



#2022-116
123 Edgewater Drive – Variations
Project Review for Planning and Zoning Commission

Meeting Date: August 17, 2022

- Requests:**
1. Variation from Article 3 Density and Dimensional Standards
 - a. Section 3-200 from the maximum building coverage of 40% to allow 47% coverage, a variation of 7% or 688 square feet
 - b. Section 3-200 from the maximum impervious surface coverage of 50% to allow 57%, a variation of 7% or 688 square feet
 - c. Section 3-200 from the required 7-foot interior side yard to allow 2 feet 10 inches, a variation of 4 feet 2 inches
 - d. Section 3-200 from the required combined total side yard setbacks of 18 feet to allow 12 feet, a variation of 6 feet
 - e. Section 3-300 3 from the required 71.68-foot front yard setback to allow 13.83 feet, a variation of 57.85 feet
 - f. Section 3-300 from the required 21.2-foot yard abutting a street setback to allow 11.2 feet, a variation of 10 feet
 2. Article 7 Non Conformities
 - a. Section 7-300 B to allow the enlargement of a non-conforming structure to allow the addition to the house increasing the footprint and the volume
 - b. Section 7-300 B to allow the enlargement of a non-conforming structure to allow the connection of the garage to the house and increase in volume to install a second story

Location: 123 Edgewater Drive

Acreage: Approximately 9,978 square feet

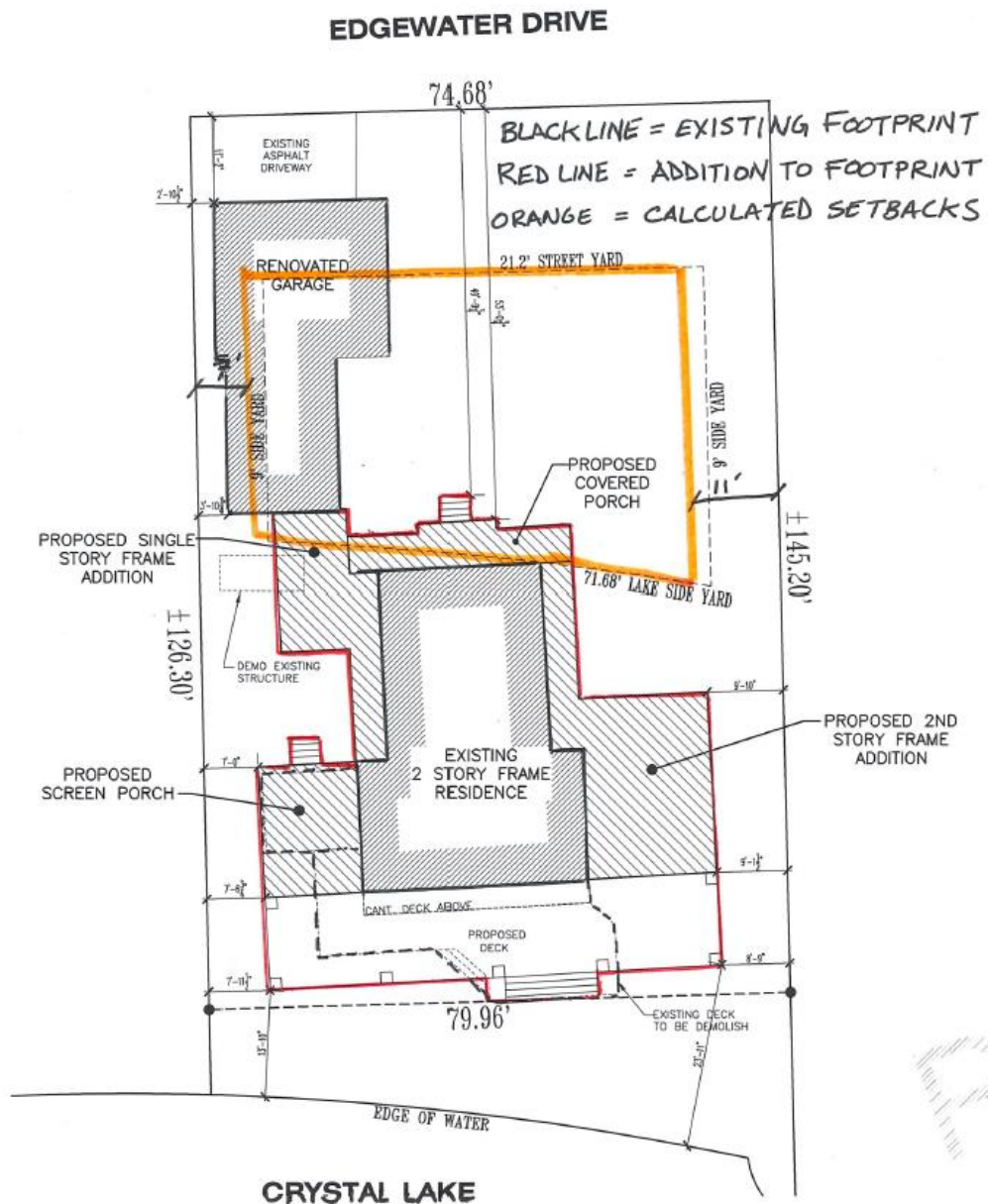
Existing Zoning: R-2 Single Family

Surrounding Properties: North: R-2 Single Family
South: R-2 Single Family
East: R-2 Single Family
West: R-2 Single Family

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The current property is a conforming lot with a non-conforming single-family home.
- Setbacks for properties in existing neighborhoods are determined by the average of the homes within 400 feet. The average setbacks have come out to 21.2 feet along the street and 71.68 feet along the lake. The existing footprint of the house is in the front yard setback.
- There are a significant number of variation requests as outlined on the first page of the report. The buildable area for the lot is highlighted in orange below.



Development Analysis:

General

- **Zoning:** The site is zoned R-2 Single Family. This property is used as a single-family home.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.

Project Analysis:

SITE PLAN

- The existing house footprint is 1,735 square feet. An additional 1,137 square feet is proposed, the majority of which is proposed in the front yard setback.
- The existing floor plan will be remodeled and two large wings at the south end of the lot will be added for a great room and a screened porch. These two wings double the frontage of the home fronting the lake.
- A full deck is proposed along the length of the lake front side of the home projecting 12 feet out and then an additional four feet for the stairs.
- In order to add a second story to the garage, the petitioner is attaching it to the principal structure. The existing garage does not meet the principal or accessory structure setbacks. Attaching it to the principal structure requires it meet the minimum seven-foot side yard setback for the principal structure.
- Variations from building coverage and impervious surface coverage are being requested due to the additions. The deck is included in these calculations.

ELEVATIONS

- The street side elevation features a stone faced raised porch. Decorative features have been added under the peaked roofs.
- The lake side elevation, also features the stone column raised deck and the decorative elements under the peaked roof. A second deck extends out from the second story.
- A second story with projecting dormers is proposed for the garage portion of the structure.

STORM WATER

- Complete engineering plans are required as part of the house permitting process in order to determine the storm water and infiltration improvements required. The petitioner will need to satisfy engineering review comments before a building permit can be issued. Staff has identified the following items that will need to be addressed as part of the design:
 - There is a relatively large area of land upstream of the property that drains through the east side of the property. The petitioner will have to hire a Licensed Professional Engineer to prepare the grading plan for the property and to design an adequate storm water management infrastructure to accommodate and properly convey this offsite water along the east side of the property for a 100-year storm event. It is

likely that this infrastructure will take the form of a swale or storm sewer and infiltration trenches. The swale will likely encompass the entire side yard on the east side of the home. Best Management Practices (BMP's) shall be required in the design of the swale. A "river rock" type swale may be required. The elevation of the house and garage shall be set to avoid any storm water being directed towards the doors of the new home or garage. Additional storm water features, such as additional trench drains may be required for this tributary flow.

- Trench drains will also be required to infiltrate 95% of the water from the new impervious on the lot. The roof drains will need to be tied into the trench drain. These trench drains will be in addition to any required to handle off-site flows.
- The area under the deck must be pervious. Weed fabric that allows water to infiltrate is allowed. Impervious fabric or vinyl plastic is not allowed. The deck will not be allowed to be covered.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting Variations from Article 3 Density and Dimensional Standards from the maximum building coverage to allow 47% coverage, from the maximum impervious surface coverage to allow 57%, from the required 7-foot interior side yard to allow 2 feet 10 inches, from the required combined total side yard setbacks of 18 feet to allow 12 feet, from the required 71.68-foot front yard setback to allow 13.83 feet, from the required 21.2-foot yard abutting a street setback to allow 11.2 feet.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Parrish, received 07/06/22)
 - B. Architectural Plans (ALA, dated 07/01/22, received 07/06/22)
2. No additional impervious coverage is permitted anywhere on the lot.
3. No additional impervious coverage is permitted between the existing home and the water's edge. No fabric, plastic sheeting, etc shall be placed under the deck which causes it to become impervious. The deck shall not be covered.
4. Utilize an Illinois Registered Licensed Professional Engineer to prepare the grading plan for the property and to design an adequate storm water management infrastructure to accommodate and properly convey the offsite water along the east side of the property for a 100-year storm event.
5. Trench drains will be required to infiltrate 95% of the water from the new impervious on the lot. The roof drains will need to be tied into the trench drain. These trench drains will be in addition to any required to handle off-site flows.
6. The petitioner shall address all of the review comments and requirements of Community Development Department, the Public Works and Engineering Department, and the City's Stormwater Consultant.

PIQ Map
123 Edgewater Drive





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: _____

Address: _____

Phone: _____

E-mail: _____

Project Name & Description: _____

Project Address/Location: _____

Signature

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICATION OF Tim Parrish

LEGAL NOTICE

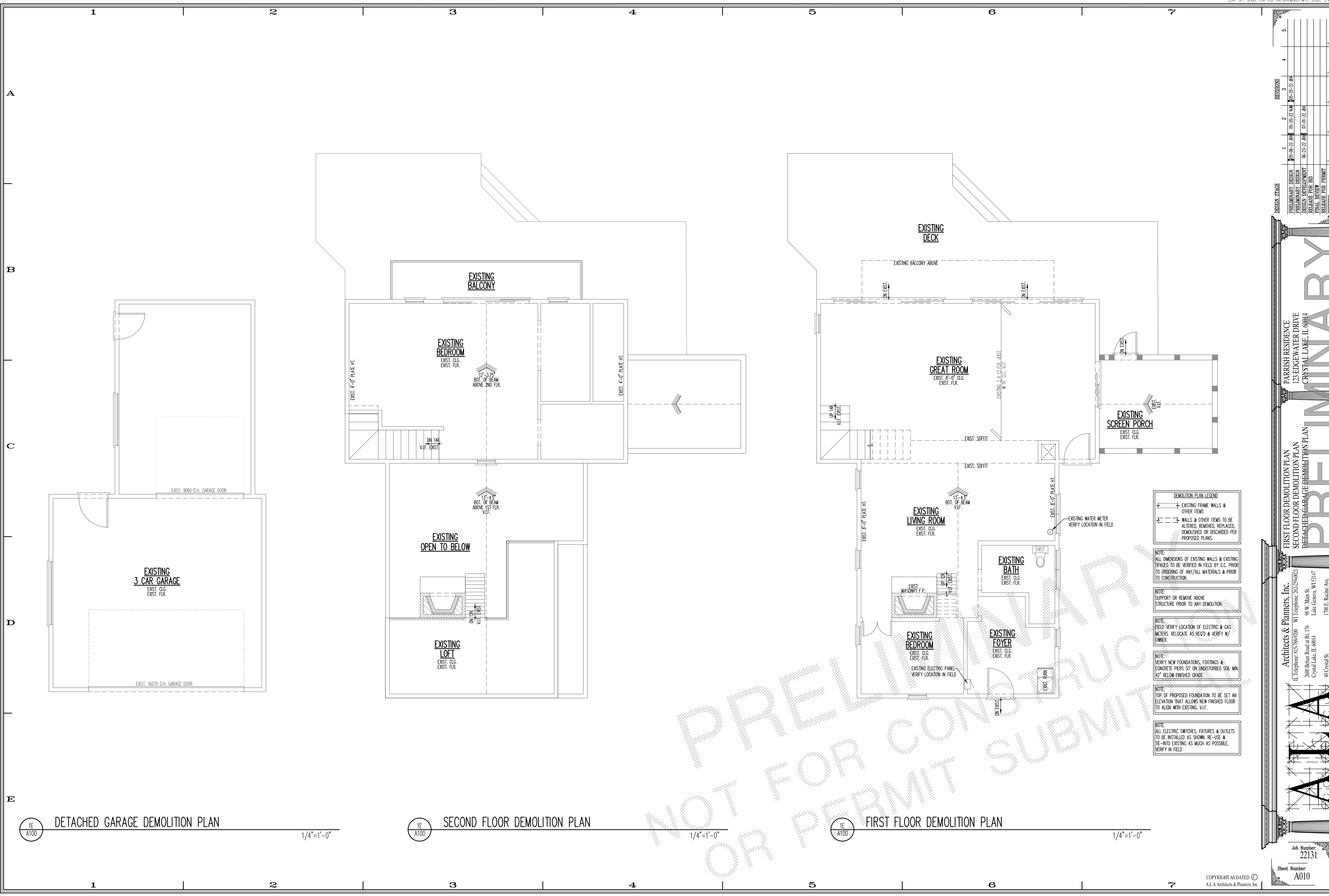
Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Tim Parrish for approval of variations allowing the construction of additions to a residence and the connection and at the following real estate known as 123 Edgewater Drive, Crystal Lake, Illinois 60014, PIN: 18-01-139-003.

This application is filed for the purpose of seeking Simplified Residential Zoning Variations from the required 71.68-foot front yard setback to allow an encroachment of 57.85 feet, from the required 21.2-foot yard abutting a street to allow an encroachment of 10 feet, from the required 7-foot minimum side yard setback to allow an encroachment of 4 feet 2 inches, from the combined total side yards required to be 18 feet allowing the combined total of 12 feet, from the maximum 50% impervious surface coverage to allow 57% coverage, from the maximum building coverage of 40% to allow 47%, to allow the expansion of a non-conforming structure to increase the size, area and volume to the house and adding a second story to the garage portion, and any other variations as noted at the public hearing pursuant to Unified Development Ordinance Article 3, Article 4, Article 7, and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, August 17, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission City of Crystal Lake

(Published in Northwest Herald July 30, 2022)2004411



1E A100 DETACHED GARAGE DEMOLITION PLAN 1/4"=1'-0"

1E A100 SECOND FLOOR DEMOLITION PLAN 1/4"=1'-0"

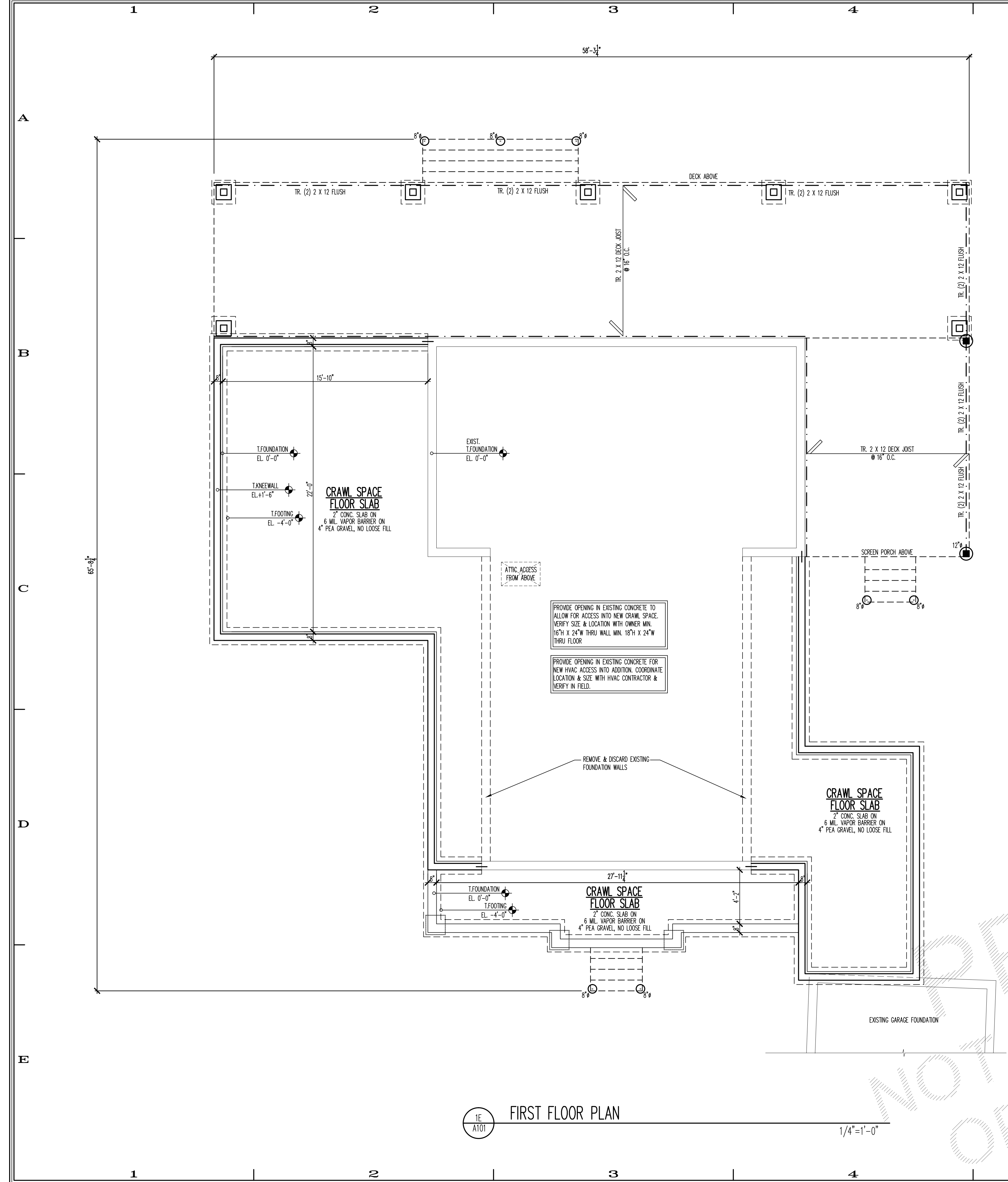
1E A100 FIRST FLOOR DEMOLITION PLAN 1/4"=1'-0"

- DEMOLITION PLAN LEGEND**
- EXISTING FRAME WALLS & OTHER ITEMS
 - - - WALLS & OTHER ITEMS TO BE ALTERED, REMOVED, REPLACED, DEMOLISHED OR DISCARDED PER PROPOSED PLANS.
- NOTE:** ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.
- NOTE:** SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.
- NOTE:** FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS REQ'D & VERIFY W/ OWNER.
- NOTE:** VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERS SIT ON UNDISTURBED SOIL MIN. 42" BELOW FINISHED GRADE.
- NOTE:** TOP OF PROPOSED FOUNDATION TO BE SET AN ELEVATION THAT ALLOWS NEW FINISHED FLOOR TO ALIGN WITH EXISTING, V.L.F.
- NOTE:** ALL ELECTRIC SWITCHES, FIXTURES & OUTLETS TO BE INSTALLED AS SHOWN. RE-USE & TIE-INTO EXISTING AS MUCH AS POSSIBLE. VERIFY IN FIELD.

PRELIMINARY
 PARRISH RESIDENCE
 123 EDGEWATER DRIVE
 CRYSTAL LAKE, IL 60014
 FIRST FLOOR DEMOLITION PLAN
 SECOND FLOOR DEMOLITION PLAN
 DETACHED GARAGE DEMOLITION PLAN
 Architects & Planners, Inc.
 IL Telephone: 815-788-9200 WI Telephone: 262-259-4021
 2600 Behan Road at Rt. 176 Crystal Lake, IL 60014 98 W. Main St. Lake Geneva, WI 53147
 40 Crystal St. Cary, IL 60013 1700 E. Basine Ave. Waukegan, WI 53186
 Job Number: 22131
 Sheet Number: A010
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NO.	DATE	DESCRIPTION
1	06-22-22	DESIGN DEVELOPMENT
2	06-22-22	DESIGN DEVELOPMENT
3	06-22-22	DESIGN DEVELOPMENT
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5	06-22-22	DESIGN DEVELOPMENT
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47	06-22-22	DESIGN DEVELOPMENT
48	06-22-22	DESIGN DEVELOPMENT
49	06-22-22	DESIGN DEVELOPMENT
50	06-22-22	DESIGN DEVELOPMENT

PRELIMINARY
 NOT FOR CONSTRUCTION
 NOT FOR PERMIT SUBMITTAL



DEMOLITION PLAN LEGEND

	EXISTING FRAME WALLS & OTHER ITEMS TO BE REMOVED
	WALLS & OTHER ITEMS TO BE ALTERED, REMOVED, REPLACED, DEMOLISHED OR DISCARDED PER PROPOSED PLANS

NOTE: ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.

NOTE: SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.

NOTE: FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS REQ'D & VERIFY W/ OWNER.

NOTE: VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERS SIT ON UNDISTURBED SOIL MIN. 42" BELOW FINISHED GRADE.

NOTE: TOP OF PROPOSED FOUNDATION TO BE SET AN ELEVATION THAT ALLOWS NEW FINISHED FLOOR TO ALIGN WITH EXISTING, V.A.F.

DECK CONSTRUCTION

- + ALL OUTDOOR DECK FRAMING LUMBER TO BE PRESSURE TREATED SPF#2 LUMBER UNLESS OTHERWISE NOTED
- CONCRETE PIERS:**
 - PIER DIAMETER PER PLAN
 - TOP OF PIER 6" MIN. ABOVE FIN. GRADE
 - BOTTOM OF PIERS TO SIT ON UNDISTURBED SOIL 42" MIN. BELOW FIN. GRADE
- DECK POSTS:**
 - SIZE OF POSTS PER PLAN
 - POST FASTENED TO CONC. PIER W/ GALVANIZED STEEL POST TO PIER STANDOFF BRACKET
 - PROVIDE DECK JOIST/BEAM TO CONC. PIER CONNECTION BRACKET FOR DECKS WITHOUT POSTS
- DECK:**
 - TR. DECK JOIST PER PLAN
 - TR. 2x LEDGER BOARD (2 X 8 MIN.) FOR DECK TO HOUSE CONNECTION, PER PLAN
 - CODE REQUIRED LATERAL DECK TO HOUSE CONNECTIONS PER PLAN
 - TR. 5/4" X 6" BECKING LAYER PERP. TO DECK JOIST W/ 1/8" SPACING PER MFG. SPECS. OR COMPOSITE BECKING INSTALLED PER MFG. SPECS.
- DECK STAIR(S):**
 - MIN. (1) STAIR SET DOWN TO GRADE. LOCATION PER PLAN, VERIFY W/ OWNER
 - STAIR RISER HEIGHT 7-3/4" MAX (SOLID) W/ 4" MAX. OPENINGS
 - STAIR TREAD 10" MIN.
 - STAIR WIDTH 36" MIN.
 - STAIR HAND RAILING REQ'D ON MIN. (1) SIDE OF STAIR & BOTH SIDES OF STAIR WHEN APPLICABLE
 - CONC. PIER @ BOTTOM OF EACH STAIR STRINGER
 - CONC. STOOP 36" X STAIR WIDTH @ BOTTOM OF DECK STAIR WHEN APPLICABLE
- TR. WOOD DECK RAILING(S):**
 - 36" HIGH GUARD RAILINGS REQ'D ON ALL DECKS GREATER THAN 30" ABOVE ADJACENT WALKING LEVEL(S)
 - TR. 4 X 4 POSTS SPACED AS REQ'D FOR RAILING SYSTEM TO RESIST 200# LATERAL LOAD
 - TR. 2 X 6 VERT. & HOR. @ TOP HAND RAIL
 - TR. 2 X 2 BALUSTERS W/ 4" MAX. OPENINGS
 - + VERIFY STYLES W/ OWNER. ACCEPTABLE TO SUBSTITUTE-OUT STANDARD WOOD DECKING & WOOD RAILING SYSTEMS FOR OTHER SYSTEMS (i.e. COMPOSITE DECKING & METAL RAILINGS). ALL SUBSTITUTIONS TO MEET MFG. SPECS. & LOCAL CODES FOR CONSTRUCTION.
 - + ALL DECK HANGERS, BRACKETS & FASTENING SYSTEMS TO MEET MFG. SPECS. & LOCAL CODES FOR CONSTRUCTION.
 - + REFER TO STAIR NOTES ON SHEET ADDD AND STAIR & RAIL DETAIL ON SHEET A301 FOR ADDITIONAL CONSTRUCTION SPECS. & CODE REQUIREMENTS.

PROVIDE OPENING IN EXISTING CONCRETE TO ALLOW FOR ACCESS INTO NEW CRAWL SPACE. VERIFY SIZE & LOCATION WITH OWNER MIN. 16" H X 24" W THRU WALL MIN. 18" H X 24" W THRU FLOOR

PROVIDE OPENING IN EXISTING CONCRETE FOR NEW HVAC ACCESS INTO ADDITION. COORDINATE LOCATION & SIZE WITH HVAC CONTRACTOR & VERIFY IN FIELD.

CRAWL SPACE FLOOR SLAB
7" CONC. SLAB ON 6 MIL. VAPOR BARRIER ON 4" PEA GRAVEL, NO LOOSE FILL

1E A101 FIRST FLOOR PLAN

1/4"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	05-22-22	05-22-22
2	05-22-22	05-22-22
3	05-22-22	05-22-22
4	05-22-22	05-22-22
5	05-22-22	05-22-22

DESIGN STAGE

PRELIMINARY DESIGN	05-22-22	05-22-22
PRELIMINARY DESIGN	05-22-22	05-22-22
DESIGN DEVELOPMENT	06-22-22	06-22-22
RELEASE FOR BID	07-01-22	07-01-22
FINAL REVIEW		
RELEASE FOR PERMIT		
REVISION		

FOUNDATION PLAN

PARRISH RESIDENCE
123 EDGEWATER DRIVE
CRYSTAL LAKE, IL 60014

PRELIMINARY

Architects & Planners, Inc.

IL Telephone: 815-788-9200 WI Telephone: 262-259-0021

2800 Behan Road at Rt. 176
Crystal Lake, IL 60014

98 W. Main St.
Lake Geneva, WI 53147

1700 E. Resane Ave.
Waukegan, WI 53186

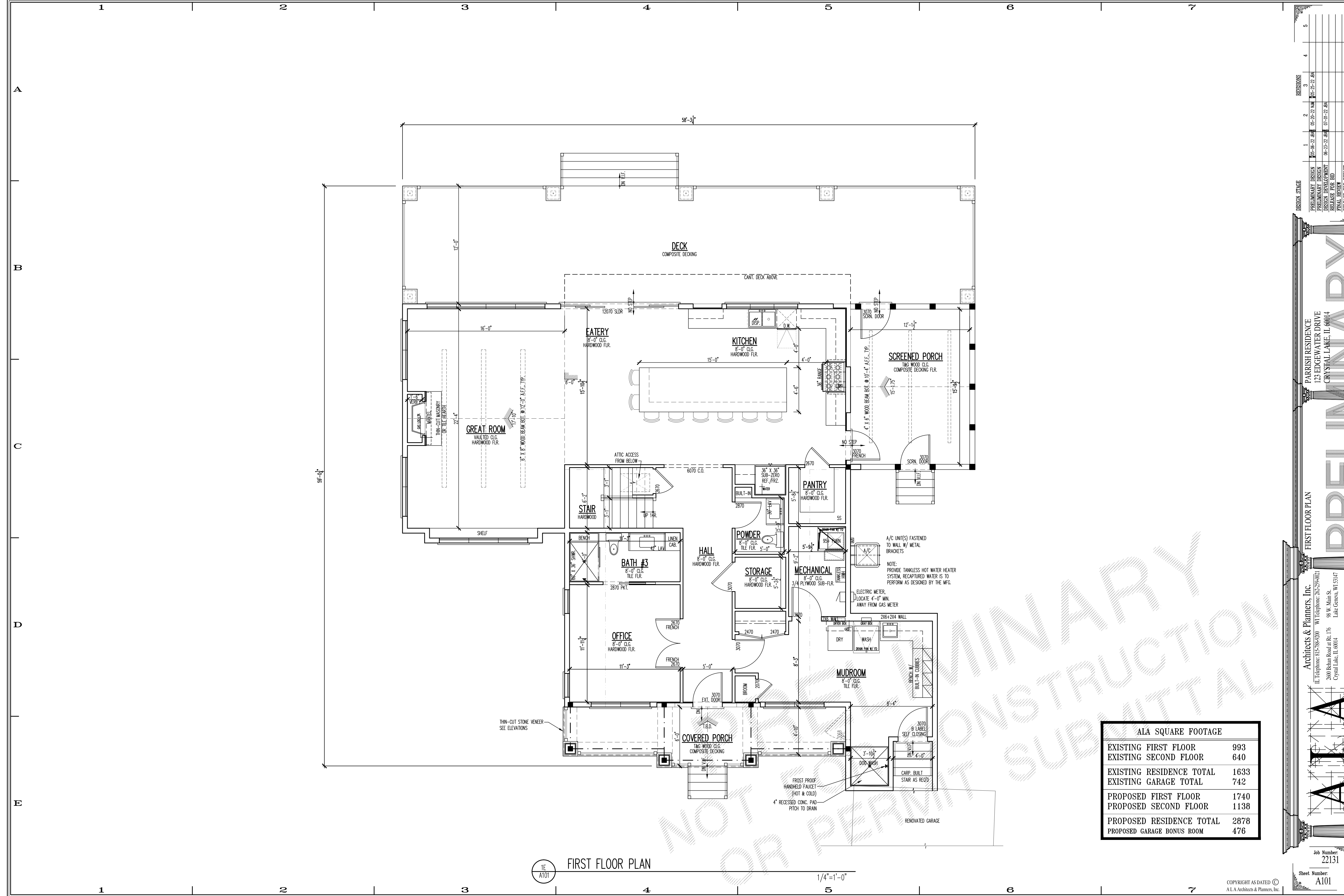
40 Crystal St.
Cary, IL 60013

AIA

Job Number: 22131

Sheet Number: A100

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1E
A101

FIRST FLOOR PLAN

1/4"=1'-0"

ALA SQUARE FOOTAGE	
EXISTING FIRST FLOOR	993
EXISTING SECOND FLOOR	640
EXISTING RESIDENCE TOTAL	1633
EXISTING GARAGE TOTAL	742
PROPOSED FIRST FLOOR	1740
PROPOSED SECOND FLOOR	1138
PROPOSED RESIDENCE TOTAL	2878
PROPOSED GARAGE BONUS ROOM	476

DESIGN STAGE

REVISIONS	DATE	DESCRIPTION
1	05-22-20	PRELIMINARY DESIGN
2	06-22-20	PRELIMINARY DESIGN
3	07-22-20	PRELIMINARY DESIGN
4	08-22-20	PRELIMINARY DESIGN
5	09-22-20	PRELIMINARY DESIGN

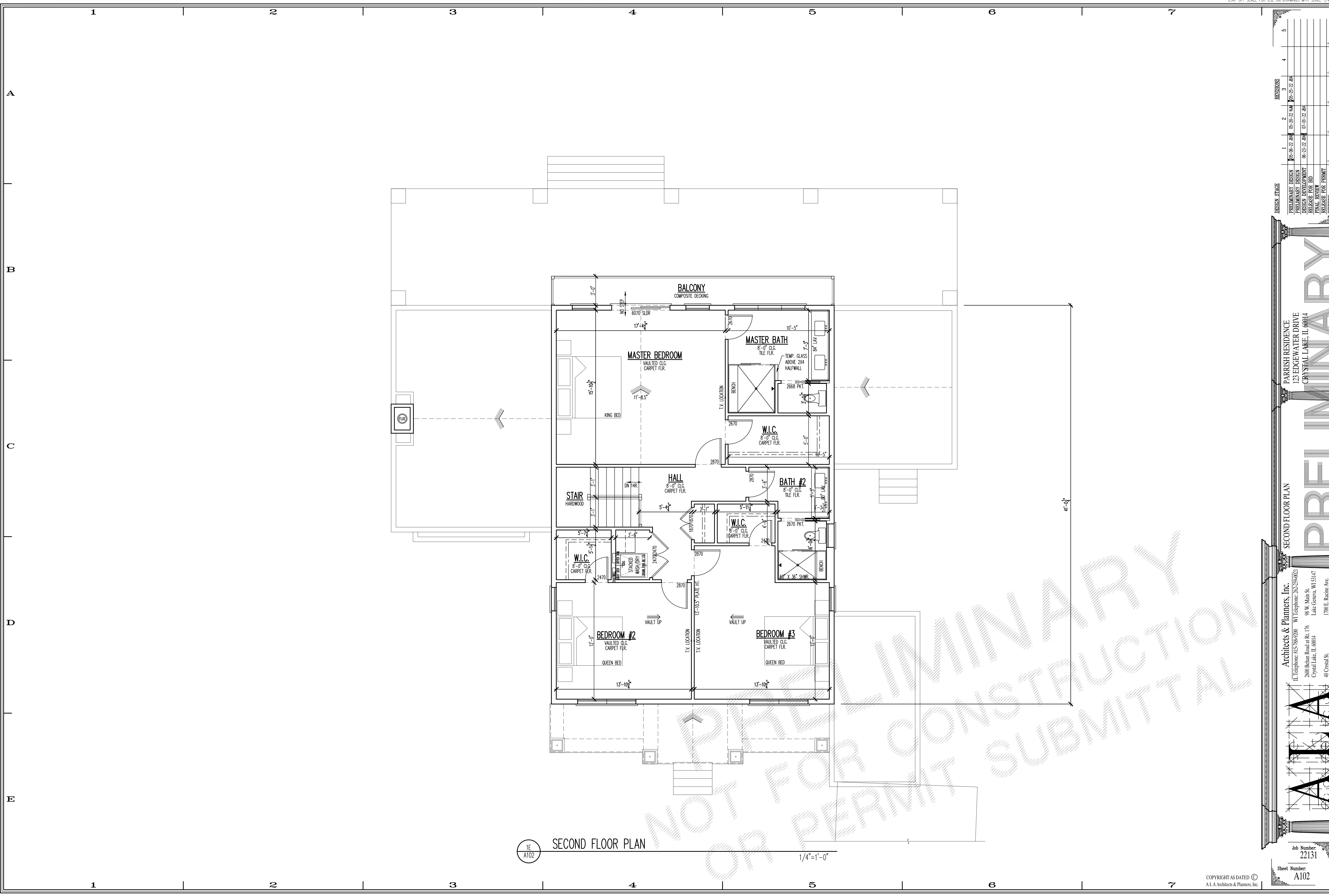
FIRST FLOOR PLAN

PRELIMINARY

PARRISH RESIDENCE
123 EDGEWATER DRIVE
CRYSTAL LAKE, IL 60014

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Cary, IL 60013 Waukesha, WI 53186

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1E
A102

SECOND FLOOR PLAN

1/4"=1'-0"

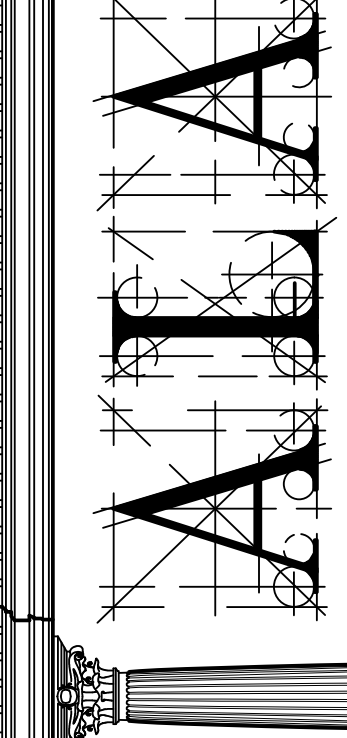
DESIGN STAGE	DATE	REVISIONS
PRELIMINARY DESIGN	05-22-20	1
PRELIMINARY DESIGN	05-22-20	2
DESIGN DEVELOPMENT	06-22-20	3
RELEASE FOR BID	07-02-20	4
FINAL REVIEW	07-02-20	5
RELEASE FOR PERMIT		

PARRISH RESIDENCE
123 EDGEWATER DRIVE
CRYSTAL LAKE, IL 60014

SECOND FLOOR PLAN

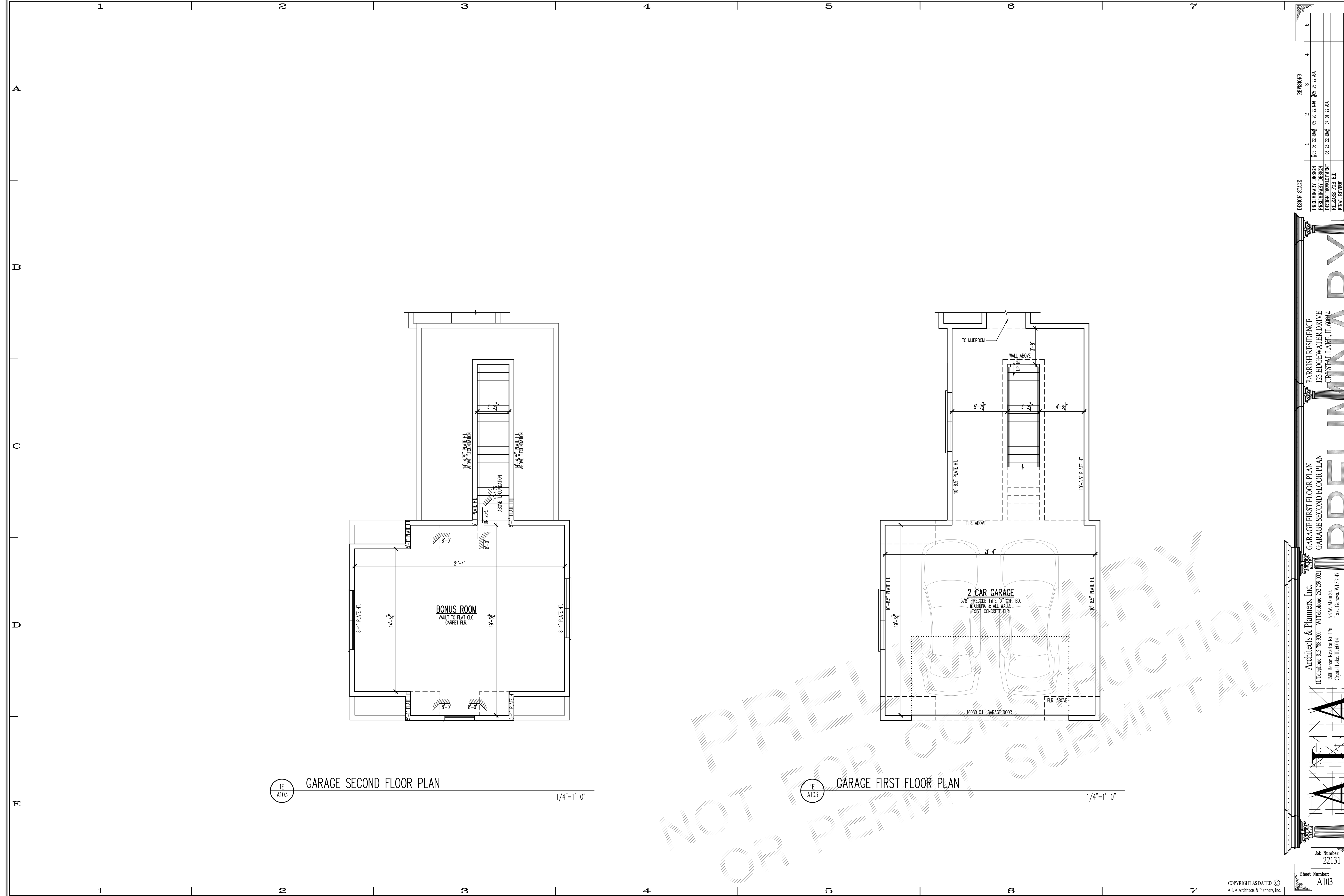
PRELIMINARY

Architects & Planners, Inc.
IL Telephone: 815-788-9200 WI Telephone: 262-259-0021
2800 Behan Road at Rt. 176 98 W. Main St.
Crystal Lake, IL 60014 Lake Geneva, WI 53147
40 Crystal St. 1700 E. Racine Ave.
Cary, IL 60013 Waukesha, WI 53186



Job Number:
22131

Sheet Number:
A102



1E A103 GARAGE SECOND FLOOR PLAN 1/4"=1'-0"

1E A103 GARAGE FIRST FLOOR PLAN 1/4"=1'-0"

DESIGN STAGE	REVISION	DATE
PRELIMINARY DESIGN	1	06-22-20
PRELIMINARY DESIGN	2	06-22-20
PRELIMINARY DESIGN	3	06-22-20
DESIGN DEVELOPMENT	4	07-01-20
RELEASE FOR BID	5	07-01-20
FINAL REVIEW	6	07-01-20
RELEASE FOR PERMIT	7	07-01-20

PRELIMINARY

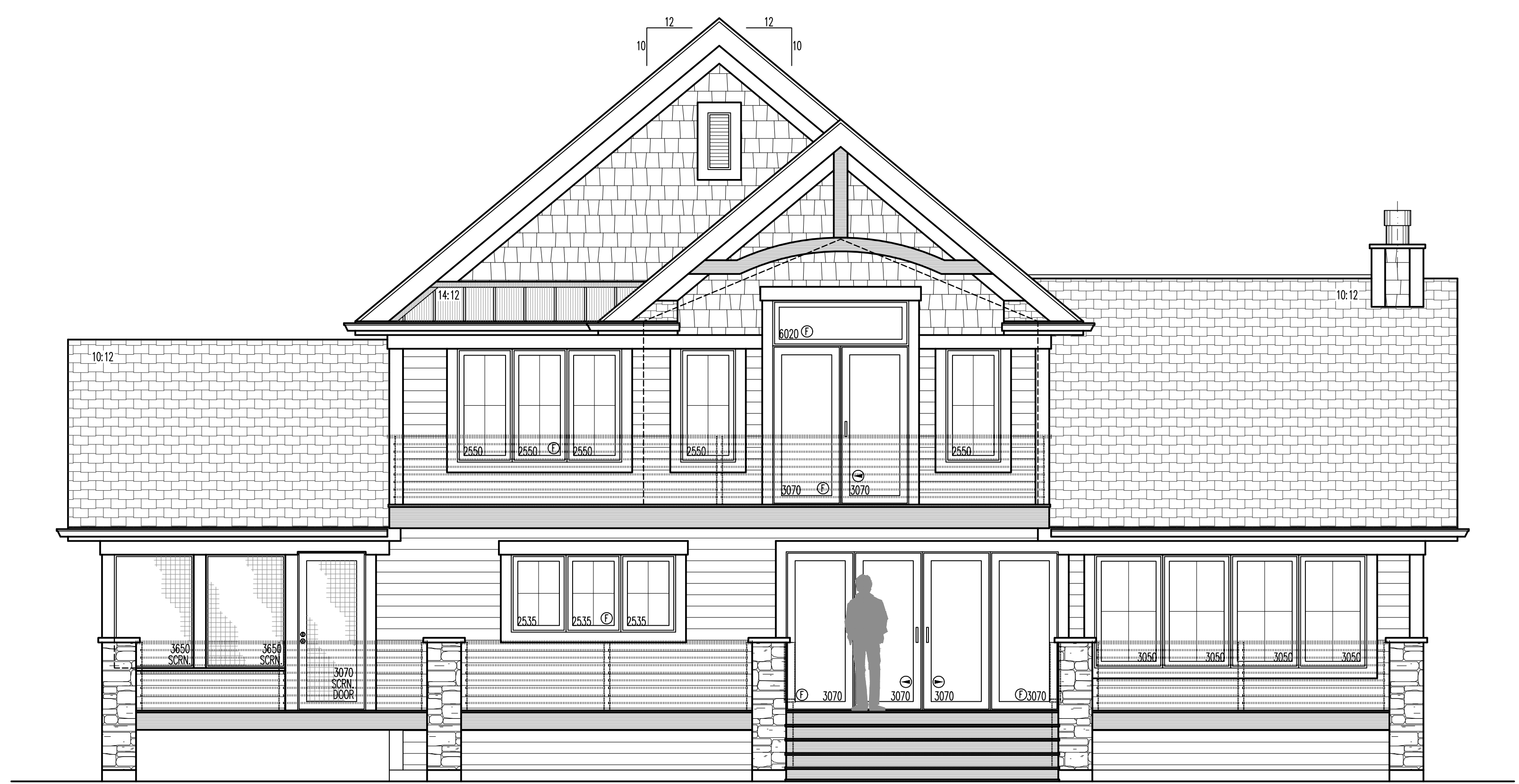
PARRISH RESIDENCE
123 EDGEWATER DRIVE
CRYSTAL LAKE, IL 60014

GARAGE FIRST FLOOR PLAN
GARAGE SECOND FLOOR PLAN

Architects & Planners, Inc.
IL Telephone: 815-788-9200 WI Telephone: 262-259-0021
2800 Behan Road at Rt. 176
Crystal Lake, IL 60014
40 Crystal St.
Cary, IL 60013

98 W. Main St.
Lake Geneva, WI 53147
1700 E. Resane Ave.
Waukegan, WI 53186

Job Number: 22131
Sheet Number: A103
File Name: LA100110



1E
A200 REAR ELEVATION

1/4"=1'-0"



1E
A200 FRONT ELEVATION

1/4"=1'-0"

ELEVATION NOTES

- DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS.
- IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS.

WINDOW NOTES

- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES. EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- TEMPERED GLASS = (1)
- FIXED WINDOW = (2)
- EGRESS WINDOW = (3)
- EGRESS WINDOW BREAKDOWN =
 - MIN. CLEAR OPEN AREA OF 5.7 S.F.
 - MIN. CLEAR OPEN WIDTH OF 20"
 - MIN. CLEAR OPEN HEIGHT OF 24"
 - MAX. SILL HEIGHT OF 44"

REMODELING & ADDITION NOTES

- WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- ALL NEW FASCIA, FRIEZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

NO.	DATE	REVISION
1	06-22-22	PRELIMINARY DESIGN
2	06-22-22	PRELIMINARY DESIGN
3	06-22-22	DESIGN DEVELOPMENT
4	06-22-22	RELEASE FOR BID
5	06-22-22	FINAL REVIEW
6	06-22-22	RELEASE FOR PERMIT
7		

DESIGN STAGE

PARRISH RESIDENCE
123 EDGEWATER DRIVE
CRYSTAL LAKE, IL 60014

FRONT ELEVATION
REAR ELEVATION

PRELIMINARY

Architects & Planners, Inc.
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Crystal Lake, IL 60014 Lake Geneva, WI 53147
40 Crystal St. 1700 E. Racine Ave.
Cary, IL 60013 Waukesha, WI 53186

ALIA

Job Number: 22131
Sheet Number: A200
File Name: LA7027260

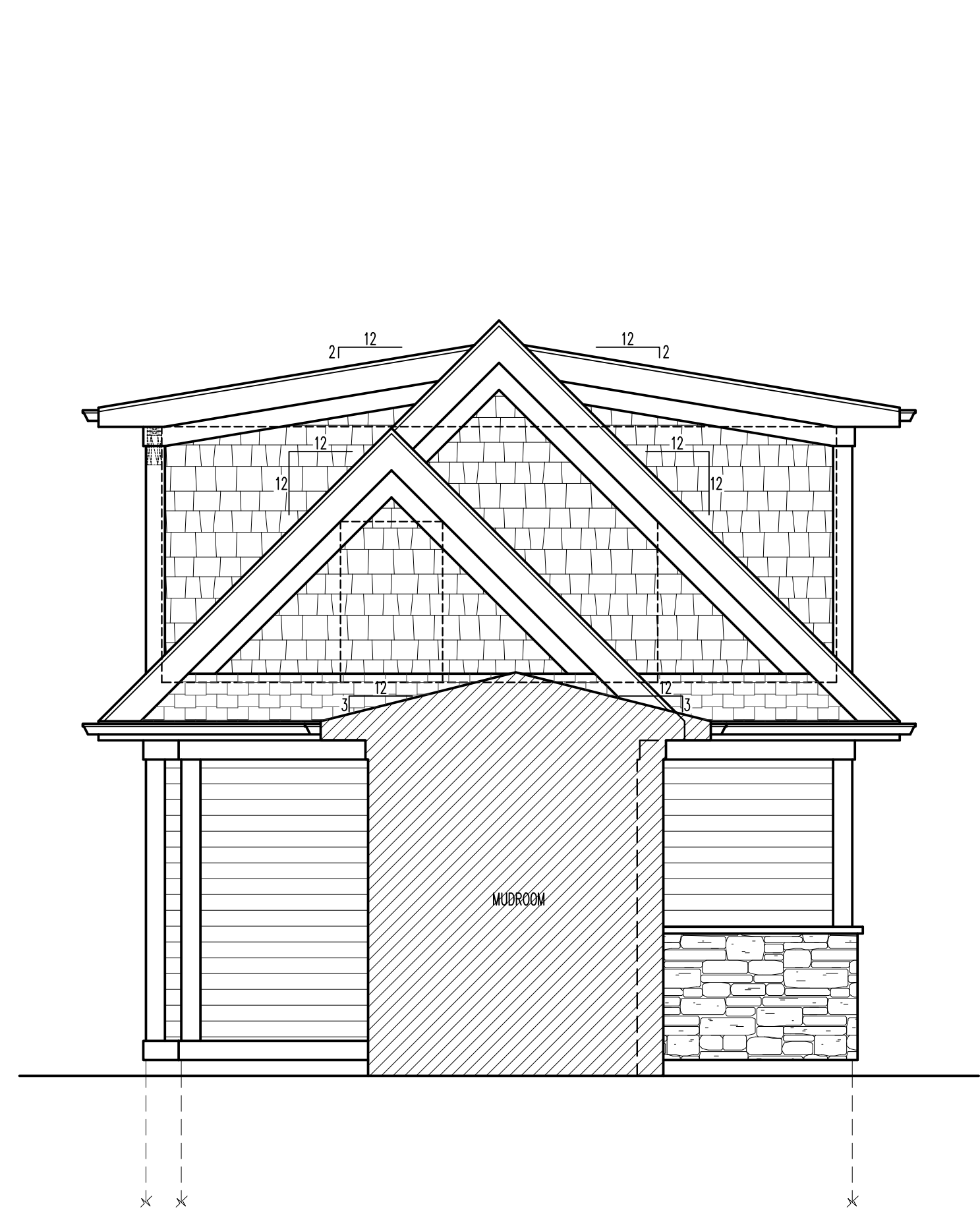
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SE A202 GARAGE LEFT SIDE ELEVATION 1/4"=1'-0"

SE A202 GARAGE RIGHT SIDE ELEVATION 1/4"=1'-0"



SE A202 GARAGE REAR ELEVATION 1/4"=1'-0"



SE A202 GARAGE FRONT ELEVATION 1/4"=1'-0"

ELEVATION NOTES

- DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES. EXAMPLE: 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- TEMPERED GLASS = (1)
- FIXED WINDOW = (2)
- EGRESS WINDOW = (3)
- EGRESS WINDOW BREAKDOWN =
 - MIN. CLEAR OPEN AREA OF 5.7 S.F.
 - MIN. CLEAR OPEN WIDTH OF 20"
 - MIN. CLEAR OPEN HEIGHT OF 24"
 - MAX. SILL HEIGHT OF 44"

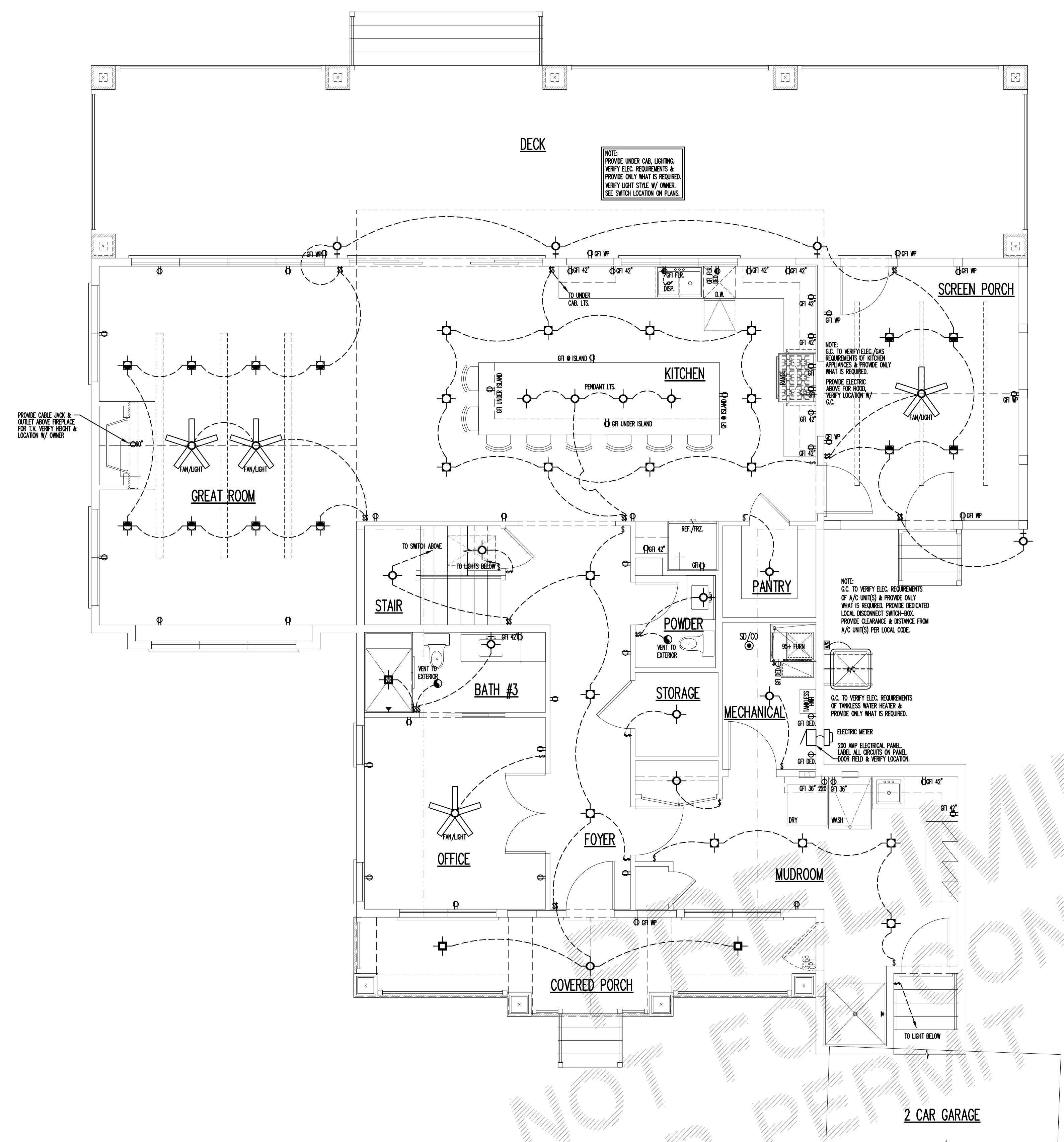
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DESIGN STAGE	DATE	BY	APP'D
PRELIMINARY DESIGN	05-25-21	MM	AA
PRELIMINARY DESIGN	05-25-21	MM	AA
DESIGN DEVELOPMENT	06-22-21	MM	AA
RELEASE FOR BID	06-22-21	MM	AA
FINAL REVIEW			
RELEASE FOR PERMIT			

PRELIMINARY
 PARRISH RESIDENCE
 123 EDGEWATER DRIVE
 CRYSTAL LAKE, IL 60014
 GARAGE FRONT ELEVATION
 GARAGE REAR ELEVATION
 GARAGE RIGHT SIDE ELEVATION
 GARAGE LEFT SIDE ELEVATION
 Architects & Planners, Inc.
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 Crystal Lake, IL 60014 Lake Geneva, WI 53147
 40 Crystal St. 1700 E. Basine Ave.
 Cary, IL 60013 Waukegan, WI 53186

ELECTRICAL SYMBOLS		
○ SINGLE OUTLET (1)	⌘ SWITCH	⌘ TELEVISION JACK
⊕ DUPLEX OUTLET (2)	⌘ DOOR ACTIVATED SWITCH	⌘ TELEPHONE JACK
⊕ QUAD. OUTLET (4)	⌘ MOTION ACTIVATED SWITCH	⌘ HEMI JACK
⊕ SWITCHED DUPLEX OUTLET (2)	⌘ THERMOSTAT CONTROLS	⌘ 110V SMOKE DETECTOR WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
○ SWITCHED MOUNTED LIGHT FIXTURE	⌘ EXHAUST FAN, VENTED TO EXTERIOR	⌘ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO. WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ RECESSED CAN LIGHT	⌘ EXHAUST FAN/LIGHT, VENTED TO EXTERIOR	⌘ LED LIGHT STRIP
⊕ DIRECTIONAL RECESSED CAN LT.	⌘ FLOOD LIGHT W/ MOTION DETECTOR	⌘ P.C. = PULL CHAIN LIGHT
⊕ WALL MOUNTED LIGHT FIXTURE	⌘ CEILING MOUNTED FAN/LIGHT	⌘ W.P. = WATER PROOF
⊕ RECESSED WATER PROOF LED CAN LIGHT (EXTERIOR)	⌘ EXTERIOR LAMP W/ POST	⌘ GFI = GROUND FAULT CIRCUIT INTERRUPTER
⊕ FLUORESCENT LIGHT FIXTURE		



1E E101 FIRST FLOOR ELECTRICAL PLAN 1/4"=1'-0"

DESIGN STAGE	REVISIONS
PRELIMINARY DESIGN	1
PRELIMINARY DESIGN	2
DESIGN DEVELOPMENT	3
RELEASE FOR BID	4
FINAL REVIEW	5
RELEASE FOR PERMIT	

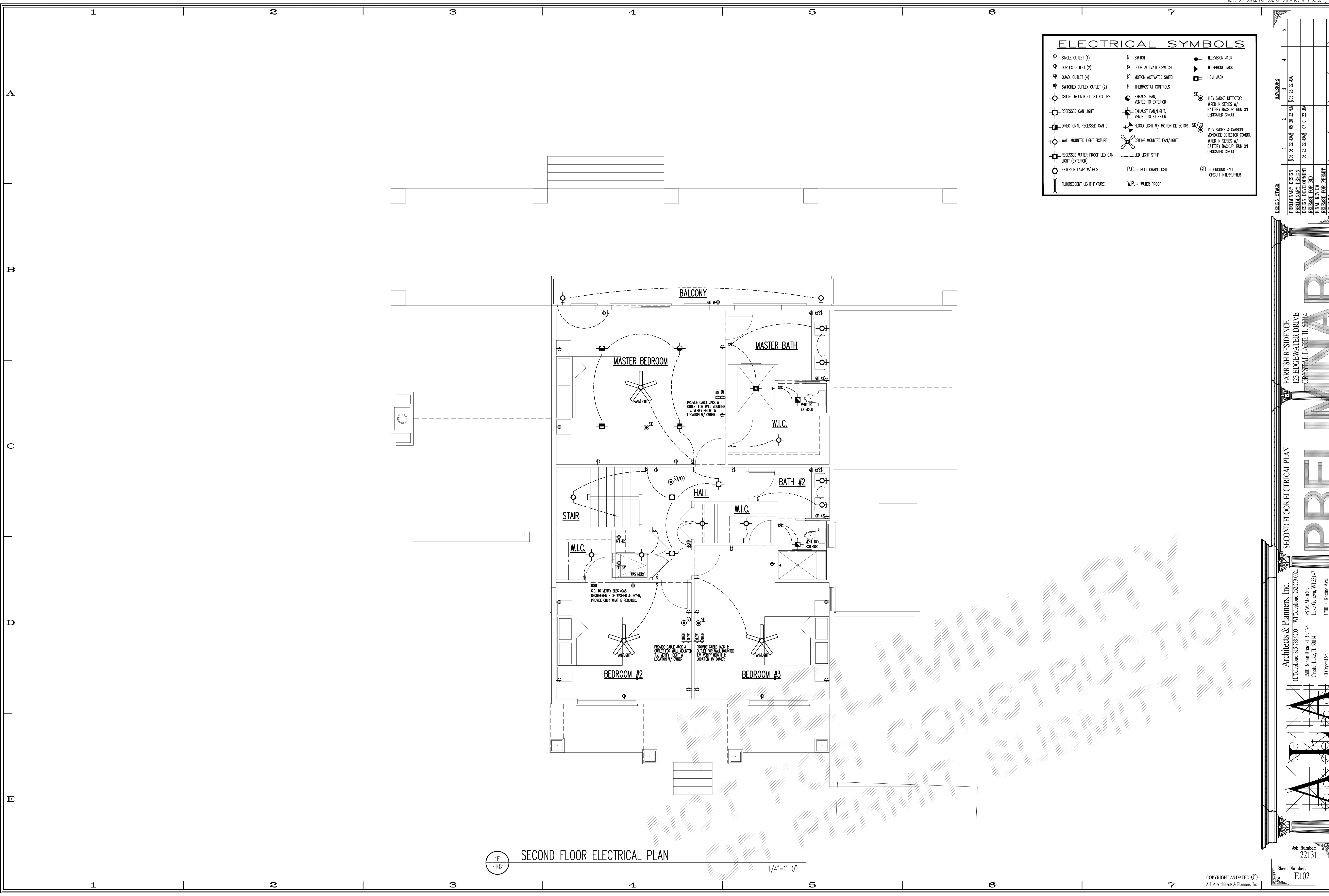
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 Sheet Number: E101

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ELECTRICAL SYMBOLS		
○ SINGLE OUTLET (1)	⌘ SWITCH	⌘ TELEVISION JACK
⊕ DUPLEX OUTLET (2)	⌘ DOOR ACTIVATED SWITCH	⌘ TELEPHONE JACK
⊕ QUAD. OUTLET (4)	⌘ MOTION ACTIVATED SWITCH	⌘ HEMI JACK
⊕ SWITCHED DUPLEX OUTLET (2)	⌘ THERMOSTAT CONTROLS	⌘ 110V SMOKE DETECTOR WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ CEILING MOUNTED LIGHT FIXTURE	⌘ EXHAUST FAN, VENTED TO EXTERIOR	⌘ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO. WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ RECESSED CAN LIGHT	⌘ EXHAUST FAN/LIGHT, VENTED TO EXTERIOR	⌘ FLOOR LIGHT W/ MOTION DETECTOR
⊕ ORIENTATIONAL RECESSED CAN LT.	⌘ FLOOR LIGHT W/ MOTION DETECTOR	⌘ CEILING MOUNTED FAN/LIGHT
⊕ WALL MOUNTED LIGHT FIXTURE	⌘ CEILING MOUNTED FAN/LIGHT	⌘ LED LIGHT STRIP
⊕ RECESSED WATER PROOF LED CAN LIGHT (EXTERIOR)	⌘ P.C. = PULL CHAIN LIGHT	⌘ GFI = GROUND FAULT CIRCUIT INTERRUPTER
⊕ EXTERIOR LAMP W/ POST	⌘ W.P. = WATER PROOF	
⊕ FLUORESCENT LIGHT FIXTURE		

DESIGN STAGE	DATE	BY	APP'D
PRELIMINARY DESIGN	06-25-22	MM	
PRELIMINARY DESIGN	06-25-22	MM	
DESIGN DEVELOPMENT	06-22-22	BA	
RELEASE FOR BID	06-22-22	BA	
FINAL REVIEW			
RELEASE FOR PERMIT			

PARRISH RESIDENCE
123 EDGEWATER DRIVE
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SECOND FLOOR ELECTRICAL PLAN

PRELIMINARY

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 Sheet Number: E102

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1E E102 SECOND FLOOR ELECTRICAL PLAN 1/4"=1'-0"

