



#2022-166
6319 Northwest Highway – Variations
Project Review for Planning and Zoning Commission

Meeting Date:

September 7, 2022

Request:

1. Variation to allow a 0-foot setback for the parking lot along the western side lot line instead of the required 8 feet, a variation of 8 feet.
2. Variation to allow a 5-foot setback for the parking lot abutting Northwest Highway, instead of the required 20 feet, a variation of 15 feet.
3. Variation to allow the parking lot to have a 5-foot wide perimeter landscape area along Northwest Highway, instead of the required continuous 15-foot wide landscape area, for parking lots abutting rights-of-way.
4. Variation to allow the parking lot to have a 0-foot wide perimeter landscape area along the west lot line, instead of the required continuous 8-foot wide landscape area, for parking lots not abutting rights-of-way.
5. Variation to allow no foundation landscape area around the west and south sides of the building, instead of the required 5-foot wide landscape area.

Location:

6319 Northwest Highway

Acreage:

Approximately 0.9 acres

Existing Zoning:

B-2 General Commercial

Surrounding Properties:

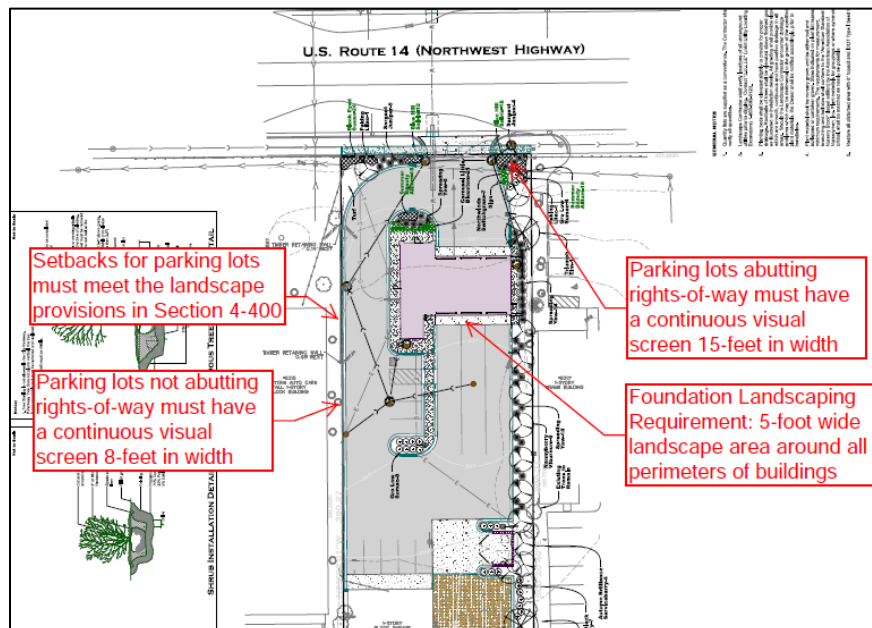
North: B-2 PUD – General Commercial PUD
South: R-2 PUD – Single-Family Residential PUD
East: B-2 General Commercial
West: B-2 General Commercial

Staff Contact:

Katie Rivard (815.356.3612)

Background:

- Existing Use: The subject property is the former TitleMax.
- The property is straight zoned B-2 General Commercial, which means there is not a Planned Unit Development overlay. In order to construct the requested site plan, variations are being requested.
- UDO Requirements:
 - Surface parking areas are permitted in required yards, provided that all parking areas meet the landscape provisions within Section 4-400, Landscape and Screening Standards and parking lots along right-of-way maintain a 20-foot setback.
 - Perimeter landscape for parking lots abutting rights-of-way require a continuous visual screen 15 feet in width using both deciduous and evergreen species planted in undulating beds forming an interesting pattern requiring one canopy, ornamental or evergreen tree and 10 shrubs, with shrubs planted at various heights, averaging three feet in height, along every 40 lineal feet. The subject property abuts the Northwest Highway right-of-way.
 - Perimeter landscaping for parking lots not abutting rights-of-way require a continuous visual screen eight (8) feet in width using both deciduous and evergreen species planted in undulating beds forming an interesting pattern requiring one canopy, ornamental or evergreen tree and five shrubs, with shrubs planted at various heights, averaging three feet in height, along every 40 lineal feet. This variation applies to the side yard along the west lot line.
 - A five-foot-wide landscape area around all perimeters of buildings containing both deciduous and evergreen species of tree and shrubs providing an interesting visual pattern around the building.



- Previous Approvals:
 - In 1999, the subject property was granted a variance to reduce the front yard setback and to reduce the minimum perimeter parking lot landscaping along the west property line from 8 feet to 4 feet.

Development Analysis:

General:

- Request: The petitioner is requesting Variations to allow the parking lot to be setback 0 feet from the side yard instead of the required 8 feet; a 5-foot setback along Northwest Highway instead of the required 20 feet; a 5-foot wide landscape area for the parking lot along Northwest Highway, instead of the required 15-foot wide landscape area where the parking lot abuts the right-of-way (Northwest Highway); a 0-foot wide landscape area for the parking lot on the west side, instead of the required 8 feet; and a 0-foot wide foundation landscape area around all perimeters of the new building.
- Land Use: The Comprehensive Land Use map shows the area as Commerce, which is an appropriate land use designation.
- Zoning: The site is zoned B-2 General Commercial, which permits automotive oil change uses.

Request Overview:

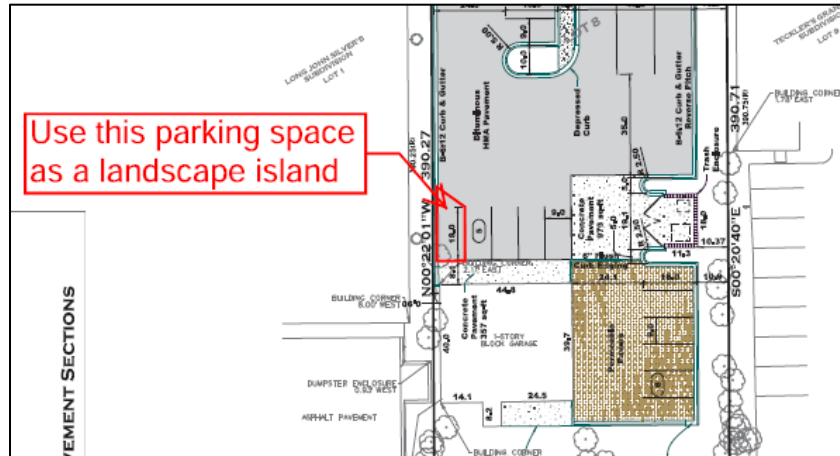
- The petitioner is requesting the construction of a new commercial building for Valvoline Oil Change. The former TitleMax building will be demolished. Valvoline will use the existing one-story accessory building at the rear of the property for storage only.
- The building meets UDO's design standards and setback requirements.

	Required	Proposed Addition
Front Yard	40 feet	45.06 feet
Rear Yard	20 feet	>100 feet
Interior Side Yard	0 feet	10 and 30 feet
Yard Abutting Residential Districts	50 feet	>100 feet

- The UDO requires the development to include a 40-foot landscape buffer at the rear of the property. Landscape buffering is required where adjoining properties are located within

different zoning districts or from specific uses to soften the visual impact of the development or use. Virginia Road Apartments is located adjacent to the subject property to the south.

- Oil change facilities require three parking spaces per service bay, plus 1 per employee on the largest shift. There are three service bays, and there will be a maximum of four employees on the largest shift. The property provides 15 spaces, which meets the UDO requirements. Staff recommends the parking space in located front of the accessory building closest to the west property line be used as a landscape island.



- Per the petitioner, the justifications for the requested variances are:
 - Foundation Landscaping: Due to the garage door entry/exit and building entry/exit do not leave sufficient room to provide foundation landscaping. The UDO does allow exceptions along drive-through windows and doorways. However, staff recommends the petitioner include the required 5-foot foundation landscaping where the sidewalk is along the west and south sides of the property, as outlined in the recommended conditions.
 - Perimeter Landscaping and Setbacks: Existing pavement abuts the property line and is non-conforming.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting Variations from the following:

1. Variation to allow a 0-foot setback for the parking lot along the western side lot line instead of the required 8 feet, a variation of 8 feet.
2. Variation to allow a 5-foot setback for the parking lot abutting Northwest Highway, instead of the required 20 feet, a variation of 15 feet.

3. Variation to allow the parking lot to have a 5-foot wide perimeter landscape area, instead of the required continuous 15-foot wide landscape area, for parking lots abutting rights-of-way.
4. Variation to allow the parking lot to have a 0-foot wide perimeter landscape area, instead of the required continuous 8-foot wide landscape area, for parking lots not abutting rights-of-way.
5. Variation to allow no foundation landscape area around all perimeters of the building instead of the required 5-foot wide landscape area.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;
or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future commercial uses. The following goals are applicable to this request:

Land Use – Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services, and jobs to the city, as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan, and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

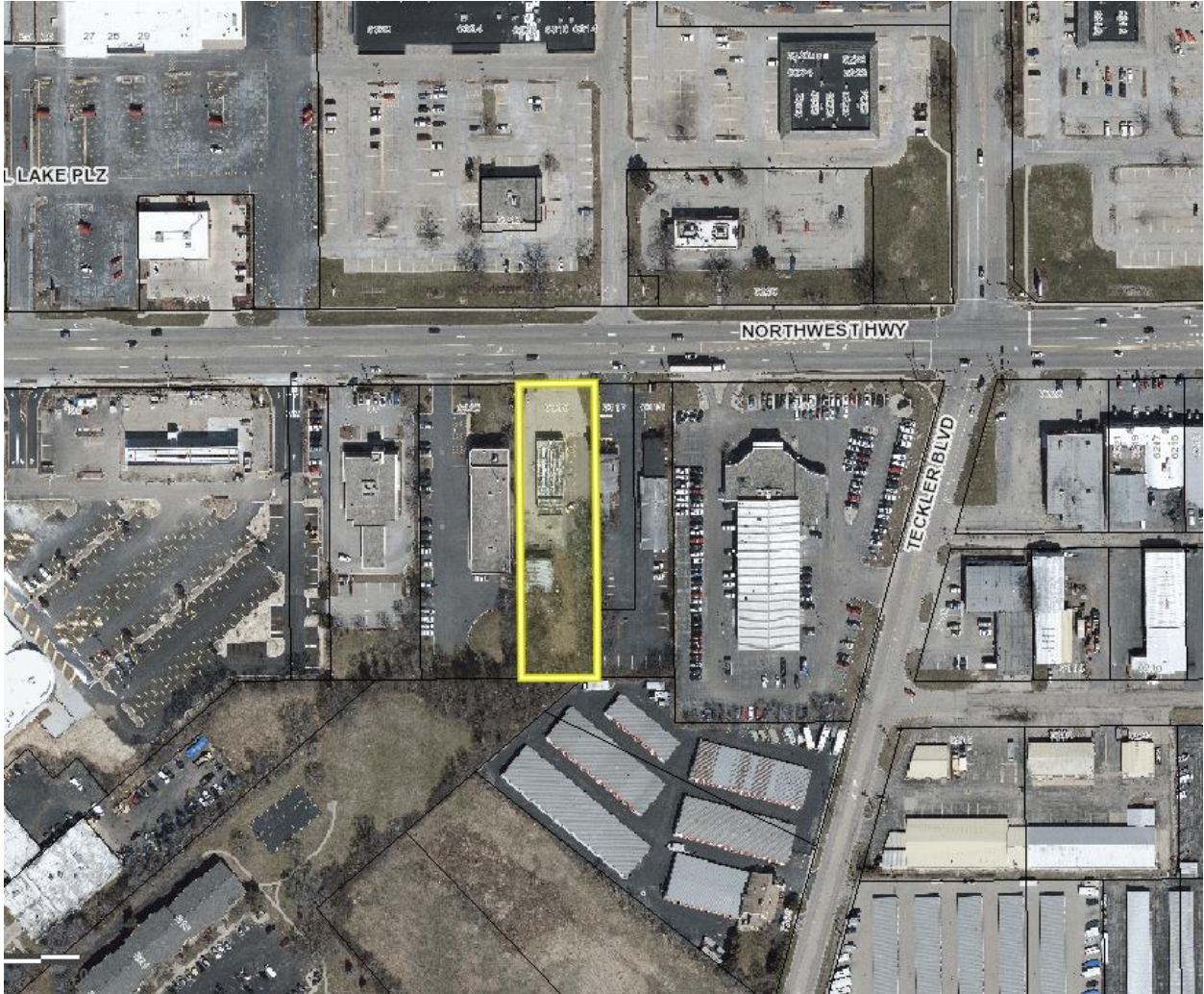
Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Aterra 176, date signed 07/25/2022, received 05/10/2022)
 - B. Site Plan (Arch America, dated 07/29/2022, received 06/07/2022)
 - C. Landscape Plan (Webster, McGrath & Ahlberg, Ltd., dated 07/29/2022, received 07/26/2022)
 - D. Building Elevations (Arch America, dated 04/29/2022, received 06/07/2022)
2. Add the required 5-foot foundation base landscape along the west and south sides of the building, except in front of doors.
3. The far west parking space in the south row of parking shall be a landscape island.
4. The Petitioner shall address all of the review comments and requirements of the Community Development, Engineering, and Fire Rescue Departments.

PIQ Map
6319 Northwest Highway





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: _____

Address: _____

Phone: _____

E-mail: _____

Project Name & Description: _____

Project Address/Location: _____

Signature

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICATION OF
Aterra 176

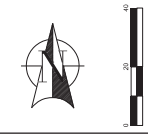
LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Stan Latos, on behalf of Aterra 176, for Variations relating to the property at 6319 Northwest Highway in Crystal Lake, Illinois 60014. PIN: 19-08-201-003.

This application is filed for the purpose of seeking variations for parking lot setbacks, pursuant to Article 4-200 Off-Street Parking and Loading, and reduced parking lot landscaping and foundation landscaping, pursuant to Article 4-400 Landscaping and Screening Standards, as well as any other variations as necessary to allow for the construction of a new commercial building. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday, September 7, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

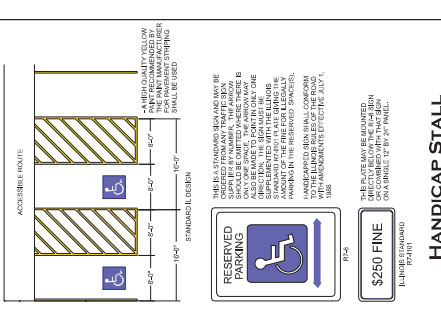
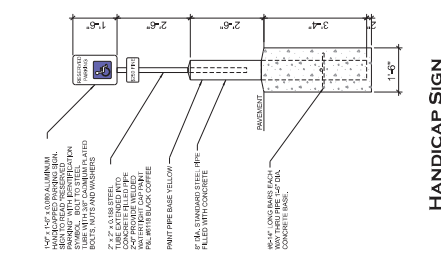
(Published in the Northwest Herald on August 20, 2022)



VALVOLINE - CRYSTAL LAKE
6319 NORTHWEST HIGHWAY
ARCHAMERICA, INC.
31421 US-5, SUITE 200
CRYSTAL LAKE, IL 60015
PH: 815-434-1000
FAX: 815-434-1001

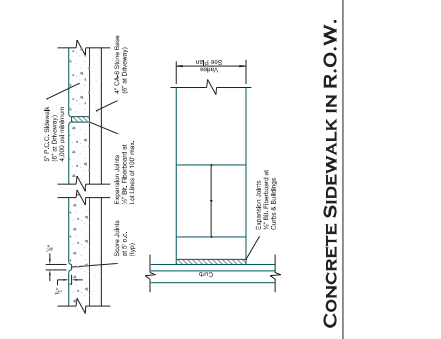
WEBSTER, McGRATH & AHLBERG, LTD.
OVER 100 YEARS OF SERVICE TO CLIENTS
207 SOUTH MAIN STREET, SUITE 100, CRYSTAL LAKE, IL 60015
PH: 815-434-1000
FAX: 815-434-1001
WWW.WMA.COM

PAVING & LAYOUT PLAN
C-2

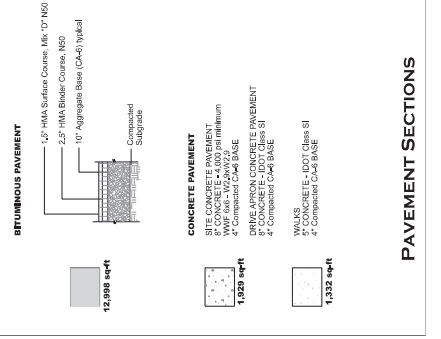


HANDICAP SIGN

HANDICAP STALL



CONCRETE SIDEWALK IN R.O.W.

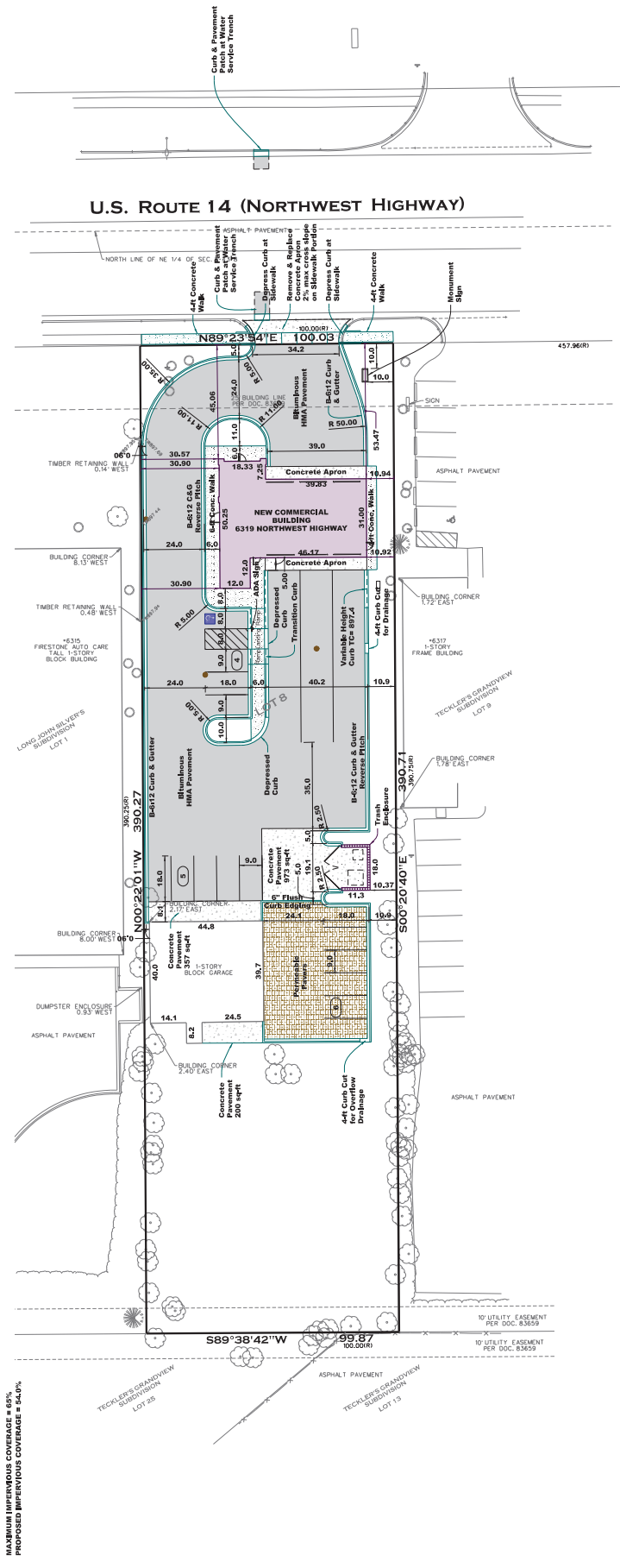


PAVEMENT SECTIONS

TOTAL AREA = 21,853 sq-ft

SITE DATA
PROPERTY AREA = 39,025 sq-ft = 0.896 acre
EXISTING IMPERVIOUS AREA = 23,871 sq-ft
NEW IMPERVIOUS AREA = 19,225 sq-ft
PROPOSED IMPERVIOUS AREA = 21,058 sq-ft
(19,225 + 1,837 existing garage to remain)

CRYSTAL LAKE ZONE B-2 - GENERAL COMMERCIAL
MINIMUM FRONT SETBACK = 30'-0"
MINIMUM INTERIOR SIDE SETBACK = 0'-0"
MINIMUM REAR SETBACK = 20'-0"
MAXIMUM IMPERVIOUS COVERAGE = 65%
PROPOSED IMPERVIOUS COVERAGE = 54.0%



ELEVATION NOTES

1. EIFS SHALL BE DRYVIT CLASS 90 DRAINAGE SYSTEM WITH CALICO APPLIED WATER RESISTIVE BARRIER BEHIND INSULATION BOARD.
2. SIGNAGE SHOWN ON THESE ELEVATIONS IS FOR GENERAL REFERENCE PURPOSES ONLY. ALL SIGNAGE SHALL BE APPLIED FOR A PERMITTED UNDER A SEPARATE SIGNAGE SUBMITTAL.
3. ALL FINISHES SHALL BE APPLIED TO THE EXTERIOR SURFACE UNLESS OTHERWISE NOTED. SIGN MANUFACTURER'S STANDARD DETAILS SHOULD BE REFERRED TO FOR MORE INFORMATION.
4. ALL FLASHING ROUGE CAPS, DRIP EDGES ETC. SHALL MATCH GUTTER DOWNSPOUT MANUFACTURER'S STANDARD DETAILS. REFER TO SHEET A-11 FOR MORE INFORMATION.
5. EXHAUST FAN VENTS & SIMILAR ITEMS ON ROOF SHALL BE PAINTED TO MATCH ROOF.
6. ALL MASONRY WITH CORNER EXPOSURES TO HAVE SAME PROFILE AS FACE OF THE STANDAR MASONRY PRODUCT. NO CUT CORNERS ARE TO BE EXPOSED.
7. ALL MASONRY SHALL BE FINISHED WITH THE EXTERIOR WALL FINISH. REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.

EXTERIOR FINISHES

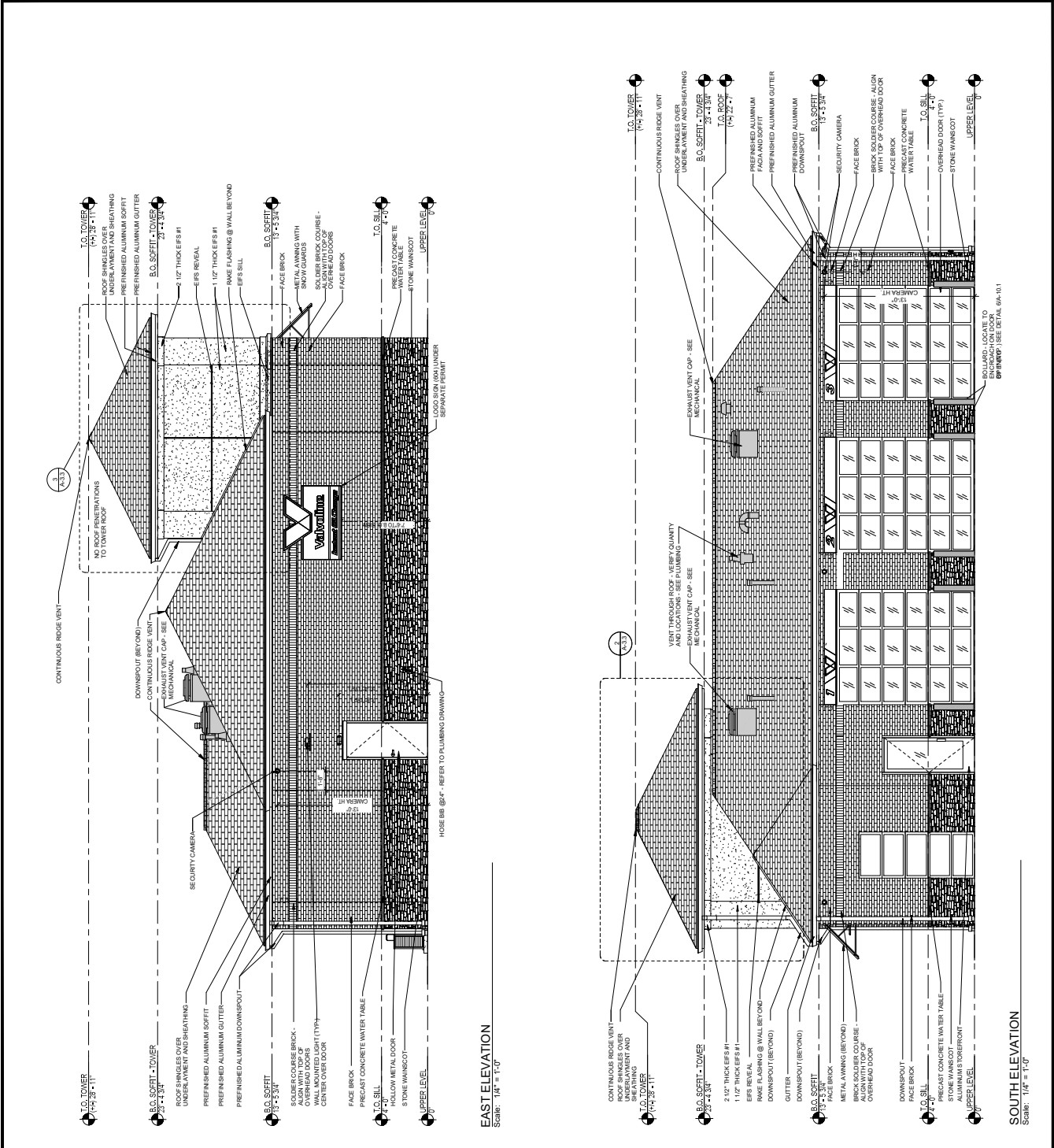
FINISH	DESCRIPTION
EIFS SYSTEM	DRYVIT CLASS 90 DRAINAGE SYSTEM WITH CALICO APPLIED WATER RESISTIVE BARRIER BEHIND INSULATION BOARD.
STONE MANSOET	MANUFACTURER CUSTOM CAST STONE (GRADE TO PRECAST SILL)
FACE BRICK	FACE BRICK (ABOVE WAINSCOT)
BELEN	"MODULAR HAMILTON BLEND" X BRICK SOLDER COURSE
PRECAST SILL	CUSTOM CAST STONE - "LIGHT BUFF" (REFER TO SILL PROFILE)
MORTAR	LEHIGH STANDARD KIT - "BEIGE"
MASONRY SEALER	ALL MASONRY SURFACES SHALL BE TREATED WITH SEALER REFER TO SPECIFICATIONS
STANDING SEAM AWNING	FRESTONE (MAX GLAD #1600) / HYPERMETAL 5000
ROOF SHINGLES	UNDERLAYER & FRAME TO BE PAINTED SW/62 SUPERIOR BRONZE
MISC. ROOF VENTS, FANS, ETC.	OWENS CORNING DURATEX SERIES SHIP-TWOOD
GUTTER, DOWNSPOUTS, & EXPOSED TRIM	PAINT SW/62 "MOUNTAIN" BERRIDGE - "SERENA TAN"
STOREFRONT SYSTEM	2 1/2" WAINSCOT TRIM VS. 4 1/2" SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
H.M. DOORS & FRAMES	FIELD PAINT W/ SHERRIN WILLIAMS 896-1300 PRO-COAT SHERKYN. THIS COLOR SHALL BE SW/2316 THAMES BROWN. PROVIDE LOCK-UP AND VERIFY COLOR WITH OWNER
O.H. DOOR FINISH	CLEAR ANODIZED ALUMINUM
ACCESS PANEL	STAINLESS STEEL

SIGNAGE SCHEDULE

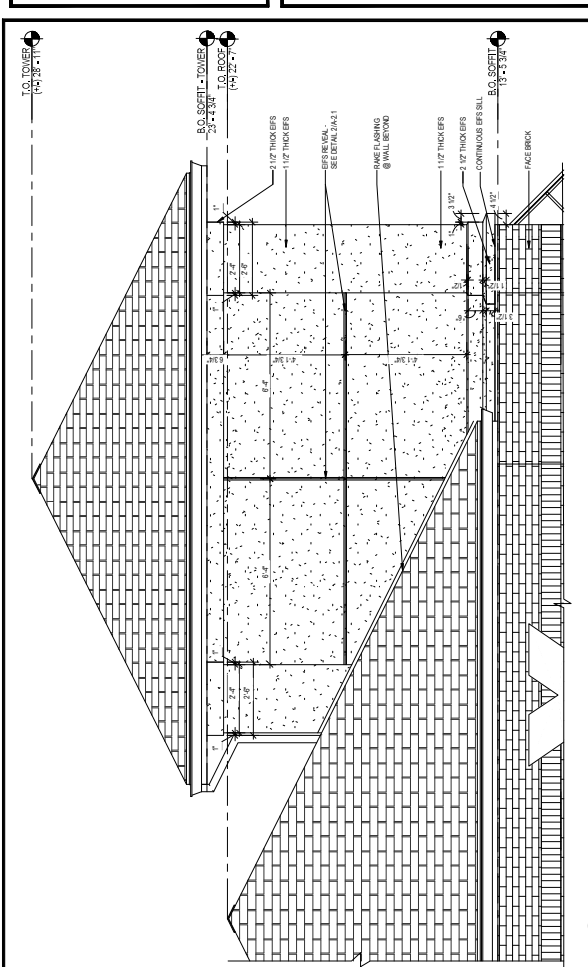
NUMBER	DESCRIPTION	SIZE	ILLUMINATED	QUANTITY
001	LOGO SIGN	7'-6" x 11'-6" (S.F.)	INTERNALLY	2
002	PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR			
003	LANE INDICATOR	1'0" x 1'0" (O.S.F.)	NO	3
004	PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR			
005	OPEN SIGN	2'7" x 1'1" (12" (232 SF))	INTERNALLY	2
006	MONUMENT SIGN	REFER TO SHEET A-11	INTERNALLY	1
007	PER LOCAL AND DEVELOPMENTAL RESTRICTIONS			
008	LOGO SIGN	4'-11" x 6'-6" (S.F.)	INTERNALLY	1
009	PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR			

FINISH LEGEND

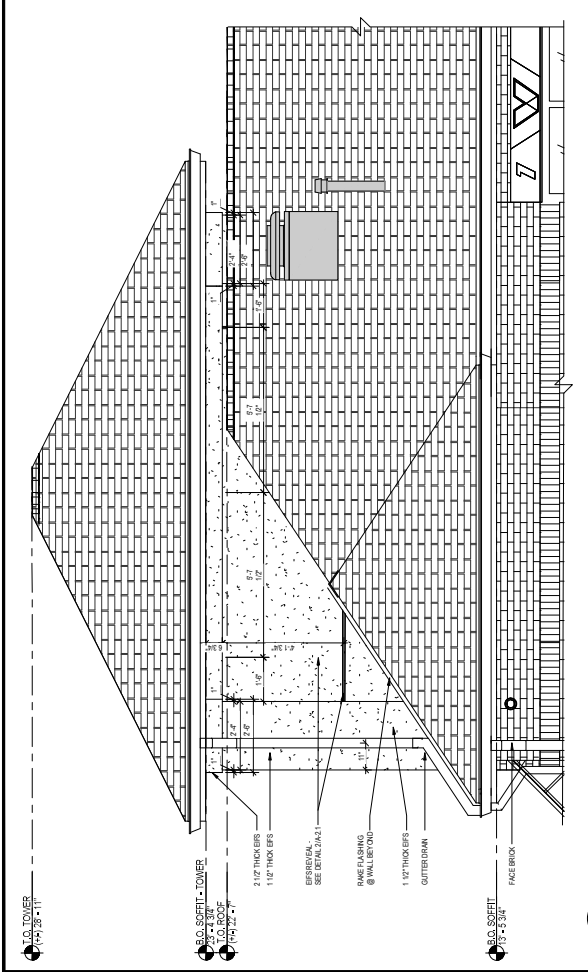
ITEM	COLOR	FINISH	PRODUCT
BLOCK/FULL PRIMER	UNPAINTED	PRIMER	DOWN BLOCK SURFACE AW/100
BOTTOM COAT (BONDING)	SW/18 STEAD BROWN	SEAL COATS	DOWN BLOCK SURFACE AW/100
WALLS/ROOF 2" (GUTTERS)	SW/18 STEAD BROWN	SEAL COATS	DOWN BLOCK SURFACE AW/100
WALLS/ROOF 4" (GUTTERS)	SW/18 STEAD BROWN	SEAL COATS	DOWN BLOCK SURFACE AW/100
EXTERIOR DOOR FRAMES	SW/2316 THAMES BROWN	SEAL COATS	SHERKYN PA 888 300 SERIES
EXTERIOR DOOR GLASS	SW/2316 THAMES BROWN	SEAL COATS	SHERKYN PA 888 300 SERIES
METAL FLASHING	SW/2316 THAMES BROWN	SEAL COATS	SHERKYN PA 888 300 SERIES
ROOF DOWNSPOUTS/FLANGE	SW/2316 THAMES BROWN	SEAL COATS	SHERKYN PA 888 300 SERIES
ASBESTOS/ROOF FLASHING	SW/2316 THAMES BROWN	SEAL COATS	SHERKYN PA 888 300 SERIES
METAL FRAMER	SW/2316 THAMES BROWN	SEAL COATS	SHERKYN PA 888 300 SERIES
PARKING STRIPING	WHITE	PAINT	TRUCK SET FAST TRAFFIC MARKING PAINT
HOOD GAP/PARKING	YELLOW	PAINT	TRUCK SET FAST TRAFFIC MARKING PAINT
HOOD FILLER #1 GATES	SW/18 STEAD BROWN	SEAL COATS	DOWN BLOCK SURFACE AW/100
HOOD FILLER #2 GATES	SW/18 STEAD BROWN	SEAL COATS	DOWN BLOCK SURFACE AW/100



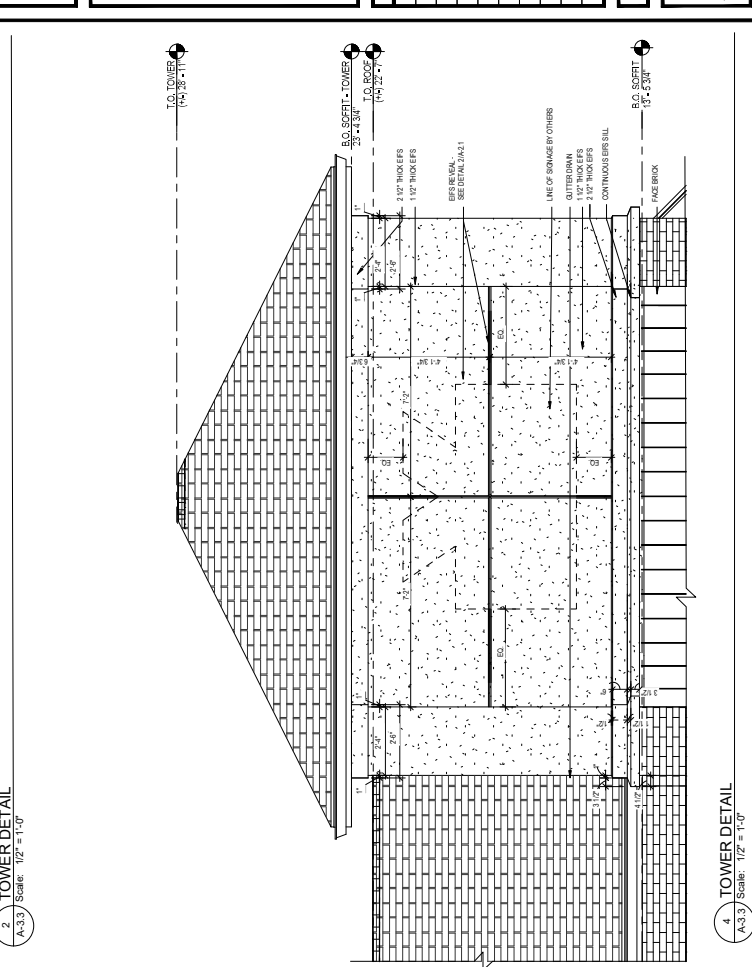
DATE



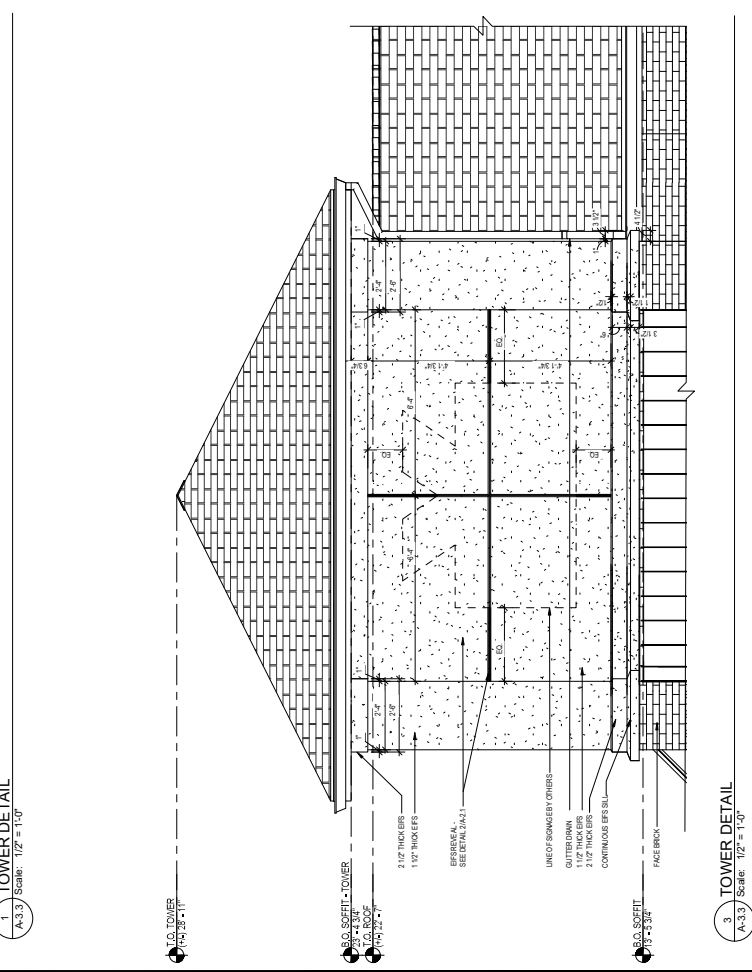
2 TOWER DETAIL
 A-3.3 Scale: 1/2" = 1'-0"



1 TOWER DETAIL
 A-3.3 Scale: 1/2" = 1'-0"



4 TOWER DETAIL
 A-3.3 Scale: 1/2" = 1'-0"



3 TOWER DETAIL
 A-3.3 Scale: 1/2" = 1'-0"