



#2022-130

**575 E Crystal Lake Avenue – Final PUD Amendment
Project Review for Planning and Zoning Commission**

<u>Meeting Date:</u>	July 20, 2022
<u>Request:</u>	Final Planned Unit Development Amendment to allow a new 2,100 square foot pavilion and reconfiguration of the playground area
<u>Location:</u>	575 E Crystal Lake Avenue
<u>Acreage:</u>	Approximately 10.4 acres
<u>Existing Zoning:</u>	E - Estate
<u>Surrounding Properties:</u>	North: R-1 Single-Family Residential South: R-3B – Multi-Family Residential PUD East: R-2 PUD – Single-Family Residential PUD West: E – Estate and A-1 County Agriculture District
<u>Staff Contact:</u>	Katie Rivard (815.356.3612)

Background:

- **Existing Use:** The subject property is the existing Evangelical Free Church of Crystal Lake (EFCCL). It is improved with the church building, a storage building, a youth center and associated parking areas.
- **UDO Requirements:** Accessory structures for a nonresidential use that are located in a residential zoning district and greater than 900 square feet in area are required to obtain a Special Use Permit.
- **Previous Approvals:**
 - In 1998, EFCCL was annexed into the City. The property was also rezoned to E-5 – Estate Residential zoning district, and EFCCL received approval of a Special Use Permit for a church and school use, and a Final PUD with variations.

Development Analysis:

General:

- **Request:** The petitioner is requesting a Final PUD Amendment to allow a new 2,100 square foot pavilion and reconfiguration of the playground area.

- Land Use: Institutional Uses such as Religious Organizations are commonly found and integrated into residential neighborhoods.
- Zoning: The site is zoned Estate, which primarily permits single-family detached residential dwellings. Religious Organizations are Special Uses in all residential zoning districts.

Request Overview:

- The proposed pavilion is 18'-8" in height. The maximum height for accessory structures in the Estate zoning district is 25 feet and two stories.
- The pavilion will meet the required 5-foot side and rear yard setbacks for the Estate zoning district.
- The pavilion will be located in the area that the playground is currently. The playground will then move between the existing youth building and the pavilion.
- The UDO requires that accessory structures for nonresidential uses located in a residential district and greater than 900 square feet in area must obtain a Special Use Permit.

Findings of fact:

FINAL PLANNED UNIT DEVELOPMENT AMENDMENT

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow a new 2,100 square foot pavilion and reconfiguration of the playground area. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements which may otherwise require individual requests and applications for zoning variations.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

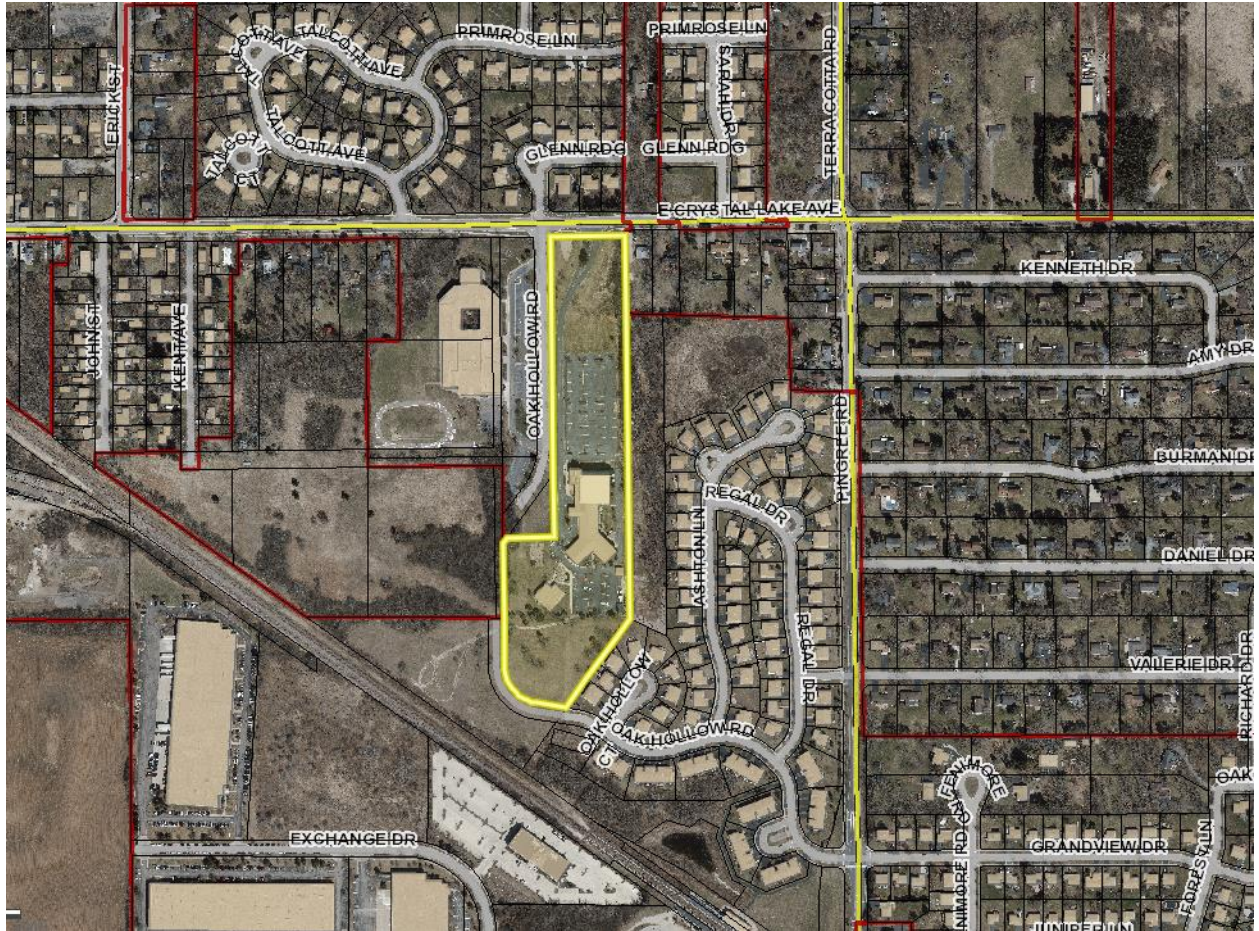
Therefore, more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. Although a formal variation request is not required to be made in conjunction with a Planned Unit Development, Staff identifies those aspects of the Planned Unit Development which effectively result in variations from UDO requirements. If the evidence is not found to justify these variations from the UDO that fact shall be reported to the City Council with a recommendation that the variations from the UDO which are proposed as part of the Planned Development be lessened or denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (The Evangelical Free Church of Crystal Lake, date signed 06/09/2022, received 06/10/2022)
 - B. Playground Concept Plan (The Evangelical Free Church of Crystal Lake, received 06/10/2022)
 - C. Plat of Topography (Heritage Land Consultants LLC, dated 05/04/22, received 06/10/2022)
 - D. Pavilion Elevations (Clearly Building Corp, received 05/20/2022)
2. The pavilion cannot be located within the existing Municipal Utility Easement for the water main.
3. The Petitioner shall address all of the review comments and requirements of the Community Development, Engineering, and Fire Rescue Departments.

PIQ Map
575 E Crystal Lake Avenue





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: The Evangelical Free Church of Crystal Lake

Address: 575 E Crystal Lake Ave

Crystal Lake, IL 60014

Phone: 815-459-1095

E-mail: mkolbe@efccl.org

Project Name & Description: Playground - Pavilion project

Project Address/Location: 575 E Crystal Lake Ave

Signature Mark A. Kolbe Business Director

Mark A. Kolbe

6/9/22

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION OF
The Evangelical Free Church of Crystal Lake

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by The Evangelical Free Church of Crystal Lake, for a Final Planned Unit Development Amendment, relating to the property at 575 E Crystal Lake Avenue in Crystal Lake, Illinois 60014. PIN: 19-04-226-026.

This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow a new 2,100 square foot pavilion and the reconfiguration of the playground area, and any other changes as presented at the hearing, pursuant to Article 3, Article 4 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday, July 20, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

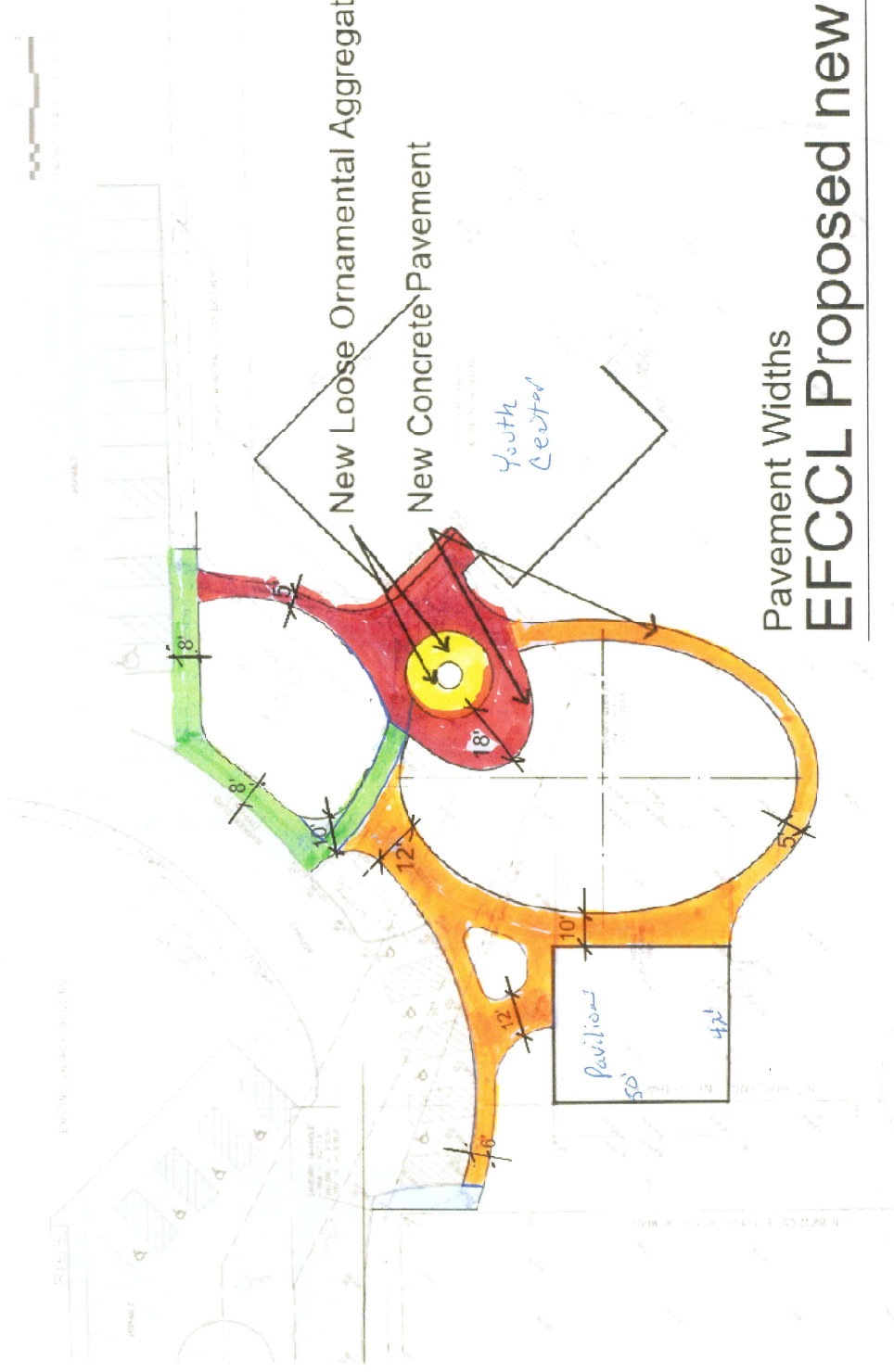
Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald on July 1, 2022)

The Suggestion my Staff



Handwritten text on the right side of the page, possibly a signature or project name, including "CONCEPT PLAN" and "FAYAT & ASSOCIATES".



New Loose Ornamental Aggregate Surface

New Concrete Pavement

Youth Center

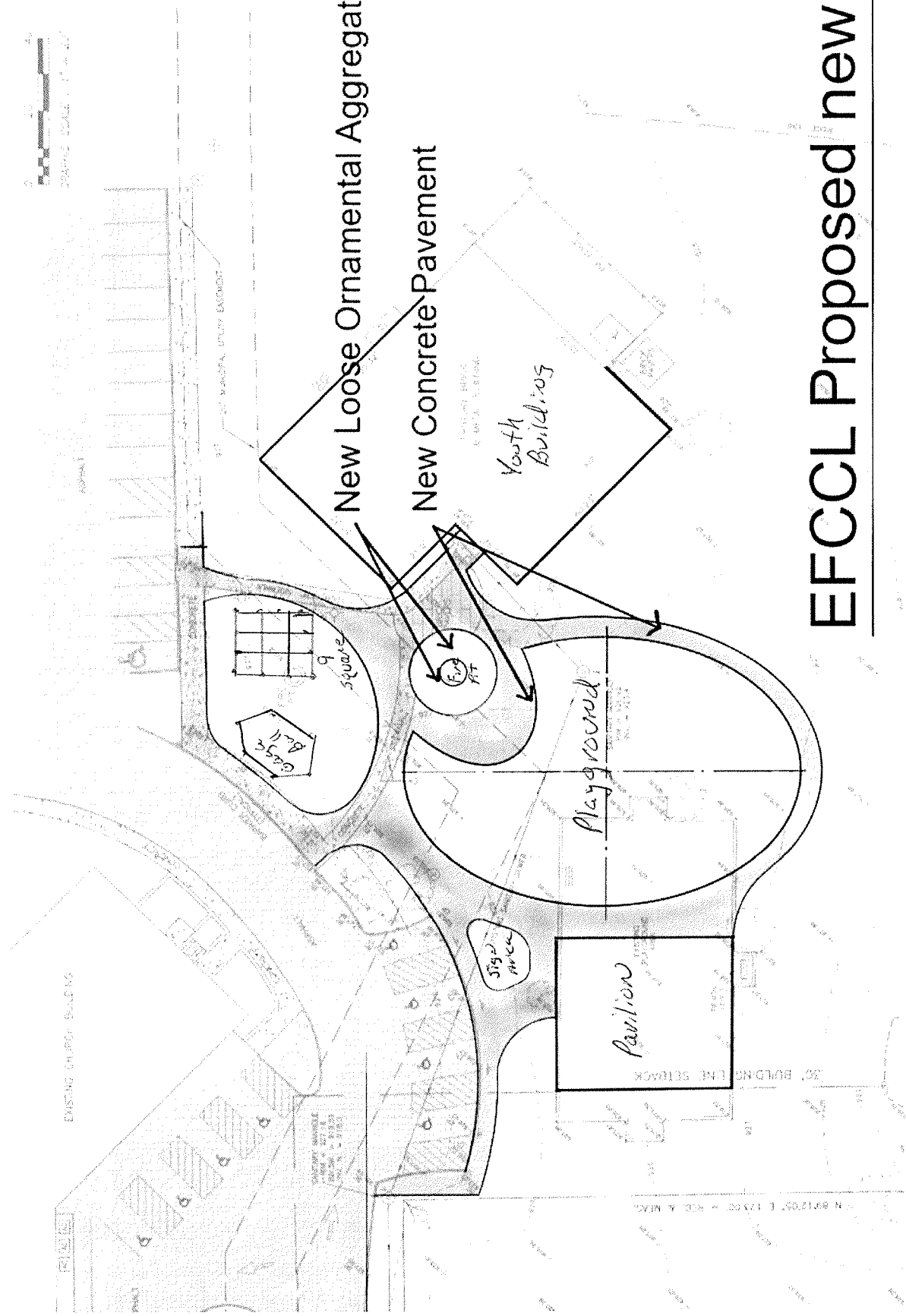
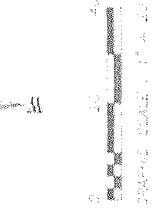
Pavilion

Pavement Widths

EFCL Proposed new paving layout

05/09/22. RAM
06/07/22

- Existing Concrete
- Asphalt
- New Concrete
- Ornamental Aggregate

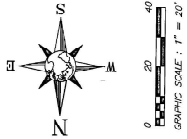
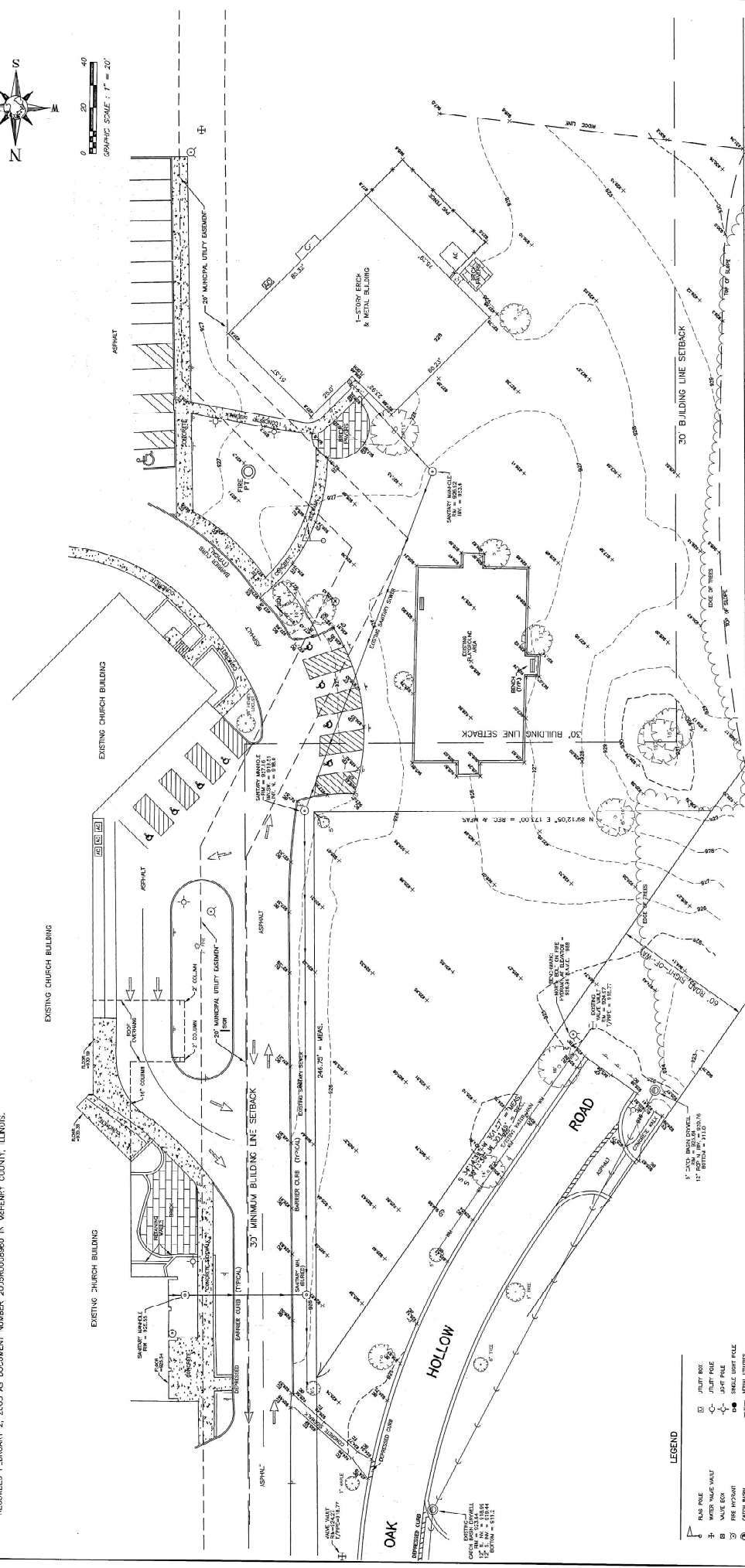


EFCCL Proposed new paving I

05/0

PLAT OF TOPOGRAPHY

LEGAL DESCRIPTION:
 PART OF LOTS 1 IN CHURCH SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 4, 2005 AS DOCUMENT NUMBER 2025R00000869 IN ARKENSAS COUNTY, ILLINOIS.



**THOMAS STREET
(UNIMPROVED)**

**OAK HOLLOW
ROAD
(UNIMPROVED)**

CRYSTAL LAKE EFC. PLAT OF TOPOGRAPHY

SCALE : 1" = 20'
 DATE : 1-08-2022
 DRAWN BY : JAC. M. 2022-01-08
 PROJECT NO. : 2022-001
 PROPERTY ADDRESS :
 CRYSTAL LAKE EFC. CHURCH
 CRYSTAL LAKE, ILLINOIS
 DRAWN BY : JAC. M. 2022-01-08
 CHECKED BY : RWB
 ARB NO. : 2022-074 TDP
 COPYRIGHT © 2022

REVISIONS

NO.	DATE	DESCRIPTION
1	1-08-2022	ISSUE FOR PERMITS

PROJECT INFORMATION

PROJECT NO.	2022-001
PROPERTY ADDRESS	
SITE SPECIAL LOTS ADMIN	
CRYSTAL LAKE, ILLINOIS	

DATE PLOTTED : 1-10-2022
PROJECT : CRYSTAL LAKE EFC. CHURCH
CLIENT : CRYSTAL LAKE EFC.
DRAWN BY : JAC. M. 2022-01-08
CHECKED BY : RWB
ARB NO. : 2022-074 TDP
COPYRIGHT : © 2022

THE SURVEYOR HAS CONDUCTED THE SURVEY AND PREPARED THIS PLAT OF TOPOGRAPHY IN ACCORDANCE WITH THE SURVEYING ACT AND THE PROFESSIONAL LAND SURVEYING ACT OF THE STATE OF ILLINOIS. THE SURVEYOR HAS VERIFIED THE ACCURACY OF THE SURVEY DATA AND THE PLAT OF TOPOGRAPHY BY THE USE OF A TOTAL STATION AND A REAL TIME KINETIC (RTK) GPS SYSTEM. THE SURVEYOR HAS ALSO VERIFIED THE EXISTING SURVEY DATA BY THE USE OF AN INDEPENDENT SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SURVEY DATA SINCE THE SURVEY WAS COMPLETED. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SURVEY DATA SINCE THE SURVEY WAS COMPLETED. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SURVEY DATA SINCE THE SURVEY WAS COMPLETED.

STATE OF ILLINOIS
 COUNTY OF MICHIGAN

WE, HERETOFORE LAND SURVEYORS, JACOB M. SULLIVAN AND RYAN W. BROWN, DO HEREBY CERTIFY THAT WE HAVE CONDUCTED THE SURVEY AND PREPARED THIS PLAT OF TOPOGRAPHY IN ACCORDANCE WITH THE SURVEYING ACT AND THE PROFESSIONAL LAND SURVEYING ACT OF THE STATE OF ILLINOIS. THE SURVEYOR HAS VERIFIED THE ACCURACY OF THE SURVEY DATA AND THE PLAT OF TOPOGRAPHY BY THE USE OF A TOTAL STATION AND A REAL TIME KINETIC (RTK) GPS SYSTEM. THE SURVEYOR HAS ALSO VERIFIED THE EXISTING SURVEY DATA BY THE USE OF AN INDEPENDENT SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SURVEY DATA SINCE THE SURVEY WAS COMPLETED. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SURVEY DATA SINCE THE SURVEY WAS COMPLETED. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SURVEY DATA SINCE THE SURVEY WAS COMPLETED.

LEGEND

- PLAT PALE
- WATER MARK VALVE
- SHORT PALE
- LONG PALE
- IRON BOLT
- IRON NAIL
- IRON NAIL ON CONCRETE
- STOM NAIL
- STOM NAIL
- STOM NAIL
- FLARE END SECTION
- SMITHY MARK
- CLASNET
- SHORT PALE
- WATER MARK VALVE
- SHORT PALE
- LONG PALE
- IRON BOLT
- IRON NAIL
- IRON NAIL ON CONCRETE
- STOM NAIL
- STOM NAIL
- STOM NAIL
- FLARE END SECTION
- SMITHY MARK
- CLASNET

ABBREVIATIONS

- E = EXISTING
- N = NEW
- BL = BARRIERS
- BLK = BLOCKS
- CONC = CONCRETE
- F = FINISH
- G = GRADE
- P = PAVED
- R = ROAD
- S = SIDEWALK
- UT = UTILITY
- W = WALL
- W/W = WOODWORK
- Y = YARD
- Z = ZONE

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
 2. THE SURVEYOR HAS CONDUCTED THE SURVEY AND PREPARED THIS PLAT OF TOPOGRAPHY IN ACCORDANCE WITH THE SURVEYING ACT AND THE PROFESSIONAL LAND SURVEYING ACT OF THE STATE OF ILLINOIS.
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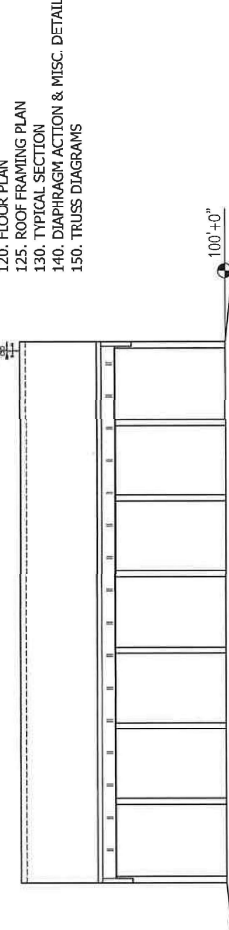
CLEARY BUILDING CORP.
 190 PAOLI STREET / P.O. BOX 580220
 VERONA, WI 53898 / (800) 373-5559
 DRAWN BY: KELLY GAFFNEY
 DATE DRAWN: 5/14/22

NUMBER	DATE	BY
1		
2		
3		
4		

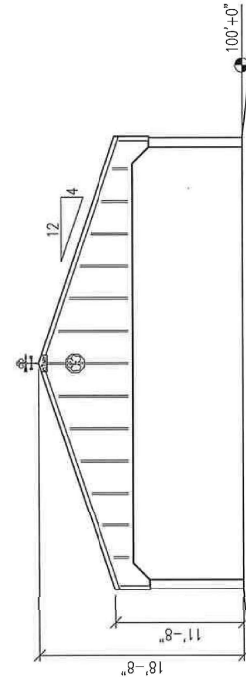
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- 130. TYPICAL SECTION
- 140. DIAPHRAGM ACTION & MISC DETAILS
- 150. TRUSS DIAGRAMS

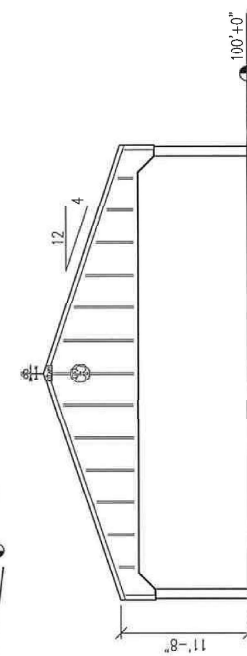
(1) CLEARY WEATHERVANE
 (OWNER LOCATE)



SOUTH ELEVATION

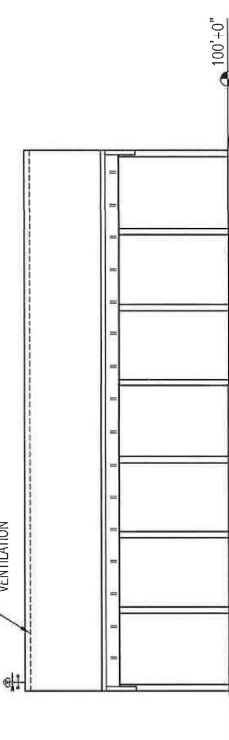


EAST ELEVATION



WEST ELEVATION

CONTINUOUS PEAK VENTILATION



NORTH ELEVATION

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to these materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context, or building code compliance.
 - This building is designed in accordance with the following codes and specifications:
 2018 International Building Code (IBC)
 2018 Edition of National Design Specifications for Wood Construction*
 Risk Category: II
 Use Group(s): Church Pavilion
 Building Type: Type VB
 Building Area: 2100 Sq. Ft.
- | | |
|----------------------------------|-----------------------------|
| Building Design Loads: | |
| Snow | 30 PSF |
| Ground Snow Load (Pg) | 1 |
| Snow Exposure Factor (Ce) | 94 |
| Slope Factor (Cs) | 1.2 |
| Thermal Factor (Ct) | 1.0 |
| Snow Load Importance Factor (Ib) | 25.2 PSF |
| Flat Roof Snow Load (Pf) | 23.6 PSF |
| Sloped Roof Snow Load (Ps) | 7.1 PSF Windward |
| Unobstructed Snow Loads: | 15.30 PSF Leeward surcharge |
| | 6.8 FT. Width of surcharge |
- | | |
|---------------------------------------|---------|
| Wind Design Data: | |
| Basic Wind Speed (V) | 115 MPH |
| Wind Exposure: | C |
| Design Internal Pressure Coefficient: | 0 |
- Earthquake Design Data: Building Frame System/Confined Column System/Timber Frames
 Design Base Shear: 2307 LBS
 Seismic Response Coefficient (Cc): 0.096
 Analysis Procedure Used: Equivalent Lateral Force Procedure
 Seismic Design Category: B
 Mapped Spectral Response Accelerations (Sa): 0.327g
 Spectral Response Coefficients (S_w): 0.144g
 (S₁): 0.094g
 Site Class: D
 Seismic Importance Factor (I): 1.0
 Response Modification Factor (R): 1.5
- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromical Copper Arsenate to a retention level of 60 lbs. per cubic foot. MWPA U1, UC4E.
 - All walls are to be finished hardener steel unless otherwise noted.
 - Ceiling shall be such that the surface water is directed away from the foundation. Minimum girth would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
 - Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
 - Electrical work, heating, ventilating, or conditioning, plumbing, and air ducting is not a part of this drawing and shall be installed as per applicable codes.
 - This design is based on a building site with east, slightly east, slope and, site grade design ground shall be per the IBC building code and State of WI Code 48.11, except for building elevation of 1500 feet with increases for slope and with has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE: This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

NOTE: This document, as presented and sealed, is not intended to be nor should it be construed as such, or complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any other building codes, regulations, or ordinances that may apply to this project. General specifications have been stated on assumed values on per IBC 601.05. General specifications are not intended to be a part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or sponsor is responsible for providing the necessary information and its subgrade.

PROJECT NAME: **KOLBE, MARK**
 PROJECT SITE ADDRESS: **575 E. CRYSTAL LAKE AVENUE - MCHENRY COUNTY**
 BUILDING SIZE: **42'-0"X50'-0"X11'-8"**
 SHEET NAME: **ELEVATIONS**

PROJECT NUMBER: **2022101822**
 SHEET NUMBER: **A10**
 SHEET SCALE: **NONE**

Professional Engineer Seal:
 Matthew B. Lawinger
 License No. 081-005999
 Expires 11-30-2022