



#2022-205
72 N. Williams Street – Variation Amendment
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	September 21, 2022
<u>Request:</u>	Variation Amendment to remove the conditions of Ordinance 6219 allowing the restaurant to open at 10:00 a.m.
<u>Location:</u>	72 N. Williams Street
<u>Acreage:</u>	Approximately 5,500 square feet
<u>Existing Zoning:</u>	B-4 Mixed Use Business
<u>Surrounding Properties:</u>	North: B-4 Mixed Use Business South: B-4 Mixed Use Business East: B-4 Mixed Use Business West: B-4 Mixed Use Business
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The property is currently vacant and has been home to several restaurants over the past years.
- Rookies is looking to purchase the United State Bank Building and their business model includes lunch service.
- In 2003, a parking variation was granted to allow four on-site parking spaces instead of the required 39 spaces. Conditions of approval included requiring the employees to obtain Z-lot parking passes.
- In 2007, Finn McCools was approved with several conditions including restricting the opening until 4:00 pm on weekdays and the requirement to have valet parking. This was in response to concerns over parking availability Downtown. Subsequently, the approval was amended to remove the requirement for valet parking and to allow the restaurant to open prior to 4:00 pm on Thanksgiving Day and New Year's Day.
- Recently, the City's Downtown Parking Committee has examined the available parking Downtown and how it is utilized. Multiple measures have been implemented to increase available parking including:
 - Increased enforcement of parking restrictions

- Informational letters regarding Z-lot passes sent to all addresses within the Downtown
- Added public parking directional signage
- Created a parking map postcard that was distributed to Downtown businesses for customers
- Allowed Z-lot and 4-hour parking at the free parking lot at Crystal Lake Avenue and Main Street and
- 10 additional parking spaces are being added on-street (Williams Street and Grant Street improvements). The Downtown has over 13 other full service sit-down restaurants and none of them have a time restriction.

Development Analysis:

General

- **Request:** The petitioner is requesting an amendment to a Variation to remove the restriction on the opening time allowing it to be 10:00 a.m.
- **Zoning:** The site is zoned B-4 Mixed-Use Business. This is the appropriate zoning district for the restaurant use.
- **Land Use:** The land use map shows the area as Commerce. This land use designation is appropriate for this use.
- **Parking:** Parking is based on 1 space per 4 seats for restaurant. Based on the floor plan, Rookies requires 58 parking spaces. Finn McCools was granted a variation to allow 0 spaces from the required 50 spaces. A condition has been added that the seating cannot exceed 200 unless another variation is granted.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future commercial uses. The following goals are applicable to this request:

Land Use – Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services, and jobs to the city, as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan, and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Economic Development – Attract and Retain Businesses

Goal: Establish marketing efforts to attract and retain businesses throughout the City.

This can be accomplished with the following supporting action:

Supporting Action: Continue to solicit the retail businesses which are most likely to succeed in various retail nodes in Crystal Lake.

Success Indicators: The number of retail businesses – grocer, restaurants, coffee/juice shops, apparel, electronics, and comparison goods – contacted, started, or relocated.

Findings of Fact:

VARIATION AMENDMENT

The petitioner has requested a Variation Amendment to allow the restaurant to open at 10:00 a.m. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.
 Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.
 Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
 Meets *Does not meet*
- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
 Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Karas, received 09/12/22)
 - B. Floor Plan (Aria Group, dated 08/17/22, received 09/12/22)
2. The asphalt area at the rear of the building shall not be used for parking, as the geometry of the alley does not allow for safe and efficient circulation or maneuvering.
3. The owner shall maintain Z-lot permits for all employees.
4. Due to its historical significance, the exterior of the building shall be maintained, as it exists at the current time without any additions, including but not limited to, painting the exterior. This restriction shall be recorded on the property. Provide a copy of the recorded document to the City by November 1, 2022.
5. The installation of signs, awnings, or lights to the façade shall incorporate techniques to protect the terra cotta façade. Any installation should use mortar joints. Drilling into the tile façade shall be prohibited.
6. A more appropriate design of sign that better represents the historic nature of the Downtown should be selected so that Rookies better assimilates with the character of the area. Also, the sign shall be constructed of compatible materials and shall not block important architectural or historical features.
7. The total number of seats cannot exceed 200 without receiving another parking variation.
8. The petitioner shall address all of the review comments and requirements of Community Development Department.

PIQ Map
72 N. Williams Street





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: Harry Bob Karas

Address: 683 Oak Lane

South Elgin, IL 60177

Phone: 847.975.4146

E-mail: hbkaras@aol.com

Project Name & Description: _____

Convert Finn McCools to Rookies sports bar in down town crystal lake

OPEN FOR LUNCH & DINNER, Video gaming

carryout food

Project Address/Location: 72 N Williams St

Signature

H BOB KARAS

08/03/2022

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICATION OF
Rookies 7-Crystal Lake Inc

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Bob Karas, representing Rookies 7-Crystal Lake, Inc for approval of a Variation allowing the restaurant to open after 10:00 a.m. at the following real estate known as 72 N Williams Street, Crystal Lake, Illinois 60014, PIN: 14-32-479-017.

This application is filed for the purpose of seeking a Variation to allow the restaurant Rookies to open at 10:00 a.m. allowing lunch and dinner service amending Ordinance 6219 pursuant to the Unified Development Ordinance Article 2 and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, September 7, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald on August 20, 2022)2008649



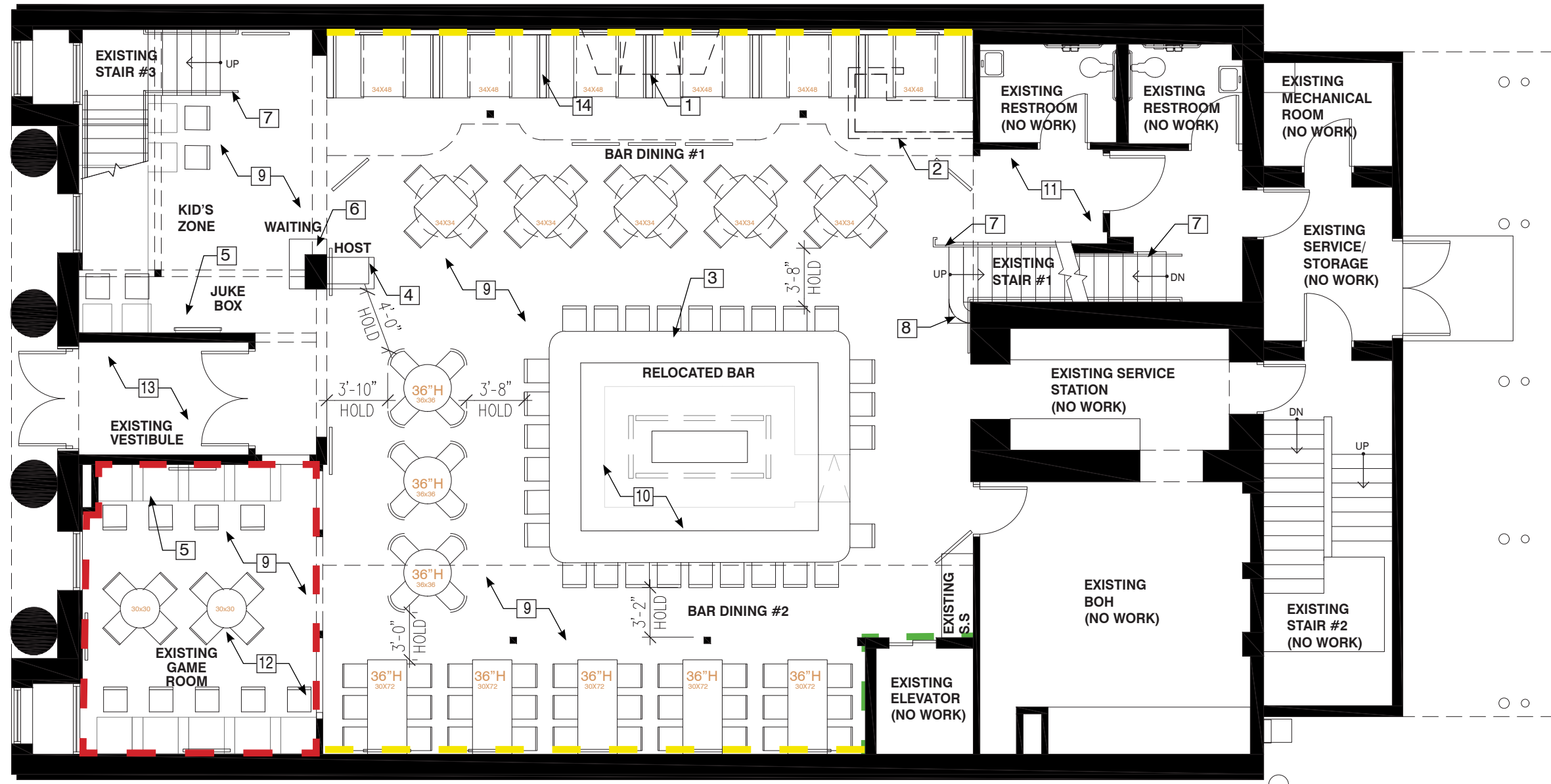
Crystal Lake, IL

Design Development Package

August 17, 2022
Revision 1.0

FINISH LEGEND	
BRICK	
P-2	
P-3	
WC-1	





- GENERAL NOTES**
1. TVs by owner.
 2. All dimensions to be verified in field.
 3. ADA counter height tables to have scoping base.
 4. Existing plumbing fixtures to remain.
 - 5. Owner to verify bearing capacity of TV bank with structural engineer.**
 6. All walls painted P-1 unless otherwise noted.



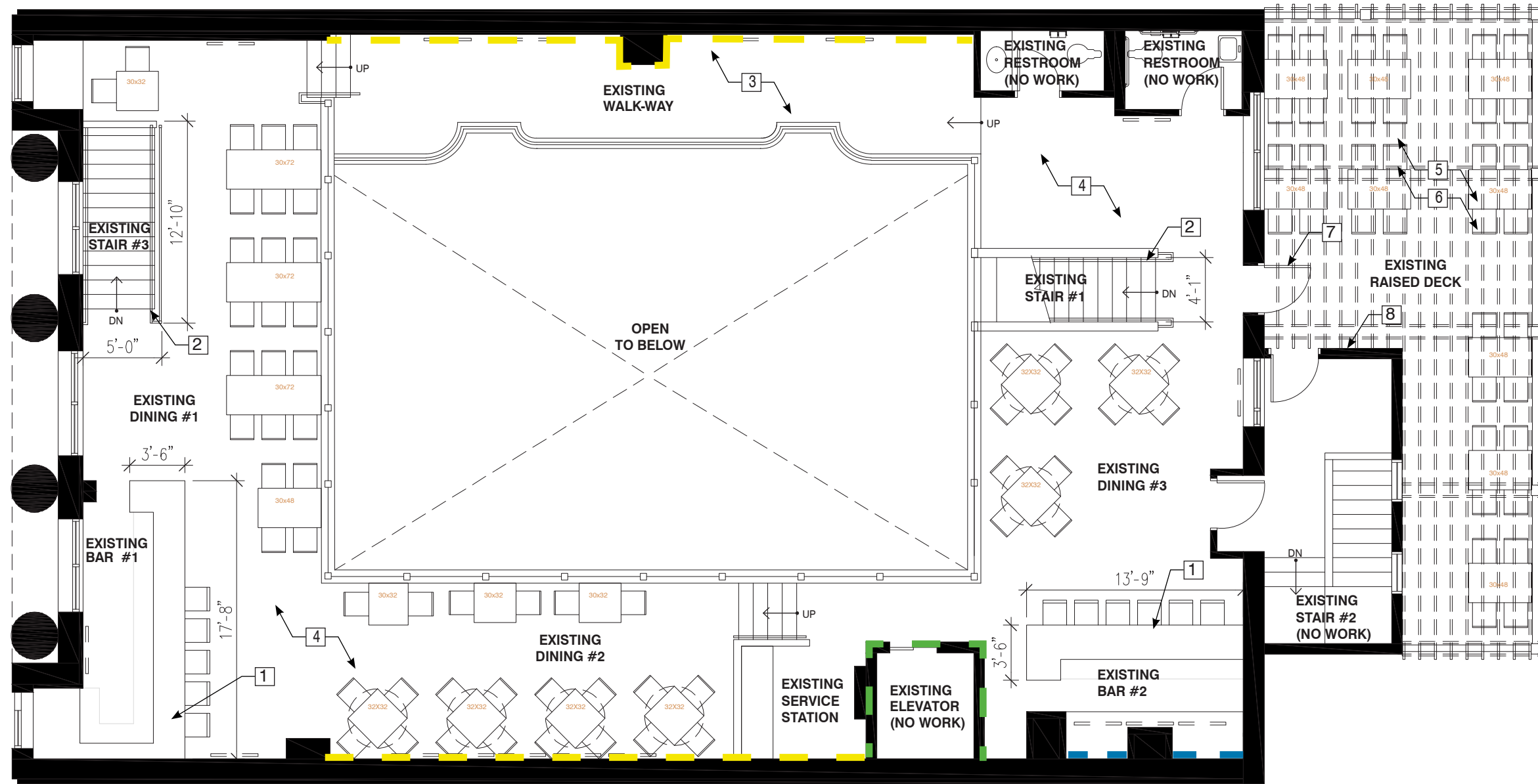
- KEYNOTES**
- 1 Remove existing fireplace shown dashed. Repair wall & prepare for new finishes to match existing gyp & wood trim/paneling. Height to match existing wood paneling.
 - 2 Remove existing DJ booth step, counter top & low walls shown dashed. Patch & repair as needed.
 - 3 New bar, coordinate rough-ins w/ kitchen consultant and owner.
 - 4 New host stand by owner.
 - 5 Slot machines & games by owner. Provide power.
 - 6 Backless waiting banquette 2'-4" x 3'-2", by booth mfr.
 - 7 Remove existing Stair #1 & Stair #2 handrails. Replace with new metal & glass handrail.
 - 8 Remove existing Stair #1 carpet. Square off bottom treads & risers & prepare for new diamond plate. Provide nosing.
 - 9 Prepare existing flooring for new luxury vinyl tile.
 - 10 Prepare existing flooring for new quarry tile.
 - 11 Existing flooring to remain.
 - 12 Remove existing wallcovering & prepare gyp for paint.
 - 13 Prepare existing flooring for new walk-off mat.
 - 14 New pullman booths & fillers by booth manufacturer. Verify

Lower Level Floor Plan
scale: 1/8" = 1'-0"



FINISH LEGEND	
BRICK	
P-2	
P-3	
WC-1	

- GENERAL NOTES**
1. TVs by owner.
 2. All dimensions to be verified in field.
 3. ADA counter height tables to have scoping base.
 4. Existing plumbing fixtures to remain.
 - 5. Owner to verify bearing capacity of new pergola with structural engineer.**
 6. All walls painted P-1 unless otherwise noted.



- KEYNOTES**
- 1 New bar top coordinate rough-ins w/ kitchen consultant and owner.
 - 2 Remove existing Stair #1 & Stair #2 handrails. Replace with new metal & glass handrail.
 - 3 Remove existing walk-way carpet. Prepare & replace with new.
 - 4 Existing flooring to remain, U.N.O.
 - 5 Owner to verify if existing decking is code compliant & structurally stable.
 - 6 If the existing raised deck is replaced, the existing roof system is to be removed and prepared for new Tremco PUMA waterproofing system. Contact: Ron Munoz 216-816-8983
 - 7 Paint existing exterior doors & trim P-3.
 - 8 Paint existing exterior siding P-1

GENERAL NOTES

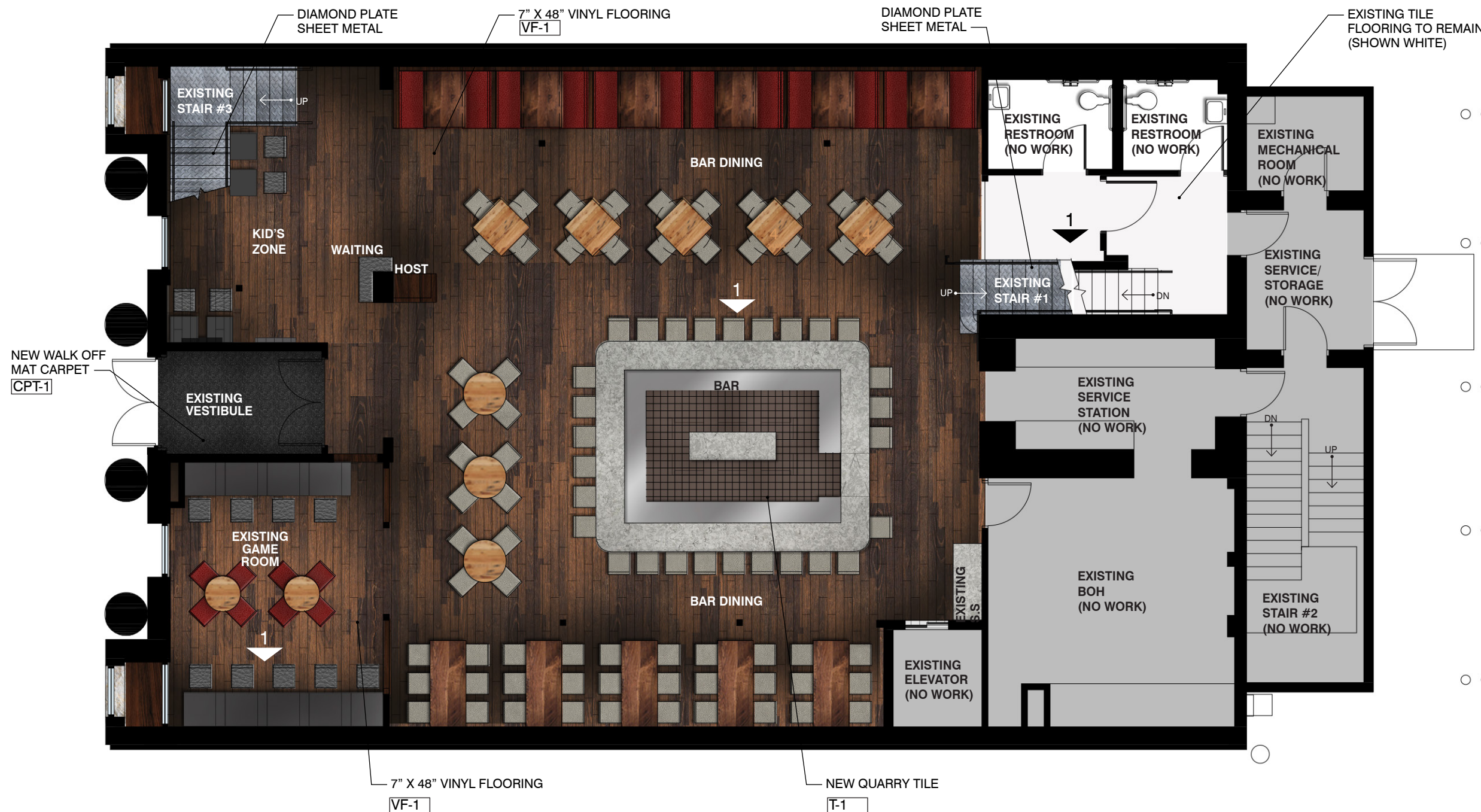
1. All quarry tile to have epoxy grout.
2. All floors and walls at bar to have trowel applied waterproofing applied 12" up wall and completely covering floor.
4. Chalk all FRP joints with silicone (typ.)
5. Install quarry tile cove base around bar.
6. All cut tiles to be pumiced smooth.

INTERIOR SEATS

LOWER LEVEL	
(3) 4-TOP COUNTER HEIGHT	12
(5) 4-TOP DINING HEIGHT	20
(5) 6-TOP COUNTER HEIGHT	30
(6) 4-TOP DINING HEIGHT PULLMAN	24
BAR SEATS	28
GAMING ROOM	17
KID'S ZONE	4
TOTAL SEATS	135

UPPER LEVEL	
(5) 4-TOP COUNTER HEIGHT	20
(3) 6-TOP COUNTER HEIGHT	18
(3) 2-TOP COUNTER HEIGHT	6
(3) 4-TOP DINING HEIGHT	12
BAR SEATS	11
TOTAL SEATS	67

OUTDOOR SEATS	
(9) 4-TOP DINING HEIGHT	36
TOTAL SEATS	234
REQUIRED ADA SEATS	12

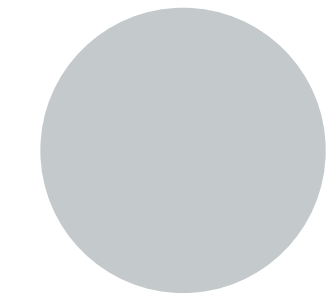
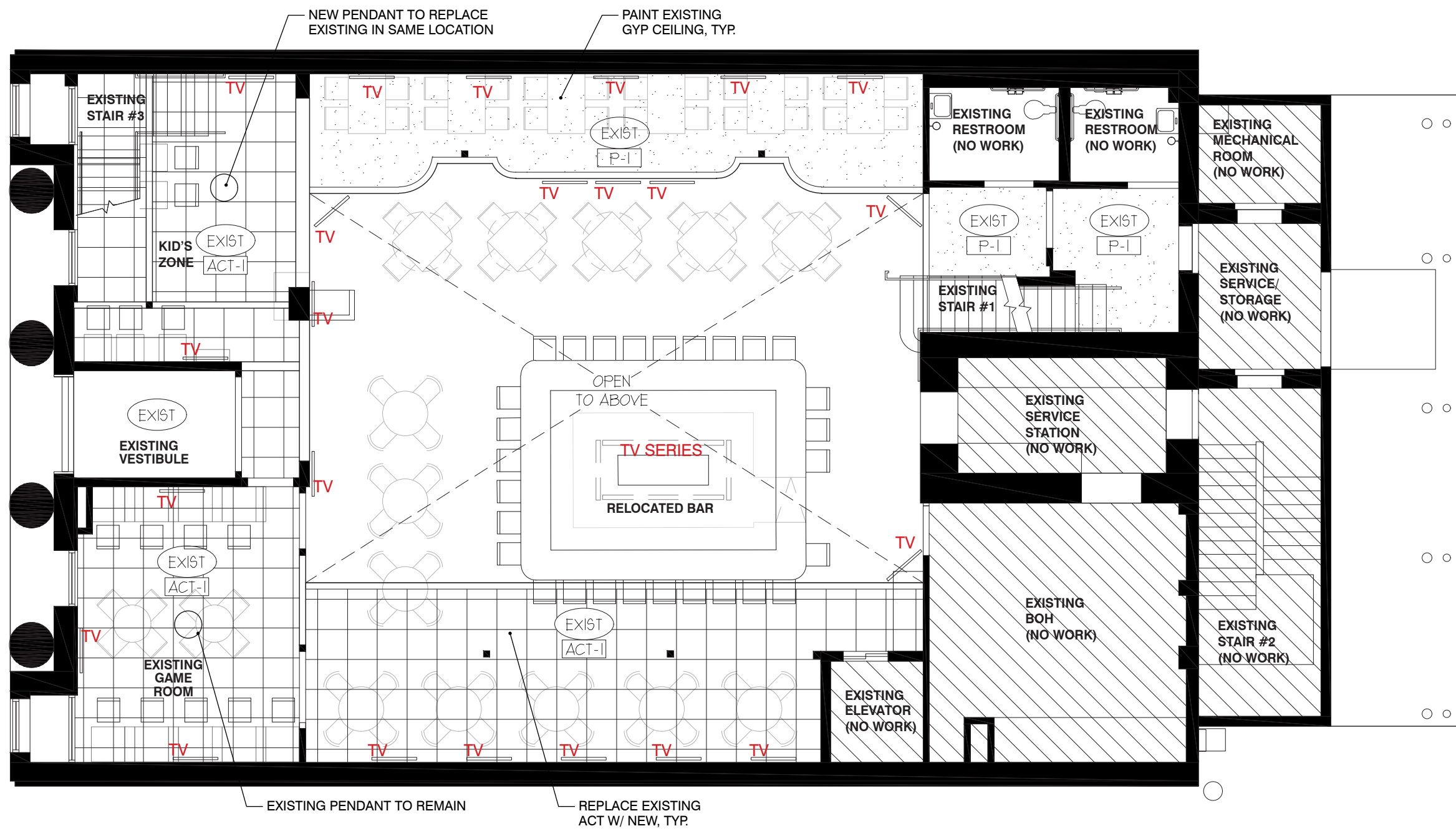


Lower Level Finish Floor Plan
scale: 1/8" = 1'-0"



GENERAL NOTES

1. TVs by owner.
2. All dimensions to be verified in field.
3. All lighting to remain, unless noted otherwise.
4. All dimensions are to center of fixtures.
5. All lighting to be UL listed, 2700k, and dimmable.
6. Center acoustical ceiling grid in room or coffer.
7. All interior wood beams, molding, & trim to remain.



P-1
Ceiling Paint
Throughout



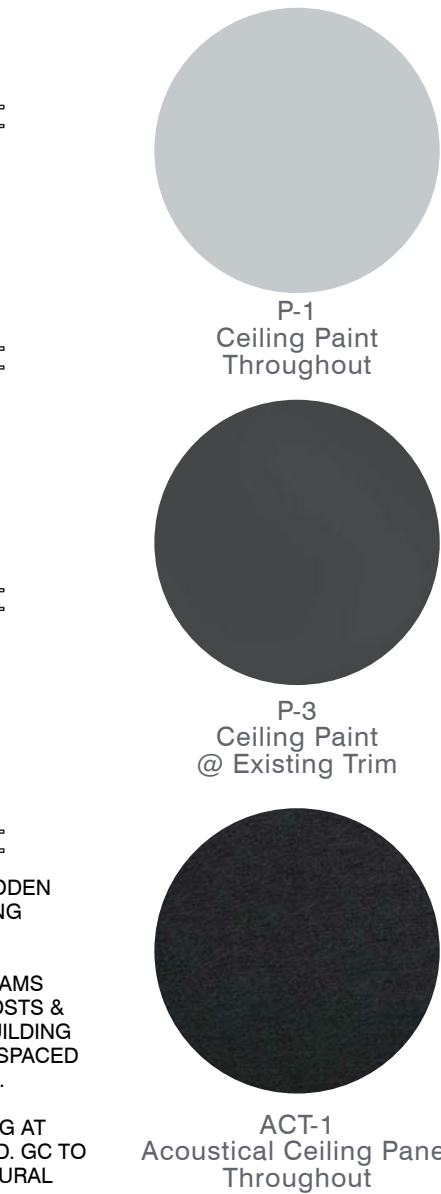
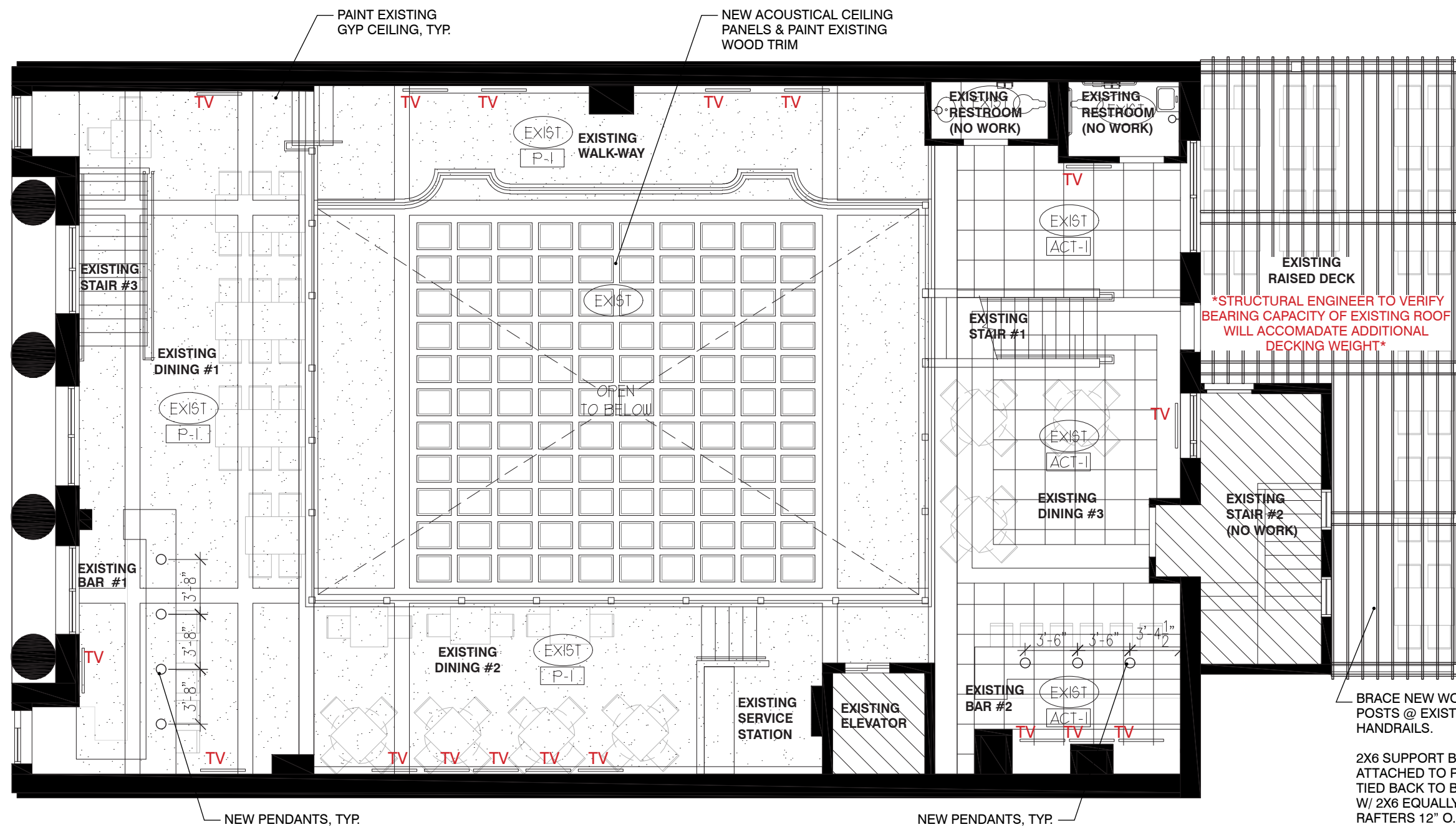
ACT-1
Acoustical Ceiling Panel
Throughout

Lower Level Reflected Ceiling Plan
scale: 1/8" = 1'-0"



GENERAL NOTES

1. TVs by owner.
2. All dimensions to be verified in field.
3. All lighting to remain, unless noted otherwise.
4. All dimensions are to center of fixtures.
5. All lighting to be UL listed, 2700k, and dimmable.
6. Center acoustical ceiling grid in room or coffer.
7. All interior wood beams, molding, & trim to remain.



BRACE NEW WOODEN POSTS @ EXISTING HANDRAILS.

2X6 SUPPORT BEAMS ATTACHED TO POSTS & TIED BACK TO BUILDING W/ 2X6 EQUALLY SPACED RAFTERS 12" O.C.

PROVIDE BRACING AT POSTS IF NEEDED. GC TO ENSURE STRUCTURAL STABILITY.

FILL GAPS & HOLES W/ WOOD PUTTY. PREPARE WOOD FOR STAIN & CLEAR WATER PROTECTIVE COAT.

Upper Level Reflected Ceiling Plan
scale: 1/8" = 1'-0"



new wallcovering on existing back bar wall & painted trim. existing glass shelving to remain
 WC-1
 P-1

existing wood trim, typ.
 pendants above existing bar w/ new bar top

paint
 P-3

existing wood trim, typ.

existing wood & glass handrail

tv bank above bar

existing wood beam board

new brick wall
 BR-1

paint
 P-1

existing wood trim, typ.

pendants above existing bar w/ new bar top



Elevation 1

paint above existing wood wainscot
 P-1

new black powdercoated handrail system w/ round top rail, laminated glass, top mounted to existing stairs.

GC to ensure stability and compliancy.

paint above existing wood wainscot
 P-3

ship lap wood stain & trim to match existing darker tone
 WD-1
 WD-2

new blackened metal foot rail

vinyl booths
 FAB-1

paint
 P-2

existing light fixture

existing wood trim, typ.



Existing stone wall, counter top, plumbing fixtures, mirrors, vanity light & vanity apron to remain

New paint throughout

P-2



Remove wall tile. Patch & repair walls. Prepare for new wall tile in brick bond pattern

T-2

Remove floor tile & prepare for new tile in brick bond pattern

T-2

Remove toilet partition & replace w/ new stainless steel partitions



Remove decorative pilasters. Patch & repair walls. Prepare for new paint.

P-2

New paint @ stall walls

P-2



Bar Stool @ Bar
 Name: 925 U (bar height)
 Manufacturer: Regal
 Finish: Light Walnut / Black Sandtex frame
 Price: \$190.00 each
 Lead Time: 8-12 weeks
 Note: Graded In Vinyl- COM
 FAB-2



Counter Stool @ Bar Dining
 Name: 925 U (bar height)
 Manufacturer: Regal
 Finish: Light Walnut / RAL 3020 (red) frame
 Price: \$206.00 each
 Lead Time: 8-12 weeks
 Note: Graded In Vinyl- COM
 FAB -2



Counter Stool @ Game Rooms
 Name: 925 U (bar height)
 Manufacturer: Regal
 Finish: Light Walnut / RAL 3020 (red) frame
 Price: \$235.00 each
 Lead Time: 8-12 weeks
 Note: Graded In Vinyl- COM
 FAB -1 & FAB-3



Dining Chair @ Bar Dining
 Name: 825U
 Manufacturer: Regal
 Finish: Light Walnut / Black Sandtex frame
 Price: \$168.00 each
 Lead Time: 8-12 weeks
 Note: Graded In Vinyl- COM
 FAB-2 for dining



Pendant @ Kid's Zone - Option 1
 Name: Gastown Pendant
 Manufacturer: Lightology/DVI
 Finish: Graphite
 Size: 20"W x 7"H
 Price: \$424.0 each
 Lead Time: 1 week
 Note: Vintage light bulbs
 sold separately



Pendant @ Kid's Zone - Option 2
 Name: Xenia Chandelier
 Manufacturer: Lightology/Elk Home
 Finish: Black/Brass
 Size: 22" W x 16" H
 Price: \$444.00 each
 Lead Time: In Stock
 Note: Vintage light bulbs
 sold separately



Pendant @ Upper Level Bars
 Name: Vintage Bell Cage Pendant
 Manufacturer: Lightology/Satco
 Finish: Rustic Bronze
 Size: 7.75" W x 8.25" H
 Price: \$163.99 each
 Lead Time: 2-4 weeks
 Note: Vintage light bulbs
 sold separately

Note:
 Quantities do not include attic stock.
 Pricing and lead times are subject to change.



Option 1 - Dining Chair @ Raised Patio
 Name: Darwin #521
 Manufacturer: Emu
 Finish: Red (Quick Ship)
 OR Iron (Special Order)
 Price: \$137.25 each (Quick Ship)
 \$150.98 each (Special Order)
 Lead Time: Quick Ship X weeks
 Special Order X Weeks

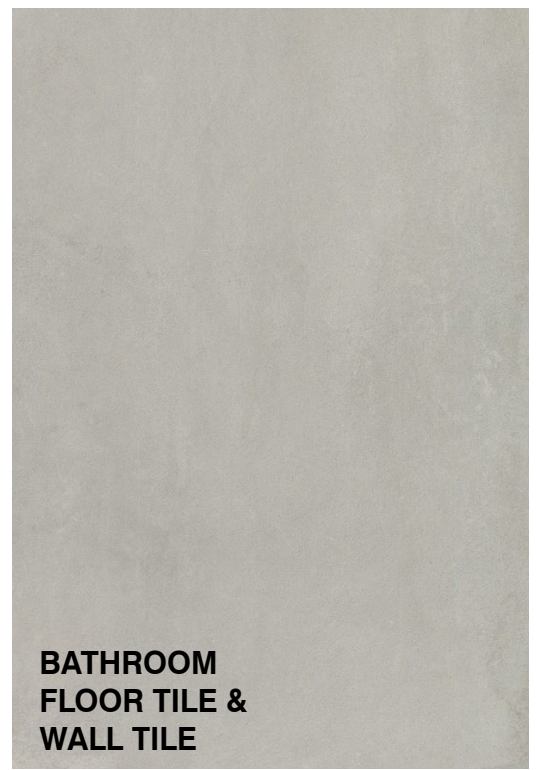
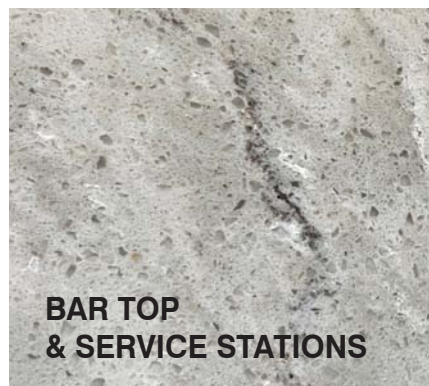
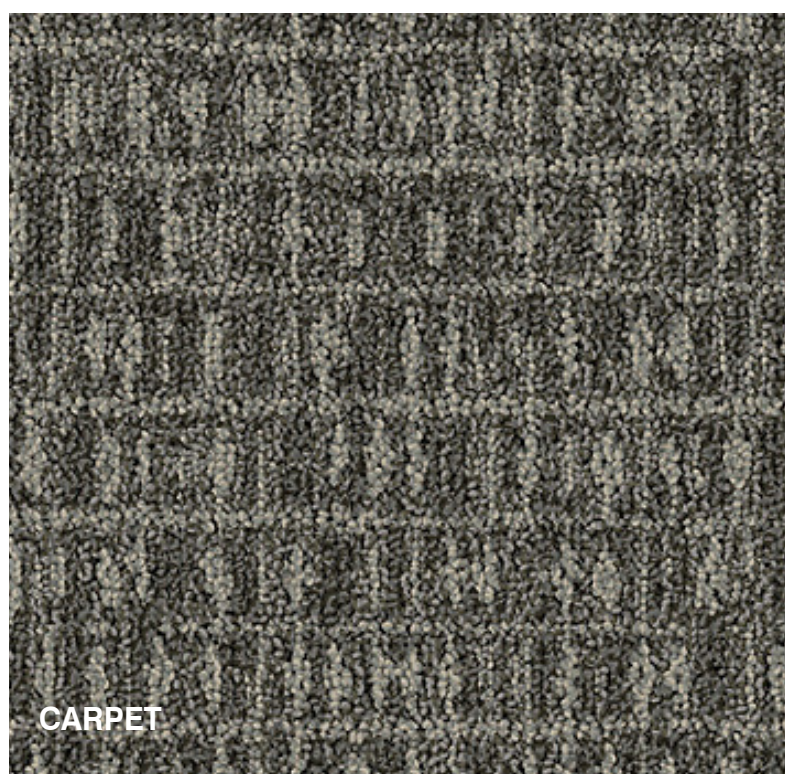
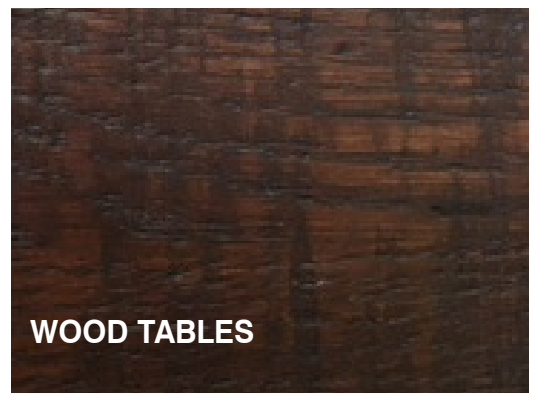
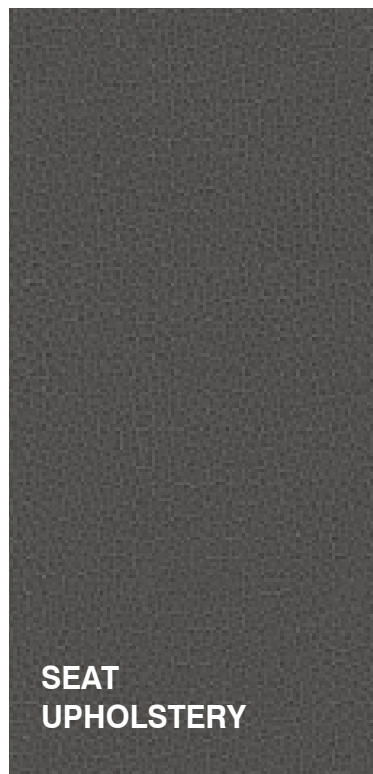
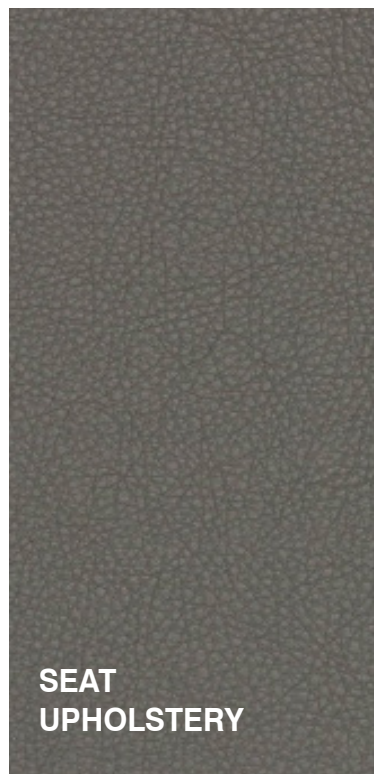


Option 2 - Dining Chair @ Raised Patio
 Name: Topper #150
 Manufacturer: Emu
 Finish: Iron (Quick Ship)
 Price: \$166.50 each (Quick Ship)
 Lead Time: Quick Ship X weeks



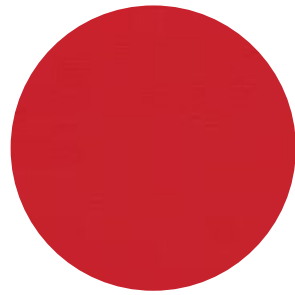
Mesh Table @ Raised Patio
 Name: Cambi ADA #836
 Manufacturer: Emu
 Finish: Iron (Quick Ship)
 OR Red (Special Order)
 Price: \$441.00 each (Quick Ship)
 \$445.41 each (Special Order)
 Lead Time: Quick Ship X weeks
 Special Order X Weeks

Note:
 Quantities do not include attic stock.
 Pricing and lead times are subject to change.



FINISH SCHEDULE

CARPET							
KEY	MATERIAL	MANUFACTURER	COLOR/NUMBER	NUMBER/SIZE	FINISH	LEAD TIME	NOTES & LOCATION
CPT-1	WALK-OFF MAT	IMPACT SPECIALTIES	WROUGHT IRON	G-3286	ROLL	1 WEEK	ENTRY VESTIBULE
CPT-2	BROADLOOM CARPET	MOHAUK	TEXTURAL EFFECTS / MATTE FINISH / 941 FLEECE	GL421	-	2-3 WEEKS	SECOND LEVEL EXISTING WALK-WAY
FABRIC							
FAB-1	UPHOLSTERY	TRI-KES	GIBRALTAR - UHN-GT-35	54"	-	-	SEATING UPHOLSTERY
FAB-2	UPHOLSTERY	CARNEGIE	HIDE - 654 - 19	54"	-	-	SEATING UPHOLSTERY
FAB-3	UPHOLSTERY	ARC-COM	RODEO-AC69986 - SMOKE #41	54"	-	-	SEATING UPHOLSTERY
PAINT							
P-1	PAINT	BENJAMIN MOORE	2121-30 PEWTER	-	SATIN @ WALLS - FLAT @ CEILINGS - SEMI-GLOSS @ METAL	-	WALLS & CEILING THROUGHOUT
P-2	PAINT	BENJAMIN MOORE	2121-20 STEEL WOOL	-	SATIN @ WALLS - FLAT @ CEILINGS - SEMI-GLOSS @ METAL	-	GAME ROOM & RESTROOM WALL PAINT
P-3	PAINT	BENJAMIN MOORE	2121-10 GRAY	-	SATIN @ WALLS - FLAT @ CEILINGS - SEMI-GLOSS @ METAL	-	ACCENT PAINT @ ELEVATORS & CEILING TRIM
SOLID SURFACE							
SS-1	QUARTZ	WILSONART	Q4024- VIA AUGUSTA	2CM		IN STOCK	BAR TOP, SERVICE (SERVICE STATION EDGES TO BE 2" THICK)
TILE							
T-1	QUARRY TILE	DALTILE	ASHEN GRAY	6"x6"	PROVIDE COVE BASE AROUND BAR	-	BAR FLOORING & BASE
T-2	PORCELAIN TILE	MID AMERICA TILE	NY2LA	12"x24"	NY230 RIVERSIDE STEEL GROUT: MAPEI 21 SILVER	-	BRICK BOND PATTERN BASEMENT RESTROOM FLOOR & WALL TILE
WALL COVERING							
WC-1	WALL COVERING	MDC	CALI EBONY	52"	MCO2081	IN STOCK	SECOND LEVEL BACK BAR WALL - SEE ELEVATIONS
WOOD							
WD-1	WOOD PLANK	BY MILLWORKER	TO MATCH EXISTING	VARIES	STAINED TO MATCH EXISTING	-	
WD-2	WOOD TRIM	BY MILLWORKER	TO MATCH EXISTING	VARIES	STAINED TO MATCH EXISTING	-	
MISC.							
ACT-1	ACOUSTICAL CEILING TILE	ROCKFON	COLOR-ALL	24"x24"	BLACK TILE AND GRID	-	SEE REFLECTED CEILING PLAN
BR-1	BRICK	BY OWNER	TO MATCH ROOKIE'S ROSELLE	-	-	-	INTERIOR WALLS - SEE FINISH PLAN & ELEVATIONS
MIL-1	DIAMOND PLATE	BY GC	-	-	-	-	PROVIDE NOSING & CORNER PIECES
VF-1	VINYL PLANK	KARNDUAN INTERNATIONAL	VAN GOGH -BURNISHED BEECH- VGU91T	7"x48"	-	-	BAR DINING THROUGHOUT
CONTACTS							
MDC		KYLE WIGGINS (713) 791-3841		BENJAMIN MOORE		JASON WALKER (800) 625-5141 x2222	
WILSONART		ROMANA MILLS (614) 411-4932		IMPACT SPECIALTIES		JULIE ROBBINS (404) 432-3631	
CARNEGIE		AMANDA BLABAC (312) 464-9316		MID-AMERICA		JOHN WANNER (847) 420-8453	
ARC-COM		RAEAN BROCK (800) 644-8191		MOHAUK		DANIELLE MAICKI (312) 644-2042	
TRIKES		LYNDSI O'DONNELL (800) 366-6839		DALTILE		DIONNE PRESTON (312) 461-0642	
ROCKFON		KAREN PLAGER (800) 323-7164		KARNDUAN		MICHELE BLOMQUIST (630) 621-6096	
NOTE: LEAD TIMES MAY CHANGE & ARE TO BE USED AS ESTIMATE ONLY. CONTRACTOR TO CONFIRM ALL LEAD TIMES.							



Awning Fabric
Sunbrella, Jockey Red



Paint existing gooseneck
light fixtures black

5'-0" x 10'-0" signage shown
dashed. 50 sf max

New Sunbrella awning fabric
on existing frames

Rookies logo decal

Light bars at awnings,
typical

- (1) one 50 square foot max sign.
- A total of 75 square feet of building signage is allowed.
- A larger sign is permitted via a variance with the building department.

STATE OF ILLINOIS

COUNTY OF MCHENRY

IN THE MATTER OF THE APPLICATION OF
(NAME);

AFFIDAVIT

(Name), being first duly sworn on oath deposes and states as follows:

A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on September 21, 2022, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on 9/3/22

B. That the posting requirements of the Zoning Ordinance have been complied with by placing the customary public notice sign on the subject property on 9/1/2022



(name) (signature)

Subscribed and Sworn to me before

This 6TH day of SEPTEMBER 20 22

Notary Public

