



#2022-197

Composites One – Variation

Project Review for Planning and Zoning Commission

Meeting Date: October 5, 2022

Request: Variation to exceed the maximum 70% impervious coverage to allow 78%.

Location: 1150 Mitchell Court

Acreage: Approximately 3.3 acres

Existing Zoning: M Manufacturing

Surrounding Properties: North: M Manufacturing
South: B-2 PUD General Commercial
East: M Manufacturing
West: M1 C for mining in Lake in the Hills

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The property is a vacant lot in an industrial park southwest of Rakow Road and Route 31.
- Composites One is the largest distributor of composites and other raw materials to fabricators in North America. There are 44 other locations.
- The business park was designed with shared detention. The release rate matches what was allowed for the site. The increased impervious coverage is not a concern for stormwater management.

Development Analysis:

Site Layout:

- The building orientation allows for the truck loading and parking to be backed up to the existing mining operation and away from the roadways.
- Access to the site is off Mitchell Court and into a divided drive aisle leading to the north and east of the building.
- The 49,000 square-foot building is divided into two spaces with Composites One occupying 30,000 square feet and the remainder is for lease or a future expansion.

- There are two main entrances proposed, one on the angled front corner of the building and a second farther south for the Composites One offices.

Building Elevations:

- The building is constructed of tilt up concrete panels. The main wall sections are white and grey accent panels that project along the elevations and highlight the entry features are added.
- A dark grey base color is added along the bottom and the panels are topped off with a dark top cap.
- The entryways are larger higher panels accented with dark awnings creating a welcoming feature to the building.
- The elevations meet the Industrial Design Standards in the UDO.

Parking:

- Manufacturing uses require 1 space per 2 employees. The site is providing 46 parking spaces.

Landscape:

- Existing trees on the property are being removed. This requires the replacement of 22 trees.
- The landscape plan illustrates 42 trees and 220 other shrubs, flowers and grasses.
- The landscape will enhance the site design and create a well-designed lot in this business park.

Wall Signs

- Wall signage is illustrated for Composites One. Full sign plans will be required during the building permit review.
- Industrial buildings are permitted 150 square feet of signage, this would be split at 75 square feet for each tenant.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3 to allow 78% impervious surface coverage. Manufacturing zoned properties are permitted 70% impervious coverage. This is a variation of 8%. The nature of the operation requires the truck maneuvering, which dictates the larger paved area.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;
or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2030 Summary Review:

The Comprehensive Plan designates the subject property as Industry. This is property for existing and future manufacturing and service uses. The following goals are applicable to this request:

Land Use: Industry

Goal: Support manufacturing uses within the community which contribute to the regional and local economy and Crystal Lake's live, work, play philosophy.

This can be accomplished with the following supporting action:

Supporting Action: Expand and attract manufacturing users which provide jobs, services, and products strengthening the City's economy.

Success Indicator: The number of new manufacturing company occupancies.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Stantine-Mitchell, received 08/19/22)
 - B. Site Plan (Spaceco Inc., dated 09/26/22, received 09/26/22)
 - C. Landscape Plan (Kathryn Talty, dated 09/26/22, received 09/26/22)
 - D. Elevations (Simonson, dated 09/26/22, received 09/26/22)
 - E. Floor Plan (Simonson, dated 09/22/26, received 09/26/22)
 - F. Engineering (Spaceco Inc. dated 08/19/22, received 09/26/22)
2. The petitioner shall comply with all of the requirements of the Community Development, Public Works and Engineering, and Fire Rescue Departments, as well as the City's storm water consultant.

PIQ Map
1150 Mitchell Court



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Composites One (Stonegate Business Park)

Action Requested

Annexation

Comprehensive Plan Amendment

Conceptual PUD Review

Final PUD

Final PUD Amendment

Final Plat of Subdivision

Preliminary PUD

Preliminary Plat of Subdivision

Rezoning

Special Use Permit

Variation

Other

Petitioner Information

Name: Stnatine-Mitchell IL Properties LLC

Address: 955-10 National Parkway

Phone: 847-437-0200

Fax: _____

E-mail: kendra.rogocki@synergy55.com

Owner Information (if different)

Name: _____

Address: _____

Phone: _____

Fax: _____

E-mail: _____

Property Information

Project Description: Composites One (Stonegate Business Center) Industrial warehouse building with the associated parking and utilities. Regional stormwater management previously provided for the site. Variation is being requested for a reduction of pervious coverage from the required 30% to the proposed 22%

Project Address/Location: SW Corner of Mitchell Court

PIN Number(s): 19-15-127-003-0000

Development Team

Please include address, phone, fax and e-mail

Developer: Stantine-Mitchell IL Properties LLC

Architect: Simonson Associated Architects, LLC

Attorney: _____

Engineer: SPACECO, Inc. (Civil Engineer)

Landscape Architect: Kathryn Talty Landscape Architecture

Planner: N/A

Surveyor: SPACECO, Inc.

Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.



8/19/22

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: _____

Address: _____

Phone: _____

E-mail: _____

Project Name & Description: _____

Project Address/Location: _____

Signature

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Northwest Herald

NORTHWEST HERALD

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Northwest Herald

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213731298

Notice URL:

[Back](#)

Notice Publish Date:

Saturday, September 17, 2022

Notice Content

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE APPLICATION OF Stantine-Mitchell IL Properties LLC LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Stantine-Mitchell IL Properties LLC for approval of a Variation at the following real estate known as 1150 Mitchell Court, Crystal Lake, Illinois 60014, PIN: 19-15-127-003. This application is filed for the purpose of seeking a Variation to allow 78% impervious surface coverage, a variation of 8 percent over the maximum 70% allowed pursuant to the Unified Development Ordinance Article 3 and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall. A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, October 5, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald on September 17, 2022)2017137

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STATE OF ILLINOIS

COUNTY OF MCHENRY

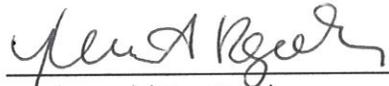
IN THE MATTER OF THE APPLICATION OF
Stantine-Mitchell IL Properties LLC;

AFFIDAVIT

(Name), being first duly sworn on oath deposes and states as follows:

- A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on October 5, 2022, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on September 15, 2022.

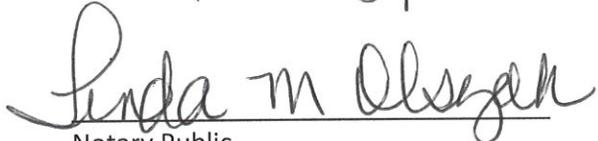
- B. That the posting requirements of the Zoning Ordinance have been complied with by placing the customary public notice sign on the subject property on September 16, 2022.



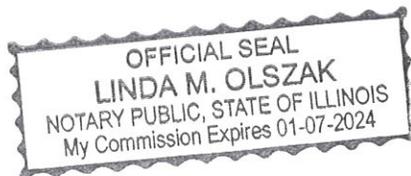
(name) (Signature)

Subscribed and Sworn to me before

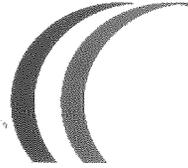
This 19th day of September, 2022



Notary Public



Parcel Number	Owner	Mail To Address 1	Mail To Address 2	Mail To City
19-15-127-003	STANTINE MITCHELL IL PROP LLC	955 10 NATIONAL PKWY		SCHAUMBURG, IL 60173
19-15-128-001	TOD E PEGGY A SCHULTEN	14N079 GUNPOWDER		ELGIN, IL 60123
19-15-128-002	PETER LYDIA A MATYSZEWSKI	1120 MITCHELL ST	UNIT B	CRYSTAL LAKE, IL 60014
19-15-128-008	PETER TRISH PRESTIA	2091 TUNBRIDGE TR		ALGONQUIN, IL 60102
19-15-100-044	RT 31 ASSOC LLC	8401 RT 31		CRYSTAL LAKE, IL 60014
19-15-101-004	117 ELEC WORKERS ASSN	765 MUNSHAW LN		CRYSTAL LAKE, IL 60014
19-15-127-004	W G FURMAN LLC	988 SUTHERLAND CT		CRYSTAL LAKE, IL 60014
19-15-127-005	JACKSON ENT LLC	4 BILTMORE CT		CRYSTAL LAKE, IL 60014
19-15-128-004	IL KAS ENT INC	1101 ASCOT		CRYSTAL LAKE, IL 60014
19-15-128-007	PETER TRISH PRESTIA	2091 TUNBRIDGE TR		ALGONQUIN, IL 60102
19-15-129-001	DSC CRYSTAL LAKE LLC	6501 ROCK VALLEY PKWY		LOVES PARK, IL 611118642
19-15-129-002	DSC CRYSTAL LAKE LLC	6501 ROCK VALLEY PKWY		LOVES PARK, IL 611118642
19-15-100-030	MINERAL LAND RESOURCES CORP	C O MARVIN F POER CO SPS RE	3520 PIEDMONT RD STE 410	ATLANTA, GA 30305
19-15-127-006	MCHENRY CO HOUSING AUTH	1108 N SEMINARY AVE		WOODSTOCK, IL 60098
19-15-128-003	P L A MATYSZEWSKI	6406 LAKEWOOD DR		CARY, IL 600131239
19-15-128-005	KAS ENT OF ILLINOIS INC	1120 MITCHELL CT	UNIT E	CRYSTAL LAKE, IL 60014
19-15-128-006	CHARLES M DUDGEON	5517 TRAVISTON CT		AUSTIN, TX 78738
19-15-126-004	L M LAKEVIEW HOLDINGS LLC	850 MUNSHAW LN		CRYSTAL LAKE, IL 600141731
19-15-126-003	LAKEVIEW BUS CTR PHASE II	2550 COMPASS RD		GLENVIEW, IL 600261610



955-10 National Pkwy
Schaumburg, IL 60173
Phone • 847-437-0200
Fax • 847-437-0664
compositesone.com
b2bcomposites.com

COMPOSITES ONE LLC DESCRIPTION OF OPERATIONS

Composites One LLC is the largest distributor of composites and other raw materials to composites materials fabricators in North America. We have 44 stocking locations and over one million square feet of owned and leased industrial product across the United States and Canada. With almost 700 employees, Composites One is committed to providing outstanding service to its customers and operating safely.

While its roots go back to pioneering composites distributors of the 1950s, Composites One LLC was created in 1999 through the merger of three leading composites materials distributors (GLS Composites Distribution Corp., CMI and RP Associates). Initially a joint venture, Composites One LLC was founded by Cook Composites and Polymers (now CCP Composites) and GLS Composites Distribution Corp. GLS Composites Distribution Corp. is wholly-owned by the Dehmlow family which has 60 years and 4 generations of composites distribution experience. Over an 8-year period starting in 2000, Composites One, managed by GLS Composites Distribution Corp., grew both organically and through five strategic acquisitions of other composites distributors. In 2012, GLS Composites Distribution Corp. bought out its partner, CCP Composites, and the Dehmlow family became sole owners of Composites One LLC, increasing their commitment to the composites industry.

The next major step in its evolution occurred in 2014 when Composites One bought Nexeo Solutions' composites distribution business. This acquisition allowed Composites One to offer composites materials from over 500 suppliers to more than 9,000 customers in every area of composites manufacturing. These customers include the marine, consumer recreation, construction, corrosion resistance, energy (including wind), aerospace, defense and transportation industries. Our customers have come to rely on Composites One as an essential source of raw materials and maintenance supplies.

As a distributor, Composites One LLC generally receives in material and ships it back out in the same container. We sell branded products, typically in drums on pallets or totes, as supplied by the manufacturers we represent. All product is received and shipped by truck.

Composites One team members have over 50 years of experience handling composites materials. Composites One managers have held or hold Board of Directors positions with the leading trade association representing the industry, the American Composites Manufacturers Association (ACMA). We have an excellent safety record and are committed to all aspects of safety and environmental protection. Composites One LLC has received the Occupational Excellence Award on several occasions as well as the Perfect Award from the National Safety

Council. The Occupational Excellence Award is based on OSHA frequency and severity rates being significantly below industry averages. The Perfect Award is based on incurring zero lost-time injuries during the calendar year. In 2010, Composites One received the Industry Leader Award for the first time.

Composites One was the first distributor in the composites industry to be audited and recognized by the Underwriters Laboratory as meeting the guidelines of the National Association of Chemical Distributor's (NACD) Responsible Distribution Process (RDP). Composites One is also ISO9001/AS9120 Certified in six locations: Monessen, PA; Santa Fe Springs, CA; Lenexa, KY; Rock Hill, SC; Salt Lake City, UT; and Schaumburg, IL. Our Director of Health, Safety and Environment maintains a strong company focus on proper storage, handling and transportation of our materials.

Further details on Composites One can be obtained on our website: www.compositesone.com.

Below are some of the hazardous materials that may be handled by Composites One distribution centers:

CLASS 3 FLAMMABLE LIQUIDS HANDLED BY COMPOSITES ONE LLC

Drums are 55-gal. 5's and 1's below are 5-gallon and 1-gallon containers

Product	Vendor	Container	NFPA Class	Flash /Boiling Pt. (deg F)
Resin	CCP	Dx., 5's	IC	88; 250
Gel Coats	CCP	5's	IC	88; 250
PMR-90 Mold Cleaner	Chemtrend	1's	IB	20; 190
41-90 Mold Cleaner	Chemtrend	1's	IB	20; 190
MA 560 Activator	Plexus	Drums	IB	50;>200
Acetone	Brenntag	Drums	IB	0;

CLASS 5.2 ORGANIC PEROXIDES HANDLED BY COMPOSITES ONE LLC

Product	Vendor	Container	NFPA Class	SADT (deg F)
Norox MEKP 950	United Initiators	1s	IIA	140
Luperox DDM-9	Arkema	1's	IIB	167
Cadox M-30A	Nouryon/Akzo Nobel	1s	III	140

OTHER LIQUIDS HANDLED BY COMPOSITES ONE LLC

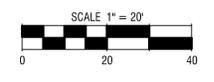
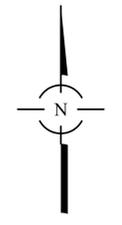
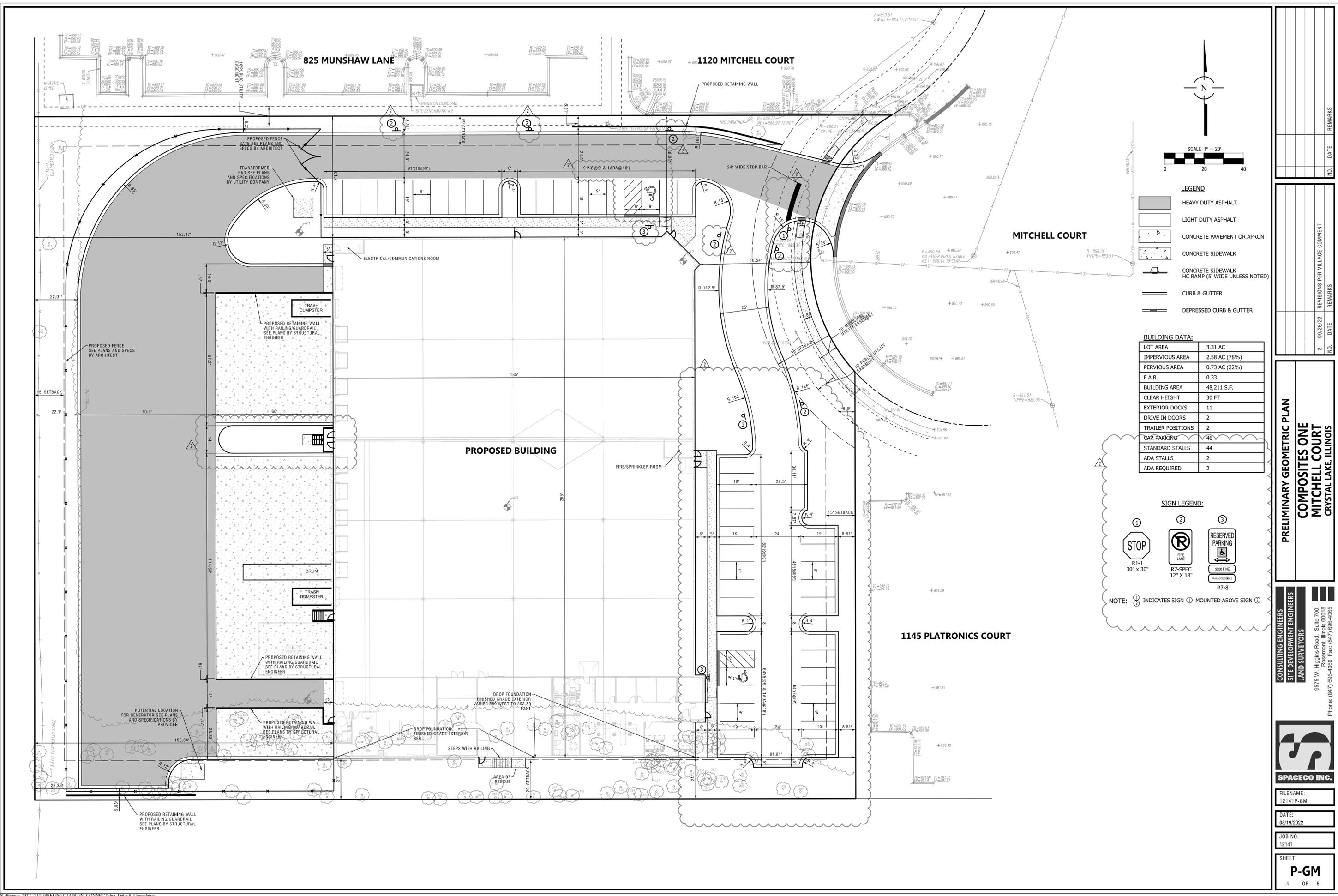
<u>Product</u>	<u>Vendor</u>	<u>Container</u>	<u>NFPA Class</u>	<u>Flash /Boiling Pt. (deg F)</u>
095-0093 Cleaner	CCP	5's, Safety Can	III	220

OVERVIEW OF RAW MATERIALS HANDLED BY COMPOSITES ONE

The raw materials which are handled by Composites One can be basically classified into the following groups:

- 1. Resins and gel coats:** This material contains Styrene as the hazardous component. According to the NFPA 30, it is an IC flammable liquid with a flashpoint of 88 degrees F. Styrene has a very low odor threshold and can be detected at levels of 1 ppm or more. Presently, acceptable levels of workers exposure are 50 ppm, with a ceiling value of 100 ppm for 15 minutes. Various products contain differing concentrations of Styrene, but the hazards of the material remain basically the same for all. Container sizes are mainly 55-gallon drums, but the resin may also be stored in 220-gallon portable tanks.

Primers/mold cleaners can also contain styrene as the primary hazardous component but also contain methyl ethyl ketone and/or ethyl acetate which lowers the flash point to a IB grouping. The containers are smaller in size, with the largest quantity being a 5-gallon pail.
- 2. Organic Peroxides:** Common organic peroxides generally fall under the classification of IIA, IIB, III and IV per NFPA 400 Table F.1. Recommended storage temperature for the material Composites One stores ranges between 50 deg. F. and 100 deg. F. The material is reactive and corrosive demanding respect in the way it is handled. The temperatures range allows Composites One to maintain the quality and shelf life of the product. It is not due to concern of the safety and stability of the product. The temperature-controlled rooms are maintained with limit switches to actuate an alarm arranged to ensure appropriate storage temperatures. In addition, most are commonly modified by the use of additives to de-sensitize and stabilize the organic peroxide for commercial use.
- 3. Cleaning Solvents:** Acetone is a IB flammable liquid with a flashpoint of 0 degrees F, according to NFPA 30. Inventory is kept to a minimum with 55-gallon container height never exceeding 1-high
- 4. Promoters:** DMA is a poison which should never be allowed to come in contact with skin. It is a combustible liquid.
- 5. Mold Preps and Releases:** Most of these formulations are packaged in small containers of a gallon or less and are IB flammable liquids. Finish Kare, TR, Rexco, and Formula 5 product lines all have similar properties.
- 6. Balsa, Fillers, and Reinforcements:** These materials are non-hazardous. At most, a punctured bag of filler could expose an employee to nuisance dust.



- LEGEND**
- HEAVY DUTY ASPHALT
 - LIGHT DUTY ASPHALT
 - CONCRETE PAVEMENT OR APRON
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
 - CURB & GUTTER
 - DEPRESSED CURB & GUTTER

BUILDING DATA:

LOT AREA	3.31 AC
IMPERVIOUS AREA	2.58 AC (78%)
PERVIOUS AREA	0.73 AC (22%)
F.A.R.	0.33
BUILDING AREA	48,211 S.F.
CLEAR HEIGHT	30 FT
EXTERIOR DOCKS	11
DRIVE IN DOORS	2
TRAILER POSITIONS	2
CAR PARKING	46
STANDARD STALLS	44
ADA STALLS	2
ADA REQUIRED	2

SIGN LEGEND:

- STOP
R1-1
30" x 30"
- FIRE LANE
R7-SPEC
12" x 18"
- RESERVED PARKING
R7-8
30" x 30"
VAN ACCESSIBLE

NOTE: INDICATES SIGN MOUNTED ABOVE SIGN

NO.	DATE	REMARKS

NO.	DATE	REVISIONS PER VILLAGE COMMENT
2	09/26/22	

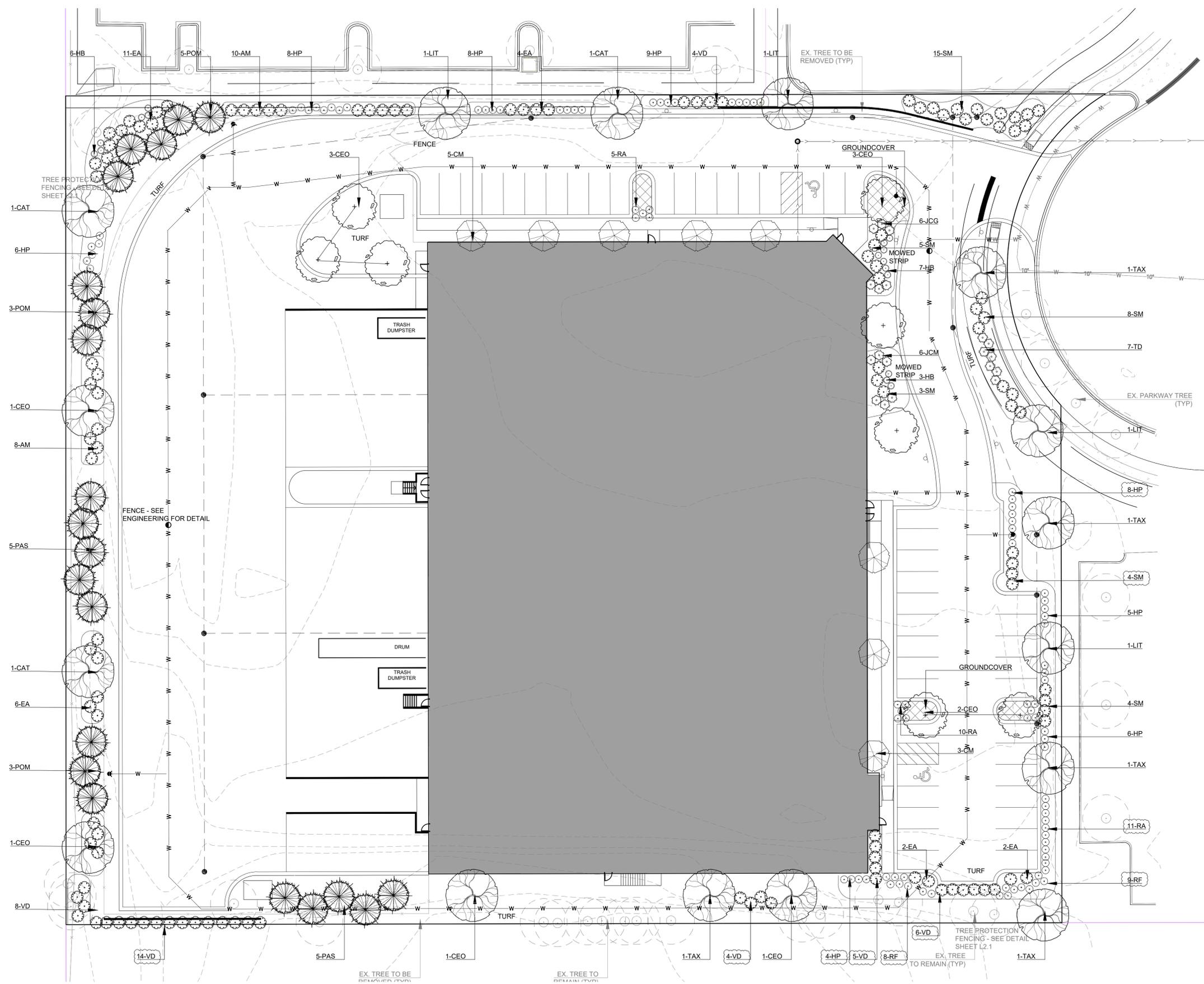
**PRELIMINARY GEOMETRIC PLAN
COMPOSITES ONE
MITCHELL COURT
CRYSTAL LAKE, ILLINOIS**

**CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



FILENAME: 12141P-GM
DATE: 08/19/2022
JOB NO. 12141
SHEET P-GM 4 OF 5

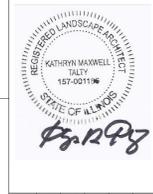


LANDSCAPE REQUIREMENT SUMMARY

PERIMETER R.O.W (75')	1 TREE 10 SHRUBS (40' LF)
REQUIRED TREES	2
PROPOSED TREES	2
REQUIRED SHRUBS	20
PROPOSED SHRUBS	20
PERIMETER (1423')	1 TREE 5 SHRUBS (40' LF)
REQUIRED TREES	36
PROPOSED TREES	36
REQUIRED SHRUBS	180
PROPOSED SHRUBS	180
INTERIOR PARKING (46 SPACES)	1 TREE 5 SHRUBS (10 SP)
REQUIRED TREES	4
PROPOSED TREES	4
REQUIRED SHRUBS	20
PROPOSED SHRUBS	20
FOUNDATION PLANTING	
REQUIRED WIDTH	5'
PROPOSED WIDTH	5'

Kathryn Talty
landscape architecture

Winnetka, Illinois 60093
847.612.1514
www.krtaltydesign.com



no.	revision	description	initial	date
	ISSUED FOR REVIEW		KMT	08-18-22
	PEP VILLAGE COMMENTS		KMT	09-26-22

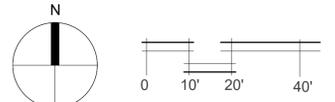
COMPOSITES ONE
MITCHELL COURT
CRYSTAL LAKE, IL

PRELIMINARY LANDSCAPE PLAN
LANDSCAPE REQUIREMENTS

date	08-18-22	checked	KMT
drawn	EN		
job no.	22370		
sheet no.	L 1.1		

OVERALL LANDSCAPE PLAN KEY

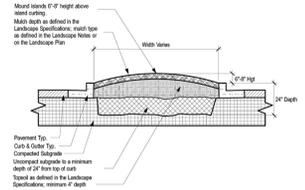
SCALE: 1" = 20'-0"



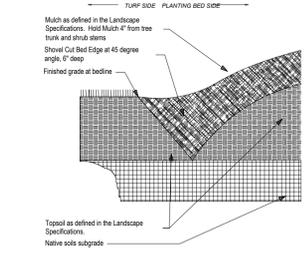
Master Plant List					
Symbol	Quantity	Botanical Name	Common Name	Size	Notes
Shade Trees					
CAT	3	CATALPA SPECIOSA	NORTHERN CATALPA	3" BB	
CEO	12	CELTUS OCCIDENTALIS	HACKBERRY	3" BB	
LIT	4	LIRIODENDRON TULIPIFERA	TULIP TREE	3" BB	
TAX	5	TAXODIUM DISTICHUM	BALD CYPRESS	3" BB	
Evergreen Trees					
PAS	10	PICEA AIBES	NORWAY SPRUCE	8" BB	
POM	11	PICEA OMORIKA	SERBIAN SPRUCE	8" BB	
Ornamental Trees					
CM	8	CORNUS MAS	CORNELIANCHERRY DOGWOOD	6" BB	
Evergreen Shrubs					
JCG	6	JUNIPERUS CHINENSIS 'GOLD STAR'	GOLD STAR JUNIPER	24" BB	
JCM	6	JUNIPERUS CHINENSIS 'MINT JULIP'	MINT JULIP SPREADING JUNIPER	24" BB	
TD	7	TAXUS x MEDIA 'DENSII'	DENSE YEW	24" BB	
Deciduous Shrubs					
AM	18	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY BLACK CHOKEBERRY	24" BB	
EA	21	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	36" BB	
HB	16	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	3 GAL 2-4' DWARF	
HP	54	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB	
RA	26	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	5 GAL	
RF	17	ROSA 'FLOWER CARPET'	FLOWER CARPET SHRUB ROSE	2 GAL DOUBLE PINK	
SM	39	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	24" BB	
VD	46	VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	48" BB	

GENERAL CONSTRUCTION NOTES

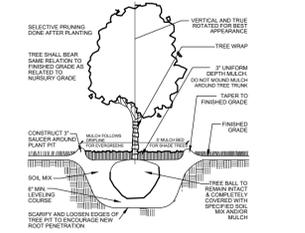
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET, UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.



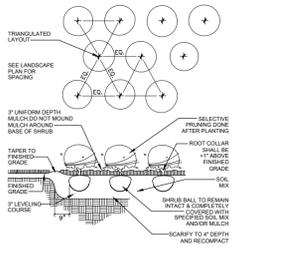
5 PARKING LOT ISLAND
L2.1 SCALE: NO SCALE



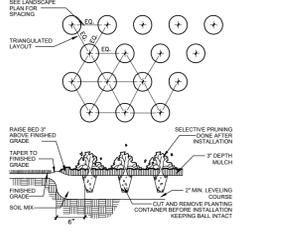
6 SPADED PLANTING BED EDGE
L2.1 SCALE: NO SCALE



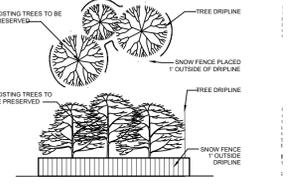
1 TREE PLANTING DETAIL
L2.1 SCALE: NO SCALE



2 SHRUB PLANTING DETAIL
L2.1 SCALE: NO SCALE



3 GROUND COVER DETAIL
L2.1 SCALE: NO SCALE



4 TREE PROTECTION FENCING
L2.1 SCALE: NO SCALE

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no.	revision	description	initial	date
	ISSUED FOR REVIEW		KMT	08-18-22
	PEP VILLAGE COMMENTS		KMT	09-26-22

COMPOSITES ONE
MITCHELL COURT
CRYSTAL LAKE, IL

LANDSCAPE INSTALLATION AND MONITORING SPECIFICATIONS

date	08-18-22	checked	KMT
drawn	EN		
job no.	22370		
sheet no.	L 2.1		

LANDSCAPE MAINTENANCE SPECIFICATIONS

STANDARDS
All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS
Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative.

All seasonal color selections shall be approved by the Owner's Representative prior to ordering and installation.

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results:

	Landscape Trees & Shrubs	Turf
pH Range	5.0-7.0	6.0-7.0
Organic Matter	>1.5%	>2.5%
Magnesium (Mg)	100+lbs./acre	100+lbs./acre
Phosphorus (P2O5)	150+lbs./acre	150+lbs./acre
Potassium (K2O)	120+lbs./acre	120+lbs./acre
Soluble salts	Not to exceed 900ppm/1.9 mmhos/cm in soil; not to exceed 1400 ppm/2.5 mmhos/cm in high organic mix	Not to exceed 750ppm/0.75 mmhos/cm in soil; not to exceed 2000 ppm/2.0 mmhos/cm in high organic mix

For unusual soil conditions, the following optional tests are recommended with levels not to exceed:

Boron	3 pounds per acre
Manganese	50 pounds per acre
Potassium (K2O)	450 pounds per acre
Sodium	20 pounds per acre

WORKMANSHIP

During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP
Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING

Turf grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall. From June through September, mowing height shall be maintained at no less than 3".

The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. **Caution** Mechanical weeders should NOT be used around trees because of potential damage to the bark.

EDGING

Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Caution shall be used to avoid flying debris.

FERTILIZING

Seasonally stepped fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES

Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. **Read the label prior to applying any chemical.**

INSECT & DISEASE CONTROL FOR TURF

The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING

All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes. **Do not shear trees or shrubs.** If previous maintenance practice has been to shear and ball, then a natural shape will be restored gradually.

Pruning Guidelines:

1. Prune plants that flower before the end of June (spring blooming) immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce the spring flowering display.
2. Prune plants that flower in July – September (summer or autumn blooming) in winter or spring before new growth begins, since these plants develop flowers on new growth.
3. Delay pruning plants grown for ornamental fruits, such as Cotoneasters and Viburnums.
4. Hollies and other evergreens may be pruned during winter in order to use their branches for seasonal decoration. However, severe pruning of evergreens should be done in early spring only.
5. Broadleaf evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new growth hardens off.
6. Hedges or shrubs that require shearing to maintain a formal appearance shall be pruned as required. Dead wood shall be removed from sheared plants before the first shearing of the season.
7. Conifers shall be pruned, if required, according to their genus.
 - A. Yews, Junipers, Hemlocks and Arborvitae may be pruned after new growth has hardened off in late summer. This method results in a more open plant, without stimulating excessive growth. Thinning is used on Crab Apples, Lilacs, Viburnums, etc.
 - B. Firs and spruces may be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut central leader.
 - C. Pines may be lightly pruned in early June by reducing candles.
8. Groundcover shall be edged and pruned as needed to contain it within its borders.
9. Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive growth. Thinning is used on Crab Apples, Lilacs, Viburnums, etc.
10. Renewal pruning: Remove oldest branches of shrub at ground, leaving the younger, more vigorous branches. Also remove weak stems. On overgrown plants, this method may be best done over a three-year period. Renewal pruning may be used on Forsythia, Hydrangea, Spiraea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract. A certified arborist under a separate contract shall perform this type of work.

SPRING CLEANUP

Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy.

FERTILIZING

For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet; for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet; for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area. Ericaceous material shall be fertilized with an ericaceous fertilizer at the manufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

MULCHING

Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up said bed, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed from beds where applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING

All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

Pre-emergent (soil-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUNDCOVER

The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monthly except for growing season, which will be every other week. Trained personnel shall monitor for plant damaging insect activity, plant pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning or physical removal of damaged plant parts will be performed as part of the contract. For an additional charge, plant pathogenic diseases that can be resolved through properly timed applications of fungicides shall be made when the owner authorizes it.

If the contractor notes an especially insect-or disease-prone plant species in the landscape, he/she will suggest replacement with a more pest-resistant cultivar or species that is consistent with the intent of the landscape design.

NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is *Insects that feed on Trees and Shrubs* by Johnson and Lyon, Comstock Publishing Associates. For plant pathogenic diseases, two references are suggested: *Scouting and Controlling Woody Ornamental Diseases in Landscapes and Nurseries*, authorized by Gary Moorman, published by Penn State College of Agricultural Sciences, and *Diseases of Trees and Shrubs* by Sinclair and Lyon, published by Comstock Publishing Press.

TRASH REMOVAL

The maintenance contractor shall remove trash from all shrub and groundcover beds with each visit.

LEAF REMOVAL

All fallen leaves shall be removed from the site in November and once in December. If requested by the owner, the maintenance contractor, at an additional cost to the owner shall perform supplemental leaf removals.

WINTER CLEAN-UP

The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

Clean-up includes:

- Cleaning curbs and parking areas
- Removing all trash and unwanted debris
- Turning mulch where necessary
- Inspection of grounds

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:

1. After flowering, cut off spent flower heads.
2. Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded. Cut off at base.
3. Allow leaves of other bulbs to yellow naturally and then cut off at base.
4. Apply fertilizer after flowering in spring, possibly again in fall. Apply 10-10-10 at the rate of 2 pounds per 1000 square feet or top-dress with compost 1" deep. Fall fertilization with a bulb fertilizer or mulching with 1" of compost is optional.

Flower Rotation:

1. Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner and install new plants if included in contract.
2. Summer Annuals or Fall Plants:
 - a. Dead heading: Pinch and remove dead flowers on annuals as necessary.
 - b. Fertilizing Summer Annuals: Fertilize using one or two methods: Apply a slow-release fertilizer in May following manufacturer's recommendations. A booster such as 10-10-10 may be necessary in late summer. Or, apply liquid fertilizations of 20-20-20 water-soluble fertilizers, not to exceed 2 pounds of 20-20-20 per 100 gallons of water, monthly, or mulch with compost 1" deep.
 - c. Removal: If fall plants are to be installed, summer annuals shall be left in the ground until the first killing frost and then removed, unless otherwise directed by the owner.

Perennials:

1. After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.
2. The following year:
 - a. Fertilize perennials with a slow-release fertilizer or any 50% organic fertilizer, or mulch perennials with compost 1" deep.
 - b. Cut all deciduous perennials flush to the ground by March 1, if this was not done the previous fall, to allow new growth to develop freely.
 - c. Mulch the perennial bed once in early spring at 1"-2" depth. If soil is bared in late fall, re-mulch lightly after ground is frozen to protect perennials.
 - d. Inspect for insect or disease problems on perennials. Monitor and control slugs on hostas and figularias. Powdery mildew on phlox, monardas, and asters can be prevented with properly timed fungicides or use of disease-resistant varieties.
 - e. Weed perennial bed as specified in "WEEDING" above.
 - f. Prune branching species to increase density. Cut only the flowering stems after blooming. Do not remove the foliage.
3. The following fall cut back deteriorating plant parts unless instructed to retain for winter interest, e.g. Sedum Autumn Joy and ornamental grasses.
4. Long-term Care:
 - a. Divide plants that overcrowd the space provided. Divide according to the species. Some need frequent dividing, e.g. asters and yarrow every two years; other rarely, if ever, e.g. peonies, hostas, and asilbe.
 - b. For detailed information regarding the care of specific perennials, refer to *All About Perennials* by Ortho, *Perennials: How to Select, Grow and Enjoy* by Pamela Harper and Frederick McGouty, Hp Books Publisher, *Herbaceous Perennial Plants: A Treatise on their Identification, Culture and Garden Attributes* by Allan Armitage, Stipes Pub LLC.

SUMMARY OF MAINTENANCE

LAWN MAINTENANCE

1. Soil analysis performed annually to determine pH. If pH does not fall within specified range, adjust according to soil test recommendations.
2. Maintain proper fertility and pH levels of the soil to provide an environment conducive to turf vitality for turf grasses.
3. Mow turf on a regular basis and as season and weather dictates. Remove no more than the top 1/3 of leaf blade. Clippings on paved and bed areas will be removed.
4. Aerate warm season turf areas to maintain high standards of turf appearance.
5. Apply pre-emergent to turf in two applications in early February and early April to extend barrier.
6. Apply post emergent as needed to control weeds.
7. Mechanically edge curbs and walks.
8. Apply non-selective herbicide, to mulched bed areas and pavement and remove excess runners to maintain clean defined beds.

TREE, GROUNDCOVER AND SHRUB BED MAINTENANCE

1. Prune shrubs, trees and groundcover to encourage healthy growth and create a natural appearance.
2. Mulch to be applied in February/March with a half rate in late summer to top dress.
3. Apply pre-emergent herbicides in February and April.
4. Manual weed control to maintain clean bed appearance.
5. Apply fungicides and insecticides as needed to control insects and disease.
6. Ornamental shrubs, trees and groundcovers to be fertilized three (3) times per year with a balanced material (January/February, April/May, and October/November)
7. Edge all mulched beds.
8. Remove all litter and debris.

GENERAL MAINTENANCE

1. Remove all man-made debris, blow edges.
2. Inspect grounds on a monthly basis and schedule inspection with Unit Operator.



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no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	08-18-22
2	PEF VILLAGE COMMENTS		KMT	09-26-22
3				
4				

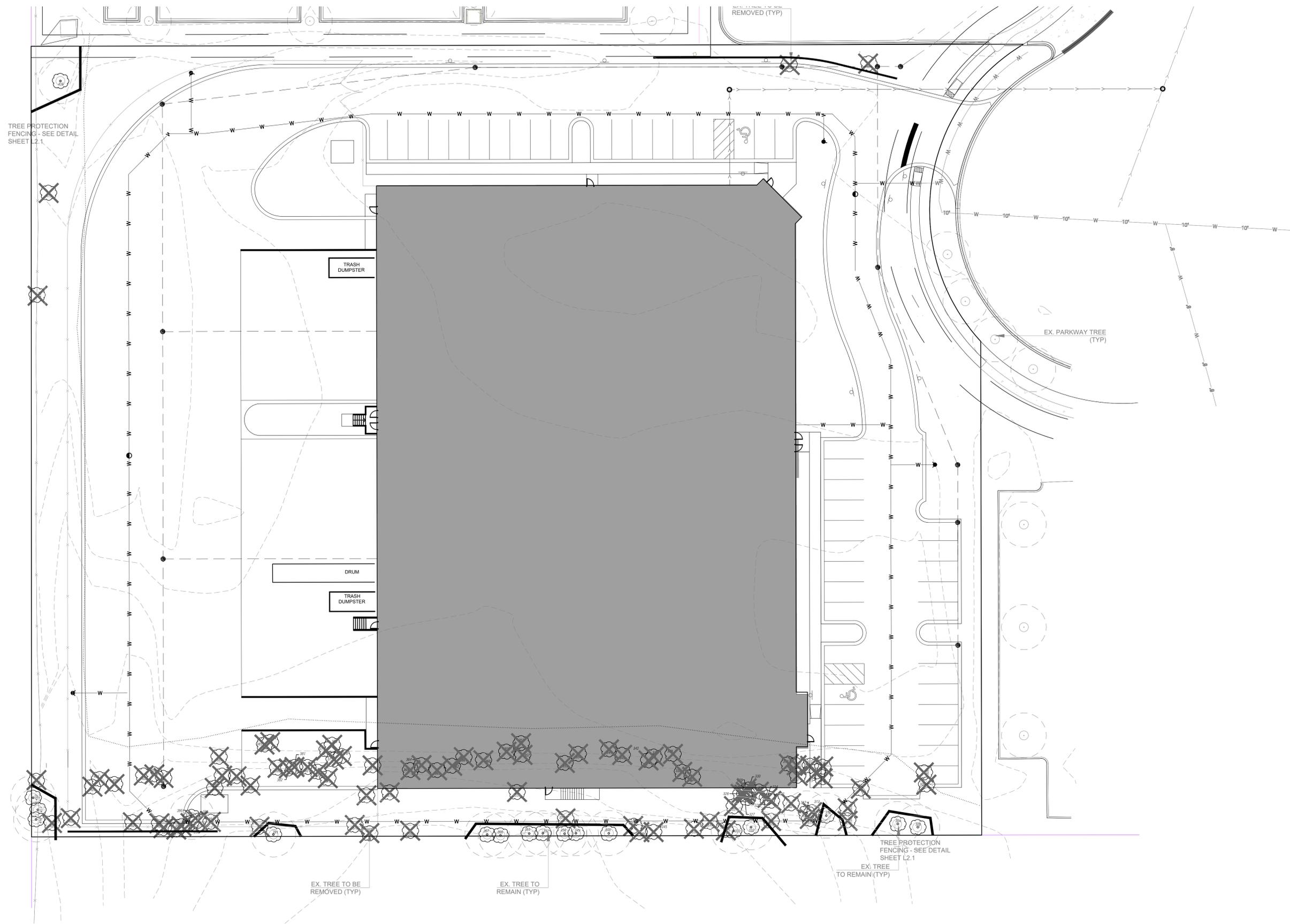
COMPOSITES ONE
MITCHELL COURT
CRYSTAL LAKE, IL

LANDSCAPE INSTALLATION AND MONITORING SPECIFICATIONS

date	checked
08-18-22	KMT
drawn	
EN	

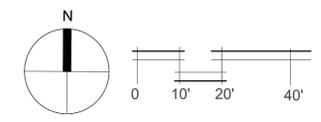
job no.
22370

sheet no.
L 2.2



TREE PRESERVATION PLAN

SCALE: 1" = 20'-0"



NOTE: PLEASE REFER TO TREE INVENTORY PREPARED BY SAV-A-TREE FOR MORE INFORMATION ON THE HEALTH OF ALL EXISTING TREES.

<p>Kathryn Talty landscape architecture</p> <p>Winnetka, Illinois 60093 847.612.1554 www.krmtaltdesign.com</p>			
no.	revision description	initial	date
1	ISSUED FOR REVIEW	KMT	08-18-22
2	PEP VILLAGE COMMENTS	KMT	09-26-22
3			
4			
<p>TREE PRESERVATION PLAN</p>		<p>COMPOSITES ONE</p> <p>MITCHELL COURT CRYSTAL LAKE, IL</p>	
date	drawn	checked	
08-18-22	EN	KMT	
job no.		22370	
sheet no.		TP1.1	

TAG NUMBER	SPECIES	DBH	CONDITION	ADDITIONAL NOTES	DETERMINATION
301	Cottonwood	16	Fair	Multistem	REMOVE
302	Cottonwood	23	Fair	Multistem	REMOVE
303	Black cherry	7	Poor		PRESERVE
304	Silver maple	26	Fair		PRESERVE
305	Cottonwood	4	Good		REMOVE
306	Cottonwood	3	Good		REMOVE
307	Cottonwood	5	Dead		REMOVE
308	Boxelder	6	Good		REMOVE
309	Ash	3	Dead		REMOVE
310	Honeylocust	3	Fair		PRESERVE
311	Silver maple	6	Fair		REMOVE
312	Silver maple	6	Fair		PRESERVE
313	Honeylocust	4	Fair		REMOVE
314	Ash	3	Dead		REMOVE
315	Ash	4	Dead		REMOVE
316	Ash	3	Dead		REMOVE
317	Ash	3	Dead		REMOVE
318	Silver maple	5	Fair		REMOVE
319	Honeylocust	4	Fair		REMOVE
320	Honeylocust	3	Fair		REMOVE
321	Silver maple	3	Fair		REMOVE
322	Silver maple	5.5	Good		REMOVE
323	Silver maple	6	Fair		REMOVE
324	Silver maple	7	Fair		REMOVE
325	Honeylocust	3	Fair		REMOVE
326	Silver maple	3	Fair		REMOVE
327	Silver maple	2	Fair		REMOVE
328	Silver maple	4	Fair		REMOVE
329	Silver maple	4	Fair		REMOVE
330	Silver maple	3	Fair		REMOVE
331	Ash	5	Dead		REMOVE
332	Boxelder	4	Fair		PRESERVE
333	Elm	5	Fair		PRESERVE
334	Boxelder	7	Fair		REMOVE
335	Boxelder	3	Fair		REMOVE
336	Mulberry	6	Fair		REMOVE
337	Silver maple	2	Poor		REMOVE
338	Silver maple	4	Poor		REMOVE
339	Boxelder	4.5	Poor		REMOVE
340	Cottonwood	6	Fair		REMOVE
341	Cottonwood	5	Poor		REMOVE
342	Pear	5.5	Fair		REMOVE
343	Cottonwood	5	Fair		REMOVE
344	Cottonwood	6.5	Fair		REMOVE
345	Silver maple	25	Fair		REMOVE
346	Silver maple	14	Fair		REMOVE
347	Linden	4	Fair		REMOVE
348	Silver maple	18	Fair		PRESERVE
349	Silver maple	14	Fair		PRESERVE
350	Silver maple	15	Fair		PRESERVE
351	Linden	3	Fair		REMOVE
352	Silver maple	10.5	Fair		PRESERVE
353	Silver maple	16.5	Fair		PRESERVE
354	Cottonwood	19	Fair	Multistem	REMOVE
355	Willow	10.5	Poor		REMOVE
356	Cottonwood	3.5	Poor		REMOVE
357	Cottonwood	8.5	Fair		REMOVE
358	Cottonwood	2	Fair		REMOVE
359	Cottonwood	5	Fair		REMOVE
360	Cottonwood	7	Fair		REMOVE
361	Cottonwood	19	Fair		REMOVE
362	Cottonwood	3	Poor		REMOVE
363	Cottonwood	16	Fair	Multistem	REMOVE
364	Cottonwood	7	Fair		REMOVE
365	Cottonwood	4	Fair		REMOVE
366	Silver maple	15.5	Fair		PRESERVE
367	Silver maple	18	Fair		PRESERVE
368	Silver maple	9	5 Poor		REMOVE
369	Silver maple	23	Fair		REMOVE
370	Swamp white oak	3.5	Fair		REMOVE
371	Willow	12	Fair		REMOVE
372	Cottonwood	3	Fair		REMOVE
373	Cottonwood	4.5	Fair		REMOVE
374	Willow	5	Fair		REMOVE
375	Willow	3	Fair		REMOVE
376	Willow	3	Fair		REMOVE
377	Willow	2.5	Fair		REMOVE
378	Black locust	4	Fair		REMOVE
379	Black walnut	2.5	Fair		REMOVE
380	Silver maple	2	Fair		REMOVE
381	Silver maple	2.5	Poor		REMOVE
382	Silver maple	3.5	Fair		REMOVE
383	Silver maple	7.5	Fair		REMOVE
384	Black locust	3.5	Fair		REMOVE
385	Black locust	3.5	Fair		REMOVE
386	Elm	5	Fair		REMOVE
387	Silver maple	2.5	Good		REMOVE
388	Black locust	2	Fair		REMOVE
389	Silver maple	4	Fair		REMOVE
390	Black locust	3	Fair		REMOVE
391	Silver maple	20	Fair		PRESERVE
392	Black locust	5	5 Poor		REMOVE
393	Black locust	10	Fair		REMOVE
394	Black locust	3	Poor		REMOVE
395	Black locust	7	Fair		PRESERVE
396	Black locust	8	Fair		REMOVE
397	Black locust	2.5	Poor		REMOVE
398	Black locust	8.5	Fair		REMOVE
399	Black locust	8	Fair		REMOVE
400	Boxelder	4	Fair		REMOVE
401	Black locust	11	Fair		REMOVE
402	Silver maple	3	Fair		REMOVE
403	Elm	4	Fair		REMOVE
404	Black locust	12	Fair		REMOVE
405	Black locust	7	Fair		REMOVE
406	Black locust	5	Fair		REMOVE
407	Black locust	4	Fair		REMOVE
408	Black walnut	10.5	Fair		REMOVE
409	Black cherry	8	6 Dead		REMOVE
410	Mulberry	6.5	Poor		REMOVE
411	Black cherry	7	5 Poor		REMOVE
412	Boxelder	11	5 Poor		REMOVE
413	Boxelder	17	6 Dead		REMOVE
414	Silver maple	50	5 Poor	Tree split, multistem	REMOVE
415	Boxelder	19	Dead	Multistem split	REMOVE
416	Ash	2	Fair		PRESERVE

TREE PROTECTION NOTES

- BEFORE ANY EXCAVATION, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIPLINE OF ALL TREES TO BE SAVED IN ACCORDANCE WITH THE NORTHBROOK ZONING ORDINANCE.
- A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES SIX (6) INCHES OR MORE D.B.H. IN ACCORDANCE WITH NORTHBROOK ZONING ORDINANCE.
- TREES TO BE REMOVED MUST BE MARKED IN THE FIELD WITH RED PAINT OR FLAGS AND INSPECTED BY THE NORTHBROOK FORESTRY OFFICE PRIOR TO ANY TREES BEING REMOVED.
- THE PERMITTED DISTANCE FROM THE TRUNK OF A TREE TO ANY PROPOSED EXCAVATION IS SIX (6) FEET OR MORE PER THE NORTHBROOK ZONING ORDINANCE.
- IF THE PROPOSED IMPROVEMENT IS WITHIN SIX (6) FEET OR LESS OF THE TREE, THE TREE MAY BE REQUIRED TO BE REMOVED PER THE NORTHBROOK ZONING ORDINANCE.
- ROOT PRUNING SHALL BE PERFORMED ON ANY TREE THAT IS MORE THAN SIX (6) FEET FROM THE PROPOSED CONSTRUCTION ZONE. ROOT PRUNING WILL NOT BE PERMITTED ON ANY TREE THAT IS LESS THAN SIX (6) FEET AWAY FROM PROPOSED CONSTRUCTION ZONE PER THE NORTHBROOK ZONING ORDINANCE.
- IF NECESSARY TO CONDUCT WORK OR DIGGING WITHIN THE ROOT ZONE OF TREES TO REMAIN, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED AND ADDITIONAL PROTECTIVE MEASURES, SUCH AS ROOT PRUNING OR BRIDGING, MUST BE EMPLOYED BY A LICENSED TREE SERVICE.
- ROOT PRUNING EQUIPMENT MUST BE APPROVED BY THE VILLAGE FORESTER PRIOR TO USE. HAND ROOT PRUNING WILL NOT BE PERMITTED UNLESS APPROVED BY THE VILLAGE FORESTER. ALL HAND ROOT PRUNING WILL REQUIRE A CERTIFIED ARBORIST'S SUPERVISION IN ACCORDANCE WITH THE NORTHBROOK ZONING ORDINANCE.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOOTHING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- TREE REMOVAL IS RECOMMENDED FOR TREES CLOSER THAN SIX (SIX) FEET TO A CONSTRUCTION ZONE. ALL TREE REMOVALS REQUIRE A WRITTEN PERMIT FROM THE VILLAGE FORESTER PRIOR TO REMOVAL IN ACCORDANCE WITH THE NORTHBROOK ZONING ORDINANCE.
- THE USE OF STRUCTURAL SOIL AND BARRIER FABRIC WILL BE CONSIDERED AS AN ALTERNATIVE TO TREE REMOVAL PER THE NORTHBROOK ZONING ORDINANCE.
- TREE BRANCHES HANGING INTO THE CONSTRUCTION ZONE MAY BE PRUNED BY A CERTIFIED TREE WORKER. ALL PRUNING CUTS MUST MEET ANSI A300-2001 STANDARDS IN ACCORDANCE WITH THE NORTHBROOK ZONING ORDINANCE.
- PER THE NORTHBROOK ZONING ORDINANCE, NO AMERICAN ELMS OR OAKS MAY BE PRUNED WITHOUT WRITTEN PERMISSION AND INSTRUCTIONS TO CERTIFIED ARBORIST FROM THE VILLAGE FORESTER BETWEEN APRIL 1ST AND OCTOBER 31ST.
- EXERCISE CAUTION WHEN WORKING AND DIGGING NEAR TREES LOCATED ON ADJACENT PROPERTY.
- FAILURE TO FOLLOW THESE SPECIFICATIONS WILL RESULT IN THE CONTRACTOR REQUIRING TO POST A CASH BOND, EQUIVALENT TO THE VALUE OF EACH DAMAGED TREE, FOR A PERIOD NOT TO EXCEED THREE (3) YEARS. BOND VALUE WILL BE DETERMINED BY THE VILLAGE FORESTER PER THE NORTHBROOK ZONING ORDINANCE.
- THE VILLAGE FORESTER RESERVES THE RIGHT TO STOP THE JOB FOR UNSUPERVISED WORK THAT IS DETERMINED TO CAUSE IRREPARABLE DAMAGE TO ANY RIGHT-OF-WAY TREE. STOP WORK ORDER WILL BE ENFORCED UNTIL THE CASH BOND IS PAID AS DETERMINED PER THE NORTHBROOK ZONING ORDINANCE.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
- TREE INVENTORY CONDUCTED BY SAV-A-TREE LICENSED ARBORIST (914-241-4999)
- EXISTING TREES HAVE BEEN LOCATED WITH GIS COORDINATES. LOCATIONS ARE APPROXIMATE BUT ACCURATE. FIELD VERIFICATION IS RECOMMENDED PRIOR TO REMOVAL ACTIVITY.



Winnetka, Illinois 60093
847.612.1514
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no.	revision	description	initial	date
		ISSUED FOR REVIEW	KMT	08-18-22
		PEP VILLAGE COMMENTS	KMT	09-26-22

COMPOSITES ONE

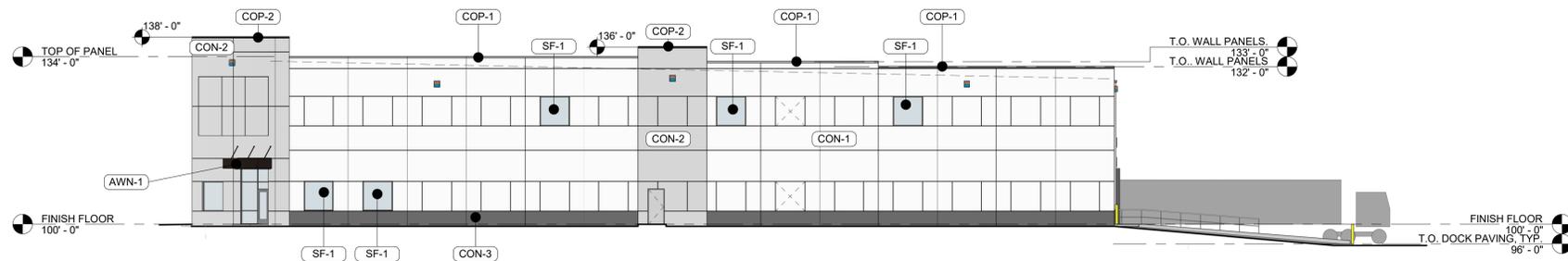
MITCHELL COURT
CRYSTAL LAKE, IL

**TREE INVENTORY
TREE PROTECTION NOTES**

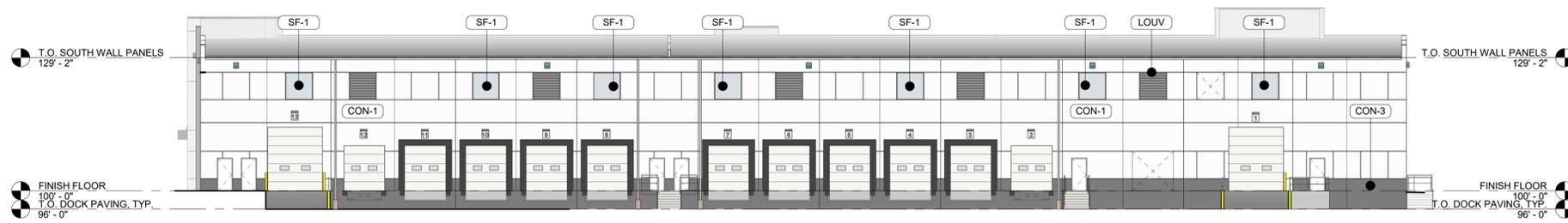
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drawn	EN		

job no.
22370

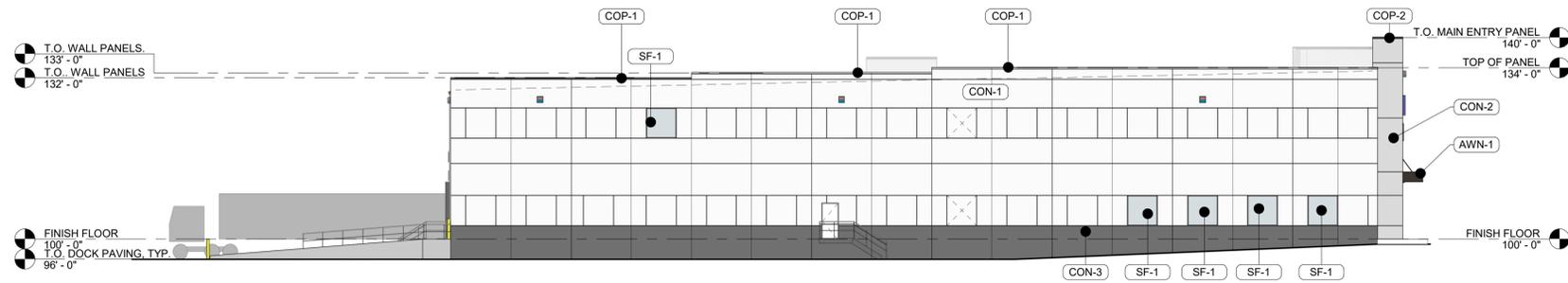
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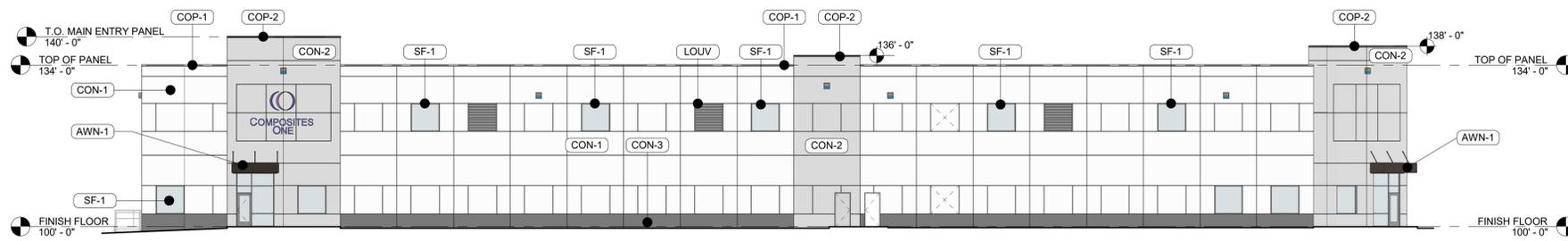
1 **NORTH EXTERIOR ELEVATION**
SCALE: 1/16" = 1'-0"



2 **WEST EXTERIOR ELEVATION**
SCALE: 1/16" = 1'-0"



3 **SOUTH EXTERIOR ELEVATION**
SCALE: 1/16" = 1'-0"



4 **EAST EXTERIOR ELEVATION**
SCALE: 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
AWN-1	METAL AWNING, PREFINISHED BLACK, TYP.
CON-1	CONCRETE PANELS PAINTED WHITE, TYP., U.O.N.
CON-2	CONCRETE PANELS PAINTED LIGHT GRAY, TYP.
CON-3	CONCRETE PANELS PAINTED DARK GRAY, TYP.
COP-1	METAL PARAPET WALL COPING, PREFINISHED LIGHT GRAY, U.O.N.
COP-2	METAL PARAPET WALL COPING, PREFINISHED BLACK, U.O.N.
DNST-1	METAL PREFINISHED DOWNSPOUT TO MATCH ADJ. MATERIAL, TYP.
DOOR	STEEL DOORS & FRAMES PAINTED TO MATCH ADJ. WALL, TYP.
GUT-1	METAL PREFINISHED GUTTER TO MATCH ADJ. MATERIAL.
LOUV	FIXED METAL ARCHITECTURAL LOUVER PREFINISHED TO MATCH ADJ. WALL, TYP. (REFER TO MECH.)
OHD	PREFINISHED WHITE METAL INSULATED OVERHEAD DOORS WITH VIEWING WINDOWS, TYP.
SF-1	1" INSULATED VISION GLASS: TINTED GRAY W/ LOW E COATING

MISCELLANEOUS EXTERIOR MATERIAL FINISHES

- TYPICAL U.O.N.
- EXPOSED CONCRETE: GRIND SMOOTH & RUB/COAT WITH CEMENT SLURRY, PAINTED TO MATCH SIMILAR CONDITIONS.
 - BOLLARDS: CONCRETE FILLED STEEL BOLLARDS PAINTED SAFETY YELLOW.
 - METAL STAIRS & RAILINGS: GALVANIZED.
 - CAULKS & SEALANTS: COLOR MATCHED TO ADJACENT MATERIAL.
 - LIGHT FIXTURES: METAL PRE-FINISHED HOUSINGS, COLOR TO MATCH ADJACENT MATERIAL.
 - EXTERIOR UTILITY EQUIPMENT: IF ALLOWED, PAINTED TO MATCH ADJACENT MATERIAL.

This drawing has been prepared by the Architect under the supervision of the Architect's direct supervision. This drawing is provided as a design tool for the contractor and is intended for use on this project only. Any information contained herein without the prior written consent of Simonson + Associates Architects, LLC.

Rev. #	Issue / Revision	Date
1	SCHEMATIC DESIGN	07-15-2022
5	ISSUED FOR A/H VARIANCE	08-22-2022
6	ISSUED FOR REVIEW & PRICING	09-09-2022
7	REVISED ELEVATIONS FOR REVIEW	09-22-2022
8	ISSUED FOR A/H APPROVAL	09-26-2022

Proj. No. SAA Proj. Mgr. **SS**
22002

Sheet Title
EXTERIOR ELEVATIONS

Sheet No.



NORTHEAST EXTERIOR PERSPECTIVE

COMPOSITES ONE
 (STONEGATE BUSINESS CENTER)
MITCHELL COURT
CRYSTAL LAKE, ILLINOIS

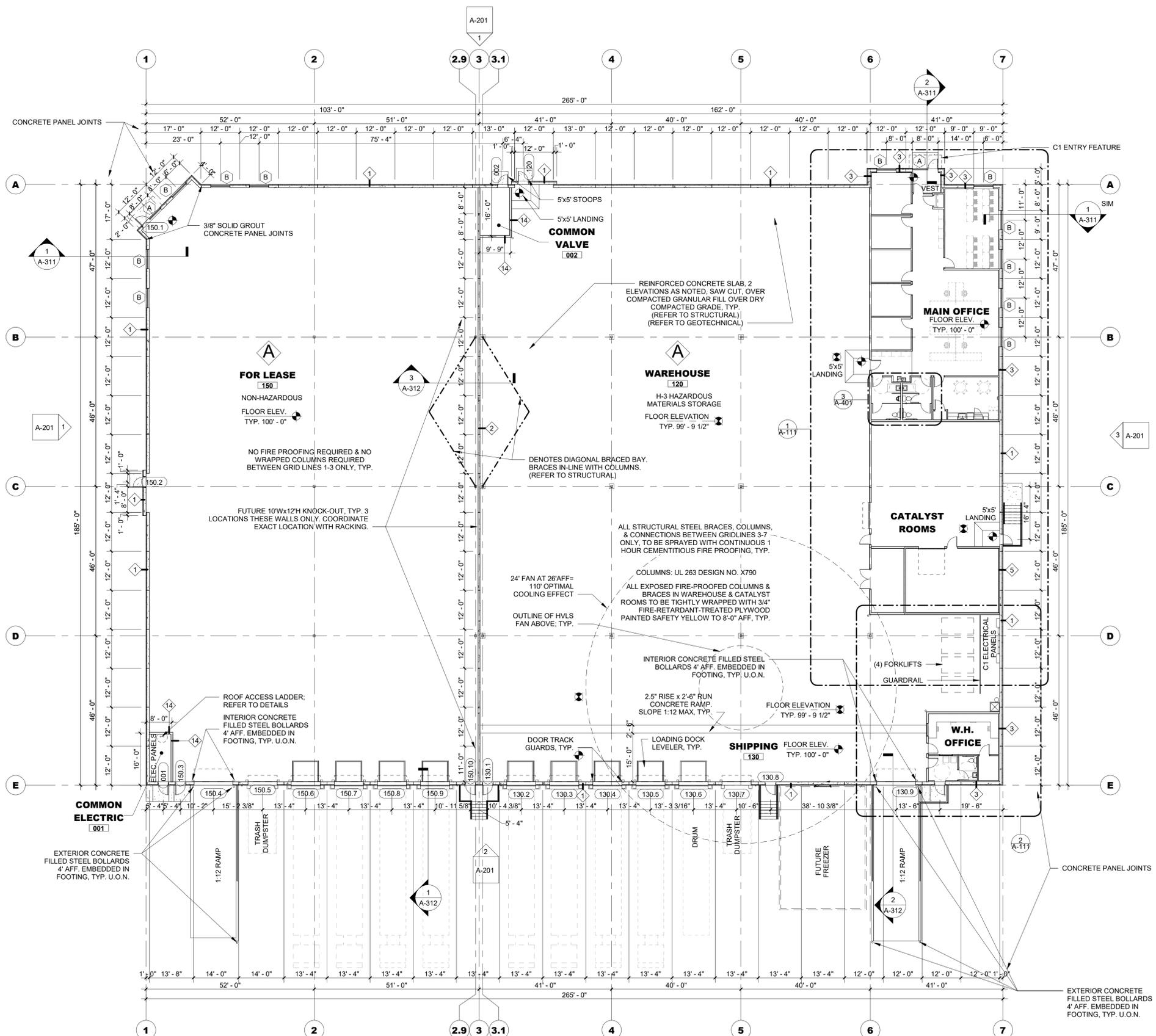


Rev. #	Issue / Revision	Date
8	ISSUED FOR A/H APPROVAL	09-26-2022

Proj. No. SAA Proj. Mgr.
22002 SS

Sheet Title
EXTERIOR PERSPECTIVE

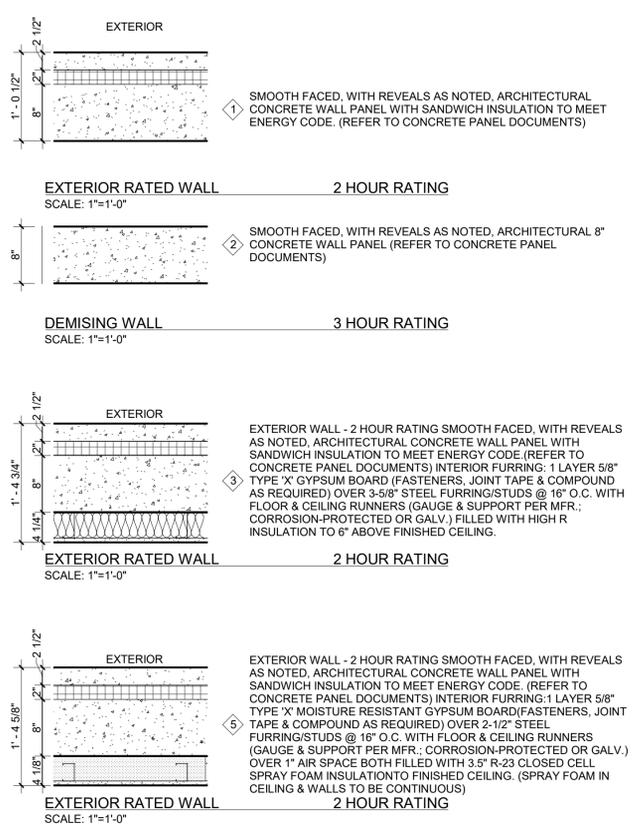
Sheet No.
A-200



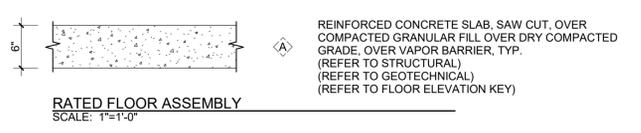
GENERAL FLOOR PLAN NOTES

- REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
- ALL SITE INFO, FURNITURE, FIXTURES AND EQUIPMENT SHOWN SHOULD BE CONSIDERED CONCEPTUAL AND MAY HAVE BEEN PROVIDED FOR COORDINATION PURPOSES ONLY. REFER TO CIVIL, FIRE SUPPRESSION, PLUMBING, MECHANICAL, ELECTRICAL, COMMUNICATIONS, ELECTRONIC SAFETY & SECURITY DOCUMENTS &/OR CONSULTANTS FOR SPECIFIC DESIGN INFORMATION & REQUIREMENTS.
- DIMENSIONS ARE TO FACE OF FINISH MATERIAL OR CENTER OF STRUCTURE UNLESS OTHERWISE SPECIFIED.
- ALL CONDUITS, PIPES, WIRING, ROUGH-IN, ETC. SHOULD BE HELD AS TIGHT AS POSSIBLE TO THE ROOF OR FLOOR DECK OR SHOULD BE KEPT WITHIN INTERIOR WALL CAVITIES. NOTHING SHALL BE BELOW THE BOTTOM EDGE OF MAIN BUILDING FRAMES. NOTHING SHALL BE EXPOSED IN FINISHED SPACES. NOTHING SHALL PREVENT A SMOOTH CONTINUOUS FINISHED WALL OR CEILING AS NOTED ON THE DRAWINGS AND NO PLUMBING RUN IN EXTERIOR WALLS UNLESS PRIOR APPROVAL IS GRANTED BY THE ARCHITECT OR OWNER. PLACEMENT COORDINATION BETWEEN TRADES IS REQUIRED.
- INSTALL VERTICAL EXPANSION JOINT MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT IN LOAD BEARING AREAS, STAY AWAY 2'-6" MIN.
- CAULK & SEAL ALL CONTROL-EXPANSION, SAWCUT JOINTS AT ALL INTERIOR & EXTERIOR MASONRY & CONCRETE.
- PROVIDE LOWER LEVEL AND/OR UNDERFLOOR DRAINAGE SYSTEM TO REDUCE HYDROSTATIC UPLIFT AND PROTECT AGAINST MOISTURE SEEPAGE. PROVIDE FOUNDATION WALL DRAINAGE SYSTEM TO REDUCE LATERAL PRESSURES AND PROTECT AGAINST MOISTURE SEEPAGE. BOTH SYSTEMS SHALL OUTLET TO APPROPRIATE RELIEF.
- PROVIDE POSITIVE DRAINAGE OF SURFACE WATER AWAY FROM BUILDING WITHOUT PONDING OF WATER ADJACENT TO BUILDING OR ON PAVEMENTS.

EXTERIOR VERTICAL ASSEMBLY TYPES
REFER TO GENERAL ASSEMBLY NOTES ON A-111



HORIZONTAL ASSEMBLY TYPES
REFER TO GENERAL ASSEMBLY NOTES ON A-111



FLOOR ELEV. KEY

- FLOOR ELEV 100' - 0", TYP.
- 2.5" RISE x 2' - 6" RUN CONCRETE RAMP SLOPE 1:12 MAX, TYP.
- FLOOR ELEV 99' - 9.5", TYP.

This drawing has been prepared by the Architect under the supervision of the Architect. It is intended for use on this project only. Any information contained herein without the prior written consent of Simonson + Associates Architects, LLC.

Rev. #	Issue / Revision	Date
1	SCHEMATIC DESIGN	07-15-2022
2	SCHEMATIC DESIGN	07-29-2022
4	SCHEMATIC DESIGN	08-02-2022
5	ISSUED FOR A.H. VARIANCE	08-22-2022
6	ISSUED FOR REVIEW & PRICING	09-09-2022
7	REVISED ELEVATIONS FOR REVIEW	09-22-2022

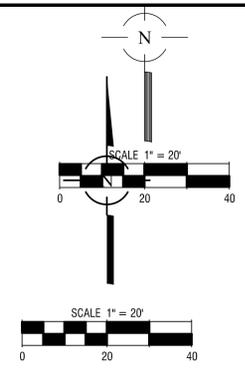
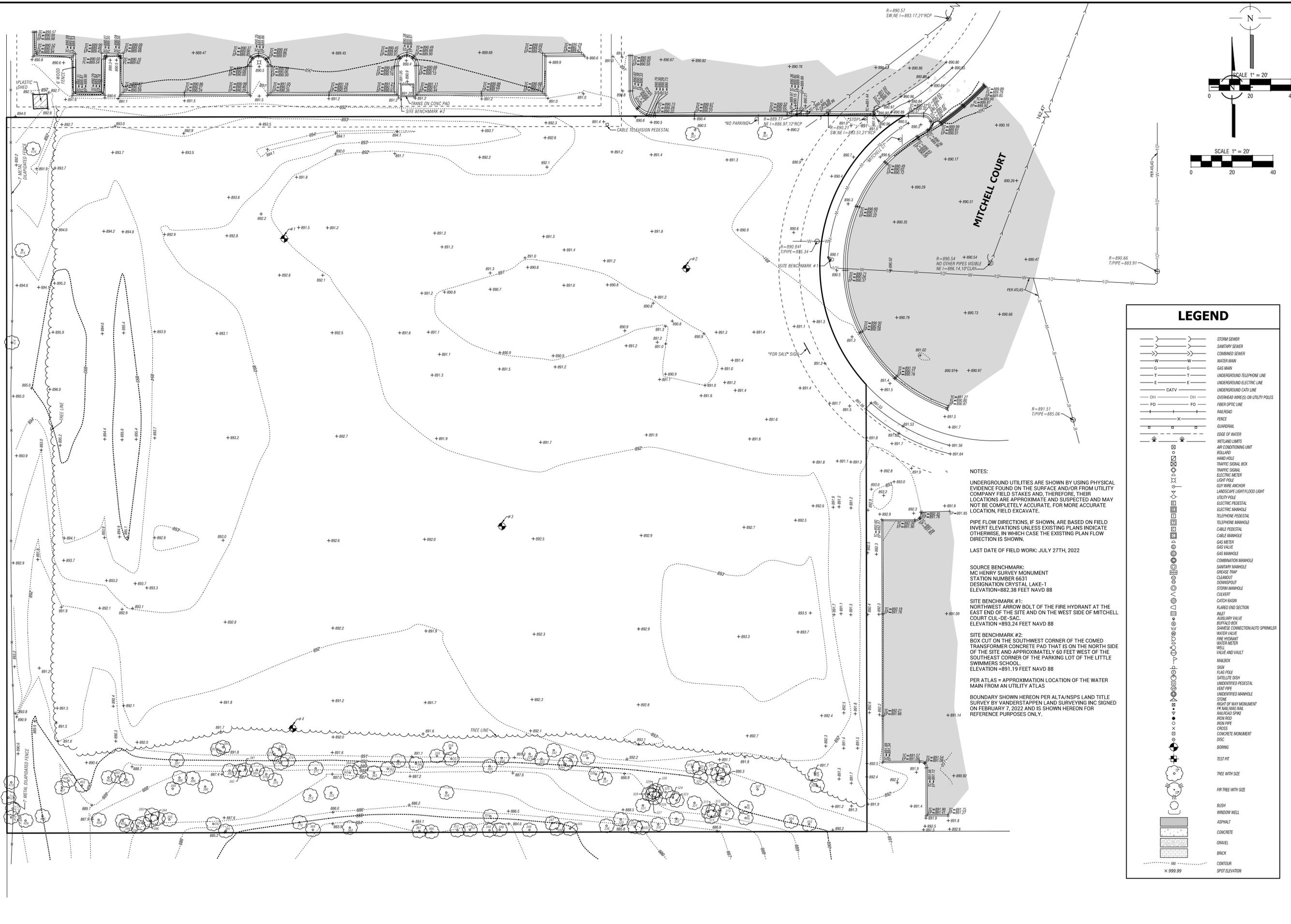
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22002

Sheet Title

FLOOR PLAN

Sheet No.

A-101



LEGEND

	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	OVERHEAD WIRE(S) ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	QUASIPOLE
	EDGE OF WATER
	WETLAND LIMITS
	AIR CONDITIONING UNIT
	BOLLARD
	HAND HOLE
	TRAFFIC SIGNAL BOX
	TRAFFIC SIGNAL
	ELECTRIC METER
	LIGHT POLE
	GUY WIRE ANCHOR
	LANDSCAPE LIGHT/FLOOD LIGHT
	UTILITY POLE
	ELECTRIC PEDESTAL
	ELECTRIC MANHOLE
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	CABLE PEDESTAL
	CABLE MANHOLE
	GAS METER
	GAS VALVE
	GAS MANHOLE
	COMBINATION MANHOLE
	SANITARY MANHOLE
	CREASE TRAP
	CLEANOUT
	DOWNSPOUT
	STORM MANHOLE
	CULVERT
	CATCH BASIN
	FLARED END SECTION
	INLET
	AUXILIARY VALVE
	BUFFALO BOX
	SAMESE CONNECTION/AUTO SPRINKLER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	WELL
	VALVE AND VAULT
	MANHOLE
	SIGN
	FLAG POLE
	SATELLITE DISH
	UNDERSIZED PEDESTAL
	UNDERSIZED PIPE
	UNDERSIZED MANHOLE
	STONE
	RIGHT OF WAY MONUMENT
	PK NAIL/MAG NAIL
	RAILROAD SPIKE
	IRON ROD
	IRON PIPE
	CROSS
	CONCRETE MONUMENT
	DISC
	BORING
	TEST PIT
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	WINDOW WELL
	ASPHALT
	CONCRETE
	GRAVEL
	BRICK
	CONTOUR
	SPOT ELEVATION

NOTES:

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE. IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: JULY 27TH, 2022

SOURCE BENCHMARK:
 MC HENRY SURVEY MONUMENT
 STATION NUMBER 6631
 DESIGNATION CRYSTAL LAKE-1
 ELEVATION=882.38 FEET NAVD 88

SITE BENCHMARK #1:
 NORTHWEST ARROW BOLT OF THE FIRE HYDRANT AT THE EAST END OF THE SITE AND ON THE WEST SIDE OF MITCHELL COURT CUL-DE-SAC.
 ELEVATION =893.24 FEET NAVD 88

SITE BENCHMARK #2:
 BOX CUT ON THE SOUTHWEST CORNER OF THE COMED TRANSFORMER CONCRETE PAD THAT IS ON THE NORTH SIDE OF THE SITE AND APPROXIMATELY 60 FEET WEST OF THE SOUTHEAST CORNER OF THE PARKING LOT OF THE LITTLE SWIMMERS SCHOOL.
 ELEVATION =891.19 FEET NAVD 88

PER ATLAS = APPROXIMATION LOCATION OF THE WATER MAIN FROM AN UTILITY ATLAS

BOUNDARY SHOWN HEREON PER ALTA/NSPS LAND TITLE SURVEY BY VANDERSTAPPEN LAND SURVEYING INC SIGNED ON FEBRUARY 7, 2022 AND IS SHOWN HEREON FOR REFERENCE PURPOSES ONLY.

NO.	DATE	REMARKS

EXISTING CONDITIONS

COMPOSITES ONE

MITCHELL COURT

CRYSTAL LAKE, ILLINOIS

CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

S

SPACECO INC.

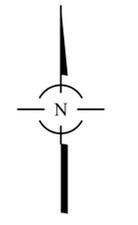
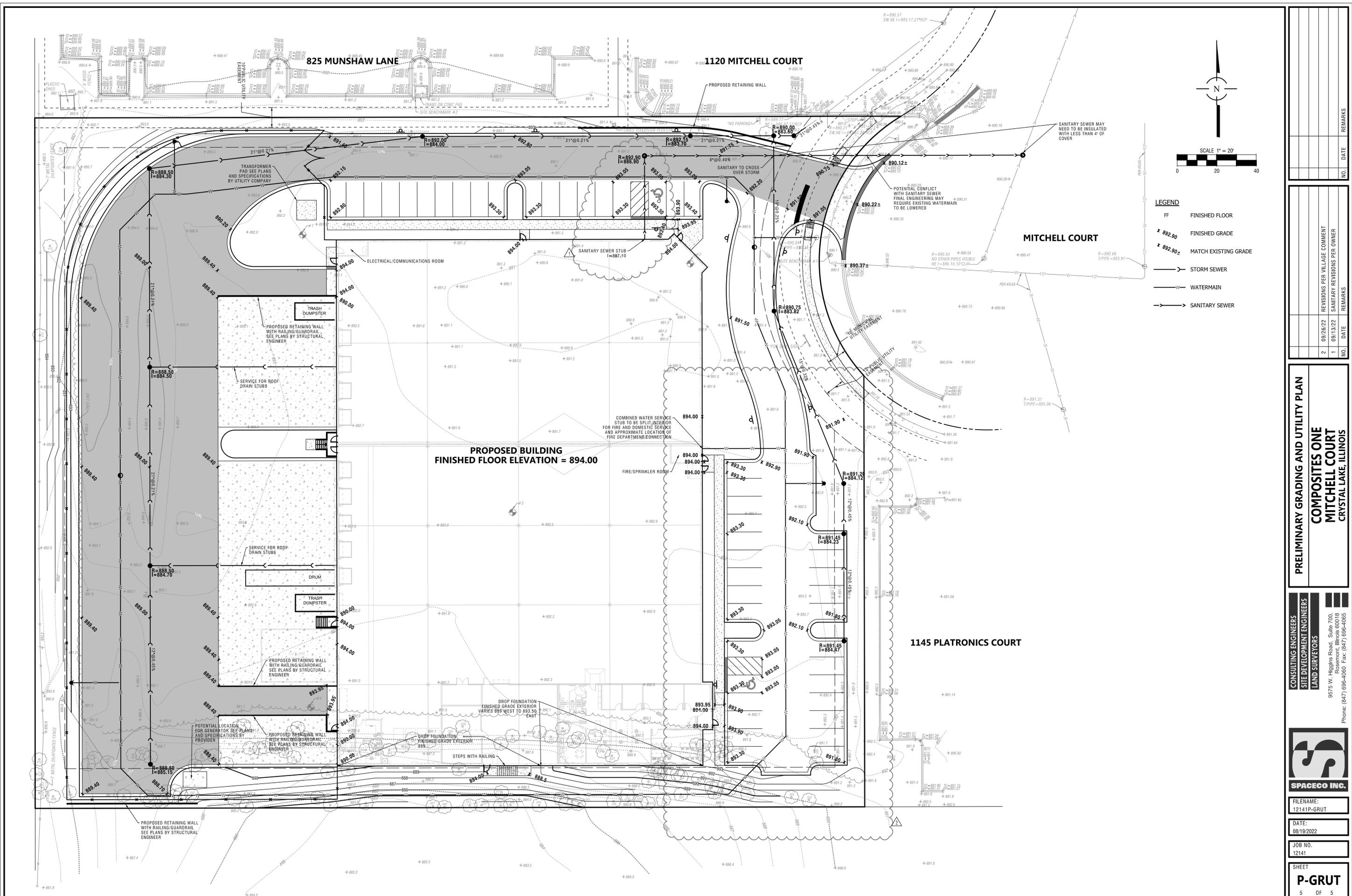
FILENAME:
12141P-ET

DATE:
08/19/2022

JOB NO.
12141

SHEET
P-ET

3 OF 5



LEGEND

FF	FINISHED FLOOR
x 892.90	FINISHED GRADE
x 892.90±	MATCH EXISTING GRADE
	STORM SEWER
	WATERMAIN
	SANITARY SEWER

NO.	DATE	REMARKS

NO.	DATE	REVISIONS PER VILLAGE COMMENT	REMARKS
2	09/26/22		
1	09/13/22		

PRELIMINARY GRADING AND UTILITY PLAN
COMPOSITES ONE
MITCHELL COURT
 CRYSTAL LAKE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-0660 Fax: (847) 696-4065



FILENAME: 12141P-GRUT
DATE: 08/19/2022
JOB NO. 12141
SHEET P-GRUT
5 OF 5