

# #2022-157 MCC Science Center Building and Master Sign

Plan - Final PUD Amendment

### **Project Review for Planning and Zoning Commission**

Meeting Date: August 17, 2022

**Request:** Final PUD Amendment for the Foglia Tech Center Building.

**Location:** 8900 Route 14

Acreage: Approximately 170 acres

**Existing Zoning:** W Watershed

**Surrounding Properties:** North: O-PUD Office and A1-V Agriculture McHenry County

South: A1-V Agriculture McHenry County

East: A1-V Agriculture and OCV Office McHenry County

West: A1 Agriculture McHenry County

**Staff Contact**: Elizabeth Maxwell (815.356.3615)

#### **Background:**

- The current request is to construct the Center for Advanced Technology and Innovation and make modifications to the overall Master Sign Plan.
- The new two-story building will feature 48,677 square feet of classroom space.
- McHenry County College (MCC) is currently located at 8900 Route 14 and was annexed in 1985. Over the years the college has made numerous improvements to the campus.
- Previous Approvals:
  - o 1985-15: MCC Annexation
  - o 2000-09: PUD Amendment for building and parking lot expansion
  - o 2008-05: Variation to allow up to 50% impervious surface coverage
  - o 2012-30: Master Plan Conceptual
  - o 2013-12: Deferral from Watershed stormwater requirements for parking lot and temporary sign.
  - o 2014-04: Sign Variation to allow a temporary 104 square-foot, 10.5-foot high sign.
  - o 2015-65: Adoption of a Master Sign plan for the campus.
  - o 2016-57: Final PUD Amendment for the construction of the Science Center building and to modify the Master Sign Plan for MCC

#### **Development Analysis:**

#### **Technology and Innovation Center**

#### Site Layout:

- Outside of building D and a green house is a parking area and single-story storage building. These will be demolished to make room for the new building.
- The majority of the area is already impervious coverage. MCC will be able to meet all of the Watershed and storm water requirements.

#### **Building Elevations:**

- MCC is exempt from the UDO design standards, but will blend with the existing buildings with its modern style.
- The building features a variety of materials to give it a modern "innovative" look. It will feature large windows to let in light and add to the desired look of the building.
- The building also uses brick, aluminum and metal composite panels and polycarbonate wall panels.

#### Parking:

• MCC has sufficient on-site parking for its students.

#### Landscape:

- The building will feature a green roof.
- Native grass seed will be spread at the bottom of the infiltration basin and turf grass will be planted in the other disturbed areas.

#### Wall Signs:

- Across the first floor glass windows is the building name FOGLIA CATI for the Foglia Center for Advanced Technology and Innovation.
- The letters are 10 feet high and span a length of approximately 88 feet. This is 880 square feet of wall signage.

This new wall sign will amend the Master Sign Plan for building wall signage.

#### **Findings of fact:**

#### **Planned Unit Development Amendment**

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. If the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation request be lessened or denied.

The Planned Unit Development Amendment proposed by the Petitioner includes the following variations from the UDO:

#### Article 4-1000 Signs

- UDO allows 150 square feet of wall signage per building.
  - The building features a wall sign along the window bays of the first floor. The translucent applied film features the name of the building as part of the design of the architecture. The signage totals 880 square feet.

#### Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan designates the subject property as Public / Semi-Public. MCC fits within this category. The following goals are applicable to this request:

#### **Land Use: Public / Semi-Public**

**Goal:** Provide area for high quality public and semi-public facilities, such as schools, libraries, municipal facilities and private service providers, throughout the City to support the diverse and evolving needs of the people in the City.

This can be accomplished with the following supporting action:

**Supporting Action:** The City shall support the school districts, library, park district, neighboring municipalities, private service providers and other public and semi-public agencies.

**Success Indicator**: The number of zoning approvals for public/semi-public projects.

#### **Recommended Conditions:**

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

- 1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (MCC, received 07/26/22)
  - B. Architectural Plan (Ross Barney Architects, dated 06/17/22, received 07/15/22)
- 2. Provide a final landscape plan for review and approval by city staff.

3. The petitioner shall comply with all of the requirements of the Community Development, Engineering and Public Works, and Fire Rescue Departments, as well as the City's storm water consultant.

PIQ Map 8900 US Route 14







The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information	
Name:	
Address:	
Phone:	
E-mail:	
Project Name & Description:	
Project Address/Location:	
Signature	
Owner: Print and Sign name	Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

## PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION OF McHenry County College District 528

#### LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Robert Tenuta, on behalf of the McHenry County College District 528, for a Final Planned Unit Development Amendment, relating to the property at 8900 U.S. Highway 14 in Crystal Lake, Illinois 60014. PINs: 13-25-300-021, 13-25-176-001, 13-25-300-015.

This application is filed for the purpose of seeking an amendment to an approved Final Planned Unit Development to allow the construction of the Center for Advanced Tech & Innovation with any variations for signage, pursuant to Article 2, Article 4 and Article 9-200 D and E. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday August 17, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake

(Published in the Northwest Herald on July 30, 2022)2004445

STATE OF ILLINOIS

**COUNTY OF MCHENRY** 

IN THE MATTER OF THE APPLICATION OF McHenry County College District 528;

#### **AFFIDAVIT**

(Name), being first duly sworn on oath deposes and states as follows:

- A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on August 17, 2022, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on August 1, 2022.
- B. That the posting requirements of the Zoning Ordinance have been complied with by placing the customary public notice sign on the subject property on 8900 U.S. Hwy. 14, Crystal Lake, IL 60012.

Roberg Tenung (name) (Signature)

Subscribed and Sworn to me before

This 15t day of August, 2022

Notary Public

OFFICIAL SEAL MARY CORNETT NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES:10/14/24 CDB - PROJECT NUMBER <u>810</u> - <u>066</u> - <u>019</u>

CONSTRUCT CAREER, TECH. AND MFG. CENTER (FOGLIA CENTER FOR ADVANCED TECHNOLOGY AND INNOVATION) MCHENRY COUNTY COLLEGE CRYSTAL LAKE, MCHENRY COUNTY CDB BUILDING INVENTORY NO. <u>J027</u>

FOR: STATE OF ILLINOIS CAPITAL DEVELOPMENT BOARD

**USING AGENCY:** McHENRY COUNTY COLLEGE

BY:





MEP ENGINEERS

303 WEST ERIE STREET, SUITE 5100 CHICAGO IL 60654 312.915.0057



STRUCTURAL ENGINEERS

330 WABASH STREET, SUITE 1500 CHICAGO IL 60611 312.596.2000



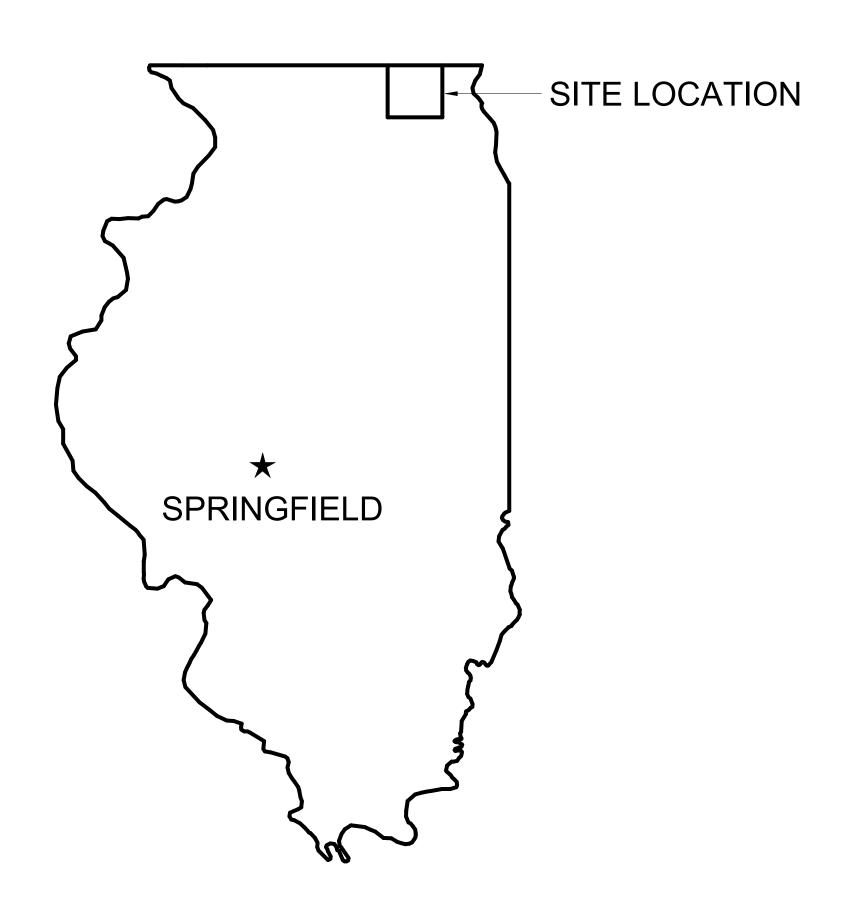
**CIVIL ENGINEERS** 

3750 N KEDZIE AVE. CHICAGO IL 60618 312.544.9108

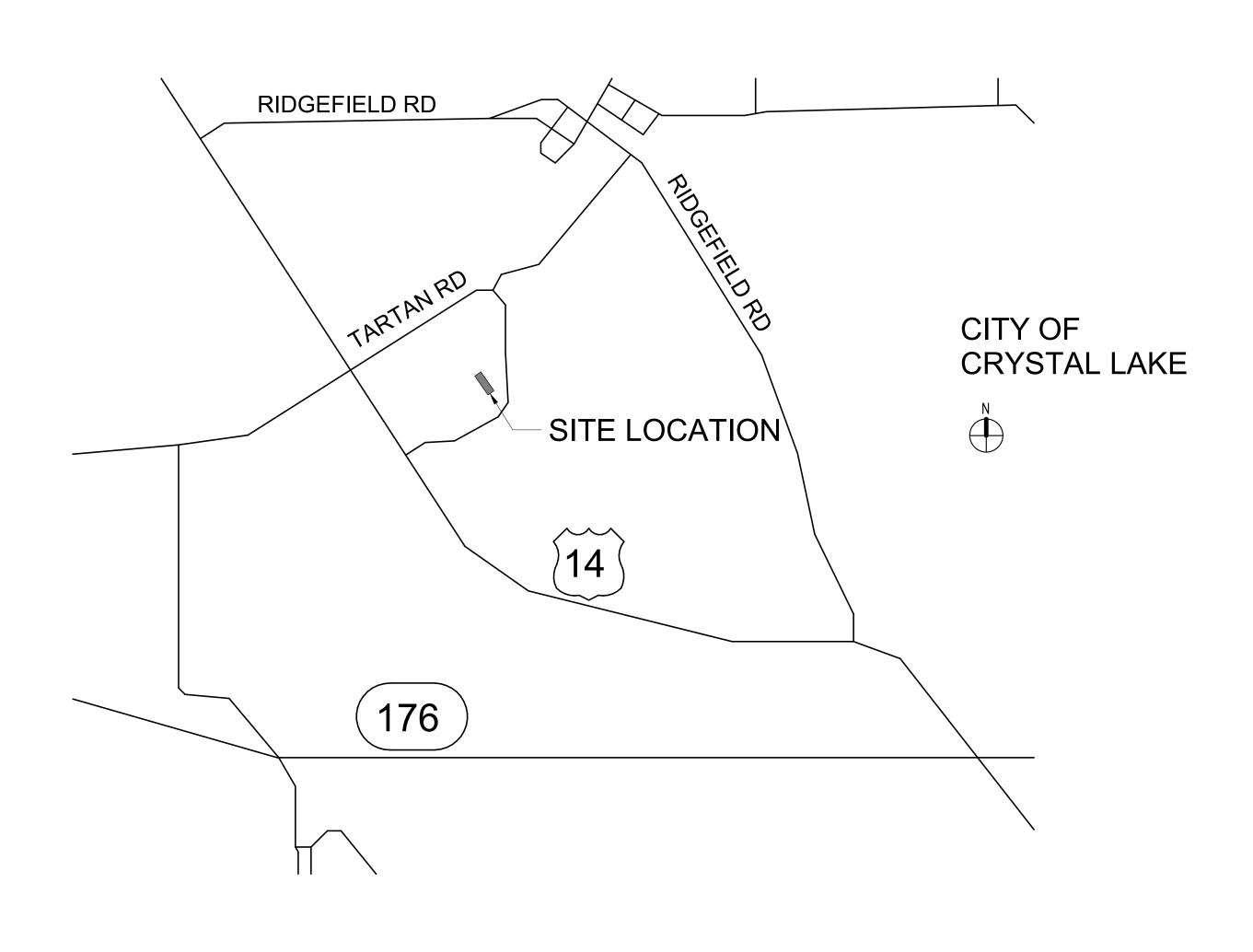


ACOUSTICAL ENGINEERS

141 WEST JACKSON BOULLEVARD, SUITE 2080 CHICAGO IL 60604 312.386.1400



STATE LOCATION PLAN



**AREA LOCATION PLAN** 

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME

**REVISIONS** 1 | 10/11/21 | DESIGN DEVELOPMENT 2 | 12/20/21 | 75% CD CHECKED APPROVED 3 04/11/22 100% CD 4 06/17/22 101% DESIGN SUBMITTAL





State of Illinois JB PRITZKER, GOVERNOR Illinois Capital Development Board

COVER SHEET
FOGLIA CENTER FOR ADVANCED TECH. & INNOVATION
McHENRY COUNTY COLLEGE
8900 US HIGHWAY 14

810-066-019 06/17/22 SHEET NO. G-001 CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS 1 OF (251) SHEETS

