

### #2022-101 5050 Rickert Road – Final PUD Amendment Project Review for Planning and Zoning Commission

Meeting Date: June 1, 2022

**Request:** 1. Final Planned Development Amendment to allow a

42,000 square foot building addition.

2. Variation to allow a building addition that is 49 feet in

height from the max height of 45 feet, a variation of 4 feet.

**Location:** 5050 Rickert Road

Acreage: Approximately 11.42 acres

**Existing Zoning:** M PUD – Manufacturing PUD

**Surrounding Properties:** North: M – Manufacturing; and, Metra's Union Pacific

Northwest (UP-NW) Rail Line

South: B-2 PUD – General Commercial PUD

East: Metra's Union Pacific Northwest (UP-NW) Rail

Line

West: B-2 – General Commercial and B-2 PUD General

Commercial PUD

**Staff Contact**: Katie Rivard (815.356.3612)

### **Background:**

- Existing Use: The subject property is the existing General Kinematics.
- <u>UDO Requirements</u>: The maximum height of a principal structure in the Manufacturing zoning district is 45 feet.
- Previous Approvals:
  - o In 2000, General Kinematics was annexed into the City and received a Special Use Permit and PUD approval for the existing facility.
  - o In 2002, a building addition was constructed on the property.
- General Kinematics approached the City of Crystal Lake for an up to a 42,000 square foot building addition due to the high demand of their specialty products.

• The addition is going to house three new crane bays to help expand their current operations.

### **Development Analysis:**

#### General:

- Request: The petitioner is requesting an amendment to an approved Final Planned Unit Development to allow a 42,000 square foot building addition, and a Variation to allow a building addition that is 49 feet in height instead of the maximum 45 feet for principal structures in the Manufacturing zoning district.
- <u>Land Use</u>: The Comprehensive Land Use map shows the area as Industry, which is an appropriate land use designation.
- Zoning: The site is zoned Manufacturing PUD, which permits both light and heavy industrial uses.

### Request Overview:

- The building addition will be located at the rear of the building abutting the Metra Union Pacific Northwest rail line right-of-way to the east, Menard's to the south, and Rickert Road to the north. The addition will not be visible from the public street.
- The building addition meets Unified Development Ordinance's setback requirements.

	Required	Proposed Addition
Front Yard	30 feet	>900 feet
Rear Yard	20 feet	>100 feet
Interior Side Yard	15 feet	>30 feet
Combined Interior Side Yard	30 feet	

- The up to 42,000 square foot building addition will require additional storm water detention onsite. The petitioner will continue to work with City staff for the compliance of the storm water ordinance for the added impervious surface.
- The elevations of the building addition will match the building materials (pre-finished metal wall with a concrete kneewall base) of the existing warehouse portion. The UDO design standards do not apply since the addition is less than 50% of the façade area.

### **Findings of fact:**

#### FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow a 42,000 square foot building addition. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore, more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variation from the UDO:

A) Article 3-200. Manufacturing District Dimensional Standards, to allow a building height of 49 feet instead of the maximum 45 feet.

### **Comprehensive Land Use Plan 2030 Vision Summary Review:**

The Comprehensive Plan designates the subject property as Industry, which permits heavy industrial uses. The following goal is applicable to this request:

### <u>Land Use – Industry</u>

Goal: Support manufacturing uses within the community which contribute to the regional and local economy and Crystal Lake's live, work, play philosophy.

This can be accomplished with the following supporting action:

**Supporting Action:** Expand and attract manufacturing users which provide jobs, services, and products strengthening the City's economy.

### **Recommended Conditions:**

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

- 1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (General Kinematics, date signed 05/10/2022, received 05/10/2022)
  - B. Site Plan (Schmitt Engineering, dated 05/10/2022, received 05/10/2022)
  - C. Floor Plans (Ollmann Ernest Martin Architects and Engineers, received 05/10/2022)
  - D. Building Elevations (Ollmann Ernest Martin Architects and Engineers, received 05/10/2022)
  - E. Turning Templates (Received 05/10/2022)
- 2. Continue to work with City staff to comply with the stormwater ordinance.
- 3. The Petitioner shall address all of the review comments and requirements of the Community Development, Engineering, and Fire Rescue Departments as well as the City's Stormwater Consultant, Christopher B. Burke Engineering.

PIQ Map 5050 Rickert Road



# City of Crystal Lake Development Application

Office Use Only	
File #	

Project Title: CRANE BULLDING	ADDITION DECENVEN
Action Requested	MAY 1 0 2022
Annexation	Preliminary PUD By
Comprehensive Plan Amendment	Preliminary Plat of Subdivision
Conceptual PUD Review	Rezoning
Final PUD	Special Use Permit
** Final PUD Amendment	Variation
Final Plat of Subdivision	Other
Petitioner Information	Owner Information (if different)
Name: GENERAL KINEMATICS CORD.	Name: PAUL MUSSCHOOT
Address: 5050 Rickent Pl.	Address:
Constal Lake, 12 60014	
Phone: 815-455-3222	Phone:
Fax: \$15-455-2285	Fax:
E-mail:	E-mail: p Musschoot @) general konsulaties
Property Information	Com
Project Description: 42,000 Squa	we food addition
Project Address/Location: 5050 Ric	
CRYSTAL LAKE	5,14 60014
PIN Number(s): 19-03-302-	602
Adjourning 19-03-30	1-005-
19-03-302	2-004

Development Team	Please include	e address, phone, fax and e-mail
General Contractor Herron Developer: 847-487-44144	Construction Co. 908 E.	Burnett Road, Island Lake, IL
Architect: OLLMANN &	enden Martin A	1000 615. 544.7790
Attorney: Richard Naug	115 W. Calhoun St.	Al Schmitt 815-790-54
Engineer: Schmitt Engineering	g Waddstock, IL 60098	als@schmiHengineer.com
Landscape Architect:		
Planner:	215 W. Calhoun St.	Al Schnitt 815-790-5493
Surveyor: Schmitt Engineering		als@ Schnittengineer.com
Other:		
Signatures		

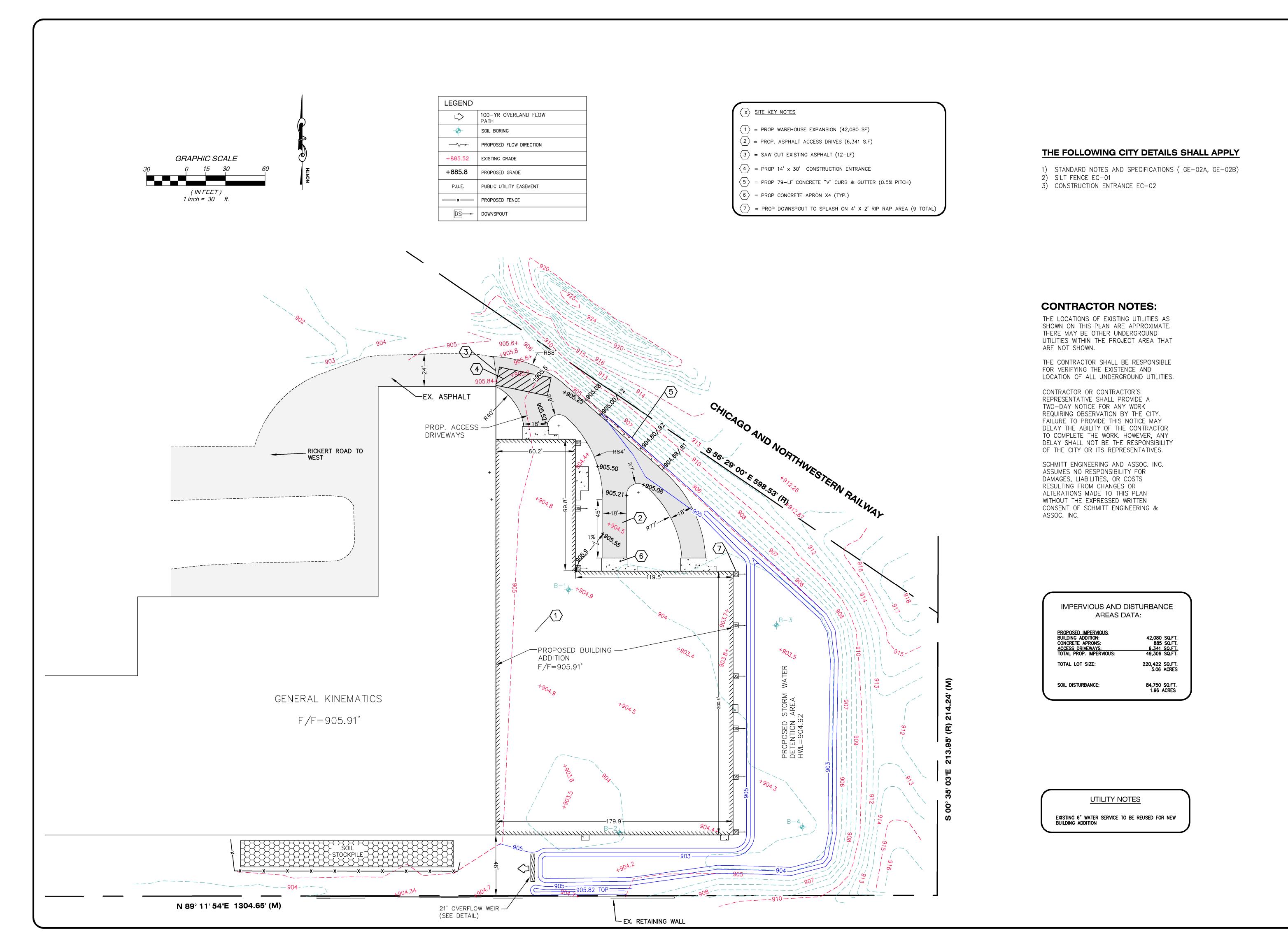
PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

May 10,2022 Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



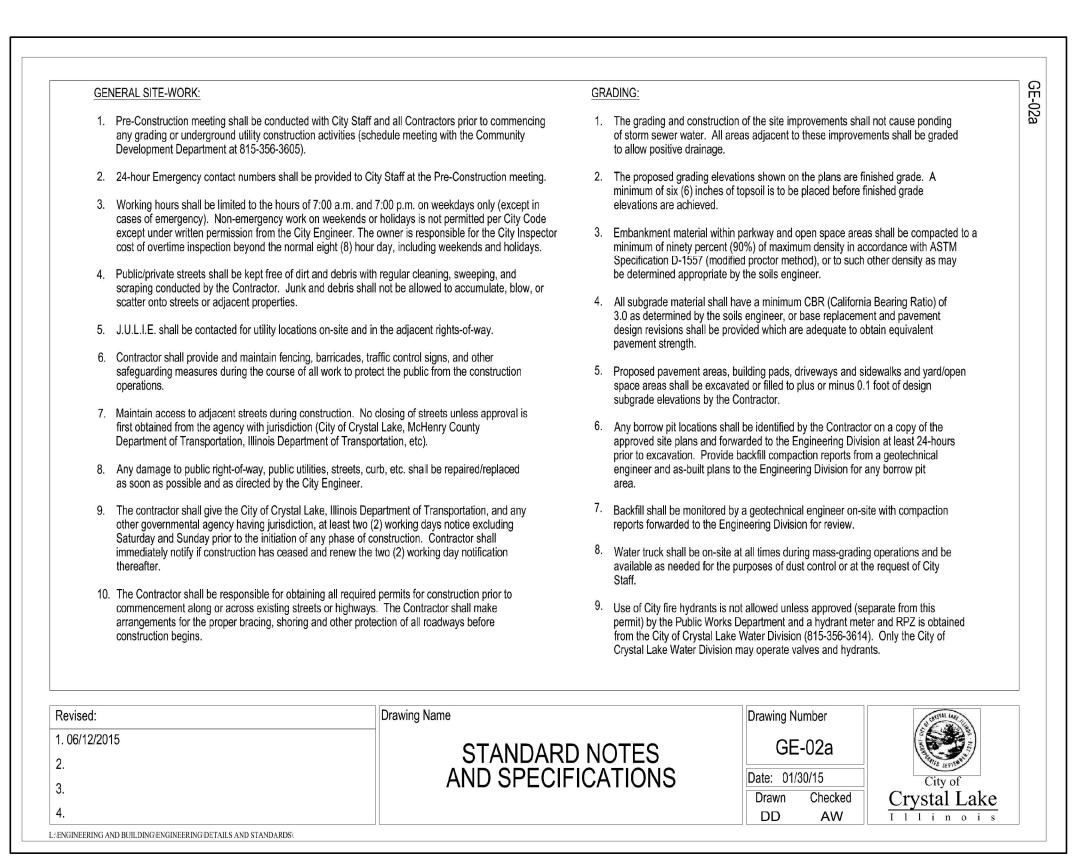
**EXPIRES 11-30-2023** 

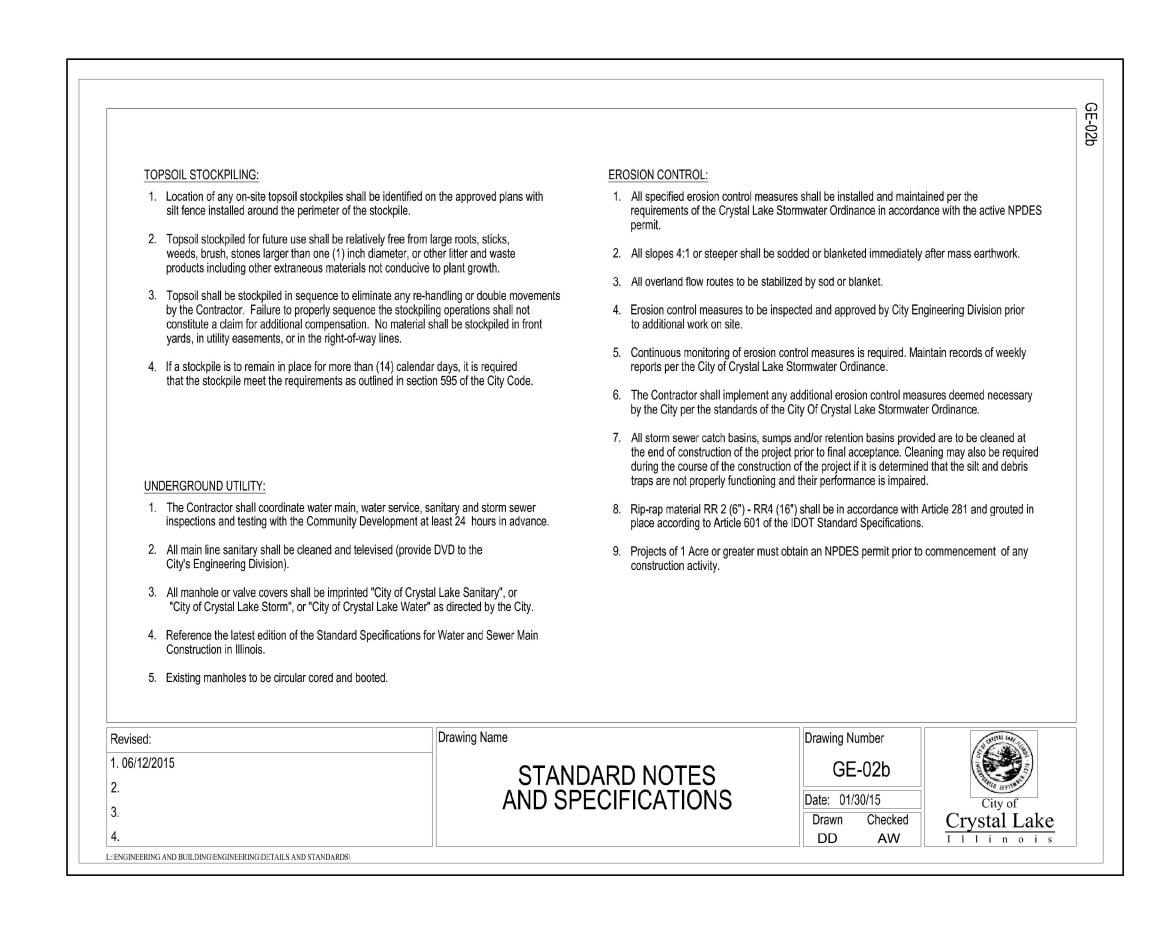
GENERAL KINEMATICS 5050 RICKERT RD. CRYSTAL LAKE IL. 60014 PIN# 19-03-302-002

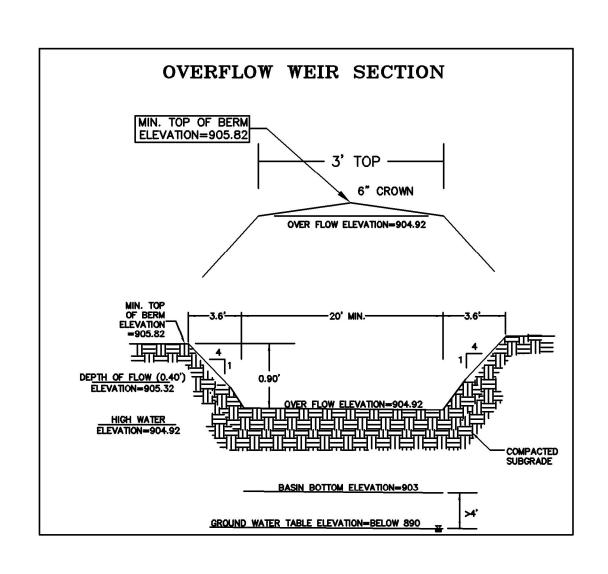
**Drawn By** TJM Checked By AMS **Date** 5/10/22 **Scale** 1"=30' Job Number 220402

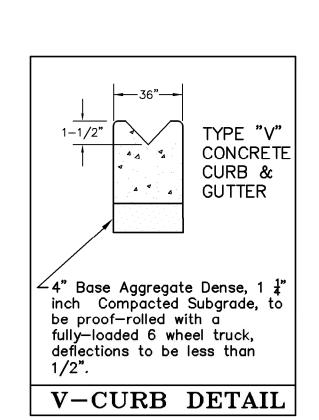
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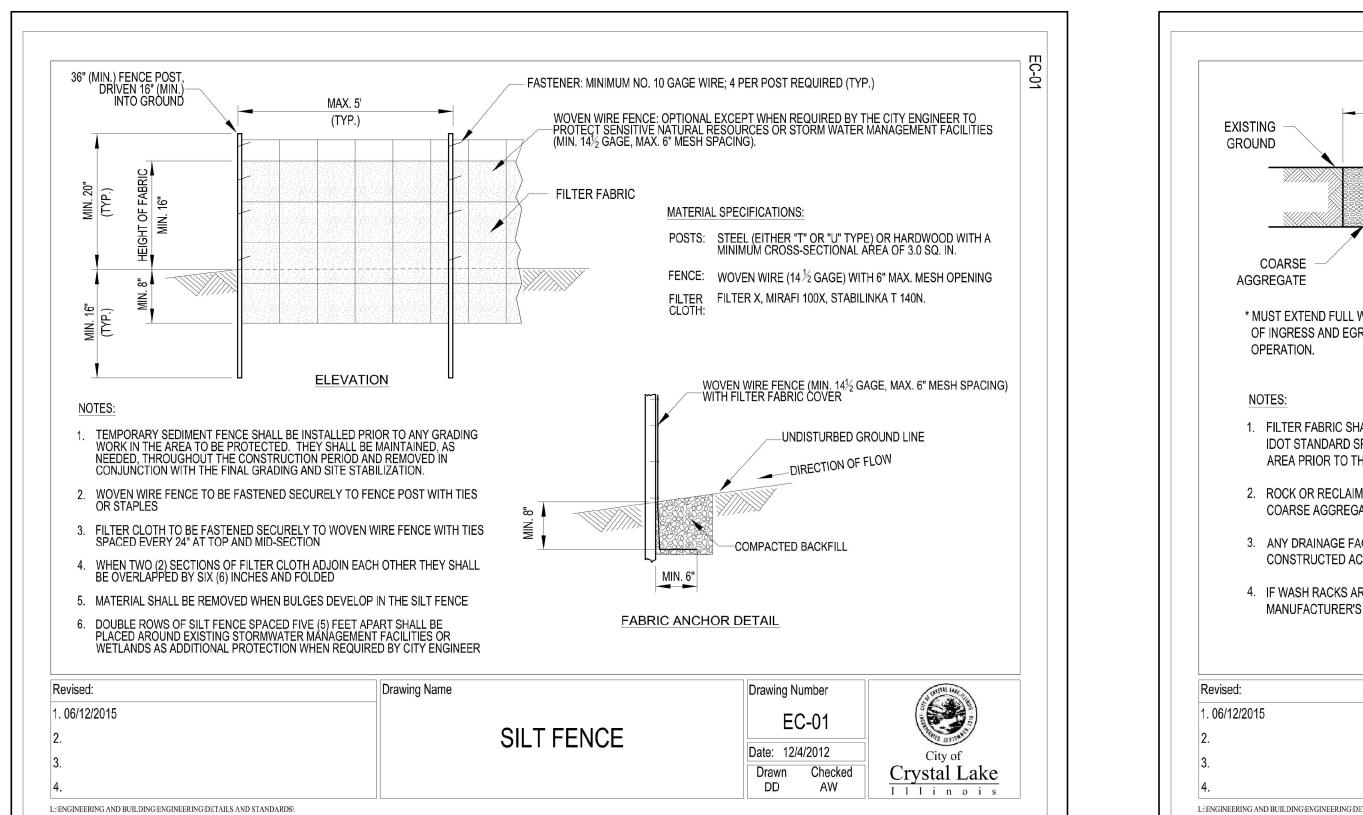


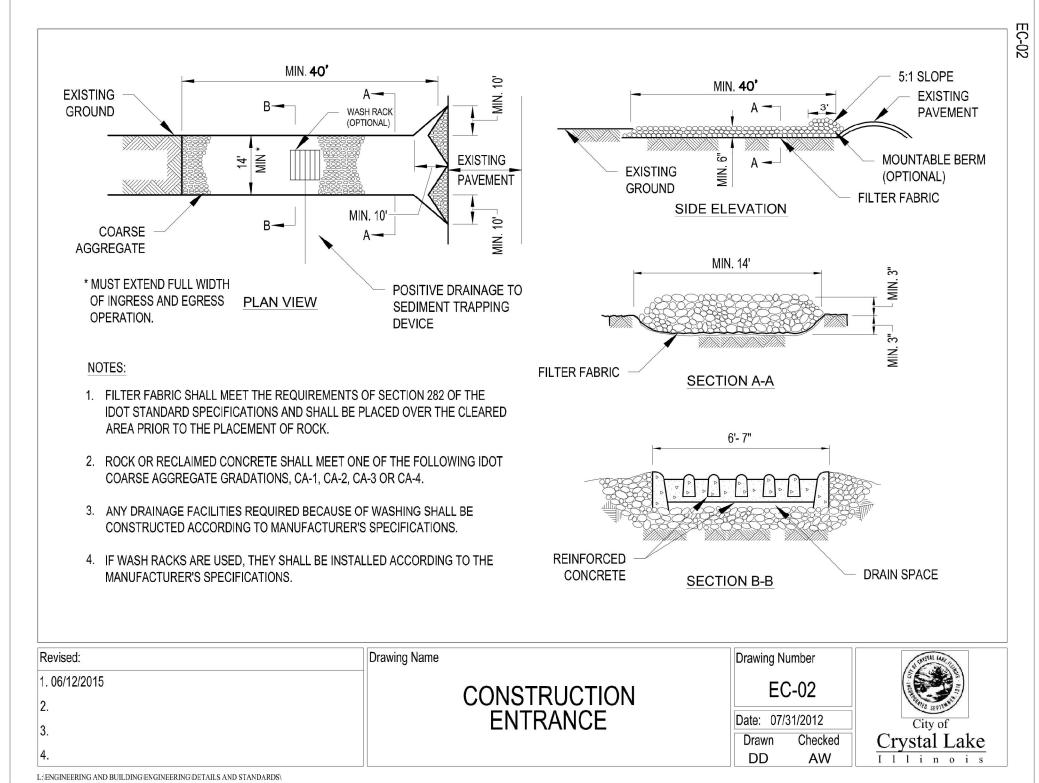


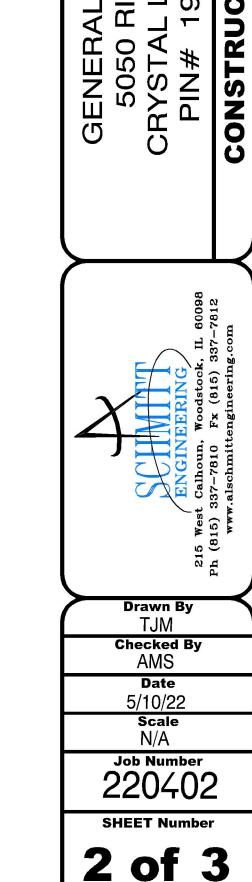
1-1/2" Bituminous HMA Surface
Course, N-70.
Bituminous Materials Sweep & Tack Coat
2-1/2" Bituminous HMA Binder Course N-70.
Bituminous Materials Prime Coat, MC-30
10" Aggregate Base Cse, CA-6 (Grade 9)
Compacted Subgrade, to be proof-rolled with a fully-loaded

ASPHALT DETAIL

6 wheel truck, defelections to be less than 3/4".







**EXPIRES 11-30-2023** 

MEASURE GROUP	CONTROL MEASURE	APPL.	CONTROL MEASURE CHARACTERISTICS X	TEMP.	PRMNNT.
	TEMPORARY SEEDING		PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X	
	PERMANENT SEEDING		PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		Х
VEGETATIVE	DORMANT SEEDING		SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.		
SOIL COVER	SODDING		QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		
	GROUND COVER		PROVIDES GROUND COVER, SHRUBS AND TREES IN ADDITION TO PERMANENT VEGETATION. MAY BE USED AS PART OF A FINAL LANDSCAPE PLAN ALONG WITH SHRUBS AND TREES.		
	MULCHING		ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. CONTROLS UNWANTED VEGETATION AND PRESERVES MOISTURE. PROVIDES COVER WHERE VEGETATION CANNOT BE ESTABLISHED		
NON VEGETATIVE SOIL COVER	AGGREGATE COVER		PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF—SITE.		
	PAVING		PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		Х
Γ	EROSION BLANKET		PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING TIME OF YEAR IS INAPPROPRIATE AND IN SLOPED AREAS.	Х	
	RIDGE DIVERSION		TYPICALLY USED ABOVE SLOPES. USED WHERE AN EXCESS OF SOIL IS AVAILABLE.		
	CHANNEL DIVERSION		TYPICALLY USED AT TOP OR BASE OF SLOPES. USED WHEN EXCESS SOIL IS NOT AVAILABLE.		
DIVERSIONS	COMBINATION DIVERSION		TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.		
	CURB AND GUTTER		SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X
	BENCHES		SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.		
	BARE CHANNEL		PROVIDES MEANS OF CONVEYING RUNOFF TO DESIRED LOCATION. MAY BE USED TO DRAIN DEPRESSIONAL AREAS. ONLY APPLICABLE WHEN VELOCITY OF FLOW IS VERY LOW.		
WATERWAYS	VEGETATIVE CHANNEL		PROVIDES ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.		
	LINED CHANNEL		USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.		
	ROCK CHECKS		PROVIDES AN ENERGY DISSIPATOR ALONG A LENGTHY CHANNEL TO REDUCE VELOCITY OF STORMWATER		
	STORM SEWER		CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		Х
ENCLOSED DRAINAGE	UNDERDRAIN		USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS.		
_	STRAIGHT PIPE SPILLWAY		USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER		
ODULIWAYO	DROP INLET PIPE SPILLWAY		SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		
SPILLWAYS	WEIR SPILLWAY		USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		
	BOX INLET WEIR SPILLWAY		SAME AS WEIR SPILLWAY LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		
	LINED APRON		PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.		
OUTLETS	STONE RIPRAP		USED AS AN ENERGY DISSAPATOR AT OUTLET STRUCTURES TO REDUCE VELOCITIES.		
SEDIMENT	SEDIMENT TRAP		USED WHERE TOPOGRAPHY LENDS ITSELF TO CONSTRUCTING A DAM AND EARTH FILL IS AVAILABLE. USED WHERE THERE IS NOT ENOUGH ROOM FOR A WET OR DRY DETENTION BASIN OR IN A LOCATION WHERE DETENTION IS NOT REQUIRED.		
BASINS -	SEDIMENTATION POND		A WET OR DRY DETENTION BASIN SIZED FOR THE POST DEVELOPMENT 100 YEAR STORM TEMPORARILY MODIFIED TO ENHANCE SEDIMENT REMOVAL DURING CONSTRUCTION.		
	BARRIER FILTER		USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.		
SEDIMENT	VEGETATIVE FILTER		USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.		
FILTERS	FILTER FABRIC		USED FOR FILTERING SEDIMENT WITHIN THE ROADWAY BEFORE ENTERING THE STORM SEWER.		
	INLET PROTECTION		USED FOR FILTERING SEDIMENT WITHIN GRASS AREAS BEFORE WATER ENTERS THE STORM SEWER.	Х	
MUD AND	CONST. ENTRANCE		PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF—SITE. (SEDIMENT ON PUBLIC ROADS IS NOT TO BE FLUSHED OFF WITH WATER).	X	
DUST		+	TO THE THE PROPERTY OF THE PRO		Ь—

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG	SEPT.	ост.	NOV.	DEC.
PERMANENT SEEDING			A,B,C. D			4	*					
SODDING				G**								
TEMPORARY SEEDING			E									
DORMANT SEEDING												

PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STANDARD LAWN MIXTURE A (1) KENTUCKY BLUEGRASS 50 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE AND CREEPING RED FESCUE 20 LBS/ACRE

CONTROL

DUST AND TRAFFIC CONTROL

SALT TOLERANT MIXTURE B (1A) BLUE GRASS 30 LBS/ACRE PERENNIAL RYEGRASS 10 LBS/ACRE

DAWSONS RED FESCUE 10 LBS ACRE SCALDIS HARD FESCUE 10 LBS/ACRE FULTS SALT GRASS 30 LBS/ACRE LOW PROFILE NATIVE GRASS MIXTURE

C ANDROPOGON SCOPARIUS (LITTLE BLUE STEM) 5 LBS/ACRE BOUTELOVA CURTIPENDULA (SIDE OATS GRAMA) 5 LBS/ACRE ELYMUS CANADENENSIS (WILD RYE) 1 LBS/ACRE SPOROBOLUS HETEROLEPSIS (PRAIRIE DROPSEED) 0.5 LBS/ACRE ANNUAL RYE GRASS 25 LBS/ACRE OATS, SPRING 25 LBS/ACRE PERENNAL RYE GRASS 15 LBS/ACRE

WETLAND GRASS AND SEDGE MIXTURE. D (4B) ANNUAL RYE GRASS 25 LBS/ACRE OATS, SPRING 25 LBS/ACRE

CEREAL RYE 90 LBS/ACRE, OR WHEAT 90

LBS/ACRE, OR PERENNIAL RYEGRASS 25 LBS/ACRE

SOD

IRRIGATION NEEDED DURING JUNE AND JULY

IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

IDOT STANDARD

**EROSION CONTROL SPECIFICATIONS & NOTES:** 

This plan has been prepared to comply with the provisions of the NPDES Permit, which is issued by the Illinois Environmental Protection Agency for Stormwater Discharges from Construction Site

### SITE DESCRIPTION

a. The following is a description of the construction activity, which is the subject of this

The proposed development consists of a building addition, driveways to loading docks, and the excavation of an infiltration basin. These construction activities will include: grading, soil erosion and sedimentation control measures.

b. The following is a description of the intended sequence of major activities, which will disturb soils for major portions of the construction site such as site clearing, excavation and grading.

The sequence of the construction activities may be as follows:

1. Install silt (barrier filter) fence and stabilized construction entrance

2. Site clearing 3. Mass grading

4. Storm sewer, sanitary sewer and watermain construction

5. Fine grade swales and place seed disturbed areas 6. Remove sediment from siltation fences and traps as necessary

7. Stabilize erosion areas with seeding & silt fence as necessary

The soil erosion and sedimentation control items will be constructed as needed during the above construction activities.

c. The site contains approximately 5.1 acres. 1.96 acres of this site will be disturbed by construction activities.

d. The existing site is comprised of a commercial building, grass landscaping around said building, an asphalt drive, asphalt parking lots, a grass field, a gravel drive, and trees. e. This property is within the Fox River Watershed.

# CONTRACTOR CERTIFICATION STATEMENT

"I certify under the penalty of law that I understand this storm water pollution prevention plan and the terms of the National Pollutant Discharge Elimination System (NPDES) permit (ILR10) that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification"

	Date	
	Signature	
	T*11 -	
	Title	
	Name of Firm	
	Mains of Fill	
<u> </u>	Address	·
City	State	Zip Code
City	Sidle	Zip Code
	Phone Number	

# OWNER CERTIFICATION STATEMENT

"I certify under the penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person of persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Date
Clanabus
Signature
Title
nue
Name of Firm
Name of Firm
Address
Address
City State Zip Code
State Zip code
Phone Number
I none ranibei

### 2. CONTROLS

This plan addresses the various controls that will be implemented for each of the major construction activities described in 1b above. For each measure discussed, the contractors will be responsible for its implementation as indicated. The general contractor has signed the required certification on forms, which are attached to, and are a part of, this plan.

# a) Erosion and Sediment Controls

### I. STABILIZATION PRACTICES

Provided below is a description of interim and permanent stabilization practices, including site-specific scheduling of the implementation of the practices. Site plans will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Except as provided in 2.a (i) (A) and 2.b. stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 10 days after the construction activity in that portions of the site where construction activity will not occur for a period of 21 or more calendar days.

A. Where the initiation of stabilization measures by the 10th day after construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall be initiated as soon as practicable thereafter.

The following interim and permanent stabilization practices, as a minimum will be implemented to stabilize the disturbed area of the site:

### 1. Permanent seeding

2. Temporary seeding, mulch, erosion mat, etc

B. Erosion control structures must be inspected weekly and after every rainstorm of one-half inch of rainfall or greater. Any repairs or replacements needed to ensure adequate erosion control must be made immediately. Items D-I will be repeated for each

Construction shall be scheduled in the following order:

1. Install construction access entrances and silt fencing as located on plan

2. Grade Site 3. Seed topsoil stockpiles

4. Rough grade roadways

5. Rough grade building pads and yards 6. Final grade areas that will not be disturbed by building construction. These areas will then be covered with topsoil, seeded and stabilized with excelsior blanket where directed on erosion control plan sheet

7. Temporary seed any areas that cannot be permanently seeded, including building pads that will not commence foundation construction for more than 21 days. 8. Install storm sewers including filter fabric between frame and grate, and riprap at the

downstream end of flared end sections 9. Building construction

10. Finalize roadway grading 11. Finalize grading around buildings, re-spread topsoil, spread seed, and put excelsion blanket down.

12. Proof roll road sub-base 13. Construct gravel road sub-base and base surface course

14. Place topsoil in all disturbed areas along the right-of-way and seed

on public roads from the site shall not be flushed off with water.

Any situation of conduits, structures, or ditches shall be cleaned and maintained by the Contractor on a weekly basis, until the seeding has taken hold. All washouts, gullies, etc. will be re-graded and reseeded by the contractor, at the Contractor's expense. Sediment

The Contractor's responsibility for erosion control shall extend throughout the construction process. The Contractor shall be responsible for cleanup of paved surfaces within and adjacent to the project.

All erosion control practices shall be in compliance with the latest revision of the "Standard Specifications for Road and Bridge Construction", by the Illinois Department of Transportation and with the Illinois Environmental Protection Agency's "Illinois Urban Manual".

# II. STRUCTURAL PRACTICES.

Provided below is a description of structural practices that will be implemented, to the dearee attainable, to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed area of the site. The installation of these devices may be subject to Section 404 of the Clean Water Act.

1. Storm sewer system

2. Inlet protection using filter fabric3. Silt filter fence

# b. Stormwater Management

I. Provided below is a description of measures that will be installed during the construction process to control pollutants in stormwater discharges that will occur after construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.

The practices selected for implantation were determined on the basis of the technical guidance contained in IEPA's Standard Specifications for Soil Erosion and Sedimentation Control, and other ordinances listed in the Specifications. The stormwater pollutant control measures shall include:

1. Silt filter fence

2. Storm sewers 3. Inlet protection

II. Velocity dissipation devices will be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydro period and hydrodynamics present prior to the initiation of construction activities).

Stormwater Management Control includes:

1. Vegetative channels

2. Outlet protection using riprap 3. Inlet protection using filter fabric

4. Sediment basin

# c. Other Controls

I. Waste Disposal. The solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed off-site by the contractor. The contractor is responsible to acquire any permit required for such disposal. Burning on the site will not be permitted. No solid materials, including building Materials, shall be discharged into Waters of the State, except as authorized by a Section 404 permit.

II. The provision of this plan shall ensure and demonstrate compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.

# d. Approved State or Local Plans

The management practices, controls and other provisions contained in this plan are at least as protective as the requirements contained in the Illinois Environmental Protection Agency's Illinois Urban Manual, use latest version. Requirements specified in sediment and erosion control site plans or site permits or stormwater management or surface water resources are, upon submittal of an NOI to be authorized to discharge under this permit, incorporated by reference and are enforceable under this permit even if they are not specifically included in

### 3. MAINTENANCE

The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan and Standard Specifications.

Vegetative or erosion control measures: The vegetative growth or temporary and permanent seeding, sodding, vegetative channels, vegetative filter, etc. shall be maintained periodically and supply adequate watering. The vegetative cover shall be reseeded as necessary.

Sedimentation basins/traps: The sediments shall be removed when the sediment occupies 40-50 percent of the total original capacity. In no case shall the sediment be built up to within 1 foot of the crest elevation. At this stage, the basin shall be cleaned out to restore its original volume. Sediment Basins shall be removed at end of construction; at the time the final surface course has been placed.

Silt filter fence: The damaged silt filter fence shall be restored to meet the Original Design Standards. Removed and replaced as needed.

Straw bale barrier filters: The straw bale barrier filter shall be inspected frequently and shall be repaired or removed and replaced as needed.

Riprap outlet protection: It shall be inspected after high flows for any scour beneath the riprap or for stones that have been dislodged. It shall be repaired immediately.

Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized, structural control measures, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of a storm that is 0.50 inches or greater or equivalent snowfall.

- a. Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.
- b. Based on the results of the inspection, the description of potential pollutant sources identified in accordance with the Site Description of this permit and pollution prevention measures identified in the plan shall be revised as appropriate as soon as practicable after such inspection. Such modifications shall provide for timely implementation of any change to the plan within 7 calendar days following the inspection.
- c. A report summarizing the scope of the inspection, the name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the storm water pollution prevention plan, and actions taken in accordance with paragraph b above shall be made and retained as part of the storm water pollution prevention plan for at lease 3 years after the date of inspection. The report shall be signed in accordance with Signatory Requirements of this permit.
- d. The permitee shall complete and submit within 5 days an "Incidence of noncompliance" (ION) report for any violation of the storm water pollution prevention plan observed during an inspection conducted, including those not required by the Plan. Submission shall be on forms provided by the Agency and include specific information of the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environment impact, which may have resulted from the noncompliance.
- e. All reports of noncompliance shall be signed by a responsible authority as defined in General Permit ILR10, Part VI, G (Signatory Requirements).
- f. All reports of noncompliance shall be mailed to the Agency at the following address:

Illinois Environmental Protection Agency Division of Water Pollution Control **Compliance Assurance Section** 1021 North Grand East

PO Box 19276 Springfield, IL 62794-9276

# 5. NON-STORMWATER DISCHARGES

Except for flows from fire fighting activities, sources of non-stormwater that may be combined with stormwater discharges associated with the construction activity address in this plan are

Watering for dust control b. Irrigation drainage for vegetative growth for seeding, etc.

The pollution prevention measures, as described below, will be implemented for non-stormwater components of the discharge.

The erosion due to irrigation of seeding shall be considered minor.

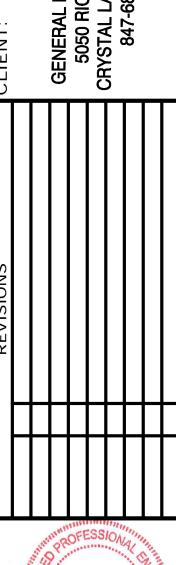
Contractor to provide the above non-stormwater discharges control to the standard specification required by the Village or the approved equal.

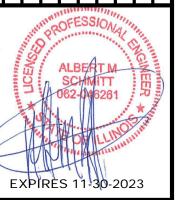
# c. End of construction season/winter construction:

The grading contractor shall submit to the inspecting engineer, between September 1 and September 15, a 8 1/2" x 11" (or 11" x 17") reduced size grading sheet (unmarked sheet to be provided by the design engineer) marked to show areas to be disturbed and stabilized through the remainder of the year. This will include proposed schedule dates for grading activities and for placement of topsoil, seed, and excelsior blanket. The contractor shall not propose to disturb new greas that cannot be reasonably expected to be stabilized before the end of the year. This plan shall be updated and resubmitted the first week of each month as long as grading continues up to and including February. Each update will account for weather conditions, work completed, and available manpower.

In general, unless altered by unseasonably warm or cold conditions, no seeding shall be placed between October 15 and November 15. Dormant seeding shall be placed on any un-stabilized areas remaining after November 15 (where active grading has ceased). Dormant seeding shall be of the appropriate mixture for temporary or permanent seeding, but shall be placed at 150% of the normal rate. Dormant seeding shall also be covered with excelsior mat (where specified on the erosion control sheet) or with straw mulch at a rate of 2 ton/acre. If straw is placed, it shall be crimped into the soil by running over it with a tractor/bulldozer or similar tracked machine. All unfinished areas should be so stabilized before the first measurable and lasting snowfall. Any areas not stabilized shall be stabilized as soon as the snow melts.

Underground utility work may continue at the contractor's discretion. After November 15, once a portion of a trench is backfilled, it shall immediately be treated with dormant seeding as described above. Any grading that continues past December 15 shall be phased to minimize the amount of area being actively disturbed. Ongoing grading and stockpiles shall be surrounded with silt fence on the downhill edge and along curbs until grass is established



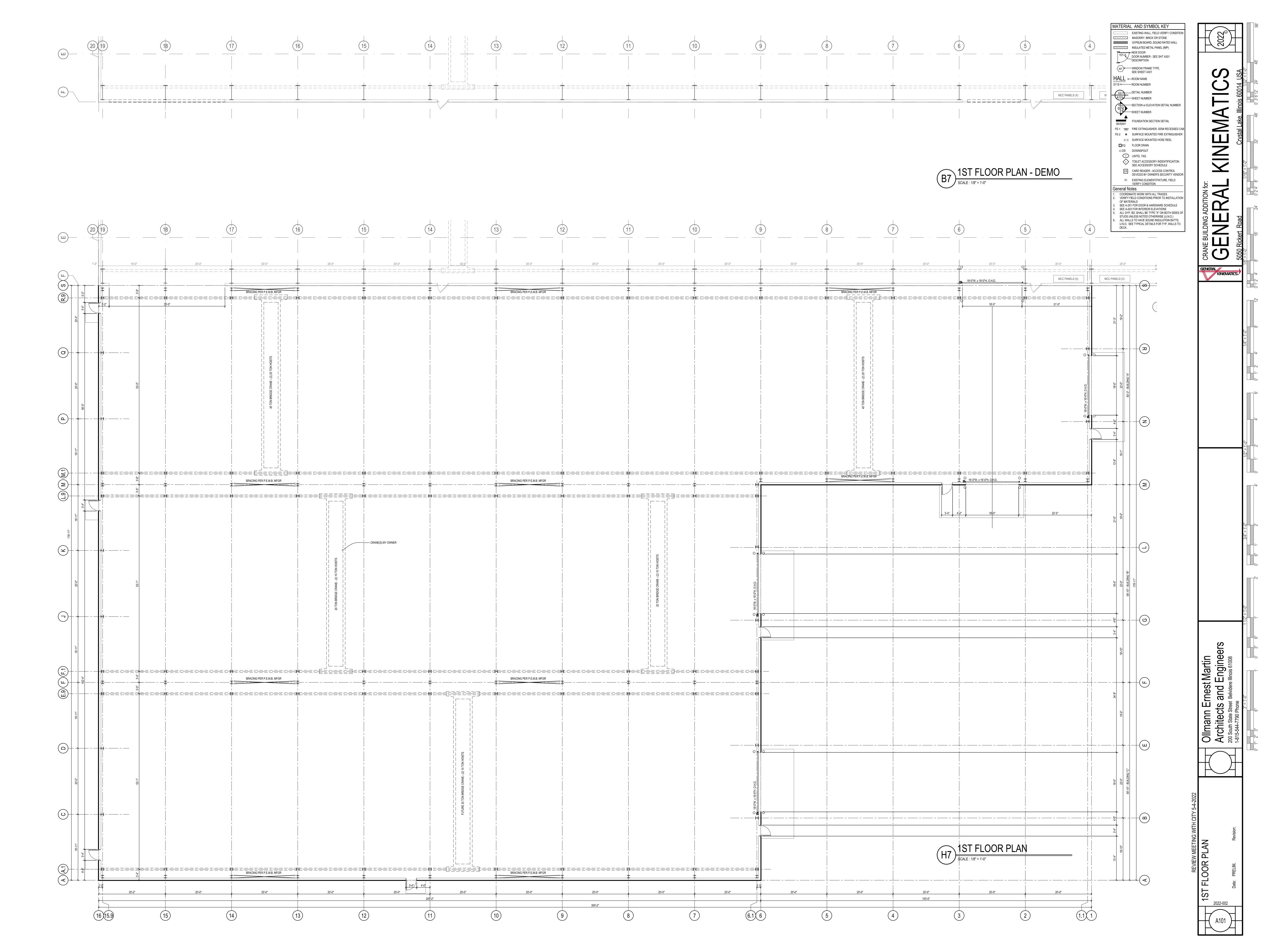


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Checked By AMS 5/10/22

SHEET Number

Of



OVERALL 1ST FLOOR PLAN

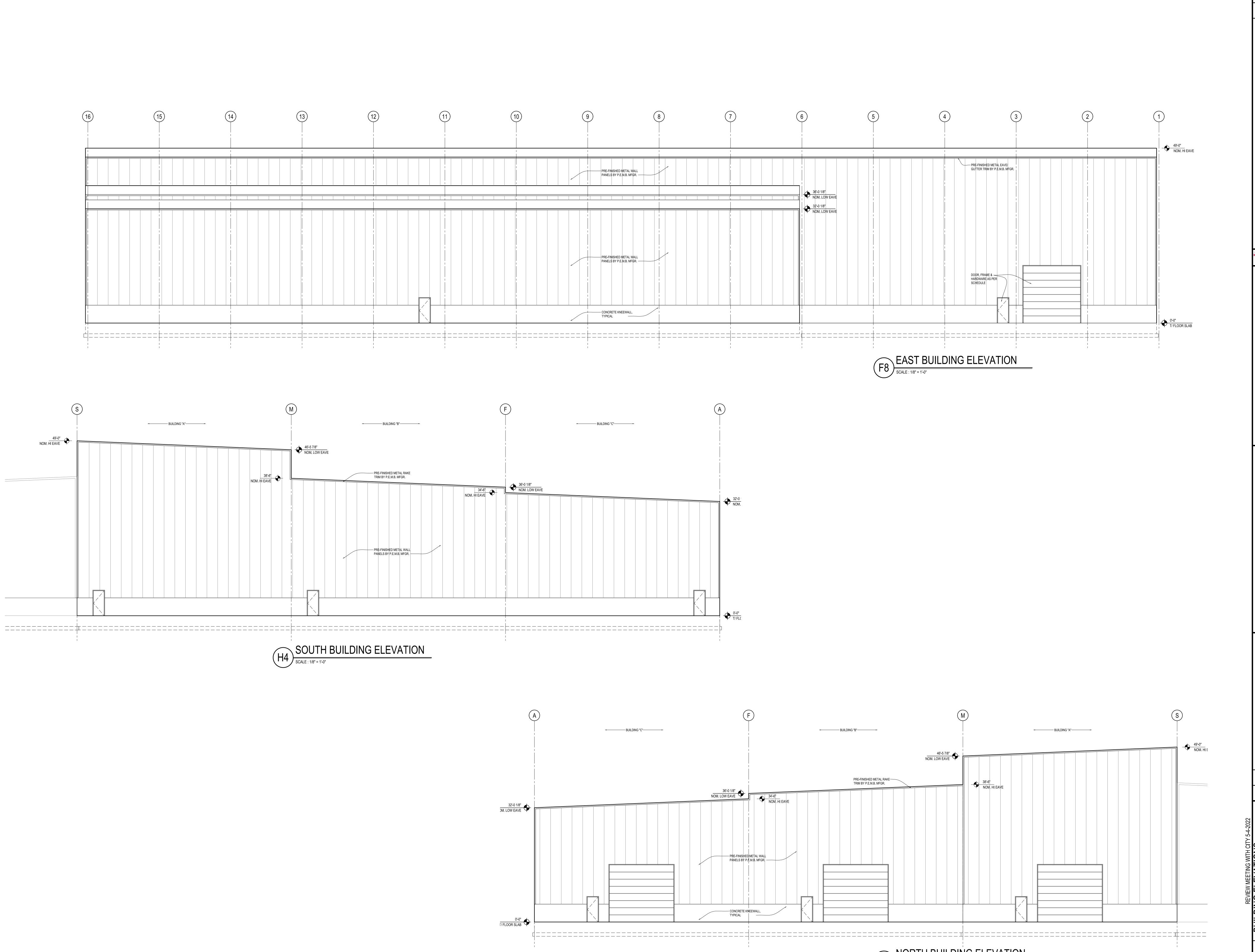
SCALE: 1/32" = 1'-0"

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1-815-544-7790 Phone

REVIEW MEETING WITH CITY 5-4-2022

OVERALL PROJECT PLAN

OVERALL PROJECT PLAN



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