



#2022-95
Final PUD Amendment for Sunrise Senior Assisted Living
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	July 6, 2022
<u>Zoning Requests:</u>	Final PUD Amendment to allow the addition of 8 parking spaces and removal of required landscape islands
<u>Location:</u>	751 E Terra Cotta Ave
<u>Size:</u>	3 acres
<u>Existing Zoning:</u>	B-2 PUD, General Commercial Planned Unit Development
<u>Surrounding Properties:</u>	North: B-2 PUD General Commercial South: R-3 PUD Multi-Family Residential East: R-3 PUD Multi-Family Residential and B-2 General Commercial West: R-3 PUD Multi-Family Residential
<u>Staff Contact:</u>	Katie Rivard (815.356.3612)

Background:

- Existing Use: The existing use is Sunrise of Crystal Lake Senior Assisted Living facility.
- Development History:
 - In 1999, Sunrise Assisted Living received a Special Use Permit, Rezoning from B-2 General Commercial to R-3A PUD Two-Family Residential, and Final Planned Unit Development with variations. A variation was granted to allow 28 parking spaces instead of the minimum required 131 parking spaces.

Development Analysis:

General:

- Request: The petitioner is requesting a Final PUD Amendment to allow the addition of 8 parking spaces to the existing parking lot and a PUD variation to remove the existing landscape islands.
- Land Use: The Comprehensive Land Use map shows the area as High Density Residential, which is an appropriate land use designation for an assisted living facility.

- Zoning: The site is zoned R-3A PUD Two-Family Residential.

Request Overview:

- Sunrise Assisted Living has experienced a lack of on-site parking for the past several years, as employees and visitors often park along Mistwood Lane. The UDO requires that all uses provide adequate on-site parking.
- In the PZC public hearing minutes from Sunrise’s 1999 approval, the petitioner stated there is room for additional parking in the future should it become an issue. It was explained that residents do not drive and the parking is for employees and the guests. However, during shift changes there is often not enough spaces on-site to accommodate the number of staff.
- Therefore, the petitioner would like to add 8 additional parking spaces for a total of 37 spaces.
- In order to accommodate additional parking spaces, 4 landscape islands must be removed. The UDO requires a landscape island with landscaping every 10 parking spaces.
- The additional parking spaces will result in the loss of 2 trees. The petitioner has agreed to relocate or replace the trees.

Findings of Fact:

FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final PUD Amendment and Variation to allow the addition of 8 parking spaces and removal of required landscape islands. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*

4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

PLANNED UNIT DEVELOPMENT VARIATIONS

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore, more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies

those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

The Planned Unit Development proposed by the Petitioner includes the following variation from the UDO:

- A) Article 4-400F. Site landscaping from the required parking lot to remove the existing landscape islands.

Comprehensive Land Use Plan 2030 Plan Review:

The Comprehensive Plan designates the subject property as High Density Residential, which allows for multi-family housing. The following goal is applicable to this request:

Land Use – Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

The Comprehensive Plan indicates this can be accomplished with the following supporting action:

Supporting Action: Encourage a diversity of housing types throughout the city, which satisfy wide-range needs for all persons regardless of age, race, religion, national origin, physical ability and economic level for existing and future city residents.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Welltower PropCo Group, LLC, date signed 04/26/2022, received 04/27/2022)
 - B. Site Plan (GDP Group, Inc., received 04/27/2022)
2. Any trees that are removed or damaged with the parking lot expansion shall be replaced.
3. Parking lot islands being removed originally had one tree and five shrubs per island, this landscaping must be replaced on the perimeter of the parking lot.
4. The proposed alterations must be completed by December 31, 2022.
5. The Petitioner shall address all of the review comments and requirements of the Community Development, Engineering, and Fire Rescue Departments.

PIQ Map
751 E Terra Cotta Ave





City of Crystal Lake Development Application Ownership Sign-off Acknowledgement Form

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: Welltower PropCo Group LLC

Address: 4500 Dorr. St

Toledo, OH 43607

Phone: _____

E-mail: _____

Project Name & Description: Sunrise of Crystal Lake - The project proposes to remove the existing landscaping islands in the existing parking lot and install new concrete curbing and pavement to allow for the addition of eight (8) parking spaces.

Additionally, a new shed is proposed on the northwest side of the property.

Project Address/Location: 751 Terra Cotta Avenue

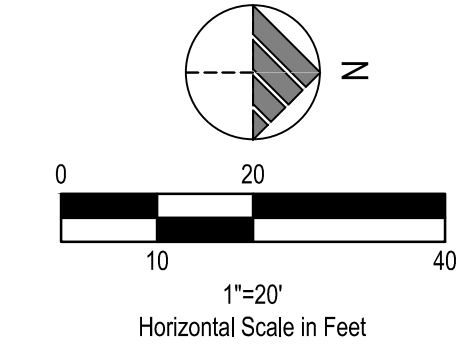
Signature DocuSigned by:
Russell Simon
885ECC807F6C448...

Russell Simon Authorized Signatory

4/26/2022

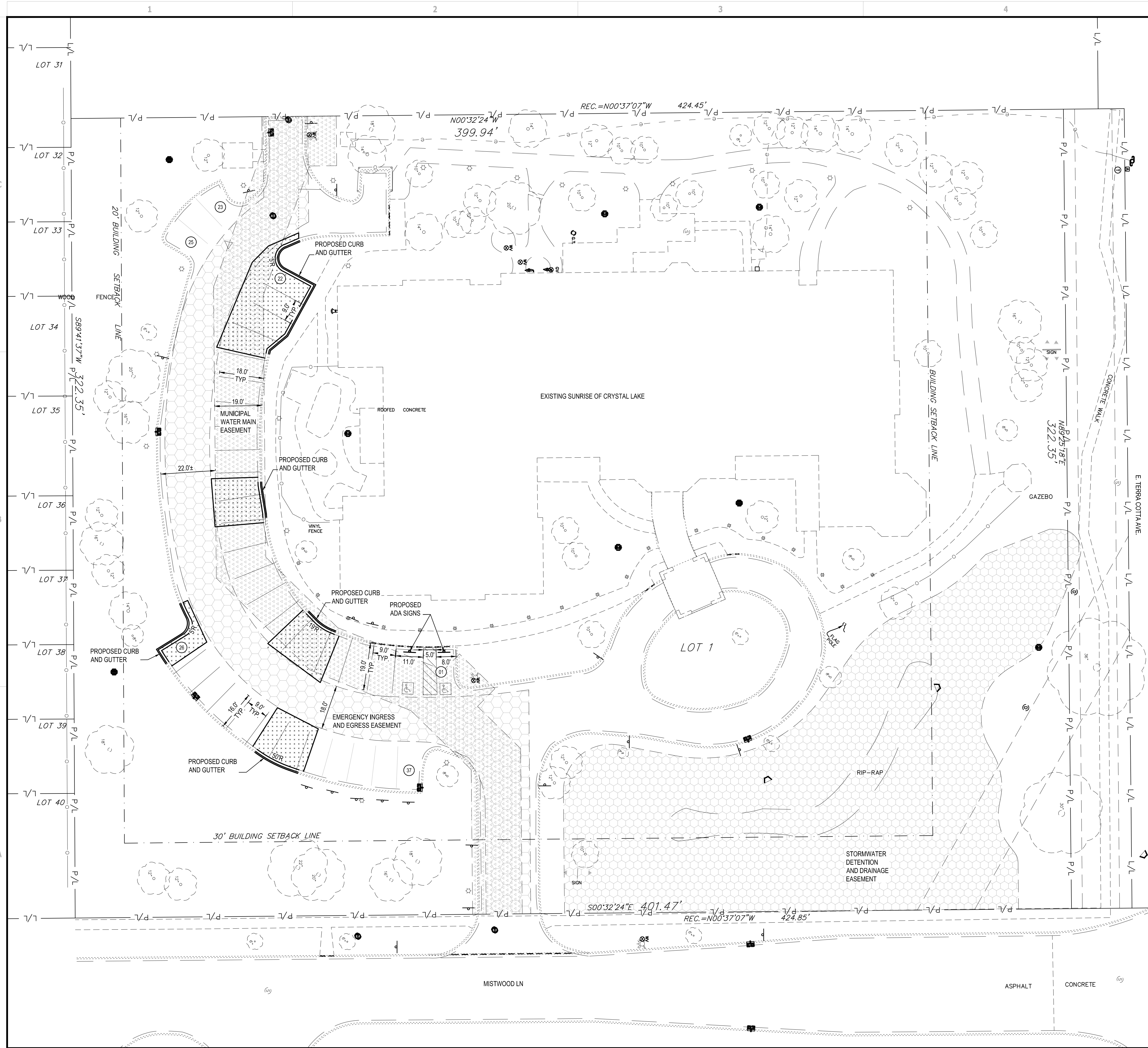
Owner: Print and Sign name Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



- LEGEND**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED PARKING SPACE NUMBER

PARKING SPACES		
NUMBER OF SPACES	EXISTING	PROPOSED
	29	37



REV.	DATE	DESCRIPTION

PRELIMINARY

SUNRISE CRYSTAL LAKE
 751 E TERRA COTTA AVE.
 CRYSTAL LAKE, IL 60014

PRELIMINARY SITE PLAN

BENCHMARK: NGS DATA, PID HH0140

AT CRYSTAL LAKE, ALONG THE CHICAGO AND NORTH WESTERN RAILWAY, AT THE CROSSING OF STATE HIGHWAY 176, 0.2 MILE SOUTH OF MILEPOLE 59, 0.5 MILE NORTH OF THE OVERHEAD CROSSING OF CHICAGO AND NORTH WESTERN RAILWAY TRACK LEADING NORTHWEST-SOUTHEAST OVER CHICAGO AND NORTH WESTERN RAILWAY TRACK LEADING NORTH-SOUTH, 9 1/2 FEET EAST OF THE EAST RAIL, 25 1/2 FEET NORTH OF THE CENTER LINE OF STATE HIGHWAY 176, 41 FEET NORTHEAST OF THE CENTER LINE OF THE CROSSING, 5 1/2 FEET NORTH-NORTHEAST OF THE CONCRETE BASE SUPPORTING A FLASHING WARNING LIGHT FOR RAILROAD CROSSING, 4 1/2 FEET WEST OF THE WEST END OF A GUARD-RAIL, ABOUT 1/2 FOOT ABOVE THE LEVEL OF THE TRACK, AND SET IN TOP OF A CONCRETE POST 0.2 FOOT BELOW THE LEVEL OF THE GROUND.

ELEV. = 890.15 (NAVD DATUM)

SITE BENCHMARK# 1:
 ARROW ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF MISTWOOD LANE, ± 40 FEET NORTH OF THE ENTRANCE TO SUBJECT PROPERTY.
 ELEV. = 895.36

SITE BENCHMARK# 2:
 CROSS CUT IN THE EAST-WEST WALK NEAR NORTHEAST CORNER OF SUBJECT PROPERTY.
 ELEV. = 893.22

ISSUED FOR:	
PERMIT	XX/XX/XX
BID	XX/XX/XX
CONSTRUCTION	XX/XX/XX
RECORD	XX/XX/XX

PROJECT MANAGER	DESIGNER
MLH	ACM

JOB NO.
2021084.10

PSP