



#2022-101
5050 Rickert Road – Final PUD Amendment
Project Review for Planning and Zoning Commission

| | |
|---------------------------------------|---|
| <u>Meeting Date:</u> | June 1, 2022 |
| <u>Request:</u> | 1. Final Planned Development Amendment to allow a 42,000 square foot building addition. 2. Variation to allow a building addition that is 49 feet in height from the max height of 45 feet, a variation of 4 feet. |
| <u>Location:</u> | 5050 Rickert Road |
| <u>Acreage:</u> | Approximately 11.42 acres |
| <u>Existing Zoning:</u> | M PUD – Manufacturing PUD |
| <u>Surrounding Properties:</u> | North: M – Manufacturing; and, Metra’s Union Pacific Northwest (UP-NW) Rail Line South: B-2 PUD – General Commercial PUD East: Metra’s Union Pacific Northwest (UP-NW) Rail Line West: B-2 – General Commercial and B-2 PUD General Commercial PUD |
| <u>Staff Contact:</u> | Katie Rivard (815.356.3612) |

Background:

- **Existing Use:** The subject property is the existing General Kinematics.
- **UDO Requirements:** The maximum height of a principal structure in the Manufacturing zoning district is 45 feet.
- **Previous Approvals:**
 - In 2000, General Kinematics was annexed into the City and received a Special Use Permit and PUD approval for the existing facility.
 - In 2002, a building addition was constructed on the property.
- General Kinematics approached the City of Crystal Lake for an up to a 42,000 square foot building addition due to the high demand of their specialty products.

- The addition is going to house three new crane bays to help expand their current operations.

Development Analysis:

General:

- Request: The petitioner is requesting an amendment to an approved Final Planned Unit Development to allow a 42,000 square foot building addition, and a Variation to allow a building addition that is 49 feet in height instead of the maximum 45 feet for principal structures in the Manufacturing zoning district.
- Land Use: The Comprehensive Land Use map shows the area as Industry, which is an appropriate land use designation.
- Zoning: The site is zoned Manufacturing PUD, which permits both light and heavy industrial uses.

Request Overview:

- The building addition will be located at the rear of the building abutting the Metra Union Pacific Northwest rail line right-of-way to the east, Menard's to the south, and Rickert Road to the north. The addition will not be visible from the public street.
- The building addition meets Unified Development Ordinance's setback requirements.

| | Required | Proposed Addition |
|-----------------------------|----------|-------------------|
| Front Yard | 30 feet | >900 feet |
| Rear Yard | 20 feet | >100 feet |
| Interior Side Yard | 15 feet | >30 feet |
| Combined Interior Side Yard | 30 feet | |

- The up to 42,000 square foot building addition will require additional storm water detention onsite. The petitioner will continue to work with City staff for the compliance of the storm water ordinance for the added impervious surface.
- The elevations of the building addition will match the building materials (pre-finished metal wall with a concrete kneewall base) of the existing warehouse portion. The UDO design standards do not apply since the addition is less than 50% of the façade area.

Findings of fact:

FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow a 42,000 square foot building addition. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore, more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variation from the UDO:

- A) Article 3-200. Manufacturing District Dimensional Standards, to allow a building height of 49 feet instead of the maximum 45 feet.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Industry, which permits heavy industrial uses. The following goal is applicable to this request:

Land Use – Industry

Goal: Support manufacturing uses within the community which contribute to the regional and local economy and Crystal Lake’s live, work, play philosophy.

This can be accomplished with the following supporting action:

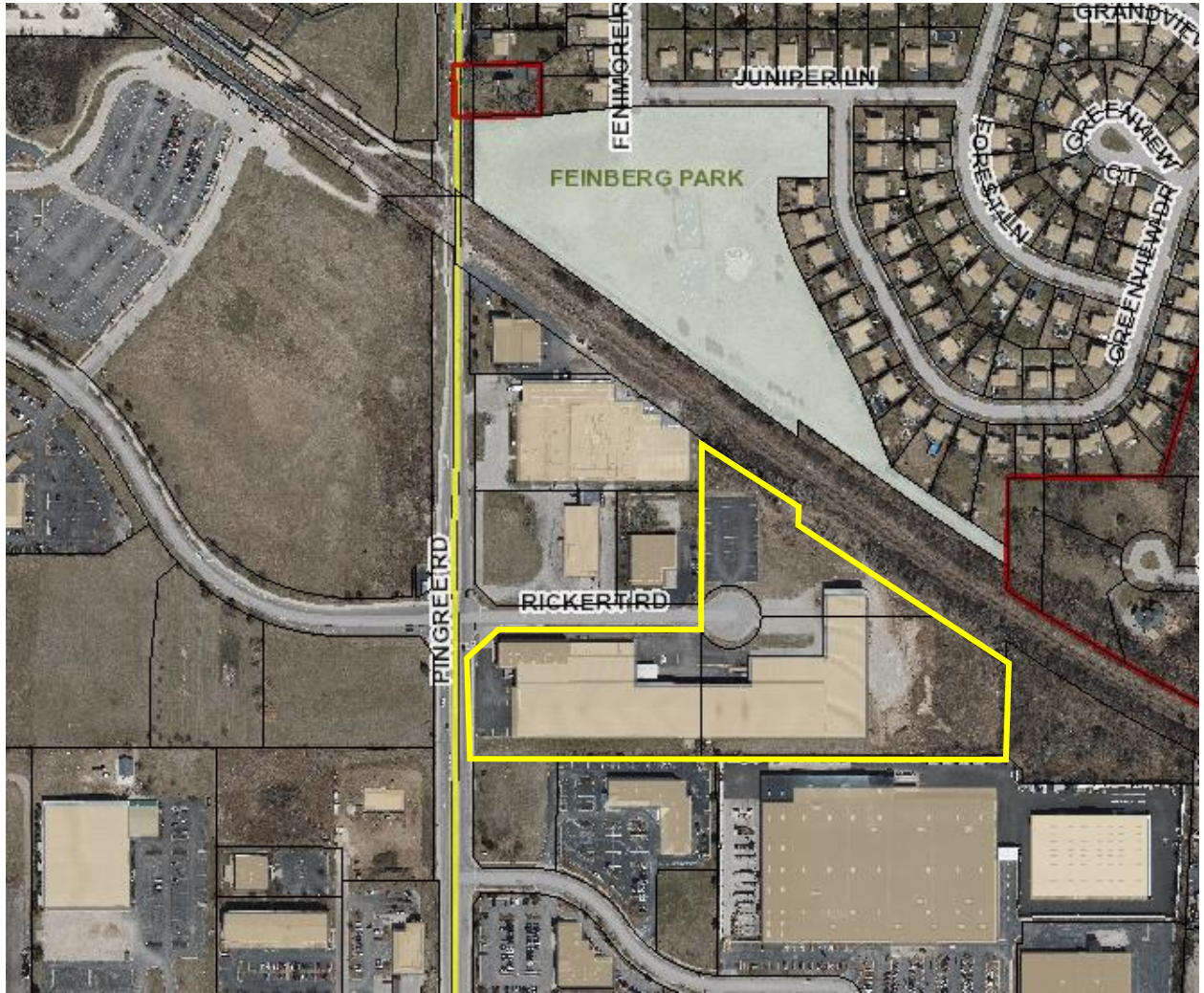
Supporting Action: Expand and attract manufacturing users which provide jobs, services, and products strengthening the City’s economy.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (General Kinematics, date signed 05/10/2022, received 05/10/2022)
 - B. Site Plan (Schmitt Engineering, dated 05/10/2022, received 05/10/2022)
 - C. Floor Plans (Ollmann Ernest Martin Architects and Engineers, received 05/10/2022)
 - D. Building Elevations (Ollmann Ernest Martin Architects and Engineers, received 05/10/2022)
 - E. Turning Templates (Received 05/10/2022)
2. Continue to work with City staff to comply with the stormwater ordinance.
3. The Petitioner shall address all of the review comments and requirements of the Community Development, Engineering, and Fire Rescue Departments as well as the City's Stormwater Consultant, Christopher B. Burke Engineering.

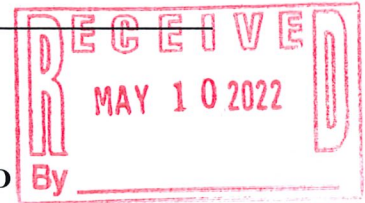
PIQ Map
5050 Rickert Road



City of Crystal Lake Development Application

Office Use Only
File # _____

Project Title: CRANE BUILDING ADDITION



Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input checked="" type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: GENERAL KINEMATICS CORP.
Address: 5050 RICKERT RD.
CRYSTAL LAKE, IL 60014
Phone: 815-455-3222
Fax: 815-455-2285
E-mail: _____

Owner Information (if different)

Name: PAUL MUSSCHOOT
Address: _____
Phone: _____
Fax: _____
E-mail: pmusschoot@generalkinematics.com

Property Information

Project Description: 92,000 square foot addition

Project Address/Location: 5050 RICKERT RD.
CRYSTAL LAKE, IL 60014

PIN Number(s): 19-03-302-002
Adjoining 19-03-301-005-
19-03-302-004

Development Team

Please include address, phone, fax and e-mail

General Contractor Herron Construction Co. 908 E. Burnett Road, Island Lake, IL
Developer: 847-481-4444 / cell 847-878-7163

Architect: OLLMANN ERNEST MARTIN ARCHITECTS dheedleinc@aarch.com
200 S. MAIN STREET, PELVICORE, IL 61008 815. 544. 7790

Attorney: Richard Naughton
215 W. Calhoun St. Al Schmitt 815-790-5493

Engineer: Schmitt Engineering Woodstock, IL 60098 als@schmittengineer.com

Landscape Architect: _____

Planner: _____
215 W. Calhoun St. Al Schmitt 815-790-5493

Surveyor: Schmitt Engineering Woodstock, IL 60098 als@schmittengineer.com

Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

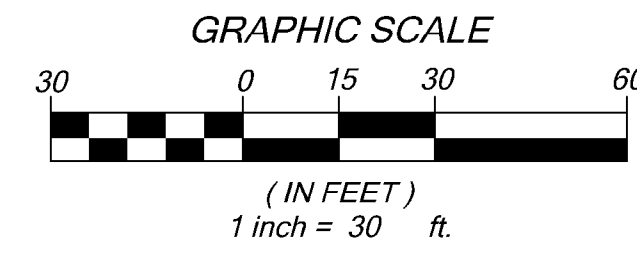
Paul Musselwhite

May 10, 2022

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



| LEGEND | |
|--------|--------------------------------|
| | 100-YR OVERLAND FLOW PATH |
| | SOIL BORING |
| | PROPOSED FLOW DIRECTION |
| | +885.52 EXISTING GRADE |
| | +885.8 PROPOSED GRADE |
| | P.U.E. PUBLIC UTILITY EASEMENT |
| | PROPOSED FENCE |
| | DOWNSPOUT |

- (X) SITE KEY NOTES**
- 1 = PROP WAREHOUSE EXPANSION (42,080 SF)
 - 2 = PROP. ASPHALT ACCESS DRIVES (6,341 S.F)
 - 3 = SAW CUT EXISTING ASPHALT (12-LF)
 - 4 = PROP 14' x 30' CONSTRUCTION ENTRANCE
 - 5 = PROP 79-LF CONCRETE "V" CURB & GUTTER (0.5% PITCH)
 - 6 = PROP CONCRETE APRON X4 (TYP.)
 - 7 = PROP DOWNSPOUT TO SPLASH ON 4' X 2' RIP RAP AREA (9 TOTAL)

THE FOLLOWING CITY DETAILS SHALL APPLY

- 1) STANDARD NOTES AND SPECIFICATIONS (GE-02A, GE-02B)
- 2) SILT FENCE EC-01
- 3) CONSTRUCTION ENTRANCE EC-02

CONTRACTOR NOTES:

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL PROVIDE A TWO-DAY NOTICE FOR ANY WORK REQUIRING OBSERVATION BY THE CITY. FAILURE TO PROVIDE THIS NOTICE MAY DELAY THE ABILITY OF THE CONTRACTOR TO COMPLETE THE WORK. HOWEVER, ANY DELAY SHALL NOT BE THE RESPONSIBILITY OF THE CITY OR ITS REPRESENTATIVES.

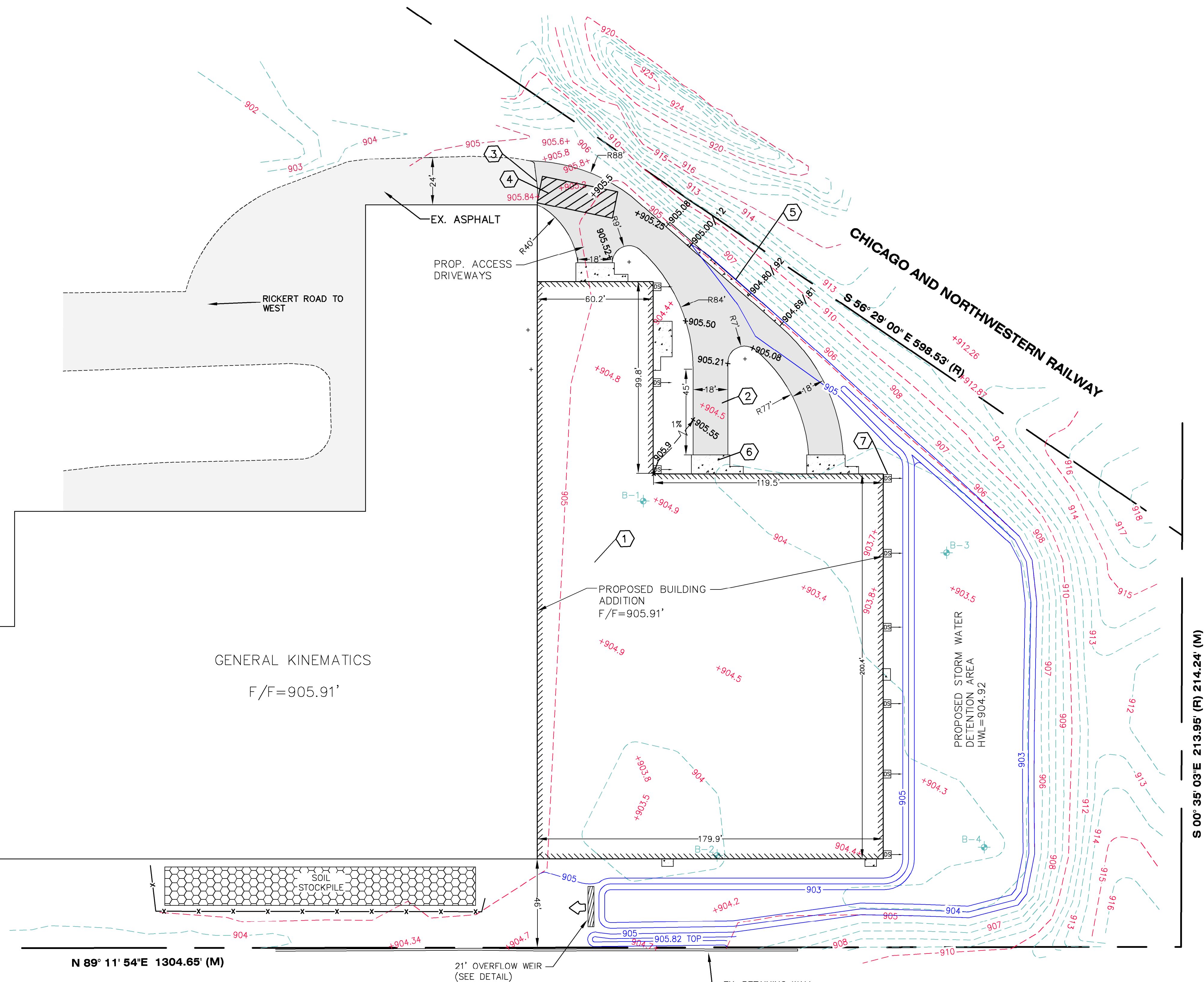
SCHMITT ENGINEERING AND ASSOC. INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITIES, OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF SCHMITT ENGINEERING & ASSOC. INC.

IMPERVIOUS AND DISTURBANCE AREAS DATA:

| | |
|--------------------------------|-----------------------|
| PROPOSED IMPERVIOUS | |
| BUILDING ADDITION: | 42,080 SQ.FT. |
| CONCRETE APRONS: | 885 SQ.FT. |
| ACCESS DRIVEWAYS: | 6,341 SQ.FT. |
| TOTAL PROP. IMPERVIOUS: | 49,306 SQ.FT. |
| TOTAL LOT SIZE: | 220,422 SQ.FT. |
| | 5.06 ACRES |
| SOIL DISTURBANCE: | 84,750 SQ.FT. |
| | 1.96 ACRES |

UTILITY NOTES

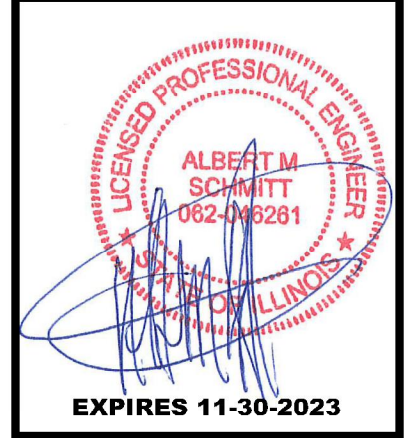
EXISTING 6" WATER SERVICE TO BE REUSED FOR NEW BUILDING ADDITION



CLIENT:
 GENERAL KINEMATICS
 5050 RICKERT RD.
 CRYSTAL LAKE, IL 60014
 847-682-5627
 pmusschoot@GeneralKinematics.com

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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GENERAL KINEMATICS
 5050 RICKERT RD.
 CRYSTAL LAKE IL. 60014
 PIN # 19-03-302-002
SITE PLAN



| |
|-------------------------------|
| Drawn By TJM |
| Checked By AMS |
| Date 5/10/22 |
| Scale 1" = 30' |
| Job Number 220402 |
| SHEET Number 1 of 3 |

GENERAL SITE-WORK:

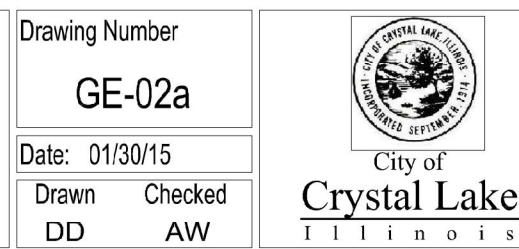
1. Pre-Construction meeting shall be conducted with City Staff and all Contractors prior to commencing any grading or underground utility construction activities (schedule meeting with the Community Development Department at 815-336-3605).
2. 24-hour Emergency contact numbers shall be provided to City Staff at the Pre-Construction meeting.
3. Working hours shall be limited to the hours of 7:00 a.m. and 7:00 p.m. on weekdays only (except in cases of emergency). Non-emergency work on weekends or holidays is not permitted per City Code except under written permission from the City Engineer. The owner is responsible for the City Inspector cost of overtime inspection beyond the normal eight (8) hour day, including weekends and holidays.
4. Public/private streets shall be kept free of dirt and debris with regular cleaning, sweeping, and scraping conducted by the Contractor. Junk and debris shall not be allowed to accumulate, blow, or scatter onto streets or adjacent properties.
5. J.U.L.I.E. shall be contacted for utility locations on-site and in the adjacent rights-of-way.
6. Contractor shall provide and maintain fencing, barricades, traffic control signs, and other safeguarding measures during the course of all work to protect the public from the construction operations.
7. Maintain access to adjacent streets during construction. No closing of streets unless approval is first obtained from the agency with jurisdiction (City of Crystal Lake, McHenry County Department of Transportation, Illinois Department of Transportation, etc).
8. Any damage to public right-of-way, public utilities, streets, curb, etc. shall be repaired/replaced as soon as possible and as directed by the City Engineer.
9. The contractor shall give the City of Crystal Lake, Illinois Department of Transportation, and any other governmental agency having jurisdiction, at least two (2) working days notice excluding Saturday and Sunday prior to the initiation of any phase of construction. Contractor shall immediately notify if construction has ceased and renew the two (2) working day notification thereafter.
10. The Contractor shall be responsible for obtaining all required permits for construction prior to commencement along or across existing streets or highways. The Contractor shall make arrangements for the proper bracing, shoring and other protection of all roadways before construction begins.

GRADING:

1. The grading and construction of the site improvements shall not cause ponding of storm sewer water. All areas adjacent to these improvements shall be graded to allow positive drainage.
2. The proposed grading elevations shown on the plans are finished grade. A minimum of six (6) inches of topsoil to be placed before finished grade elevations are achieved.
3. Embankment material within parkway and open space areas shall be compacted to a minimum of ninety percent (90%) of maximum density in accordance with ASTM Specification D-1557 (modified proctor method), or to such other density as may be determined appropriate by the soils engineer.
4. All subgrade material shall have a minimum CBR (California Bearing Ratio) of 3.0 as determined by the soils engineer, or base replacement and pavement design revisions shall be provided which are adequate to obtain equivalent pavement strength.
5. Proposed pavement areas, building pads, driveways and sidewalks and yard/open space areas shall be excavated or filled to plus or minus 0.1 foot of design subgrade elevations by the Contractor.
6. Any borrow pit locations shall be identified by the Contractor on a copy of the approved site plans and forwarded to the Engineering Division at least 24-hours prior to excavation. Provide backfill compaction reports from a geotechnical engineer and as-built plans to the Engineering Division for any borrow pit area.
7. Backfill shall be monitored by a geotechnical engineer on-site with compaction reports forwarded to the Engineering Division for review.
8. Water truck shall be on-site at all times during mass-grading operations and be available as needed for the purposes of dust control or at the request of City Staff.
9. Use of City fire hydrants is not allowed unless approved (separate from this permit) by the Public Works Department and a hydrant meter and RPZ is obtained from the City of Crystal Lake Water Division (815-356-3614). Only the City of Crystal Lake Water Division may operate valves and hydrants.

| | |
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| Revised: | Drawing Name |
| 1. 06/12/2015 | STANDARD NOTES AND SPECIFICATIONS |
| 2. | |
| 3. | |
| 4. | |

| | |
|----------------|----------|
| Drawing Number | GE-02a |
| Date: | 01/30/15 |
| Drawn | DD |
| Checked | AW |



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TOPSOIL STOCKPILING:

1. Location of any on-site topsoil stockpiles shall be identified on the approved plans with silt fence installed around the perimeter of the stockpile.
2. Topsoil stockpiled for future use shall be relatively free from large roots, sticks, weeds, brush, stones larger than one (1) inch diameter, or other litter and waste products including other extraneous materials not conducive to plant growth.
3. Topsoil shall be stockpiled in sequence to eliminate any re-handling or double movements by the Contractor. Failure to properly sequence the stockpiling operations shall not constitute a claim for additional compensation. No material shall be stockpiled in front yards, in utility easements, or in the right-of-way lines.
4. If a stockpile is to remain in place for more than (14) calendar days, it is required that the stockpile meet the requirements as outlined in section 595 of the City Code.

EROSION CONTROL:

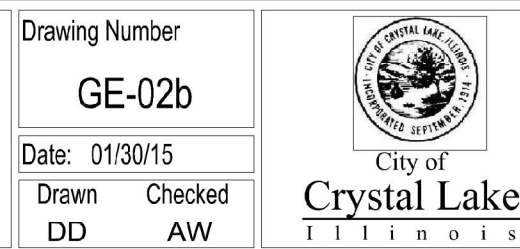
1. All specified erosion control measures shall be installed and maintained per the requirements of the Crystal Lake Stormwater Ordinance in accordance with the active NPDES permit.
2. All slopes 4:1 or steeper shall be sodded or blanketed immediately after mass earthwork.
3. All overland flow routes to be stabilized by sod or blanket.
4. Erosion control measures to be inspected and approved by City Engineering Division prior to additional work on site.
5. Continuous monitoring of erosion control measures is required. Maintain records of weekly reports per the City of Crystal Lake Stormwater Ordinance.
6. The Contractor shall implement any additional erosion control measures deemed necessary by the City per the standards of the City Of Crystal Lake Stormwater Ordinance.
7. All storm sewer catch basins, sumps and/or retention basins provided are to be cleaned at the end of construction of the project prior to final acceptance. Cleaning may also be required during the course of the construction of the project if it is determined that the silt and debris traps are not properly functioning and their performance is impaired.
8. Rip-rap material RR 2 (6") - RR4 (16") shall be in accordance with Article 281 and grouted in place according to Article 601 of the IDOT Standard Specifications.
9. Projects of 1 Acre or greater must obtain an NPDES permit prior to commencement of any construction activity.

UNDERGROUND UTILITY:

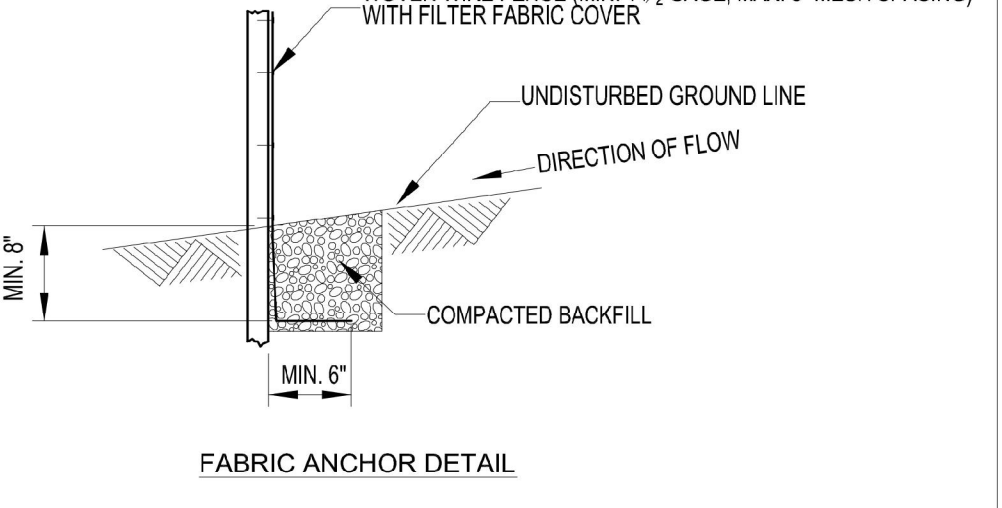
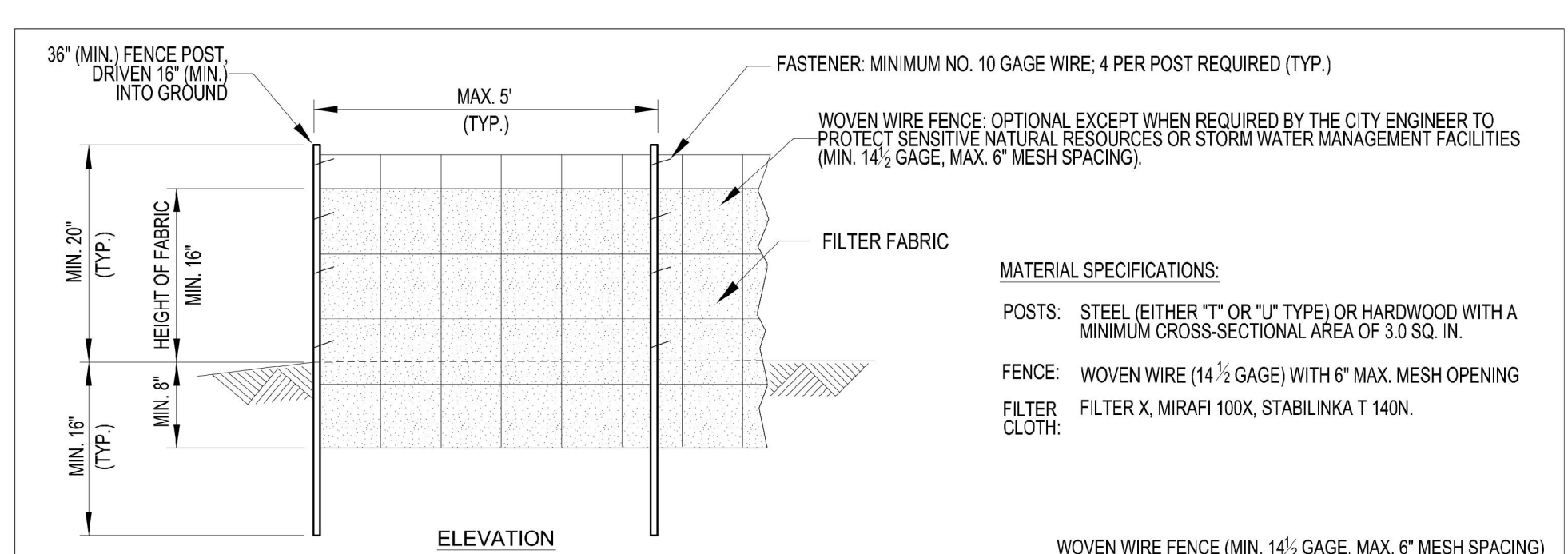
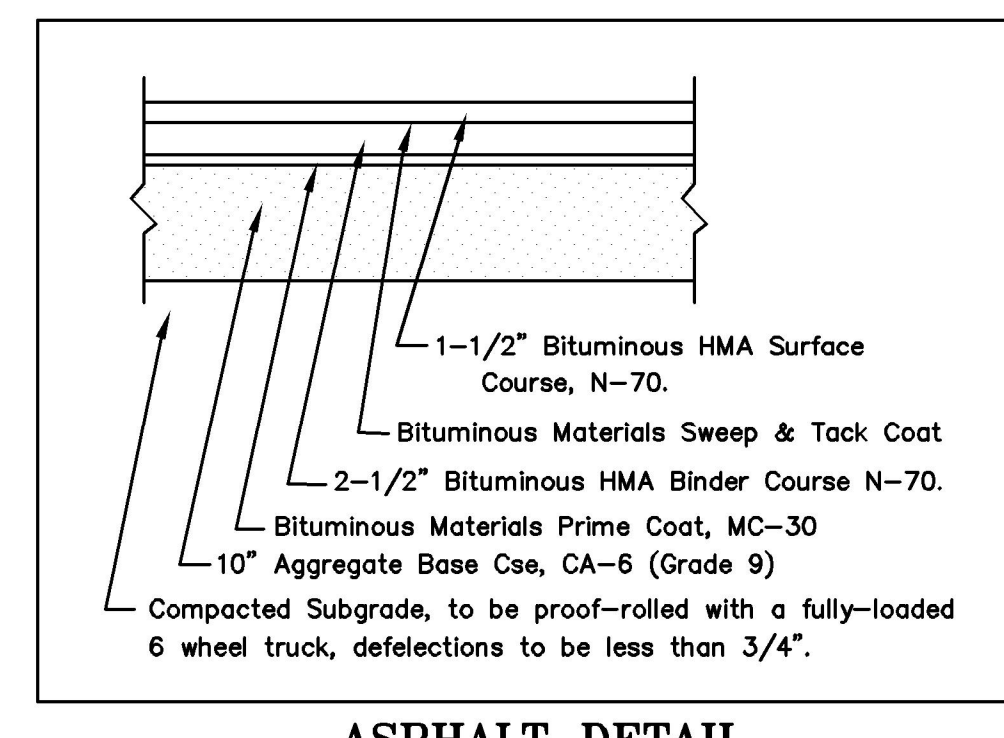
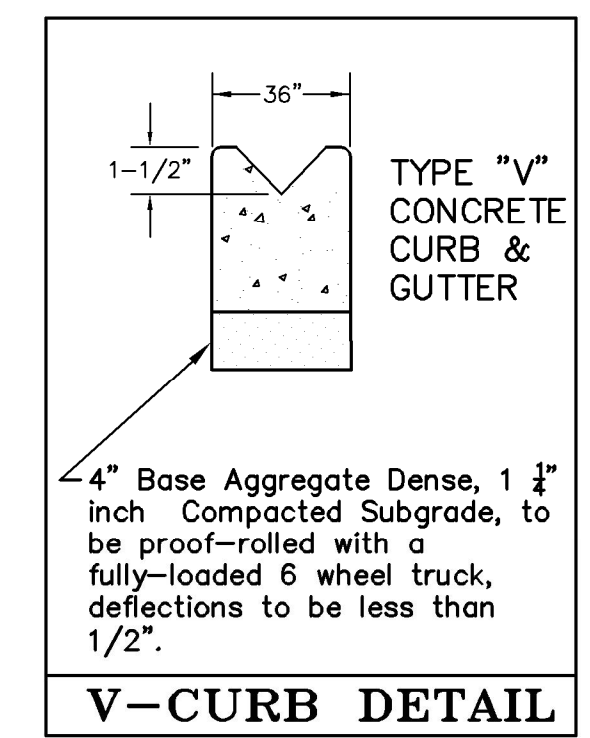
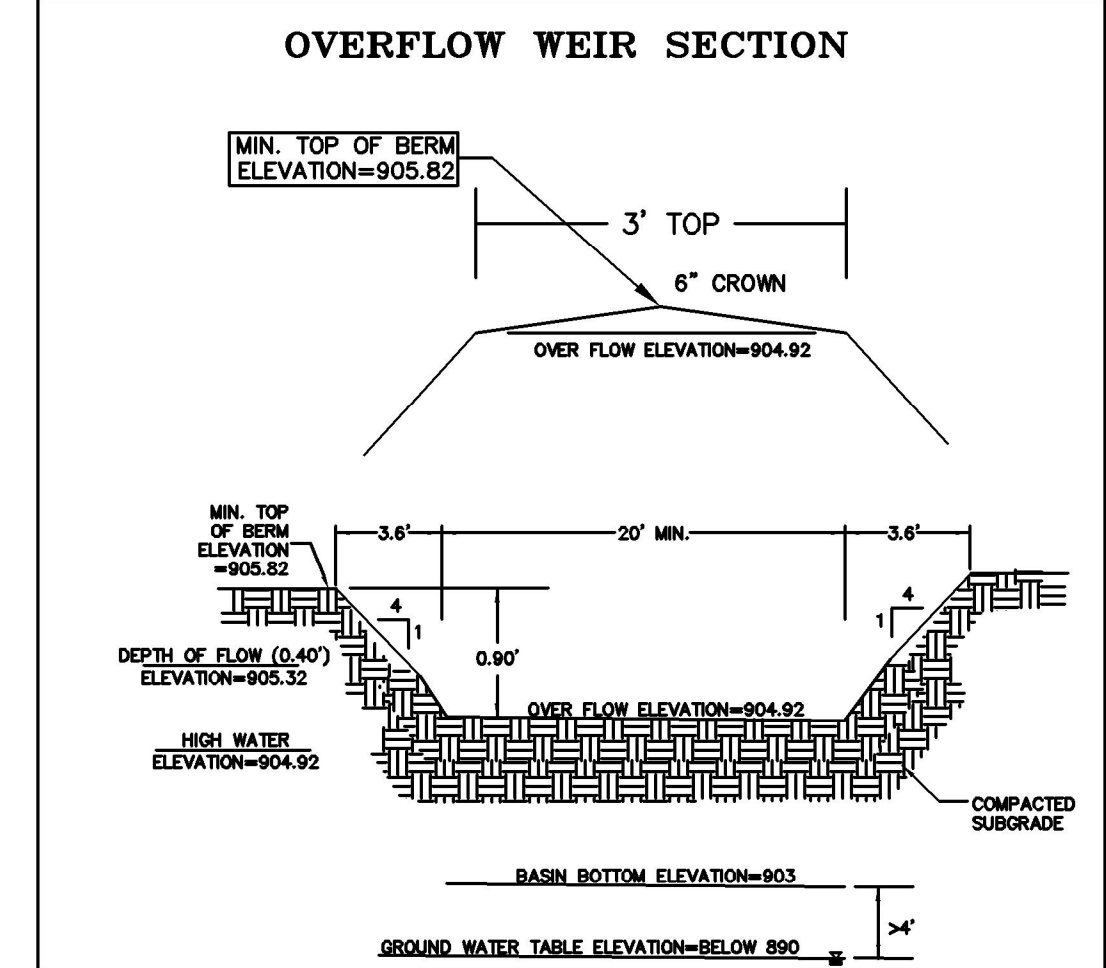
1. The Contractor shall coordinate water main, water service, sanitary and storm sewer inspections and testing with the Community Development at least 24 hours in advance.
2. All main line sanitary shall be cleaned and televised (provide DVD to the City's Engineering Division).
3. All manhole or valve covers shall be imprinted "City of Crystal Lake Sanitary", or "City of Crystal Lake Storm", or "City of Crystal Lake Water" as directed by the City.
4. Reference the latest edition of the Standard Specifications for Water and Sewer Main Construction in Illinois.
5. Existing manholes to be circular cored and booted.

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| Revised: | Drawing Name |
| 1. 06/12/2015 | STANDARD NOTES AND SPECIFICATIONS |
| 2. | |
| 3. | |
| 4. | |

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| Drawing Number | GE-02b |
| Date: | 01/30/15 |
| Drawn | DD |
| Checked | AW |



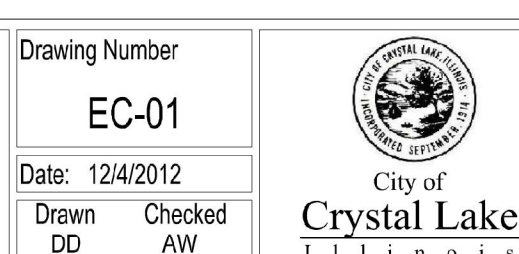
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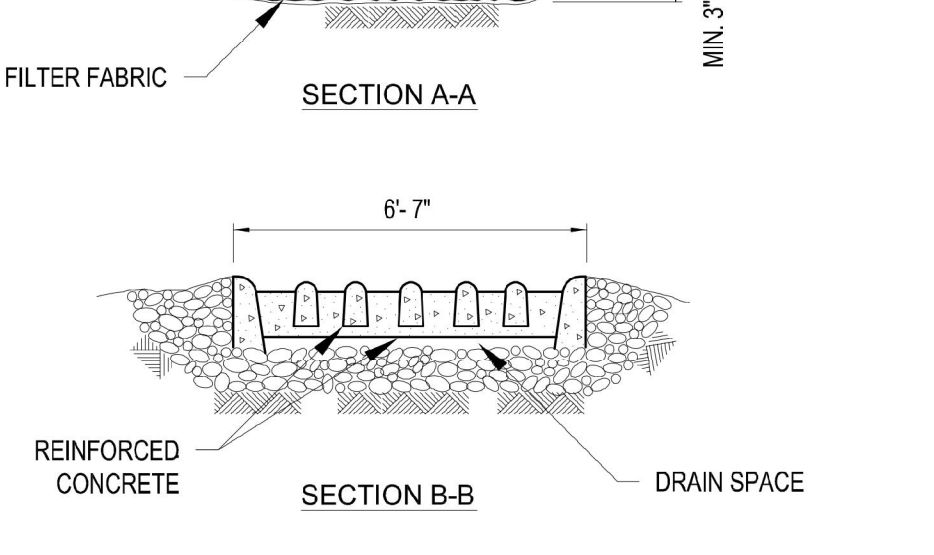
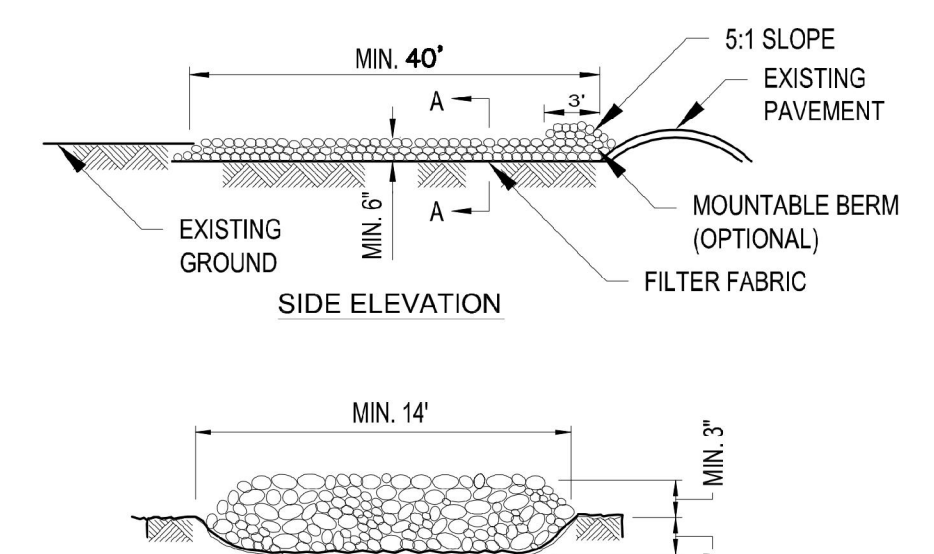
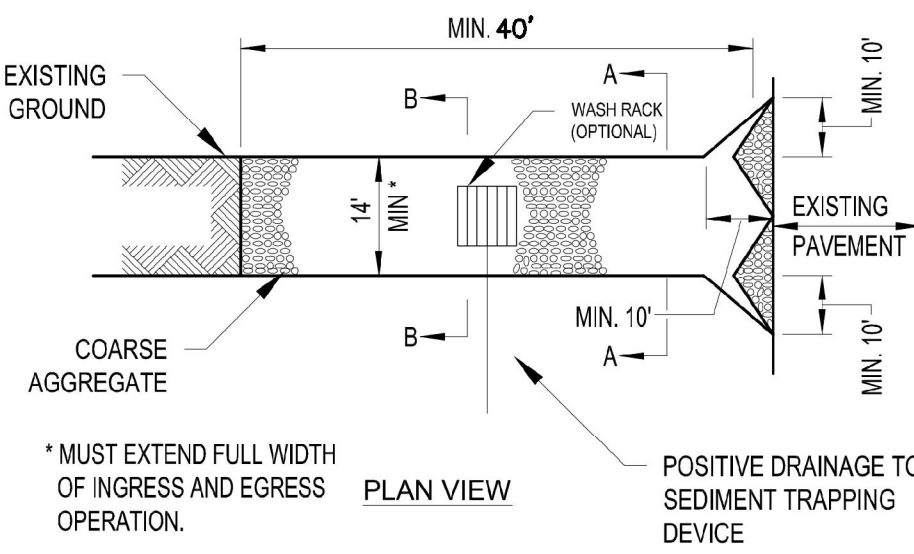
- NOTES:**
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED, AS NEEDED, THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES.
 3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
 4. WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
 5. MATERIAL SHALL BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 6. DOUBLE ROWS OF SILT FENCE SPACED FIVE (5) FEET APART SHALL BE PLACED AROUND EXISTING STORMWATER MANAGEMENT FACILITIES OR WETLANDS AS ADDITIONAL PROTECTION WHEN REQUIRED BY CITY ENGINEER.

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| Revised: | Drawing Name |
| 1. 06/12/2015 | SILT FENCE |
| 2. | |
| 3. | |
| 4. | |

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|----------------|-----------|
| Drawing Number | EC-01 |
| Date: | 12/4/2012 |
| Drawn | DD |
| Checked | AW |



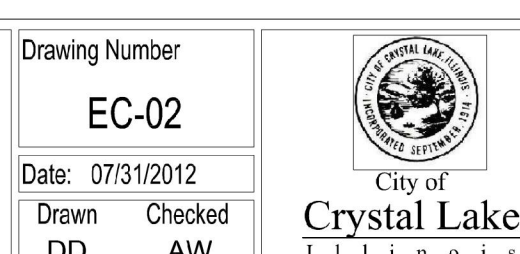
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- NOTES:**
1. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF SECTION 282 OF THE IDOT STANDARD SPECIFICATIONS AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO THE PLACEMENT OF ROCK.
 2. ROCK OR RECLAIMED CONCRETE SHALL MEET ONE OF THE FOLLOWING IDOT COARSE AGGREGATE GRADATIONS, CA-1, CA-2, CA-3 OR CA-4.
 3. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 4. IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

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|---------------|------------------------------|
| Revised: | Drawing Name |
| 1. 06/12/2015 | CONSTRUCTION ENTRANCE |
| 2. | |
| 3. | |
| 4. | |

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|----------------|------------|
| Drawing Number | EC-02 |
| Date: | 07/31/2012 |
| Drawn | DD |
| Checked | AW |



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CLIENT:
GENERAL KINEMATICS
5050 RICKERT RD.
CRYSTAL LAKE, IL 60014
847-682-5627
pmissuschool@GeneralKinematics.com

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| REVISIONS | |
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EXPIRES 11-30-2023

GENERAL KINEMATICS
5050 RICKERT RD.
CRYSTAL LAKE IL. 60014
PIN# 19-03-302-002
CONSTRUCTION DETAILS

SCHMITZ ENGINEERING
215 West Calhoun, Woodstock, IL 60098
Ph (815) 387-7810 Fx (815) 387-7812
www.schmitzengineering.com

| | |
|--------------|---------|
| Drawn By | TJM |
| Checked By | AMS |
| Date | 5/10/22 |
| Scale | N/A |
| Job Number | 220402 |
| SHEET Number | 2 of 3 |



B7 1ST FLOOR PLAN - DEMO
SCALE: 1/8" = 1'-0"

H7 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

| MATERIAL AND SYMBOL KEY | |
|-------------------------|--|
| [Symbol] | EXISTING WALL, FIELD VERIFY CONDITION |
| [Symbol] | MASONRY BRICK OR STONE |
| [Symbol] | CYRUS BOARD, SOUND RATED WALL |
| [Symbol] | INSULATED METAL PANEL (IMP) |
| [Symbol] | NEW DOOR |
| [Symbol] | DOOR NUMBER - SEE SHT A01 DESCRIPTION |
| [Symbol] | WINDOW FRAME TYPE - SEE SHT A01 |
| [Symbol] | ROOM NAME |
| [Symbol] | ROOM NUMBER |
| [Symbol] | DETAIL NUMBER |
| [Symbol] | SHEET NUMBER |
| [Symbol] | SECTION & ELEVATION DETAIL NUMBER |
| [Symbol] | FOUNDATION SECTION DETAIL |
| [Symbol] | FIRE EXTINGUISHER, SEMI-RECESSED CAB |
| [Symbol] | SURFACE MOUNTED FIRE EXTINGUISHER |
| [Symbol] | SURFACE MOUNTED HOSE REEL |
| [Symbol] | FLOOR DRAIN |
| [Symbol] | DOWNSPOUT |
| [Symbol] | URINAL TAG |
| [Symbol] | TOILET ACCESSORY IDENTIFICATION - SEE ACCESSORY SCHEDULE |
| [Symbol] | CARD-READER, ACCESS CONTROL DEVICES BY OWNER'S SECURITY VENDOR |
| [Symbol] | EXISTING ELEMENT/FURNITURE, FIELD VERIFY CONDITION |

- General Notes**
- COORDINATE WORK WITH ALL TRADES
 - VERIFY FIELD CONDITIONS PRIOR TO INSTALLATION OF MATERIALS
 - SEE A-303 FOR DOORS & HARDWARE SCHEDULE
 - SEE A-303 FOR INTERIOR ELEVATIONS
 - ALL DOOR SW SHALL BE 75% ON BOTH SIDES OF STUDS (UNLESS NOTED OTHERWISE (U.A.))
 - ALL WALLS TO HAVE SOUND INSULATION MATTE, U.A.
 - SEE TYPICAL DETAILS FOR TYP. WALLS TO DECK.

CRANE BUILDING ADDITION for:

GENERAL KINEMATICS

5050 Rickett Road
Crystal Lake, Illinois 60014 USA

REVIEW MEETING WITH CITY 5-4-2022

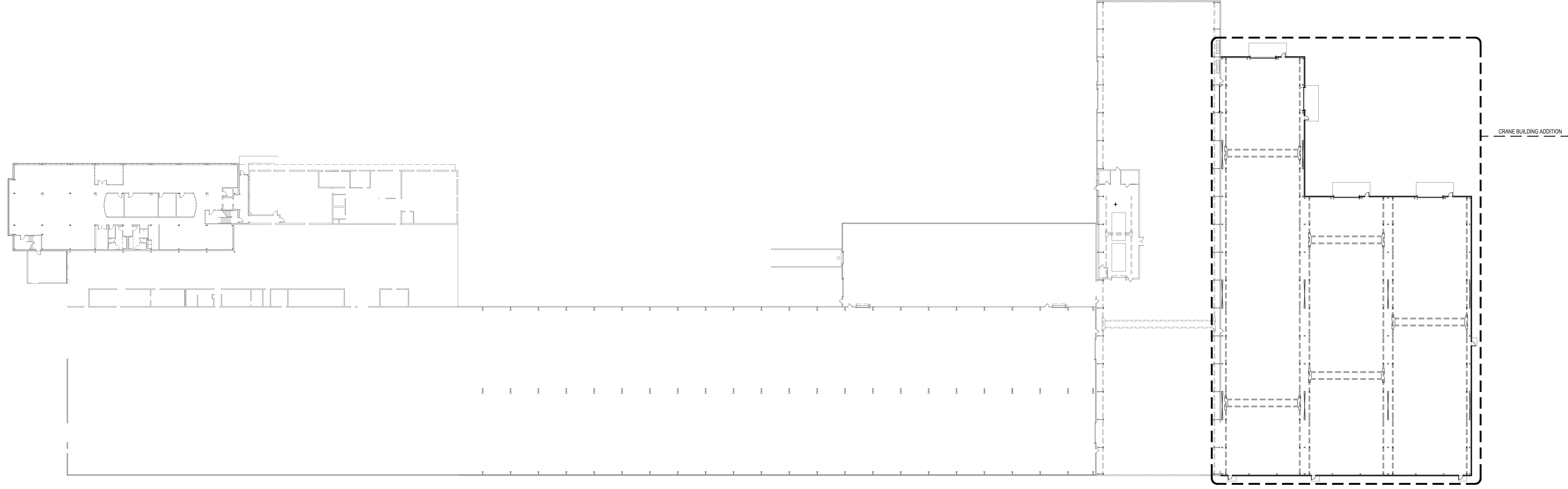
1ST FLOOR PLAN

Date: PRELIM Revision:

Ollmann Ernest Martin
Architects and Engineers
200 South State Street, Bellhore Illinois 61008
1-815-544-7300 Phone

2022-002

A101

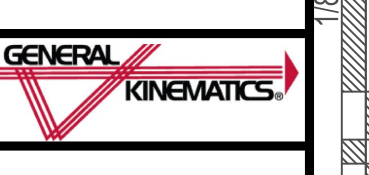


A1 OVERALL 1ST FLOOR PLAN
SCALE: 1/32" = 1'-0"

REVIEW MEETING WITH CITY 5-4-2022
OVERALL PROJECT PLAN

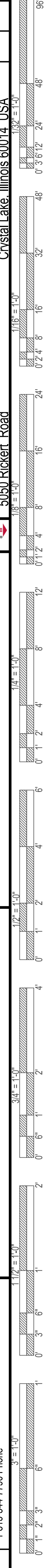
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OA101

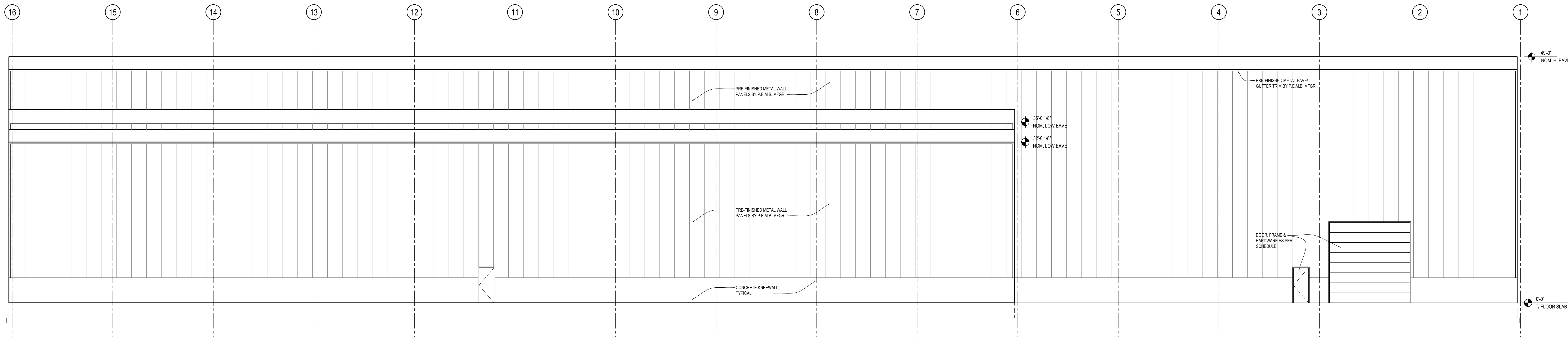
Ollmann Ernest Martin
Architects and Engineers
200 South State Street, Bellevue Illinois 61008
1-815-544-7790 Phone



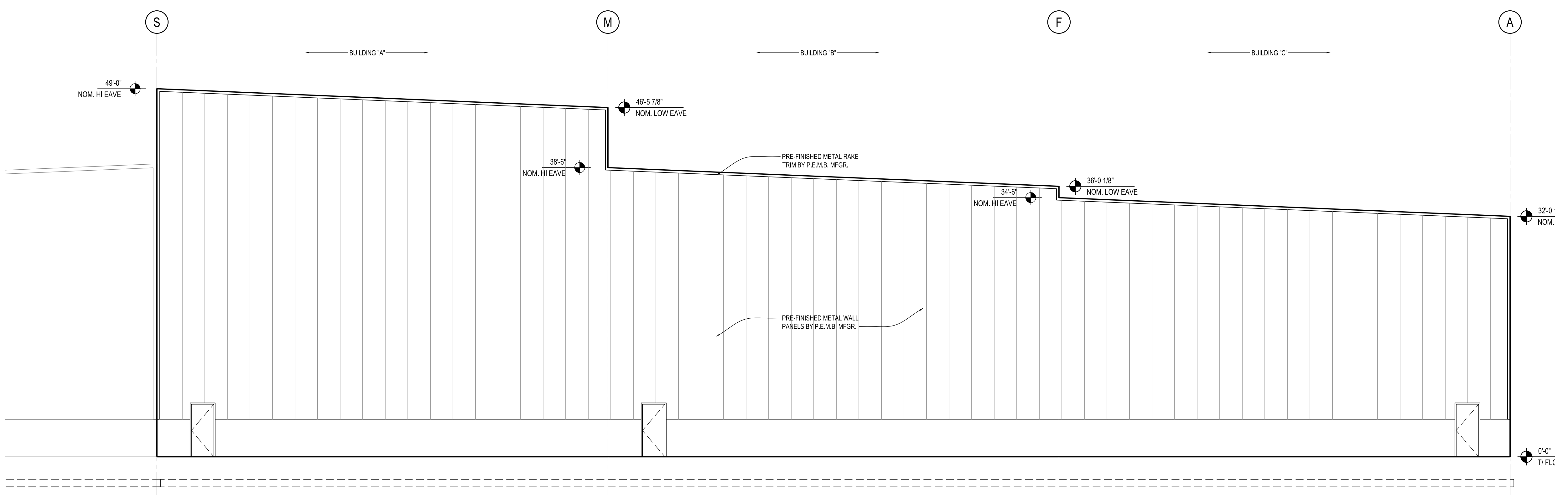
CRANE BUILDING ADDITION for:
GENERAL KINEMATICS
5050 Rieker Road
Crystal Lake, Illinois 60014 USA

2022

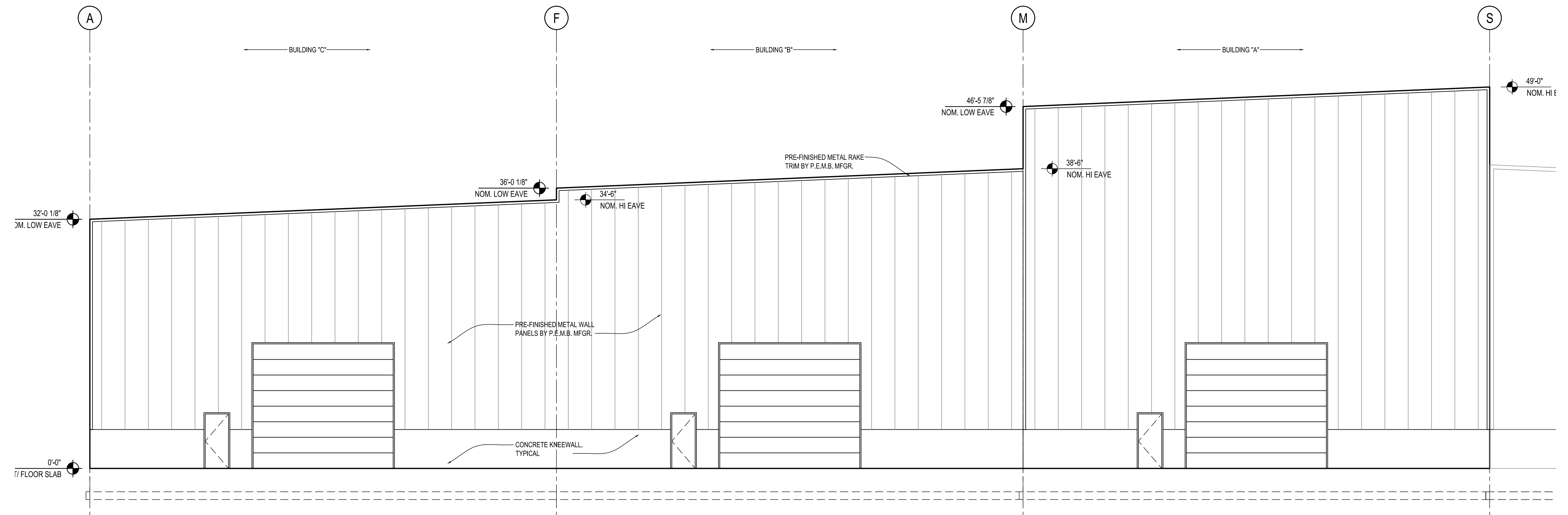




F8 EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



H4 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



J8 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

2022

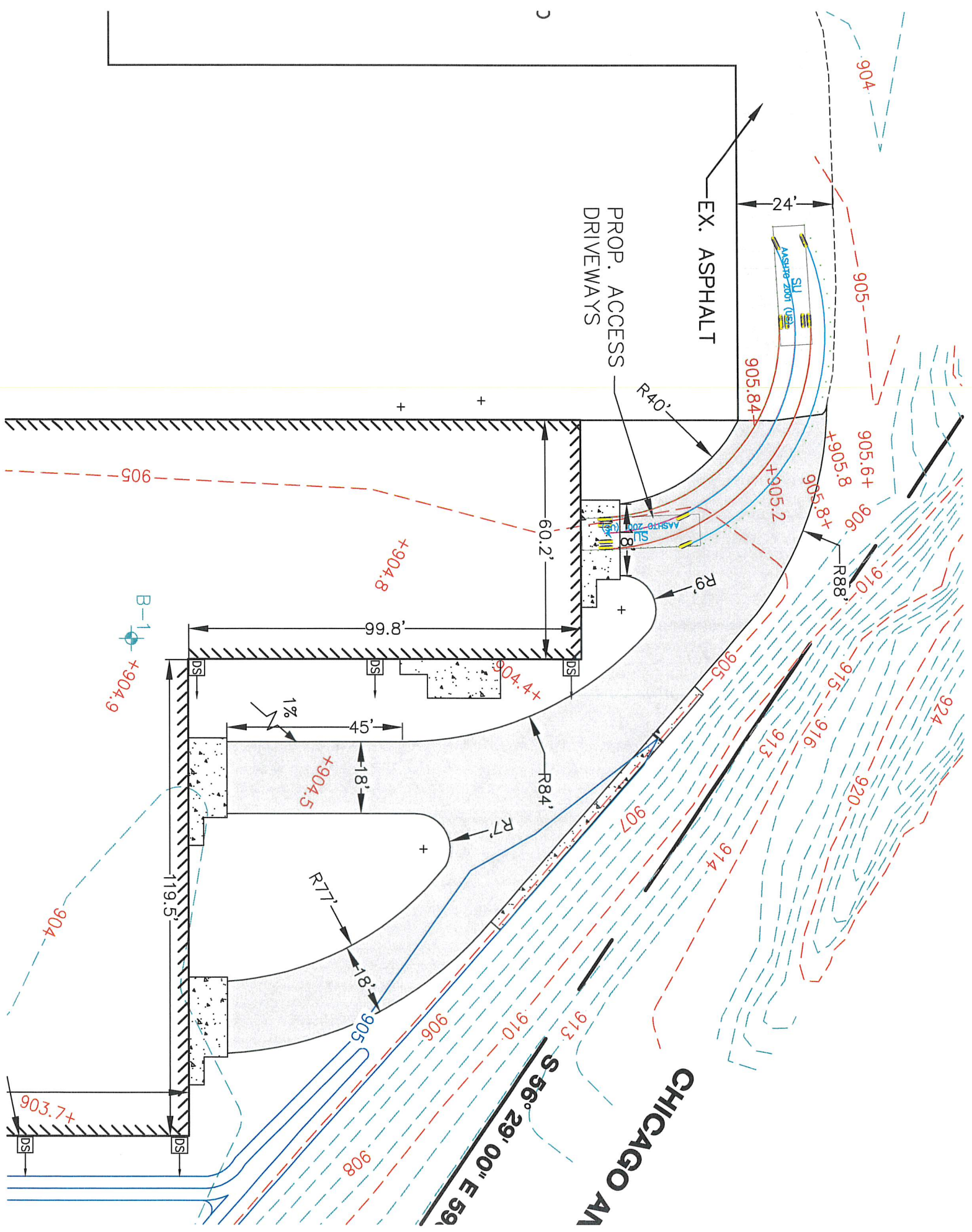
GENERAL KINEMATICS
CRANE BUILDING ADDITION for:
5050 Rickett Road
Crystal Lake, Illinois 60014 USA

Ollmann Ernest Martin
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200 South State Street, Belleville Illinois 61008
1-618-544-7700 Phone

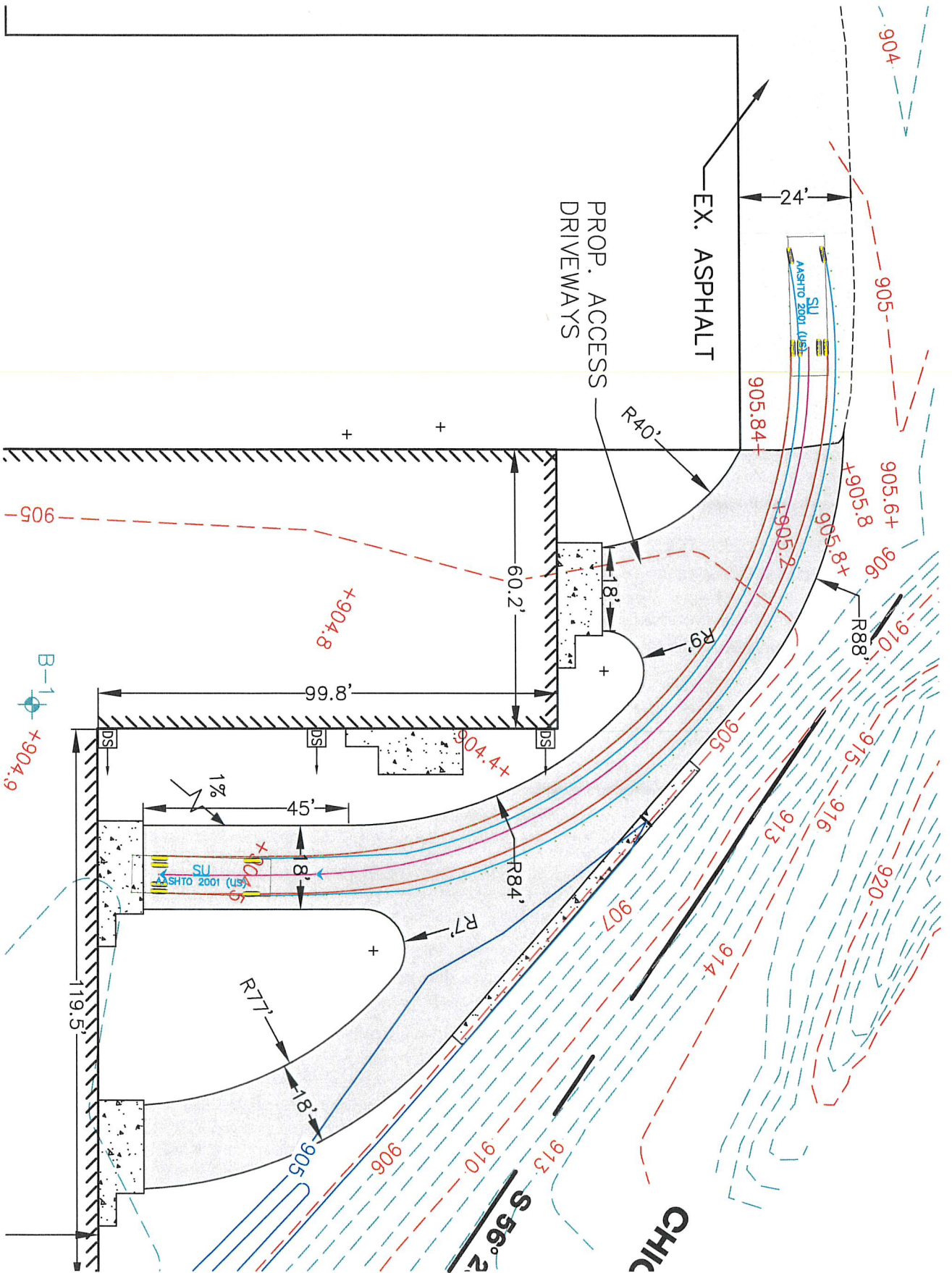
REVIEW MEETING WITH CITY 5-4-2022
BUILDING ELEVATIONS

Date: PRELIM. Revision:
2022-002

A201



3



TO

