



#2022-114
146 Edgewood Avenue – Variation
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	July 6, 2022
<u>Request:</u>	Variation from Article 3 Front Yard Setback to allow a deck to encroach 15-feet into the required 30-foot setback.
<u>Location:</u>	146 Edgewood Avenue
<u>Acreage:</u>	Approximately 13,000 square feet
<u>Existing Zoning:</u>	R-2 Single Family
<u>Surrounding Properties:</u>	North: R-2 Single Family South: R-2 Single Family East: R-2 Single Family West: R-2 Single Family
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The property is an existing single-family residential lot.
- The required front yard setback is 30 feet from the property line. The house is located approximately 23 feet 11 inches from the property line.
- The owner would like to construct a deck onto the front of the house, which runs almost the length of the house and projects 8 feet 10 inches from the structure including the stairs.

Development Analysis:

General

- **Request:** The petitioner is requesting a variation from the 30-foot required front yard setback to allow 15 feet for a deck that is 26 feet 8 inches long and 8 feet 10 inches wide.
- **Zoning:** The site is zoned R-2 Single Family. This property is used as a single-family home.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Provide for a reasonable rate of residential growth, especially infill growth and mixed-use development which take advantage of existing City services.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3 to allow a deck, which will encroach 15 feet into the required 30-foot front yard.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
 Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
 Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

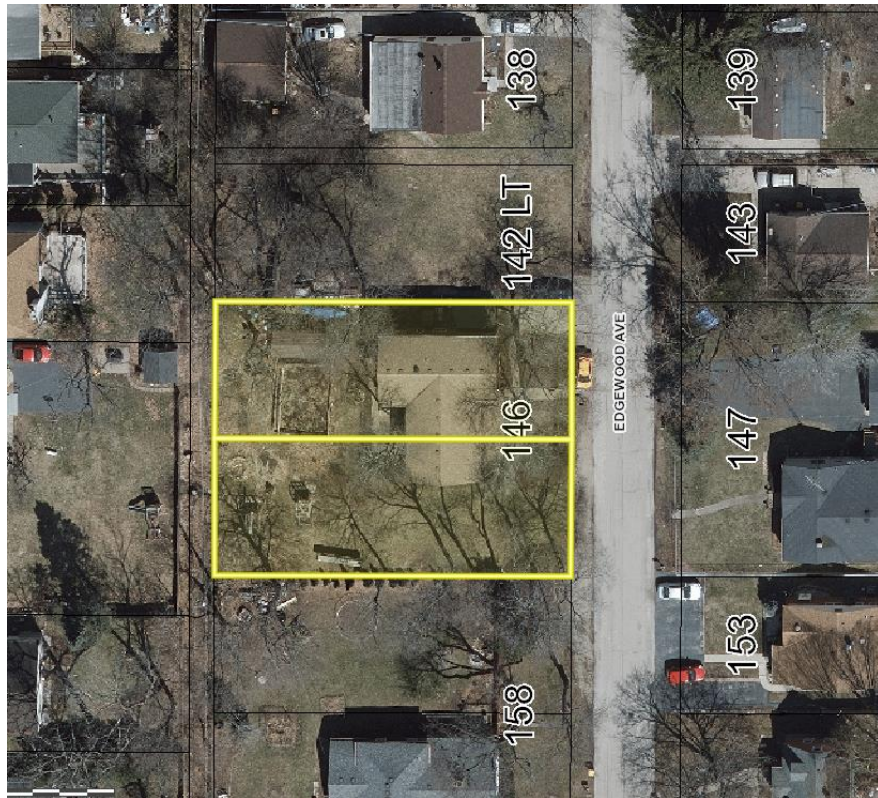
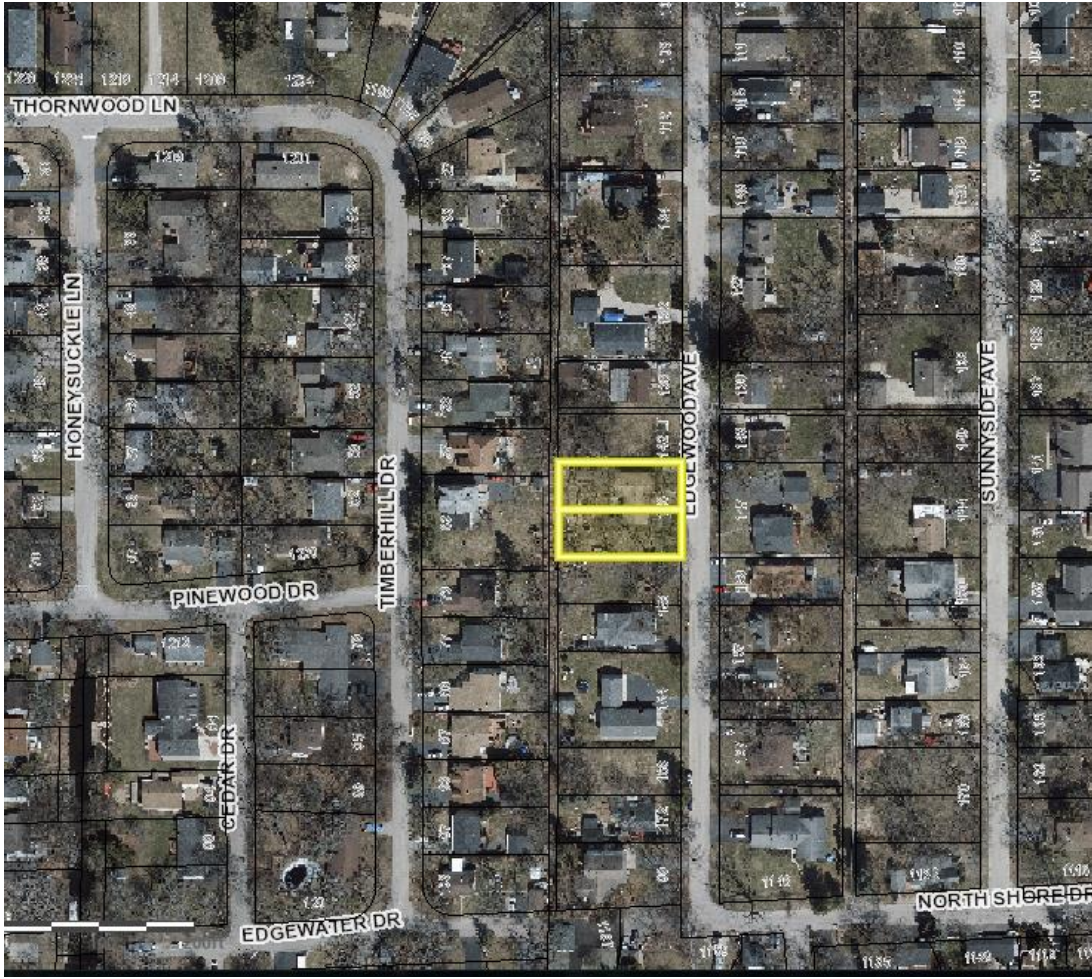
If a motion to recommend approval of the petitioner’s request is made, it should be with the following conditions:

- 1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Peters, received 06/22/22)
 - B. Site Plan (Peters. undated, received 06/01/22)
 - C. Deck Plans (Peters, undated, received 06/01/22)

- 2. The deck shall remain unroofed and open on all sides.

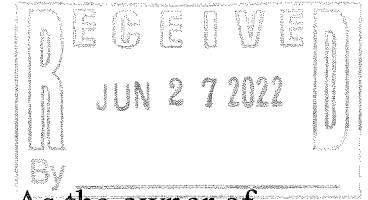
- 3. The petitioner shall address all of the review comments and requirements of Community Development Department.

PIQ Map
146 Edgewood Avenue





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**



The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: Don Peters

Address: 146 Edgewood Ave

Crystal Lake, IL 60014

Phone: 224-678-8305

E-mail: dp4him79@gmail.com

Project Name & Description: Extend front porch

Project Address/Location: 146 Edgewood Ave, Crystal Lake, IL 60014

Signature Don K. Peters

Don K. Peters 6/27/2022

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE Donald and Henriette Peters

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Don Peters for approval of a variation allowing the extension of the deck at the following real estate known as 146 Edgewood Avenue, Crystal Lake, Illinois 60014, PINs: 18-01-201-011, -012.

This application is filed for the purpose of seeking Simplified Residential Zoning Variations from the required 30-foot front yard setback to allow a front deck to encroach 15 feet into this setback and any other variations as noted at the public hearing pursuant to Article 3, Article 4, and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall. A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, July 6, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald on June 18, 2022)1992880

STATE OF ILLINOIS

COUNTY OF MCHENRY

IN THE MATTER OF THE APPLICATION OF
Don Peters;

AFFIDAVIT

(Name), being first duly sworn on oath deposes and states as follows:

- A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on July 6, 2022, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on 6/20/2022
- B. That the posting requirements of the Zoning Ordinance have been complied with by placing the customary public notice sign on the subject property on 6/21/2022

Don Peters

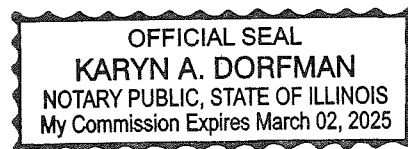
(name) (Signature)

Subscribed and Sworn to me before

This 27th day of June, 2022

Karyn A Dorfman

Notary Public



→ Z

COURT

Meas = 100.25

Rec = 50

Rec = 50

Rec = 50

Rec = 50

D1 LOCIT

Scale
20.114' per 1"
50 per 1/32" = 0.629'

$7' = \frac{1}{32} \times (\# \text{ of } 1/32")$
Solving out $7' \times 0.629' = 4.403'$
 $\frac{4.403'}{32} = 0.1376'$

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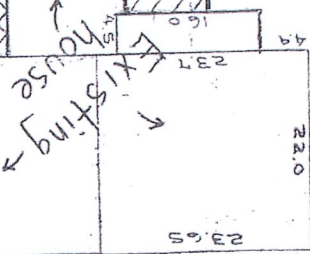
Rec = 130

COURT

Meas = 130.28

Rec = 130

Meas = 130.18



Addition
(built in
2000)

8'10" Building

15'1" New porch
(7' out
from house)

EDGEWOOD ROAD

Rec = 50

Rec = 50

Meas = 100.21

Rec = 50

Rec = 50

REMITTED
10/2/2000
BY: _____

Line

Iron Pipe

→ N

COURT

Rec. = 50

Rec. = 50

Meas. = 100.25

Rec. = 50

Rec. = 130

Rec. = 50

Rec. = 130

21-031

Scale
20.114' per 1"
50 per 1/32" = 0.629'

$71 = X \left(\frac{1}{32} \right)$
Solving out $71 \times 0.629 = 44.4$
will porch

21

11

11

EDGEWOOD ROAD

Rec. = 50

Rec. = 50

Meas. = 100.21

Rec. = 50

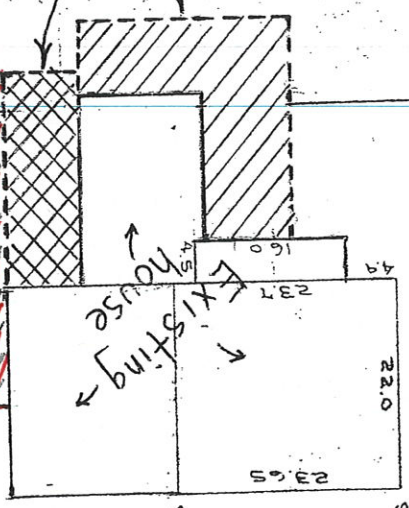
20

11

Addition
(built in
2000)

Building

New porch
(7' out
front house)



Iron Pipe

Line 3

RECEIVED
REC 7 50
JUL 27 2020
BY: _____

Design ID: 307155040747
Estimate ID: 34523

146 Edgewood Av.

Peters
Residence

MENARDS

Design & Buy™ DECK

How to purchase at the store

1. Take this packet to any Menards store.
2. Have a building materials team member enter the design number into the Deck Estimator Search Saved Designs page.
3. Apply the design to System V to create the material list.
4. Take the purchase documents to the register and pay.

How to recall and purchase a saved design at home

1. Go to Menards.com.
2. Select the Deck Estimator from the Project Center.
3. Select Search Saved Designs.
4. Log into your account.
5. Select the saved design to load back into the estimator.
6. Add your deck to the cart and purchase.



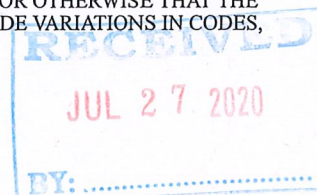
Illustration intended to show general deck size and shape. Some options may not be shown for picture clarity.

Estimated Price: \$3,533.20

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest. Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.



Design ID: 307155040747
Estimate ID: 34523

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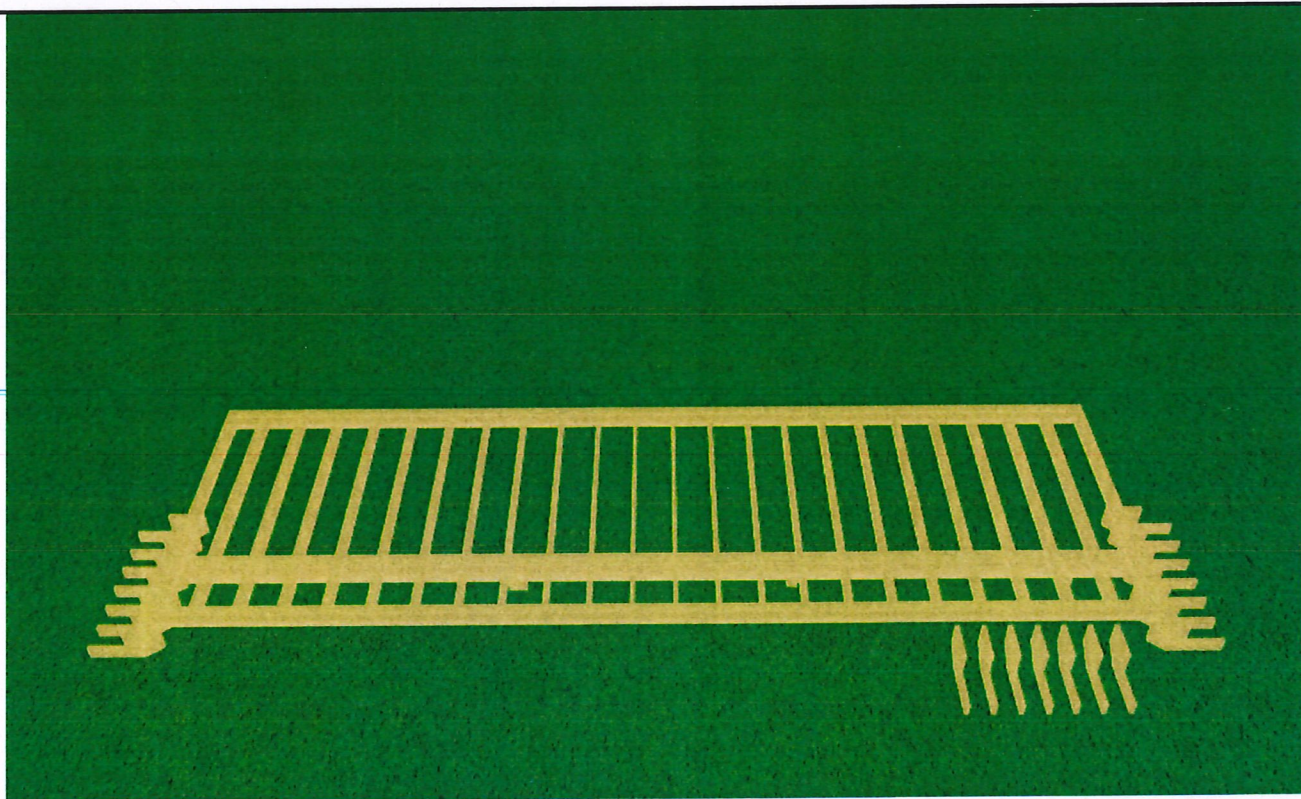


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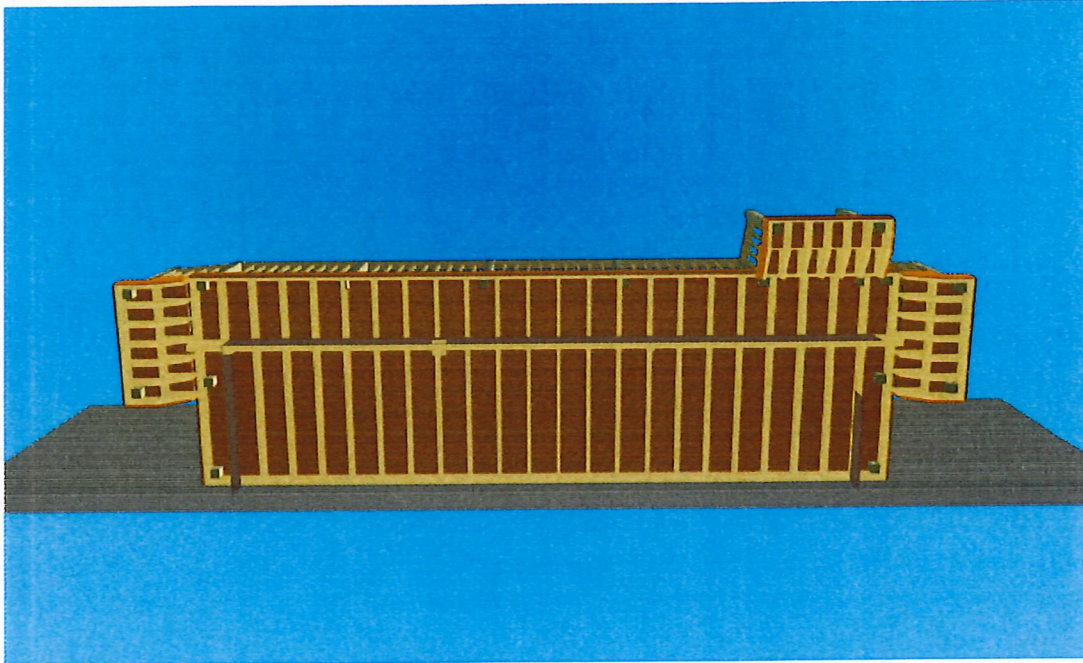
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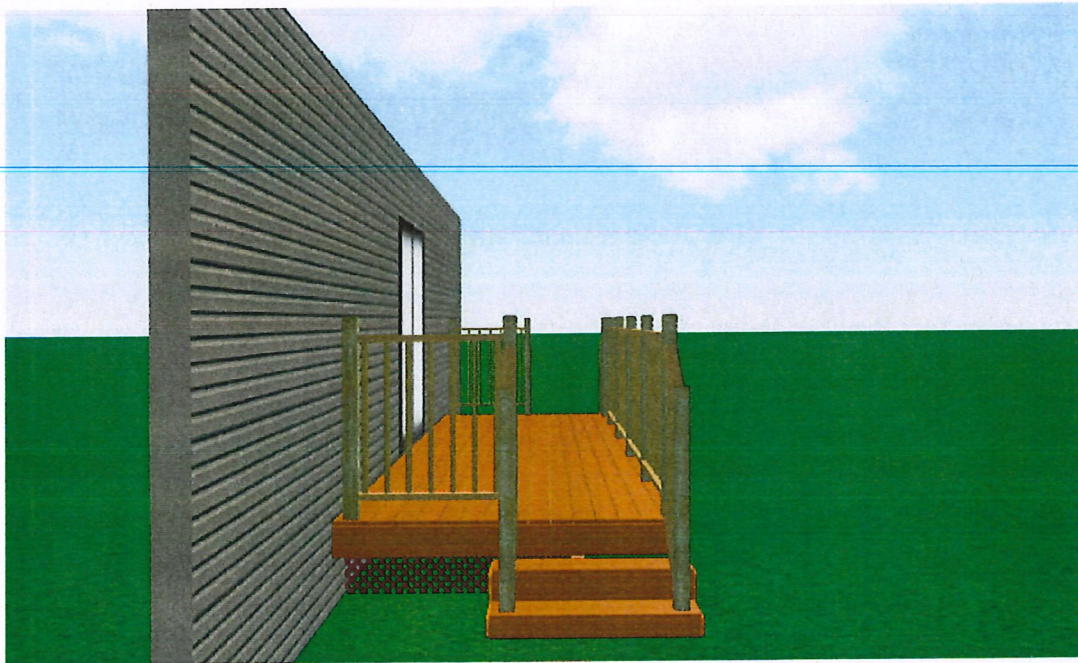
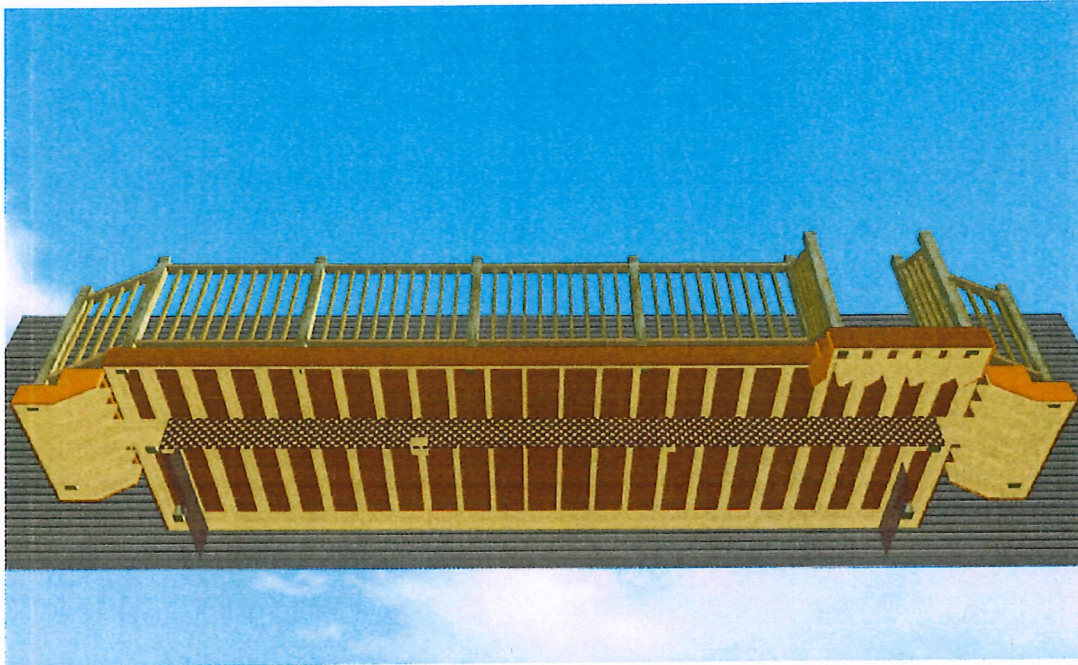
Design ID: 307155040747
Estimate ID: 34523

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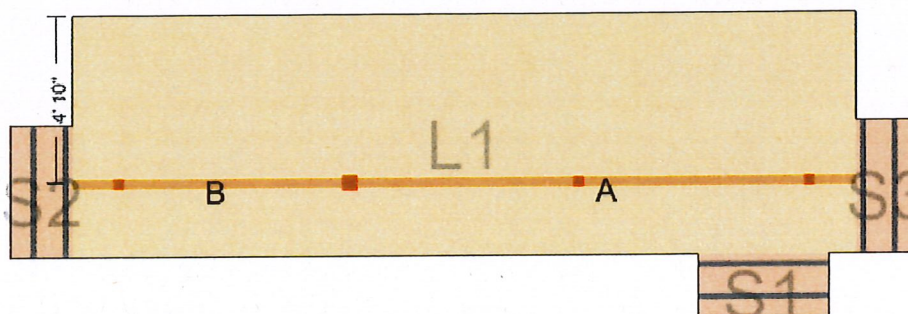
Design ID: 307155040747
Estimate ID: 34523

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Design ID: 307155040747
Estimate ID: 34523

L1 - Beams



2 boards nailed together is 2 ply

Lumber: 2 ply - 2 x 10 AC2

Label	Length	Count
A	14' 11"	1
B	8' 2"	1

Design ID: 307155040747
Estimate ID: 34523

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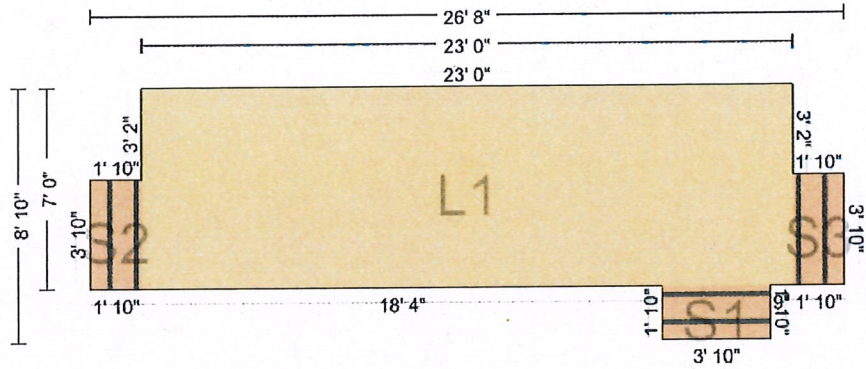


Illustration intended to show general deck size and shape. Some options may not be shown for picture clarity.

Estimated Price: \$3,533.20

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

Design ID: 307155040747
Estimate ID: 34523

Dimensions

Height off the ground: 1' 8"
Width: 23' 0"
Depth: 7' 0"

Additional Options

Deck Flashing: No Deck Flashing
Lattice: Redwood Privacy

Decking

Deck Board Material Type: UltraDeck Fusion
Deck Board: Coastal Cedar
Deck Board Fastener: UltraDeck T-Clip

Framing

Framing Material Type: AC2 Green Treated
Joist: 2x8
Joist Spacing: 12" On Center
Beam: 2x10
Framing Post: 4x4 Framing Post
Framing Fastener Type: Galvanized Framing Fastener
Footing: 12" Poured Footing
Footing Depth: 48" Footing Depth
Joist Hanger Type: Galvanized Joist Hanger
Joist Hanger Fastener Type: Joist Hanger Fastener Nail
Cladding: Cladding

Railing

Railing Material Type: AC2 Railing
Railing Style: Traditional Railing
Spindle: 2x2x36 Square
Handrail: 2 x 4
Graspable Handrail: No Graspable Handrail
Railing Post: 4 x 4 x 54 AC2 Treated Chamfered Deck Post
Base Ring: No Ring
Mounting Style: Joist Mount

Design ID: 307155040747
Estimate ID: 34523

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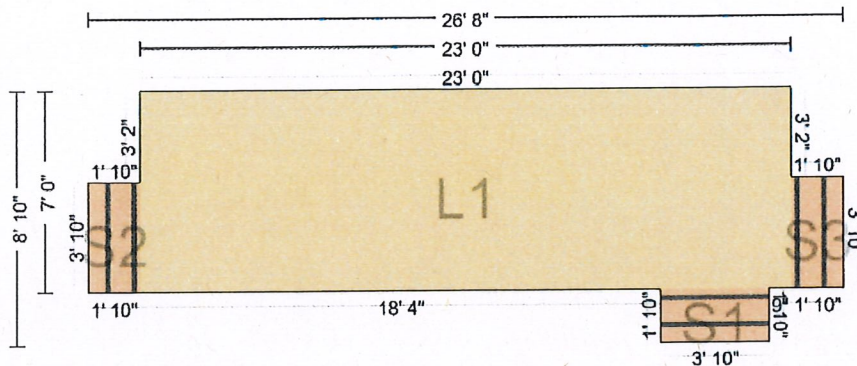


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Deck Board: Coastal Cedar
Deck Board Fastener: UltraDeck T-Clip

Framing

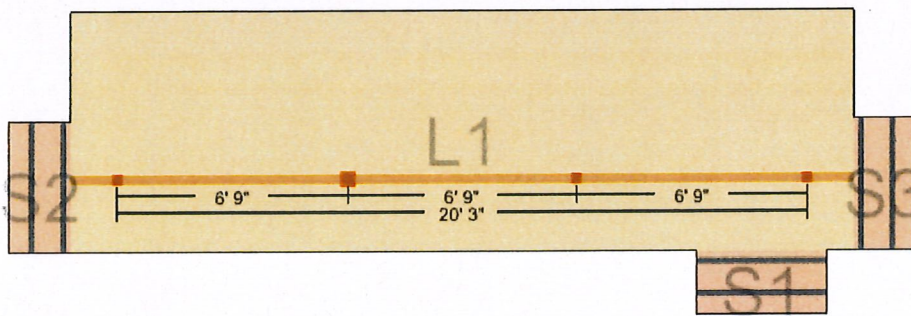
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Joist: 2x8
Joist Spacing: 12" On Center
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Framing Post: 4x4 Framing Post
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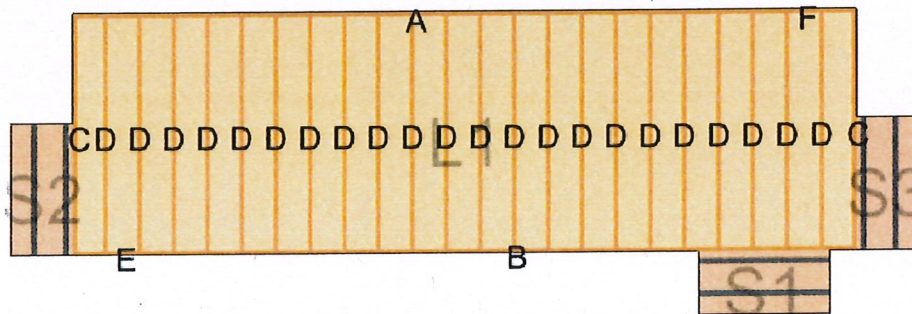
L1 - Posts and Footings



Dimensions displayed are from center of post to center of post.

Design ID: 307155040747
Estimate ID: 34523

L1 - Joists



Lumber: 2 x 8 AC2

Joist Spacing: 12" on center

Label	Length	Count	Usage
A	20' 0"	1	Ledger Joist
B	20' 0"	1	Rim Joist
C	6' 9"	2	Rim Joist
D	6' 9"	22	Internal Joist
E	3' 0"	1	Rim Joist
F	3' 0"	1	Ledger Joist

L1 - Railing Posts

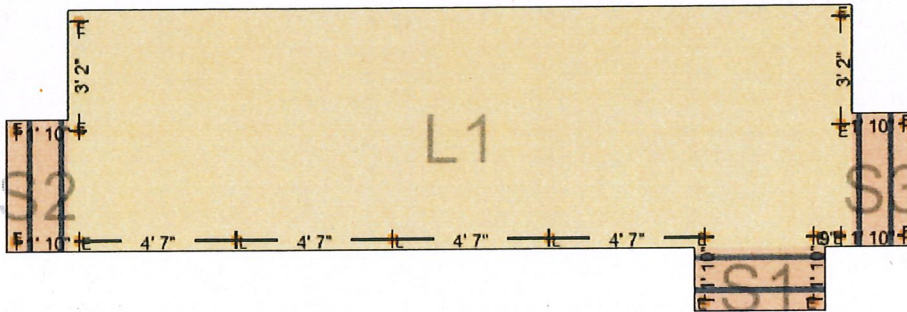


Illustration does not represent all available railing post placement options.
Railing post dimensions are on center.

L1

Label	Count
E	6
E	2
L	3

S1

Label	Count
E	2

S2

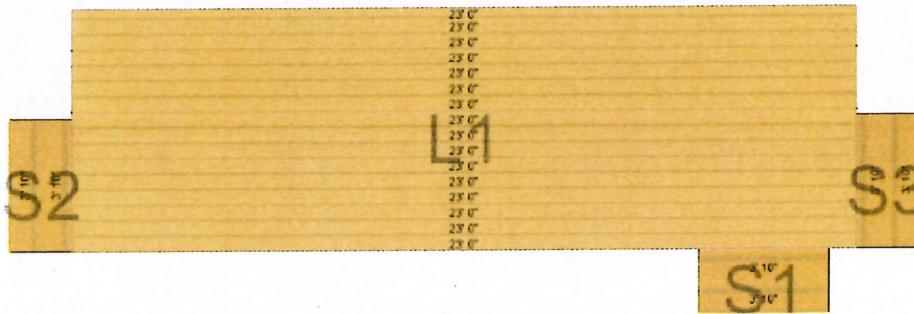
Label	Count
E	2

S3

Label	Count
E	2

Design ID: 307155040747
Estimate ID: 34523

L1 - Deck Boards and Treads



The lengths and dimensions displayed are provided as a general guide and are not intended for actual construction. Confirm all of the actual dimensions of your project prior to cutting.

Deck Board

Length	Count
23' 0"	16

Design ID: 307155040747
Estimate ID: 34523

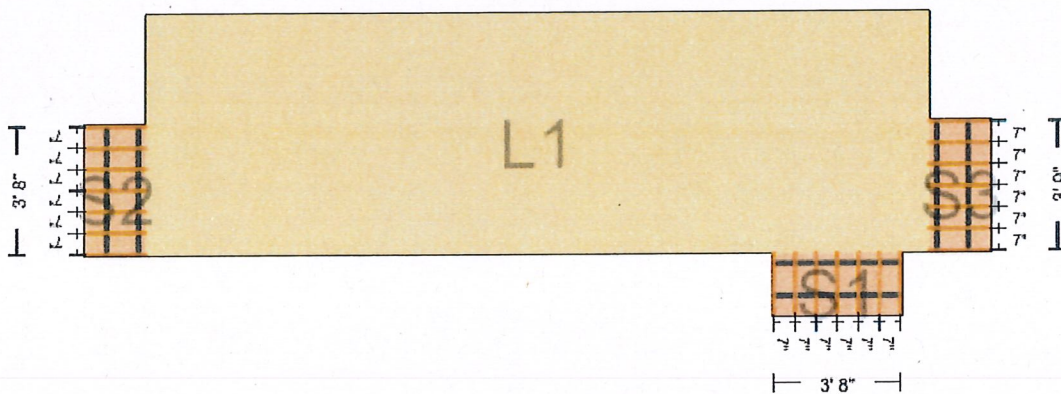
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Tread

Length 3' 10"	Count 2	Length 3' 11"	Count 2	Length 3' 10"	Count 2
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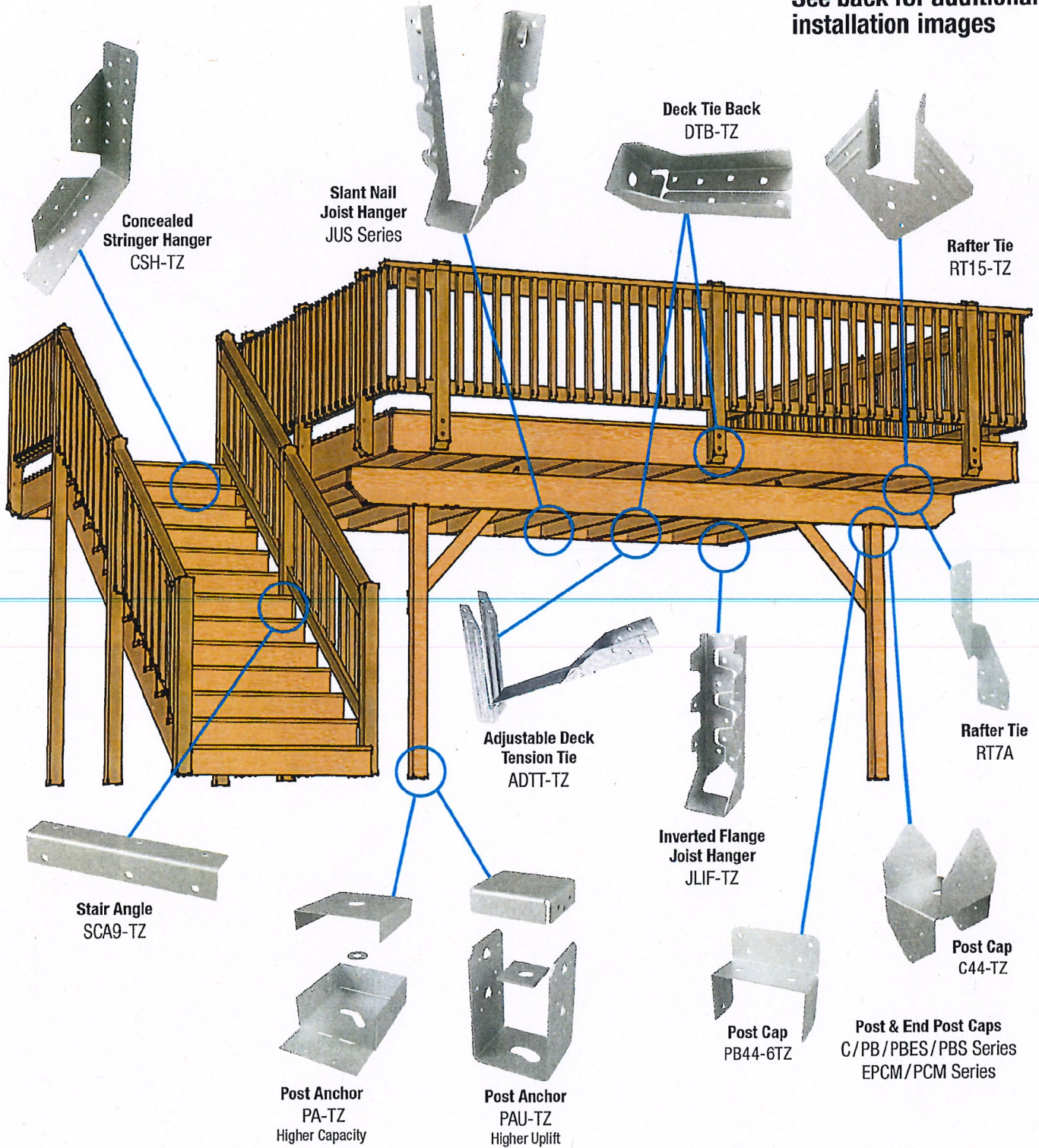
Design ID: 307155040747
Estimate ID: 34523

L1 - Stringers



Deck Hardware

See back for additional installation images

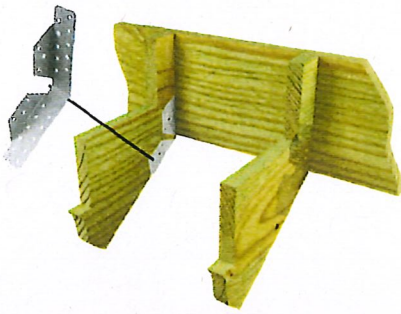


Disclaimer: Some of the products displayed are optional and not estimated

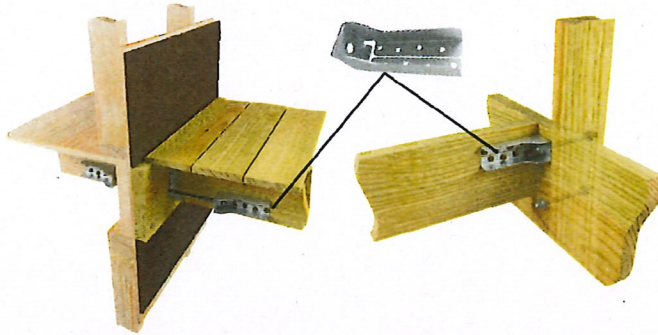
Customer Service 1-800-328-5934 • MiTek-US.com

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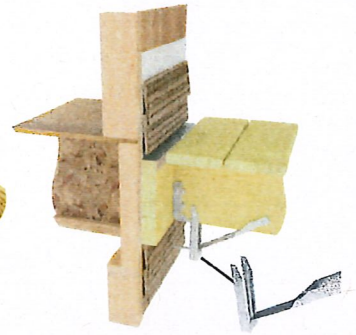
Deck Hardware Installation



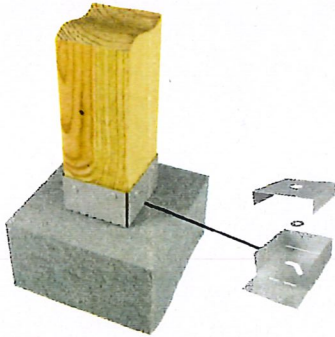
Typical CSH-TZ installation



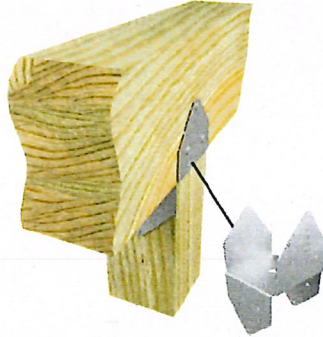
Typical DTB-TZ installations



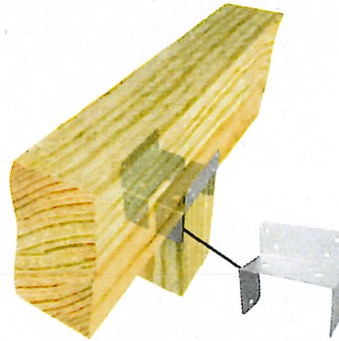
Typical ADTT-TZ installation



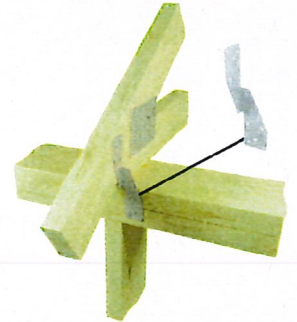
Typical PA-TZ installation



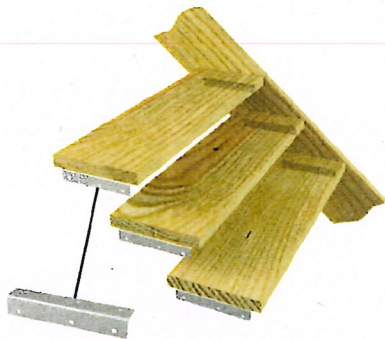
Typical C44-TZ installation



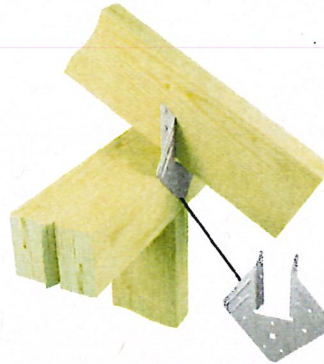
Typical PB44-6TZ installation



Typical RT7A installation



Typical SCA9-TZ installation



Typical RT15-TZ installation

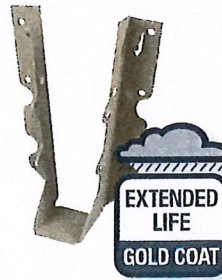
The type and quantity of fasteners used to install MiTek USP products is critical to connector performance. MiTek has a full range of structurally-rated fasteners for wood frame structures. Hot-dip galvanized, stainless steel, and Gold Coat corrosion resistant finishes are available for exterior applications.



MiTek USP Deck Hardware is available in Triple Zinc (TZ) and Gold Coat (GC).



TZ galvanizing provides a prefabrication coating of 1.85 (G-185) ounces of zinc per square foot of surface area (both sides) measured in accordance with ASTM A 653. Use with Hot-dip galvanized fasteners.



Gold Coat is a proprietary multi-layer protection system. It is comprised of an organic top coat barrier layer and a zinc layer placed over a steel substrate. Use with Gold Coat or Hot-dip galvanized fasteners.