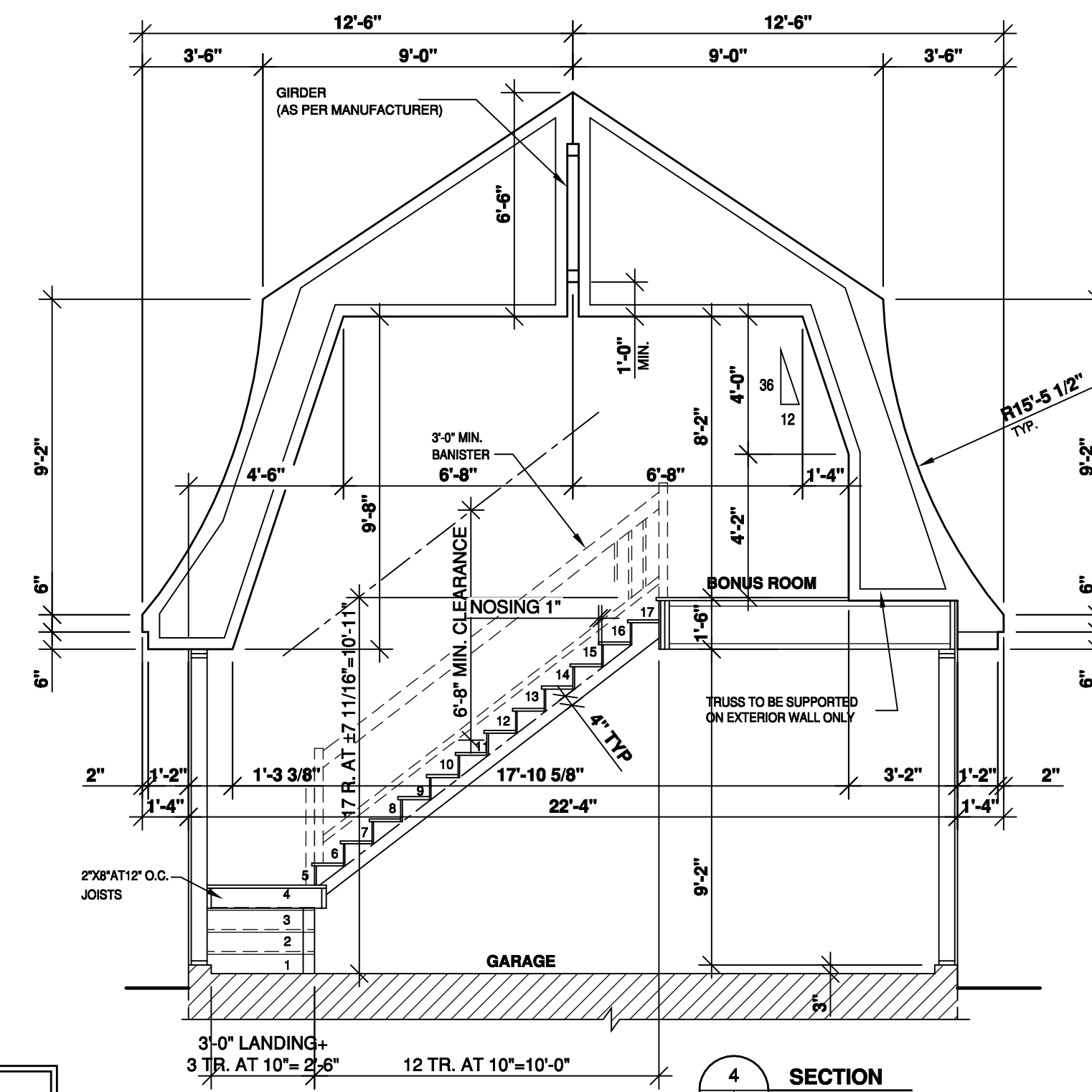
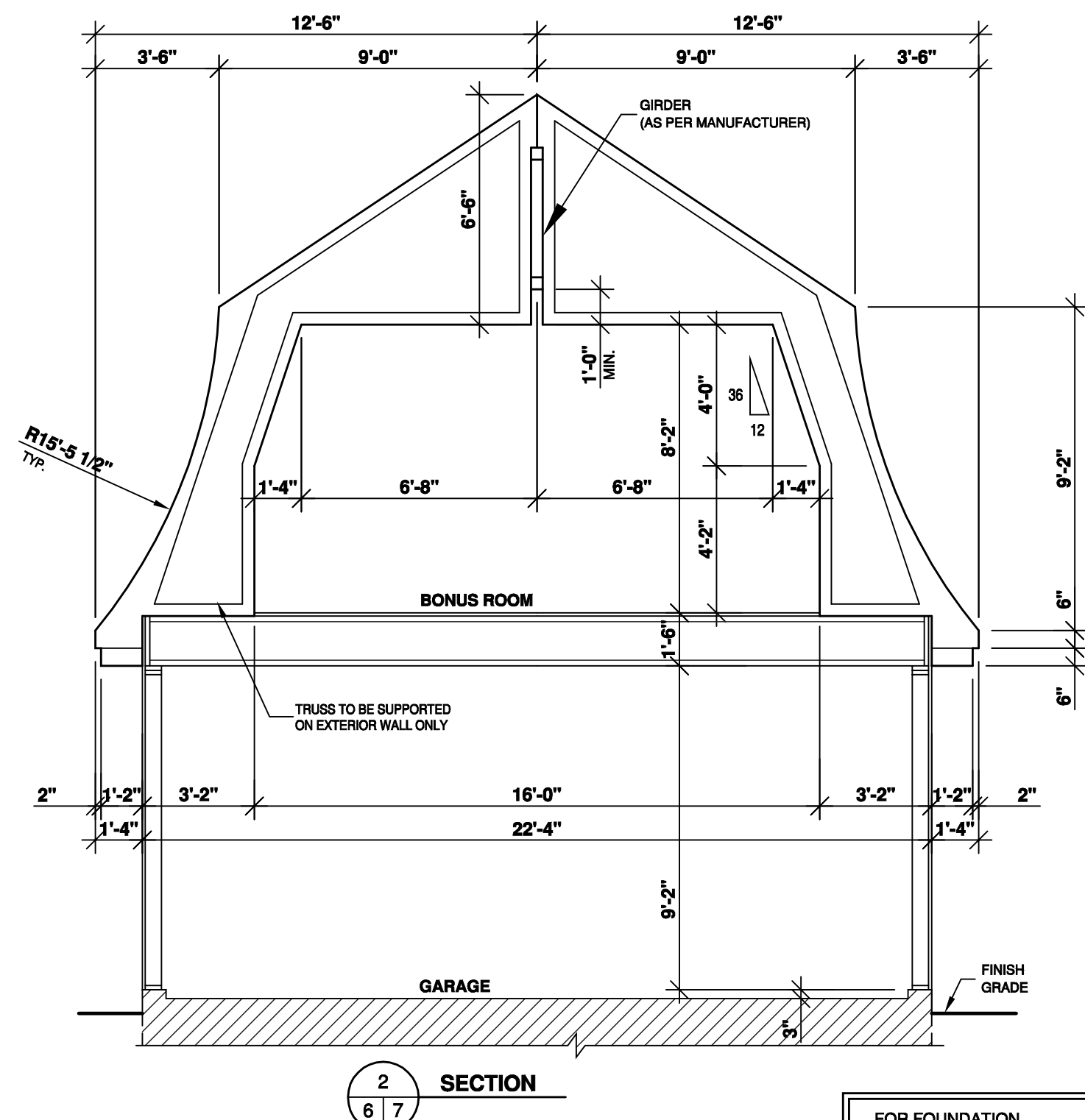
THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

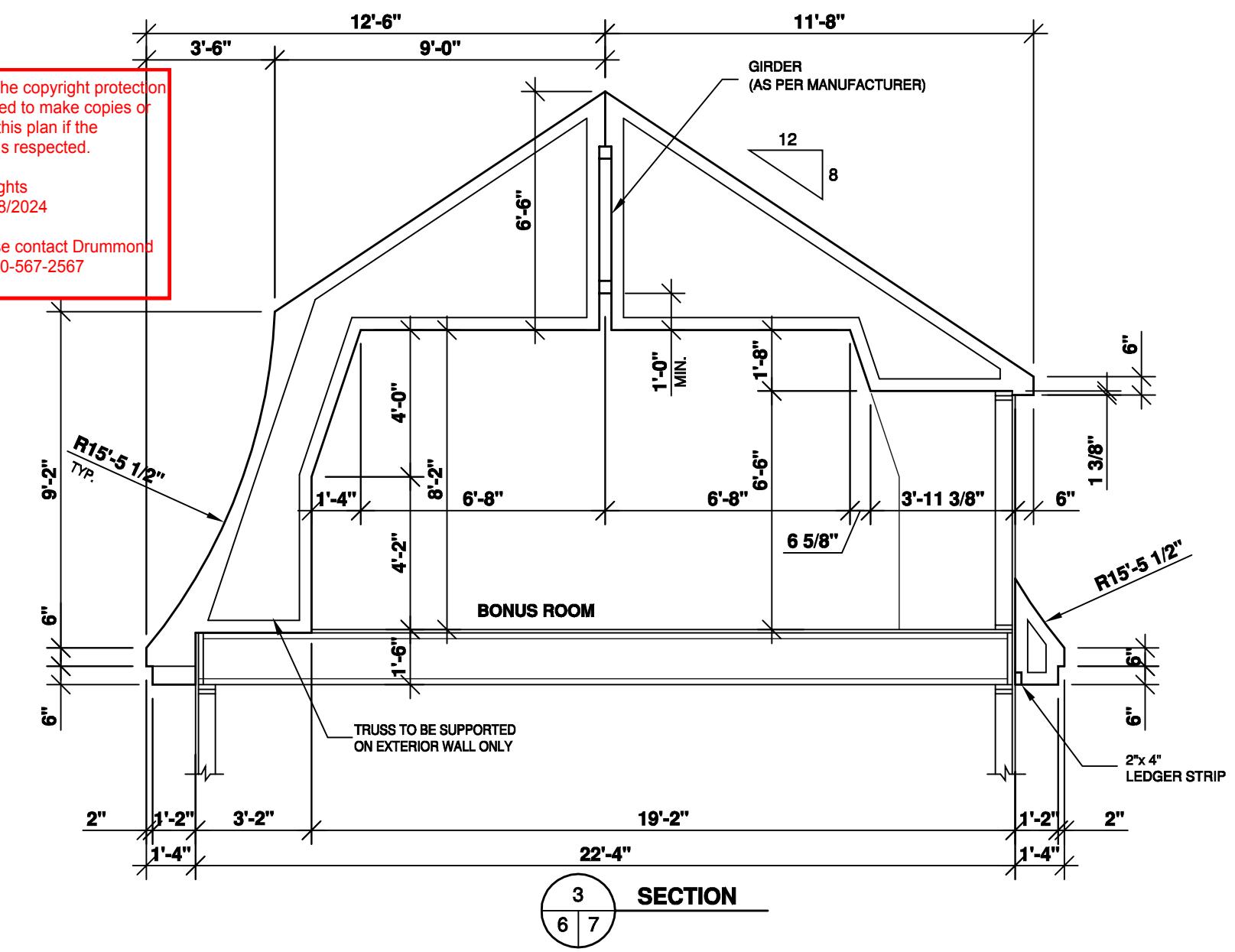


FOR FOUNDATION INFORMATION REFER TO THE "FOUNDATION PLAN" PAGES AND "TYPICAL WALL SECTION"

In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights
Valid until :01/28/2024

If expired, please contact Drummond Designs at 1-800-567-2567



THE TRUSS DIAGRAMS ON THIS PLAN ARE ONLY SHOW FOR SCHEMATIC PURPOSE. IT IS THE MANUFACTURER'S RESPONSIBILITY TO DESIGN AND CONVOICE THE TRUSSES TO MEET AND COMPLY LOCAL AND CODE REGULATION.

DRUMMOND HOUSEPLANS.COM All Rights Reserved

CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION

DRAWING
TRUSS DIAGRAM

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1/4"=1'-0"	
PLAN NO. 3984	SHEET NO. 7-8	



NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

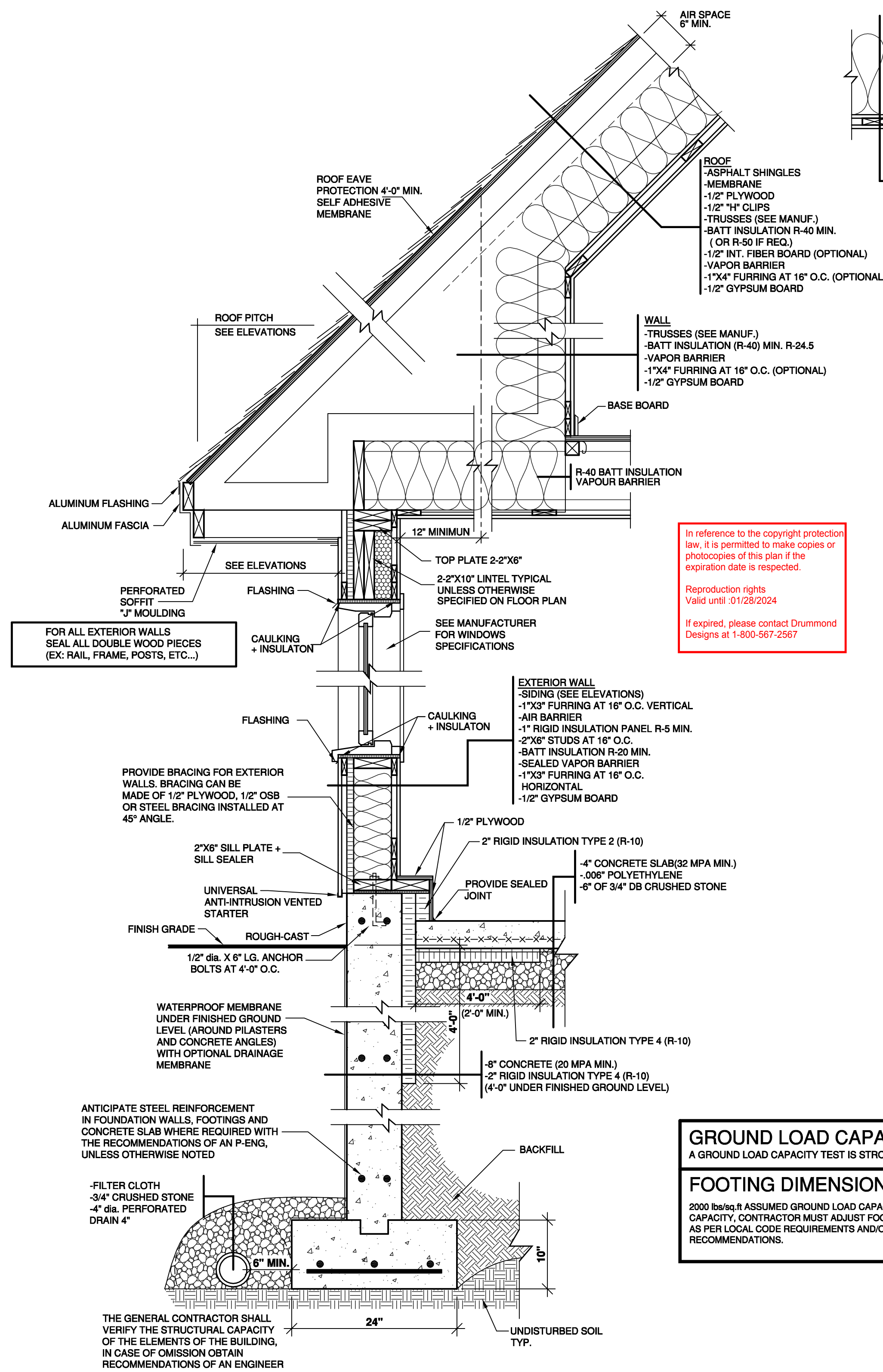
THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

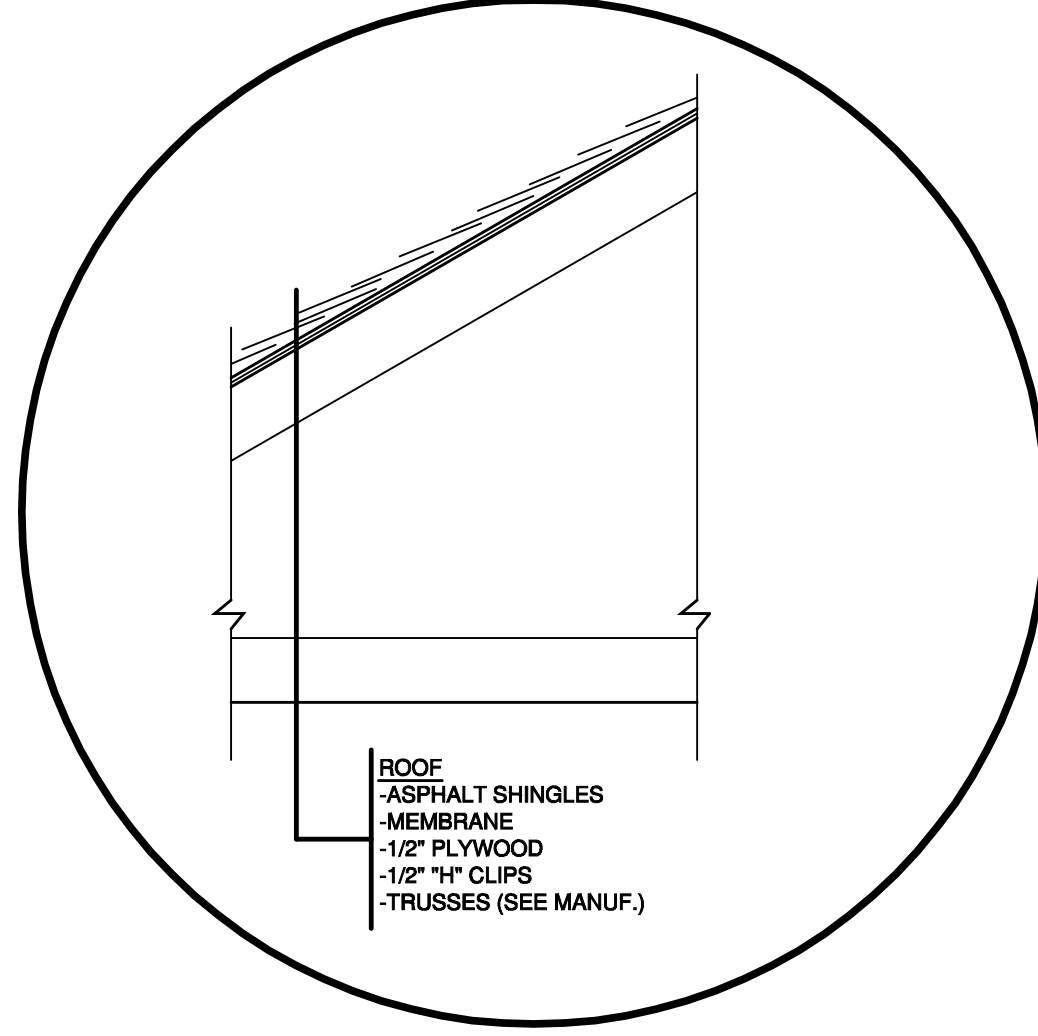


In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights
 Valid until :01/28/2024

If expired, please contact Drummond Designs at 1-800-567-2567

SUGGESTED WALL COMPOSITION
 IF THE GARAGE IS NOT HEATED



SUGGESTED ROOF COMPOSITION
 IF THE GARAGE IS NOT HEATED

CUSTOMER INFO
AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

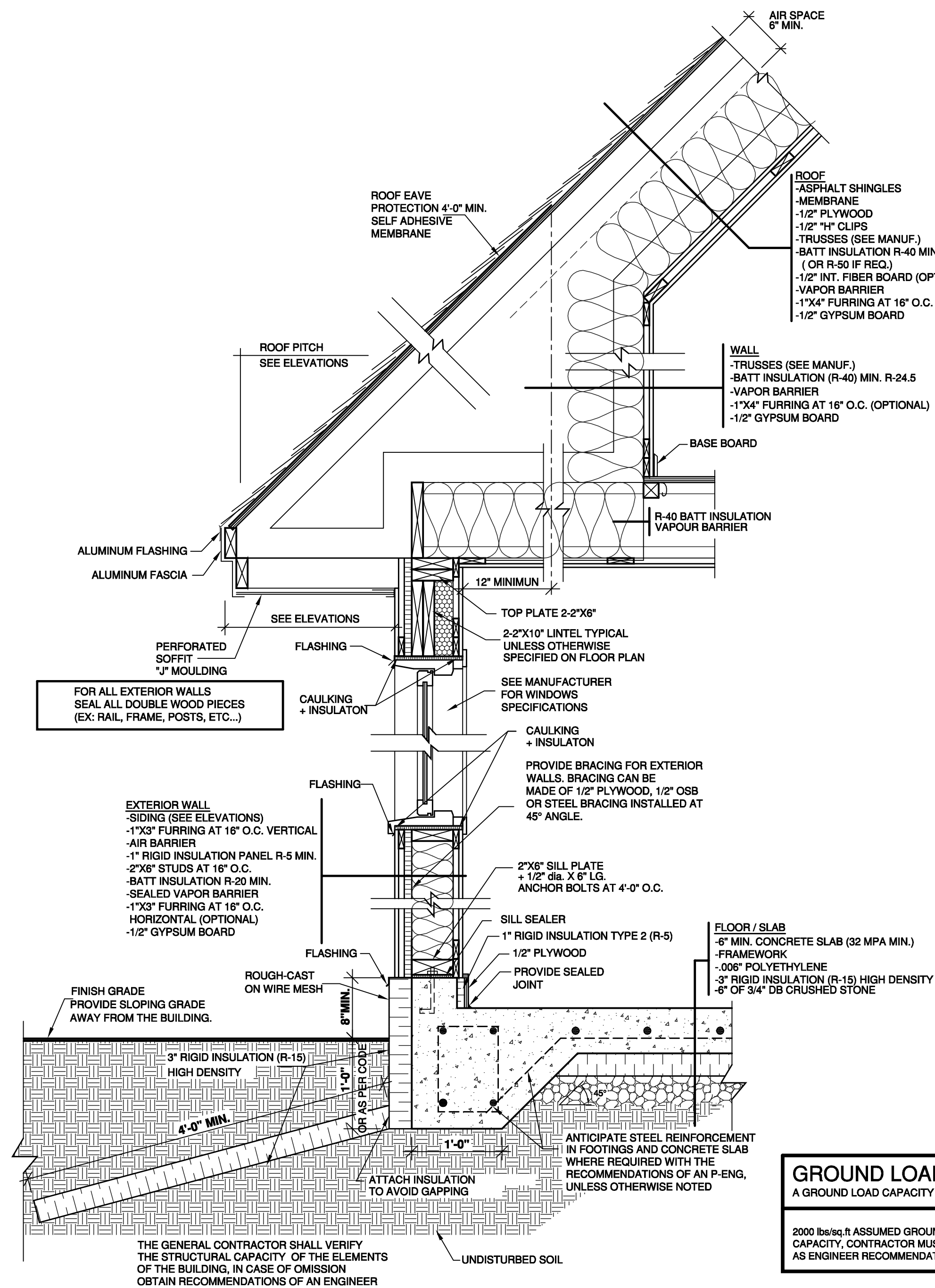
PROJECT INFO
NEW CONSTRUCTION

DRAWING
TYPICAL WALL SECTION (FLOATING SLAB)

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 05/10/2018	SCALE 1"=1'-0"	
PLAN NO. 3984	SHEET NO. 8a-8	

DRUMMOND HOUSEPLANS.COM All Rights Reserved

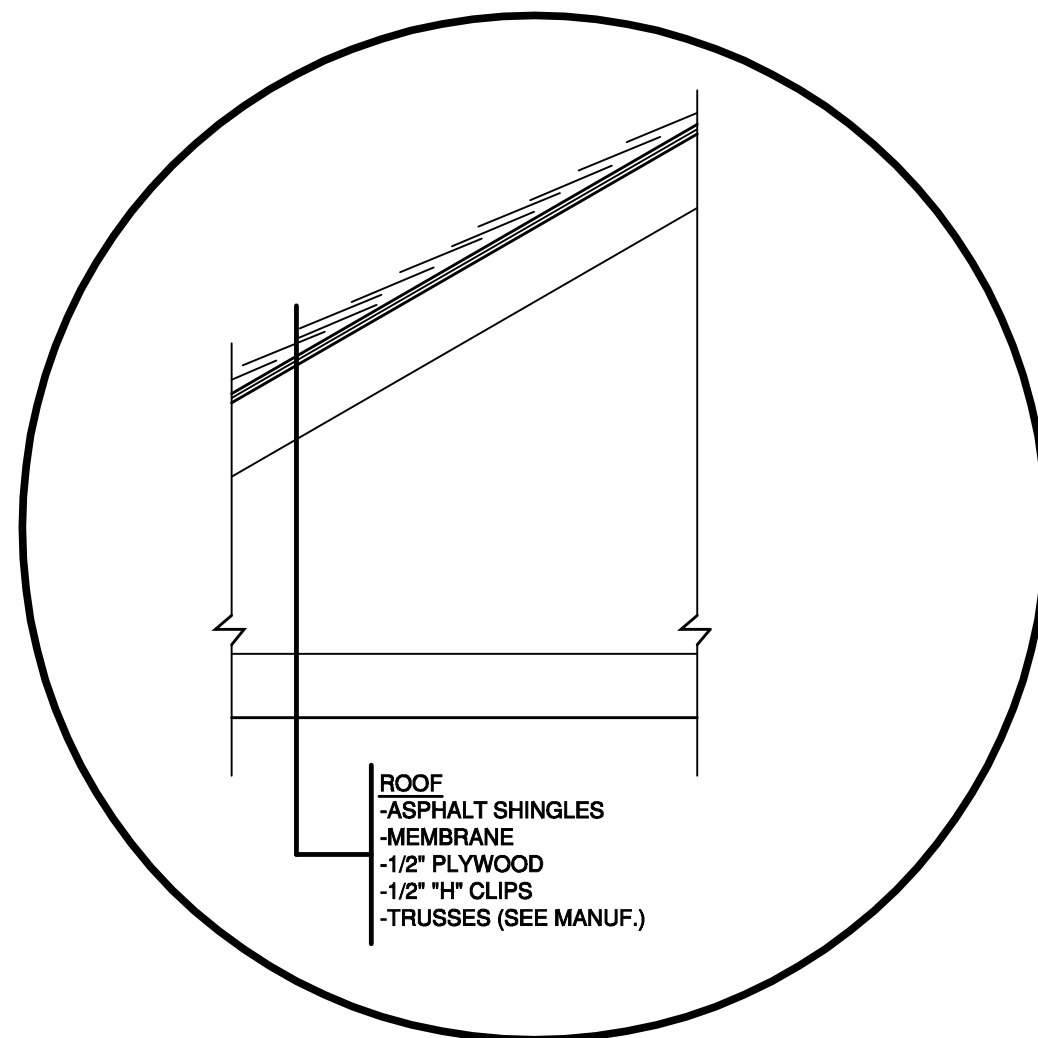
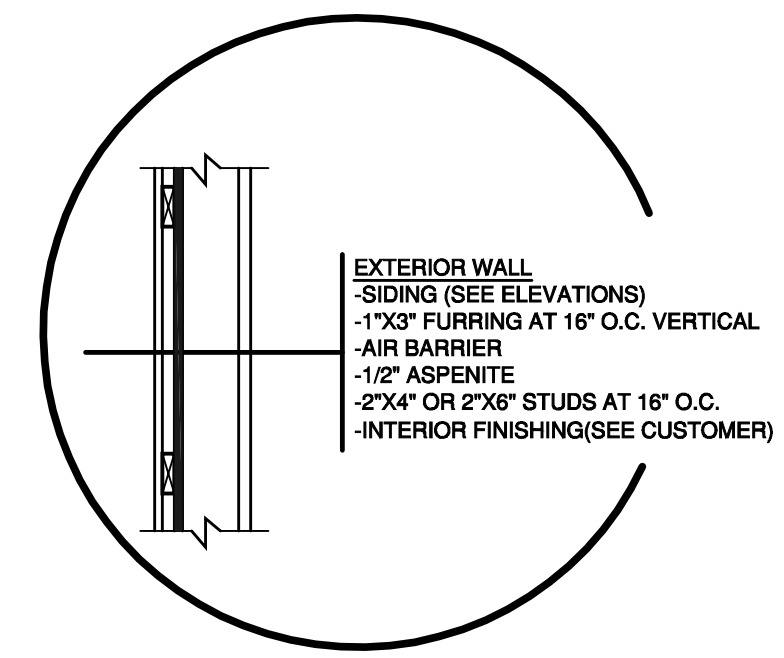
THE GENERAL CONTRACTOR SHALL VERIFY THE STRUCTURAL CAPACITY OF THE ELEMENTS OF THE BUILDING, IN CASE OF OMISSION OBTAIN RECOMMENDATIONS OF AN ENGINEER



In reference to the copyright protection law, it is permitted to make copies or photocopies of this plan if the expiration date is respected.

Reproduction rights
Valid until :01/28/2024

If expired, please contact Drummond Designs at 1-800-567-2567



NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES.

THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS GARAGE PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

THE PURCHASE OF A GARAGE PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE GARAGE IS TO BE BUILT WITH THIS GARAGE PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CUSTOMER INFO

AMANDA E. MONTFORD

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION

DRAWING

TYPICAL WALL SECTION (MONOLITHIC SLAB)

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.
DATE	05/10/2018	SCALE
		1"=1'-0"
PLAN NO.	3984	SHEET NO.
		8b-8

DRUMMOND HOUSEPLANS.COM All Rights Reserved

THE GENERAL CONTRACTOR SHALL VERIFY THE STRUCTURAL CAPACITY OF THE ELEMENTS OF THE BUILDING, IN CASE OF OMISSION OBTAIN RECOMMENDATIONS OF AN ENGINEER

ANTICIPATE STEEL REINFORCEMENT IN FOOTINGS AND CONCRETE SLAB WHERE REQUIRED WITH THE RECOMMENDATIONS OF AN P-ENG, UNLESS OTHERWISE NOTED

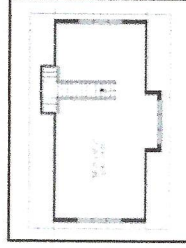
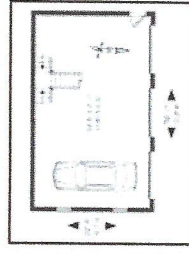
FOR ALL EXTERIOR WALLS SEAL ALL DOUBLE WOOD PIECES (EX: RAIL, FRAME, POSTS, ETC...)

GROUND LOAD CAPACITY
A GROUND LOAD CAPACITY TEST MUST BE OBLIGATORY.

2000 lbs/sq.ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS, AS ENGINEER RECOMMENDATIONS.

Plan 028G-0029

Click to enlarge. Views may vary slightly from working drawings. Refer to floor plan for actual layout.



NOTES: - ROOF WILL BE A TRADITIONAL GAMBREL ROOF (NO SLOPES) TO MATCH HOME
- COLOR SCHEME WILL BE BUTTERCREAM YELLOW WITH WHITE TRIM TO MATCH HOME

Plan Details

Heated Sq. Ft.

Total 0 sq. ft.

Unheated Sq. Ft.

Garage 804 sq. ft.

Loft 594 sq. ft.

Dimensions

Width 36 ft. 0 in.

Depth 22 ft. 4 in.

Approx. Height 25 ft. 4 in.

Ceiling Heights

First Floor 9 ft. 6 in.

Second Floor 8 ft. 6 in.

Roof Framing

Truss

Exterior Wall

2x6

Foundation

Floating Slab

Monolithic Slab



Agenda Item No: 12

**City Council
Agenda Supplement**

Meeting Date:

March 1, 2022

Item:

Bid Award – 2022 Street Resurfacing Program

Staff Recommendation:

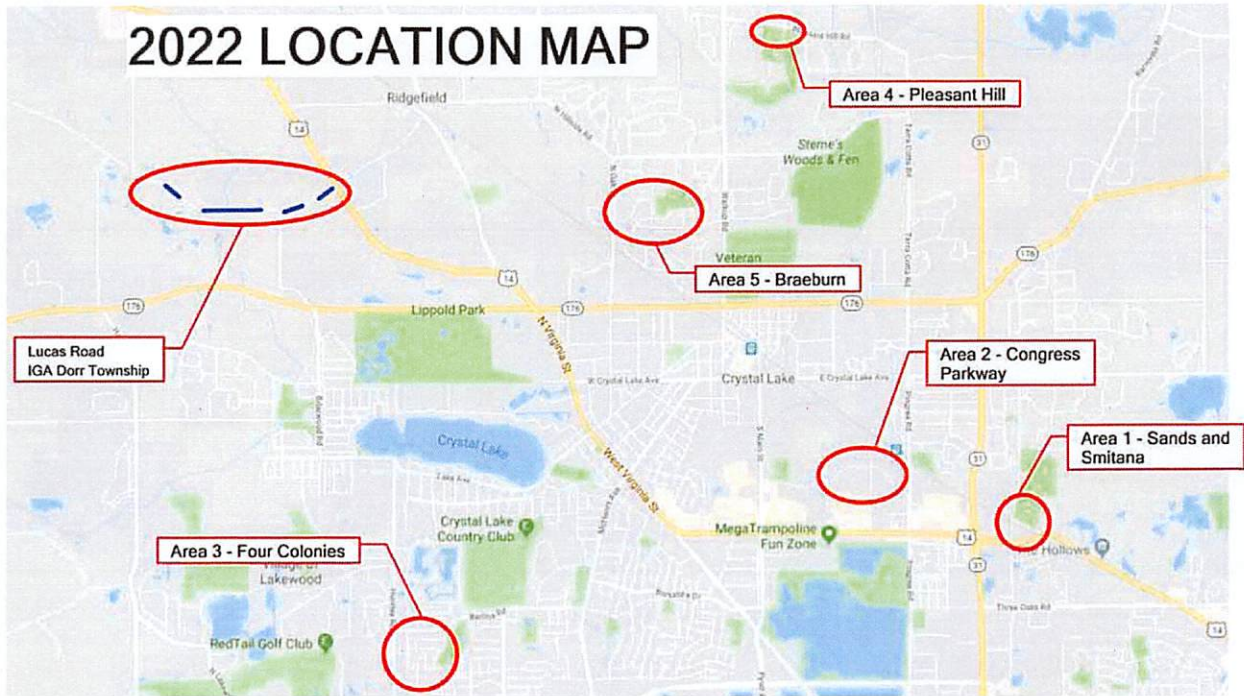
Motion to award the 2022 Street Resurfacing Program bid to the lowest responsive and responsible bidder, Arrow Road Construction, Inc. in the bid amount of \$1,462,596.74 and adopt a Resolution authorizing the City Manager to execute a contract with Arrow Road Construction, allowing for a 10 percent contingency and to authorize the City Manager to review and approve necessary completion date change orders relating to the contract.

Staff Contact:

Michael P. Magnuson, Director of Public Works and Engineering

Background:

The 2022 Street Resurfacing Program will include milling (grinding) of the existing pavement surface, warranted repairs/adjustments to the pavement base, and construction of a new asphalt surface. Roads were selected based on their pavement condition, geographic proximity and needed curb and ADA ramp work. The resurfacing locations for 2022 include Sands Road, Smitana, Road, Congress Parkway, Pleasant Hill Road and several streets within the Four Colonies and Braeburn subdivisions (see map below). Dorr Township will be resurfacing Lucas Road and the City will have its section paved as part of that project (future intergovernmental agreement).



On February 3, 2022, the City opened and publicly read the bids received for the 2022 Street Resurfacing Program. The bid breakdown is as follows:

<i>Firm</i>	<i>Amount of Bid</i>
¹ Arrow Road Construction	\$1,462,596.74
Geske and Sons, Inc.	\$1,519,757.58
Engineer's Estimate	\$1,557,004.00
Plote Construction	\$1,644,136.20
Schroeder Asphalt	\$1,805,417.08
Peter Baker & Son Co.	\$2,113,558.90

¹ Indicates recommended lowest responsive and responsible bidder.

The 2022 resurfacing program is proposed to be funded from the Motor Fuel Tax (MFT) fund and the General Fund. Funds will be budgeted for Fiscal Year (FY) 2022/2023.

Recommendation:

This contract is being presented pursuant to a competitive bidding process. Under such process, the contract is to be awarded to the “lowest responsive and responsible bidder.” The lowest responsive and responsible bidder is the contractor: (i) whose bid substantially conforms to the

material provisions of the bid specifications, (ii) who demonstrates the financial capacity and ability to undertake and complete the project in question in accordance with bid specifications, and (iii) whose bid price is lowest among the responsive and responsible bidders. Selecting a contractor on bases not set forth in the bid specifications can lead to challenges to the City's award.

Specifications were sent to various contractors and standard bid advertisement procedures were followed. The City has worked with Arrow Road Construction on past roadway and resurfacing projects and has been satisfied with their performance. This project is being proposed in the FY 2022/2023 budget.

Votes Required to Pass:

Simple majority



RESOLUTION

WHEREAS, the CITY OF CRYSTAL LAKE has identified the need to have an Annual Street Resurfacing Program to keep the City's roadways in a state of good repair;

WHEREAS, the City utilizes funds from the Motor Fuel Tax Fund and General Fund to support this Program; and

WHEREAS the CITY received and publicly opened bids for this program on February 3, 2022; and

WHEREAS, the lowest responsive and responsible bidder for the 2022 Annual Street Resurfacing Program was Arrow Road Construction of Elk Grove Village, Illinois.

NOW THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the foregoing recitals are repeated and incorporated as though fully set forth herein; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute a contract between the CITY OF CRYSTAL LAKE and Arrow Road Construction for the Annual Street Resurfacing Program in the bid amount of \$1,462,596.74; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute change orders for up to 10 percent of the contract amount and to approve warranted completion date change orders relating to the contract.

DATED this 1st day of March, 2022.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: March 1, 2022
APPROVED: March 1, 2022



Agenda Item No: 13

**City Council
Agenda Supplement**

Meeting Date:

March 1, 2022

Item:

Bid Award - 2022 Sidewalk, Curb and Pedestrian Ramp (ADA) Construction Program

Staff Recommendation:

Motion to award the 2022 Sidewalk, Curb and Pedestrian Ramp (ADA) Construction Program bid to the lowest responsive and responsible bidder, Strada Construction, adopt a Resolution authorizing the City Manager to execute a contract with Strada Construction in the not to exceed amount of \$356,572.00, and approve warranted completion date change orders relating to the contract.

Staff Contact:

Michael P. Magnuson, P.E., Director of Public Works and Engineering

Background:

Each year, the Public Works Department's Engineering Division surveys one-quarter of the City and evaluates all of the sidewalks in that section of the City. The City also routinely responds to reports of damaged sidewalks and curbs that are received from residents and staff. The City keeps a record of all the damaged sidewalks and prepares a sidewalk repair program annually to repair the sidewalks that meet the replacement criteria.

This program will remove and replace curb and gutter along the streets in the 2022 Street Resurfacing Program that need repair along with replacing sidewalks and ramps that do not meet current American with Disability Act (ADA) requirements. In addition, this program includes other areas of sidewalk, curb and ADA work in the City that staff has identified over the previous year.

On February 8, 2022, the City opened and publicly read the bids received for the Annual Sidewalk, Curb and Pedestrian Ramp (ADA) Construction Program. The bids are submitted for individual line items at a bid unit price (e.g. bid price per foot of curb). The City received advantageous pricing from the bidders for this project and the resurfacing project which will be under budget for the overall resurfacing program. Staff is proposing to expand the project scope by \$50,000 and use these funds to replace additional curb, sidewalk and ADA ramps in the City. This work will be measured and paid for at the bid unit prices. After consideration of adjusted quantities, the adjusted

project totals are extrapolated for each vendor and reflected below. Strada Construction remains the low bidder.

The summary of the bids is as follows:

Bidder	Base Bid Project Cost	Adjusted Project Cost²
¹ Strada Construction	\$306,572.00	\$356,572.00
Chadwick Contracting	\$341,689.50	\$397,129.50
Engineer's Estimate	\$346,000.00	
Copenhaver Construction	\$407,360.00	\$477,745.00
Schroeder & Schroder, Inc.	\$427,865.00	\$496,540.00
Berquist & Zimmerman	\$447,184.00	\$519,157.75

¹ Indicates Recommended Lowest Responsive and Responsible Bidder.

² Extension of bid unit prices with additional work

Recommendation:

This contract is being presented pursuant to a competitive bidding process. Under such process, the contract is to be awarded to the “lowest responsive and responsible bidder.” The lowest responsive and responsible bidder is the contractor: (i) whose bid substantially conforms to the material provisions of the bid specifications, (ii) who demonstrates the financial capacity and ability to undertake and complete the project in question in accordance with bid specifications, and (iii) whose bid price is lowest among the responsive and responsible bidders. Selecting a contractor on bases not set forth in the bid specifications can lead to challenges to the City’s award.

Specifications were sent to various contractors and standard bid advertisement procedures were followed. City staff has reviewed bid submissions and determined that Strada Construction meets the requirements. The City has worked with Strada Construction previously with satisfactory results.

Funds for this project are being proposed in the Fiscal Year 2022/2023 budget.

Votes Required to Pass:

Simple majority



RESOLUTION

WHEREAS, the CITY OF CRYSTAL LAKE has identified the need to have an Annual Sidewalk, Curb and Pedestrian Ramp (ADA) Replacement Program to keep the City's sidewalks, curbs and pedestrian ramps in a state of good repair; and

WHEREAS the CITY received and publicly opened bids for this program on February 8, 2022; and

WHEREAS, the lowest responsive and responsible bidder for the 2022 Sidewalk, Curb and Pedestrian Ramp (ADA) Replacement Program was Strada Construction of Addison, Illinois;

NOW THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the foregoing recitals are repeated and incorporated as though fully set forth herein; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute a contract between the CITY OF CRYSTAL LAKE and Strada Construction for the Annual Sidewalk, Curb and Pedestrian Ramp (ADA) Replacement Program in the not to exceed amount of \$356,572.00; and

BE IT FURTHER RESOLVED that the City Manager is authorized to approve warranted completion date change orders relating to the contract.

DATED this 1st day of March, 2022.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: March 1, 2022
APPROVED: March 1, 2022



Agenda Item No: 14

**City Council
Agenda Supplement**

Meeting Date:

March 1, 2022

Item:

Bid Award – Union Street/College Street Storm Water Project

Staff Recommendation:

Motion to adopt a Resolution awarding the contract for the Union Street/College Street Storm Water Project to the lowest responsive and responsible bidder, Kane County Excavating, Inc., in the amount of \$486,233.33, execute change orders for up to 10% of the contract amount, and approve warranted completion date change orders relating to the contract.

Staff Contact:

Michael Magnuson, P.E., Director of Public Works and Engineering

Background:

The City's Stormwater Solutions initiative identified two projects in the Union Street Study; 1) Mary Lane/Union Street Storm Sewer and Detention Pond Project; and 2) Union Street/College Street Storm Sewer Project. The Mary Lane/Union Street project was completed in 2019 and is performing well. The Union Street/College Street project will improve and expand the storm sewer along Union Street, between McHenry Avenue and First Court, and along College Street from Union Street to Uteg Street. In addition to the storm sewer improvements, several drywells will be added. This project will reduce flooding on College Street and reduce ponding in the roadway along Union Street. A storm sewer will be added to a low spot in the rear yards between Union Street and US Route 14 to allow storm water to drain down after a heavy storm. Public meetings were held as part of the Stormwater Solutions initiative and a separate public meeting was held with the residents along Union Street and College Street. No objections to the project were voiced at the meetings.

On February 22, 2022, the City of Crystal Lake publicly opened and read aloud the bids received for the Union Street/College Street storm sewer project. The following is a breakdown of the bids received:

Contractor	Total Bid Cost
✓ Kane County Excavating	\$ 486,233.33
Mauro Sewer Construction	\$ 579,858.75
Copenhaver Construction	\$ 585,184.00
Martam Construction	\$ 586,036.15
H. Linden & Sons Sewer and Water	\$ 632,388.00
<i>Engineer's Estimate</i>	\$ 650,346.00
Bolder Construction	\$ 658,782.65
Campanella and Sons	\$ 749,512.65
Swallow Sewer and Water Construction	\$ 910,196.00

✓ Indicates lowest responsive and responsible bidder

Project Funding

The City applied for, and received, \$75,000 in McHenry County Community Development Block Grant (CDBG) funding towards this project. The project is included in the Fiscal Year 2021/2022 capital budget with funds being proposed in the FY 2022/2023 budget to complete the project.

Recommendation

This contract is being presented pursuant to a competitive bidding process. Under such process, the contract is to be awarded to the “lowest responsive and responsible bidder.” The lowest responsive and responsible bidder is the contractor: (i) whose bid substantially conforms to the material provisions of the bid specifications, (ii) who demonstrates the financial capacity and ability to undertake and complete the project in question in accordance with bid specifications, and (iii) whose bid price is lowest among the responsive and responsible bidders. Selecting a contractor on bases not set forth in the bid specifications can lead to challenges to the City’s award.

The Public Works Department has reviewed the bids received for completeness and accuracy in accordance with the invitation to bid document. Staff has checked the references for the contractor. Staff recommends that the contract for the Union Street/College Street Storm Sewer Project be awarded to the lowest responsive and responsible bidder, Kane County Excavating, Inc. in the amount bid.

Votes Required to Pass:

Simple majority



RESOLUTION

WHEREAS the CITY OF CRYSTAL LAKE is desirous of implementing stormwater management improvements along Union Street and College Street; and

WHEREAS the CITY received and publicly opened bids for Union Street and College Street storm sewer project on February 22, 2022; and

WHEREAS the lowest responsive and responsible bidder is Kane County Excavating, Inc., St. Charles, Illinois

NOW THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the foregoing recitals are repeated and incorporated as though fully set forth herein; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute a contract between the CITY OF CRYSTAL LAKE and Kane County Excavating, Inc. for the Union Street and College Street Storm Sewer Project in the amount of \$486,233.33; and

BE IT FURTHER RESOLVED that the City Manager is authorized to execute change orders for up to 10% of the contract amount and to approve warranted completion date change orders relating to the contract.

DATED this 1st day of March, 2022.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: March 1, 2022

APPROVED: March 1, 2022

Draft



Agenda Item No: 15

City Council Agenda Supplement

Meeting Date: March 1, 2022

Item: Proposal Award – Vehicle License Software and Printing, Mailing and Online Services

Staff Recommendation: Motion to award the proposal for Vehicle License Software and Printing, Mailing and Online Services and adopt a Resolution authorizing the City Manager to execute an agreement based on the submitted proposal from American Printing Technologies, Inc.

Staff Contact: Jodie Hartman, Director of Finance
Adam Orton, Assistant Director of Finance

Background:

The City of Crystal Lake solicited requests for proposals (RFP) from qualified firms to provide vehicle license software and printing, mailing and online services for calendar years 2022 through 2026. The City’s current contract expired in February 2022. Each proposal was required to include the costs necessary to print, fold and mail vehicle license applications and renewal notifications and to fulfill vehicle license applications submitted online and via mail. Additionally, vendors must provide the City with software to maintain vehicle and owner records and track sales of the City’s vehicle licenses.

The RFP was issued on January 18, 2022, and proposals were due by February 4, 2022. In order to solicit responses, the RFP was sent directly to the two (2) vendors known to provide vehicle license services, both of which had worked with the City of Crystal Lake in the past. In addition, the RFP was posted on the City’s website and on BidSync, the City’s procurement portal, where it was viewed by fifteen (15) potential vendors. At the RFP deadline, the City had received one (1) proposal from its current vendor, American Printing Technologies, Inc. A second firm declined to submit a proposal citing their inability to compete with the price of the City’s current service provider as the reason. Municipal vehicle license services are a specialized product that only two vendors in the area are known to provide.

The full fee proposal is attached, and a summary of the total fees is listed below:

	2022	2023	2024	2025	2026	Total
American Printing Technologies, Inc.	\$31,462	\$29,586	\$29,659	\$29,732	\$29,808	\$150,247

The proposed fees are similar to those previously incurred. In fiscal year 2021/22, the City paid approximately \$28,500 for vehicle license services.

American Printing Technologies, Inc. has been providing the City with vehicle license services for the past five years and is familiar with the City's vehicle licenses requirements. They also provide similar vehicle license services to 37 other municipalities. In conversations with American Printing Technologies, Inc., several additional upgrades were discussed that would increase the software's efficiency. There is a one-time programming cost to complete these upgrades.

Recommendation:

The proposal was reviewed for the firm's ability to meet the requirements listed in RFP as well as its experience with other municipal clients. The City reserved the right to select a vendor based upon "its best interest regarding price, efficiency and experience."

Based on a review of the RFP requirements, qualifications, and cost, it is staff's recommendation to select American Printing Technologies, Inc. for vehicle license software and printing, mailing and online services for calendar years 2022 through 2026.

Votes Required to Pass:

Simple majority.

Res.



RESOLUTION

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the City Manager is authorized to execute an agreement with American Printing Technologies, Inc. for vehicle license software and printing, mailing and online service for calendar years 2022 through 2026.

DATED this 1st day of March, 2022.

CITY OF CRYSTAL LAKE, an
Illinois municipal corporation,

By: _____
Haig Haleblian, MAYOR

SEAL

ATTEST

Nick Kachiroubas, CITY CLERK

PASSED: March 1, 2022

APPROVED: March 1, 2022



Agenda Item No: 16

City Council
Agenda Supplement

Meeting Date: March 1, 2022

Item: AT&T Lease Agreement Amendment

Recommendation: Motion to adopt a Resolution authorizing the City Manager to execute the Lease Agreement Amendment between the City of Crystal Lake and AT&T Wireless PCS, LLC for 237 Florence Street.

Staff Contact: Jodie Hartman, Director of Finance

Background:

On January 18, 2000, the City of Crystal Lake approved a lease agreement with AT&T for the installation of cellular antennas on the City's elevated water storage tank located in McCormick Park. The original lease agreement is set to expire April 2025, with the final annual payment due April 2024. Staff has been approached by representatives of AT&T to negotiate an extension through 2050. As a condition of the extension, AT&T is requesting an amendment to the existing lease for the remainder of the term.

Discussion:

The original lease contained provisions for annual rent payments, set to increase by 5% each year until expiration. For the annual payment to be received in April 2023, the current lease payment is expected at \$58,358.95. There are two noteworthy changes to the lease agreement terms proposed by AT&T, both to take effect with the April 2023 payment and effect all future payments through the requested extensions.

1. The amended lease will decrease the annual rent for April 2023 from \$58,359 to \$45,000.
2. The annual lease payments will escalate each year by 3% starting April 2024 compared to the current lease agreement term of 5% each year.

In regards to point #1, AT&T's original request for the 2023 base amount reduction was \$38,685. Upon negotiating with Staff, AT&T has agreed to the higher 2023 base amount of \$45,000. Financially, the lower base and escalator for 2023 and 2024 equates to a loss of about \$28,000 over two years as a combination of the lower annual amounts and the smaller escalator. However, starting in April 2025, the City is slated for collecting an additional twenty-five (25) years of annual payments that are currently not under contract. Without the amendment, AT&T could choose to remove their equipment and locate elsewhere, costing the City over \$1.7 million in lost passive revenue.

AT&T has communicated to staff that the McCormick Park site is on their list of more expensive leases. Going back to the original lease amount of \$19,000 in April 2000, the annual payment has grown to over \$55,000 for April 2022. AT&T representatives have indicated without the amendment changes as written, AT&T would not be inclined to renew the location after expiration, which would then cost the City the loss of the annual rent revenue.

A breakdown of the remainder of the current lease and new extension is as follows:

	CURRENT AGREEMENT	AMENDED AGREEMENT	GAIN / (LOSS)
Apr-22	55,579.95	\$ 55,579.95	\$ -
Apr-23	58,358.95	45,000.00	(13,358.95)
Apr-24	61,276.90	46,350.00	(14,926.90)
Apr-25	-	47,740.50	47,740.50
Apr-26	-	49,172.72	49,172.72
Apr-27	-	50,647.90	50,647.90
Apr-28	-	52,167.34	52,167.34
Apr-29	-	53,732.36	53,732.36
Apr-30	-	55,344.33	55,344.33
Apr-31	-	57,004.66	57,004.66
Apr-32	-	58,714.80	58,714.80
Apr-33	-	60,476.24	60,476.24
Apr-34	-	62,290.53	62,290.53
Apr-35	-	64,159.25	64,159.25
Apr-36	-	66,084.03	66,084.03
Apr-37	-	68,066.55	68,066.55
Apr-38	-	70,108.55	70,108.55
Apr-39	-	72,211.81	72,211.81
Apr-40	-	74,378.16	74,378.16
Apr-41	-	76,609.50	76,609.50
Apr-42	-	78,907.79	78,907.79
Apr-43	-	81,275.02	81,275.02
Apr-44	-	83,713.27	83,713.27
Apr-45	-	86,224.67	86,224.67
Apr-46	-	88,811.41	88,811.41
Apr-47	-	91,475.75	91,475.75
Apr-48	-	94,220.02	94,220.02
Apr-49	-	97,046.62	97,046.62
Payments	\$ 175,215.80	\$ 1,887,513.73	\$ 1,712,297.93

Cellular technology has changed dramatically in the past few decades, compared to when the original terms were negotiated. Several other communities have also renegotiated with AT&T, T-Mobile and Verizon in the past few years. Common escalator percentages in those amended leases are between 2% and 3%. Multiple municipalities also reported a decrease in the annual rent as part of the extension.

The City has ten (10) cell leases currently active. The lease in consideration is the only lease with AT&T. The remainder are with T-Mobile (4), Verizon (4) and Sprint (1). Between these leases, the average annual payment for the current fiscal year is \$46,938, which is in-line with the proposed April 2023 payment amount of \$45,000. While the majority of the existing leases contain 5% annual escalators, the leases all date back to early 2018 and previous. Surveying other communities, it appears the 3% is a common escalator in newer agreements and not an unreasonable request from AT&T going forward.

Legal counsel has reviewed and approved both the First Amendment to Ground Lease Agreement and the Memorandum of Lease. Public Works has also reviewed the documents and has expressed no concerns regarding the equipment's continued presence on the water tower as the only changes to the lease are financial in nature.

Votes Required to Pass:

Simple majority



RESOLUTION

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE that the City Manager is hereby authorized and directed to execute the Ground Lease Agreement Amendment and other required documents between the City of Crystal Lake and AT&T Wireless PCS, LLC for 237 Florence, Crystal Lake, Illinois.

DATED this ___ day of _____, 2022

CITY OF CRYSTAL LAKE, an
Illinois Municipal Corporation,

By: _____
MAYOR

SEAL

ATTEST

CITY CLERK

PASSED:
APPROVED:



Agenda Item No: 17

City Council Agenda Supplement

<u>Meeting Date:</u>	March 1, 2022
<u>Item:</u>	City Code Amendment to permit private irrigation wells where there is no reasonable access to a public water supply
<u>Staff Recommendation:</u>	Motion to amend Section 515-50 (c) of the City Code
<u>Staff Contact:</u>	Michael Magnuson, P.E., Director of Public Works and Engineering

Background:

Section 515-50 (c) of the City Code currently prohibits the installation of new private wells. It is in the interest of public health, and for the protection of shallow aquifers to require new developments to connect to the City's potable water supply. Existing properties that have a private well may be grandfathered in upon annexation, however, should their well fail, they are required to connect to the City's potable water supply. The McHenry County Health Department has jurisdiction over the installation of private water wells. County regulations dictate that a private, non-residential well cannot be installed within 1,000 feet of a reasonably accessible public water supply and a private residential well cannot be installed within 300 feet of a reasonably accessible public water supply.

Most areas of the City have a public water main nearby. However, there are some larger properties that are currently within the City limits that do not have reasonable access to a water main. One such location is the Whispering Hills Nursery located on Illinois Route 31 south of Rakow Road. Whispering Hills Nursery would like to expand their business and install an irrigation well to water their nursery stock. Currently, there is no reasonably accessible water main to their property. The City Code does not provide a mechanism for the City to grant a variance. In these instances, it would be desirable to have a provision in the City Code that would provide the ability to allow installation of a new private water well if a public water supply is not reasonably accessible.

Discussion

The proposed amendment to Section 515-50(c) will allow the Director of Public Works to authorize the construction of a private shallow well for commercial irrigation purposes only, provided that the Director first determines that:

- 1) The well will be constructed to serve a single lot or combination of contiguous lots under a single unified ownership which consists of not less than 15 acres.

- 2) The well will be used solely for the purpose of providing irrigation of such lots or combination of lots.
- 3) The well will not be utilized as a source of potable water.
- 4) No portion of the lot or combination of lots served by the well is located within 350 feet of a reasonably accessible public water supply, as determined by the Director of Public Works.
- 5) The irrigation well shall be abandoned at such time as a public water supply is extended to the property.

Recommendation:

The Public Works Department recommends approval of the proposed Code Amendment. The City's legal counsel has prepared the proposed Ordinance.

Votes Required to Pass:

Simple Majority



ORDINANCE AMENDING SECTION 515-50(C) OF THE CITY CODE RELATING TO THE PROHIBITION OF CONSTRUCTION OF NEW PRIVATE WELLS WITHIN THE CITY OF CRYSTAL LAKE

WHEREAS, the City of Crystal Lake operates a public water supply system which provides water to business and residential customers within the City; and

WHEREAS, Section 515-50(C) of the City Code allows for the repair and maintenance of existing private wells which service properties within the City but prohibits the construction of new private wells within the City; and

WHEREAS, the City recognizes the needs of owners of properties consisting of 15 or more acres to utilize private wells for irrigation purposes, when such properties are located more than 350 feet from a reasonably accessible connection point to a public water supply system; and

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE THAT:

SECTION ONE. Recitals. The foregoing recitals are incorporated as though fully set forth herein.

SECTION TWO. Amendment to Section 515-50(C) of the City Code. Section 515-50(C) of the City Code is hereby amended as follows: [Additions are denoted in **bold** and underlined and deletions are denoted by ~~strikethroughs~~]

C. **Except as provided in this section,** ~~N~~no new private water supplies or private wells shall be constructed within the City. Existing wells may continue to be operated, repaired and maintained pursuant to all applicable regulations. **The Director of Public Works may authorize the construction of a new private shallow irrigation well upon any property located within the City provided that the Director of Public Works first finds that: 1) the well will be constructed to serve a single lot or combination of contiguous lots under a single unified ownership which consists of not less than 15 acres; and 2) the well will be used solely for the purpose of providing irrigation**

of such lots or combination of lots; and 3) the well will not be utilized as a source of potable water; and 4) no portion of the lot or combination of lots served by the well is located within 350 feet of a reasonably accessible public water supply, as determined by the Director of Public Works; and 5) The irrigation well shall be abandoned at such time as a public water supply is extended to the property.

SECTION THREE. Effective Date. This Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form in the manner provided by law.

DATED this 1st day of March, 2022.

APPROVED:

Haig Haleblian, MAYOR

ATTEST:

Nick Kachiroubas, CITY CLERK

PASSED: March 1, 2022

APPROVED: March 1, 2022

Published in pamphlet form by the authority of the Mayor and City Council of the City of Crystal Lake.