



#2022-209

Belle Tire Final PUD Amendment and Special Use Permit

Project Review for Planning and Zoning Commission

Meeting Date:

December 7, 2022

Request:

1. Final PUD Amendment to allow a new Auto Repair, Minor use for a tire store with a variation to the required setback for a parking lot and monument sign, and
2. Special Use Permit to allow parking in a different zoning district.

Location:

6119 Northwest Highway

Acreage:

Approximately 1.93 acres

Zoning:

B-2 PUD General Commercial and M Manufacturing

Surrounding Properties:

North: B-2 PUD General Commercial
South: M Manufacturing
East: M Manufacturing
West: M Manufacturing

Staff Contact:

Elizabeth Maxwell (815.356.3615)

Background:

- The property is currently the Heartland Cabinet and Millwork business.
- The Belle Tire would demolish this building and construct a new building to meet their needs for tire sales and installation.

Development Analysis:

Request:

- Final Planned Unit Development Amendment and Special Use Permit for a new tire store.
- The Final Planned Unit Development Amendment will allow changes to the original PUD with the new site layout and building.
- The Special Use Permit is to allow required parking in a different zoning district. The rear lots are zoned M Manufacturing, whereas the front portion along Route 14 is zoned B-2.

Land Use:

- **Zoning:** The site is zoned B-2 PUD General Commercial and M Manufacturing. The general commercial zoning district is appropriate for the Automotive Repair, Minor use.
- **Land Use:** The land use map shows the area as Commerce and Manufacturing. This land use designation is appropriate for this use.

Site Plan

- The building complies with setback requirements. Parking is provided in the front and rear of the property.
- The proposed site plan removes the rear parking along the building to realigns the public alley in the rear to a straight path.
- The proposed plan complies with landscaping requirements and will break-up the expansive impervious surface of the properties along the south side of Northwest Highway.

Elevations

- Belle Tire is proposing a brick and stone building with numerous architectural elements including columns, awnings, soldier course brick, stone panels, metal roof, a variety of windows, unique lighting fixtures and a thick top cap.
- The garage bay doors are on the west side away from the street.
- The metal roof is blue, which adds a spark of color to the elevations.
- The elevations meet the UDO Design Standards.

Signage:

- Wall signs are illustrated on the front and both side elevations.
- The signage totals 144.63 square feet, which is below the maximum 150 square feet allowed.

Sign	Location	Size
Belle Tire mascot	East Elevation	19.53 SF
“Certified Auto Service”	West Elevation	58.8 SF
Belle Tire mascot	North Elevation	19.53 SF
“Belle Tire”	North Elevation	47.77 SF

- A directional sign is proposed along Lou Avenue. The directional sign complies with the UDO criteria.
- A Free-Standing monument sign is proposed up front in the approximate location of the existing Heartland sign. This sign will only be 1-foot from the front property line.
- The UDO requires free-standing signs to be setback 10 feet from any property line. A recommended condition of approval has been added to increase this setback.

Findings of Fact:

Final Planned Unit Development Amendment

The petitioner is requesting approval of an amendment to a Final Planned Unit Development and Special Use Permit to allow a new Automotive Repair, Minor with parking in a different zoning district with variation from the free-standing sign setback. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

Planned Unit Development Variation

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, in the form of relief from compliance with conventional zoning ordinance site and design therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often requirements.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. If the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation request be lessened or denied.

Belle Tire is requesting two variations:

- Article 4-200 Parking to reduce the required 20-foot parking lot setback to 15 feet along Route 14. This is a variation of 5 feet.
- Article 4-1000 Commercial Signs to reduce the required 10-foot setback for a free-standing sign to 1-foot, a variation of 9 feet. The sign is 12 feet 6 inches wide and the landscape area is 15 feet wide. This would allow for a 2.5-foot setback from the sidewalk. Staff is recommending the sign be pushed back as far from the sidewalk as possible.

Signs can be evaluated based on certain for the hardship:

- A. The proposed variation will not serve merely as a convenience, but alleviate some demonstrable and unusual hardship.
- B. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The proposed variation will not by itself, or with other signs, contribute to the creation of a visual distraction which may lead to personal injury or a substantial reduction in the value of the property.
- C. The proposed variation is in harmony with the intent, purpose and objectives of the Ordinance.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future commercial and business uses. The following goals are applicable to this request:

Land Use – Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting actions:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Recommended Conditions:

If a motion is made to recommend approval of the petitioner’s request, the following conditions are recommended:

1. Approved plans, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Enright, received 09/02/22).

- B. Elevations (Enright, dated 11/28/22, received 11/28/22)
 - C. Site Plan (Enright Architects, dated 11/28/22, received 11/28/22)
 - D. Sign Plan (Allen Industries, dated 09/08/22, received 11/28/22)
 - E. Landscape Plan (LG Workshop, dated 11/28/22, received 11/28/22)
 - F. Engineering Plans (Enright Architects, dated 11/28/22, received 11/28/22)
 - G. Survey (Compass, dated 09/21/22, received 11/28/22)
2. Locate the free-standing sign at the back of curb in the parking lot to provide as much distance from the sign to the sidewalk as possible.
 3. No vehicles shall be stored outside for more than 24 hours.
 4. Flag signs are not permitted in Location A, the main commercial corridors. The flag pole cannot display signage. Flag poles are limited to 35 feet in height in the B-2 zoning district and any associated flags must be to scale for the pole (approximately 5'x8' up to 6' x 10').
 5. The petitioner shall comply with all of the requirements of the Community Development Department.

PIQ Map
6119 Northwest Highway



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Belle Tire Crystal Lake

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input checked="" type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Christopher Enright, NCARB

Address: 628 E Parent Ave, Suite 100
Royal Oak, MI 48067

Phone: 248.330.9395

Fax: _____

E-mail: cenright@enrightarchitects.com

Owner Information (if different)

Name: 6Boyz, LLC; Attn: Gary Reece

Address: 6119 Northwest Highway
Crystal Lake, IL 60014

Phone: _____

Fax: _____

E-mail: gary@heartlandcabinet.com

Property Information

Project Description: Proposed Development of a new Belle Tire store on the property currently occupied by Heartland Cabinet and Millwork. Redevelopment will include the construction of a 10,000 square foot single story brick and cast stone veneer building with related infrastructure improvements. Please see the attached Project Narrative for business operation details.

Project Address/Location: 6119 Northwest Highway; approx. 450 feet west of the US 14 (Northwest Highway) and Main Street intersection

PIN Number(s): 19-08-226-025; 19-08-226-017; 19-08-226-026

Development Team

Please include address, phone, fax and e-mail

Developer: Barnes Development Company, LLC, Attn: Caroline Roberts, 1000 Enterprise Dr, Allen Park, MI 48101; Phone: 313.457.0149; Email: croberts@belletire.com

Architect: Christopher Enright, NCARB, 628 E Parent Ave, Suite 100, Royal Oak, MI 48067; Phone: 248.330.9395; Email: cenright@enrightarchitects.com

Attorney: Daniel Schairbaum, Dykema Gossett PLLC, 400 Renaissance Center, Detroit, MI 48243; Phone: 313.568.5352; Email: dschairbaum@dykema.com

Engineer: Branden Ferro, PE; Enright Architects, 628 E Parent Ave, Suite 100, Royal Oak, MI 48067; Phone: 815.210.1996; Email: bferro@enrightarchitects.com

Landscape Architect: Larry Glasscock, PLA, LG Workshop, LLC, 1955 N Wilmot Ave, Chicago, IL 60647; Phone: 773.697.4388; Email: Larry@LGWLA.com

Planner: _____

Surveyor: Daniel W. Walter, PLS, Compass Surveying Ltd, 2631 Ginger Woods Pkwy, Ste 100, Aurora, IL 60502; Phone: 630.820.9100; Email: admin@clsurveying.com

Other: _____

Signatures



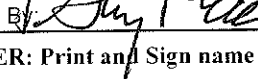
Christopher Enright

09-02-2022

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.
6BOYZ, LLC



Name: P. Gary Reece

Its: Manager

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

Elizabeth Maxwell, AICP, City Planner
Community Development
City of Crystal Lake, IL

RE: Belle Tire
6119 Northwest Highway
Crystal Lake, IL 60014

September 13, 2022

Ms. Maxwell,

We are pleased to present our proposal for Final PUD Amendment approval to the City of Crystal Lake for a new Belle Tire store to be located at 6119 Northwest Highway. This is the property currently occupied by Heartland Cabinet and Millwork, approximately 450 feet west of the US 14 (Northwest Highway) and Main Street intersection. Our proposal includes the demolition of the existing building and construction of a 10,000 square foot single story brick and cast stone veneer building with related infrastructure improvements.

For our proposed development, we are respectfully requesting approval for Final Planned Use Development (PUD) Amendment.

Belle Tire Introduction

Belle Tire, celebrating 100 years this year, is a company privately owned by the Barnes family headquartered in Allen Park, Michigan. The company was started by Mr. Sam Waze in 1922 who named the business after his wife, Belle. The Waze family eventually partnered with the Barnes family, who purchased the interests in the early 1960's and is now in the third generation of ownership. Currently, Belle employs more than 2,000 people and has over 130 locations in Michigan, Ohio, Indiana, and Illinois. Construction is currently underway in 13 locations (Romeoville, Orland Park, Montgomery, Elgin, Westmont, Melrose Park, Palatine, Bradley, Bloomingdale, Huntley, Carpentersville, Crestwood, and Batavia) with 9 recently opened (Villa Park, Naperville, Joliet, Shorewood, Aurora, Mokena, St. Charles, West Chicago, and Yorkville) in Illinois with 50 planned in 3 years.

Belle sells and installs passenger vehicle tires, various automotive parts and offers minor automotive repairs such as brakes, alignments, batteries, shocks and struts and oil changes. No major engine, transmission repair or body work is conducted in the facility. All repair and installation work will take place inside the building and though rare, if vehicles are left overnight, they are stored inside. All scrap tires are stored in a specifically designated area inside the facility and are picked up by Belle vehicles on a

regular basis. All floor drains in the service area are connected to an oil / water separator to prevent any unapproved chemicals from reaching the sanitary system. No outdoor displays are used.

Sales staff and porters handle all customer vehicles for service, and customers are discouraged from entering the service area. A well-appointed customer lounge is provided for those who choose to wait for service and installation to be completed. Since the service doors are clear glass, staff will not use vehicle horns to alert staff to open doors. There are no outdoor annunciators, PA systems or other noxious exterior noise sources. Electric tire equipment will reduce any potential noise concerns. Belle Tire has created a significant in-house Property Management group that is responsible for all maintenance, repair and care of the property and building after construction. Should the City require to contact Belle for any reason, staff at headquarters is available 24 hours a day, seven days a week.

Hours of operation in all stores is Tuesday, Wednesday and Friday – 8:00 a.m. to 6:00 p.m., Monday and Thursday – 8:00 a.m. to 8:00 p.m., Saturday – 8:00 a.m. to 5:00 p.m. and closed on Sunday. This location anticipates a maximum employee shift of 10 to 15 employees on staff in various capacities. Business deliveries occur 2-3 times a week for approximately 30 minutes per visit.

The exterior of the facility is comprised of brick veneer, cast stone detailing, small continuous EIFS cornice, clear glazing and aluminum frame at the showroom, striated clear glazing and aluminum frame at the remaining inventory areas, and wall washing feature lighting at the perimeter of the building. All landscape, lighting and site elements meet or exceed City standards. One HVAC roof top unit is proposed and will be obscured by parapet walls and the proposed entry tower. All other roof elements such as plumbing vents, exhaust fans and the like will be obscured by the parapet walls at the rear portion of the building. The interior of the facility is completely suppressed with a NFPA approved sprinkler system.

We are looking forward to working with City staff on this new development.

Sincerely,

A handwritten signature in black ink, appearing to read "Christopher Enright". The signature is written in a cursive style with a horizontal line through the middle.

Christopher Enright, NCARB

SHAW MEDIA
EST. 1851
PO BOX 250
CRYSTAL LAKE IL 60039-0250
(815)459-4040

ORDER CONFIRMATION

Salesperson: KATE HOFFMILLER

Printed at 11/17/22 16:45 by kateh-sm

Acct #: 10216085

Ad #: 2034816

Status: New

ENRIGHT ARCHITECTS
628 E PARENT AVENUE SUITE 100
ROYAL OAK MI 48067

Start: 11/22/2022 Stop: 11/22/2022
Times Ord: 1 Times Run: ***
CLEG 1.00 X 68.00 Words: 241

Total CLEG 68.00
Class: C8100 PUBLIC NOTICES
Rate: LEGAL Cost: 106.62

Affidavits: 2
Ad Descrpt: ZONING - BELLE TIRE PUD
Descr Cont: 2034816

Contact:
Phone: (317)910-0930
Fax#:
Email:
Agency:

Given by: ANGELA SMITH
P.O. #:
Created: kateh 11/17/22 16:31
Last Changed: kateh 11/17/22 16:43

URL: _____

Source: 2022154

Section: _____ Page: ____

Camera Ready: N

Group: LEGALS AdType: _____

Misc: _____

Proof: _____

Pickup Date: 10/04/2022 Ad#: 2022154

Delivery Instr: _____

Pickup Src: _____

Changes: None ___ Copy ___ Art ___ Size ___ Copy Chg Every Run ___

Coupon: ___ Color: _____

Gang Ad #: _____

Ad Copy Method: _____

Special Instr: _____

COMMENTS:

COPIED from AD 2022154

PUB ZONE EDT TP RUN DATES
NW CL 97 S 11/22
WEB CL 99 S 11/22
APNW CL 97 S 11/22

(CONTINUED ON NEXT PAGE)

SHAW MEDIA
EST. 1851
PO BOX 250
CRYSTAL LAKE IL 60039-0250
(815)459-4040

ORDER CONFIRMATION (CONTINUED)

Salesperson: KATE HOFFMILLER

Printed at 11/17/22 16:45 by kateh-sm

Acct #: 10216085

Ad #: 2034816

Status: New

LEGAL NOTICE

**BEFORE THE PLANNING
AND ZONING COMMISSION
OF THE CITY OF CRYSTAL
LAKE, MCHENRY COUNTY,
ILLINOIS**

IN THE MATTER OF THE
PETITION OF Belle Tire

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Christopher Enright with Enright Architects, representing Belle Tire, on behalf of the owner 6 Boys LLC for a Final Planned Unit Development Amendment and Special Use Permit, relating to the property at 6119 Northwest Highway in Crystal Lake, Illinois 60014. PINs: 19-08-226-025, -026, -017.

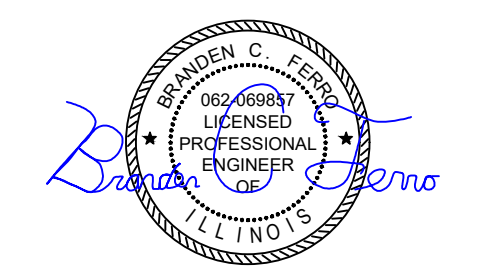
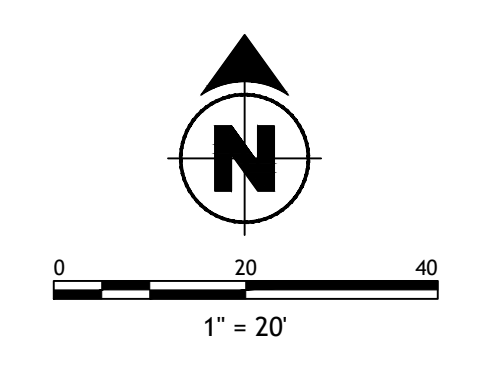
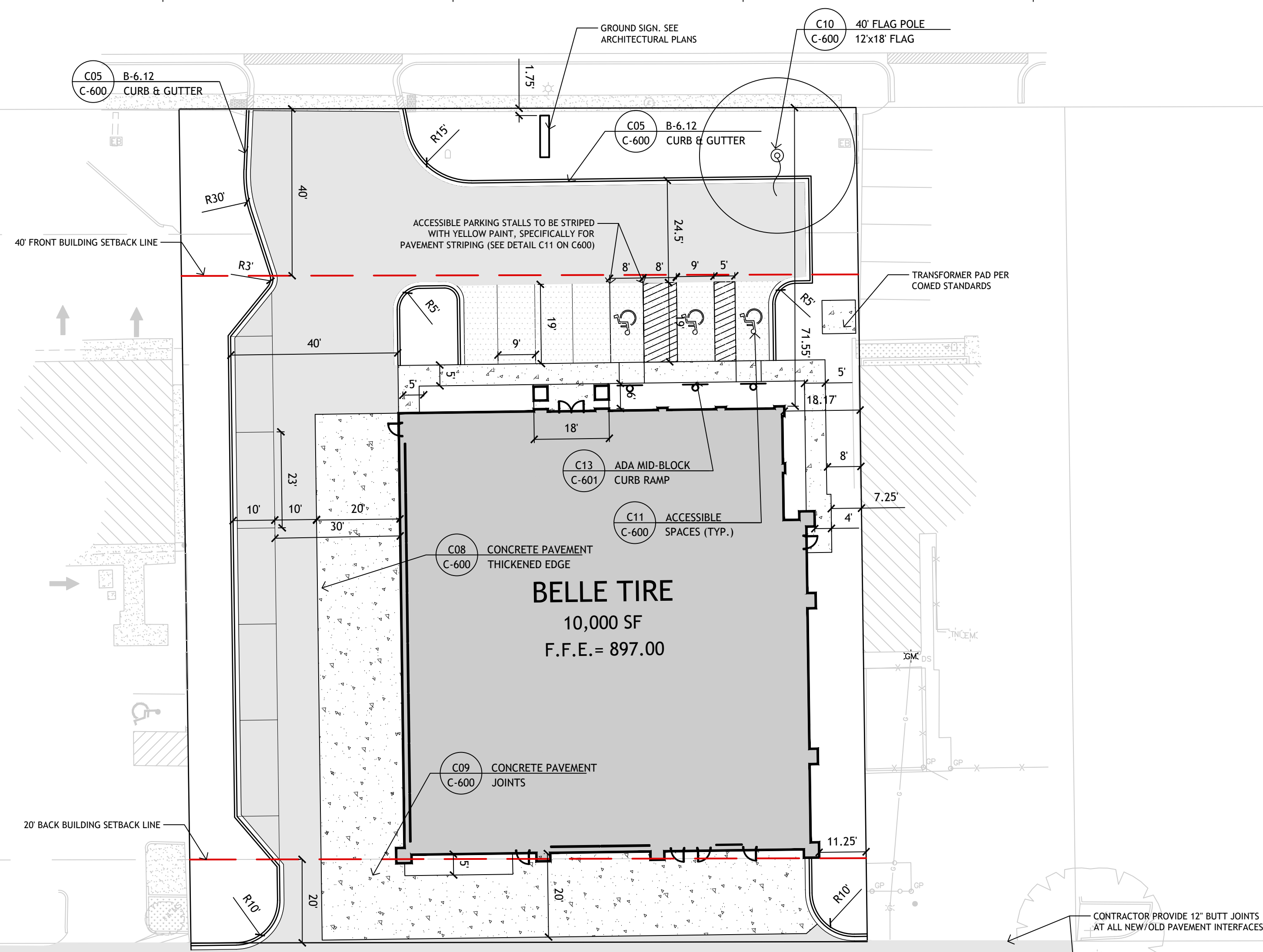
This application is filed for the purpose of seeking a Final Planned Unit Development Amendment and a Special Use Permit to allow a new Auto Repair, Minor tire installation store with parking lot in the M zoning district for Belle Tire, pursuant to Article 1, Article 2, Article 4 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday December 7, 2022, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson-
Planning and Zoning
Commission
City of Crystal Lake

(Published in the Northwest
Herald on November 22,
2022) 2034816

A
B
C
D
E
F



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

LEGEND

	C01 HEAVY DUTY ASPHALT PAVEMENT
	C02 LIGHT DUTY ASPHALT PAVEMENT
	C03 HEAVY DUTY CONCRETE PAVEMENT
	C04 CONCRETE SIDEWALK
	1.5" HMA SURFACE COURSE, MX "D", N50, PLACE ON TACK COAT (0.05-0.10 GAL/SY) IDOT SECTION 406

BID ALTERNATE #1:
INSTALLATION OF REGULAR DUTY AND HEAVY DUTY CONCRETE PAVEMENT PER DETAILS ON SHEET C600 IN LIEU OF REGULAR DUTY AND HEAVY DUTY ASPHALT PAVEMENT, RESPECTIVELY, AS INDICATED HEREIN.

NOTES

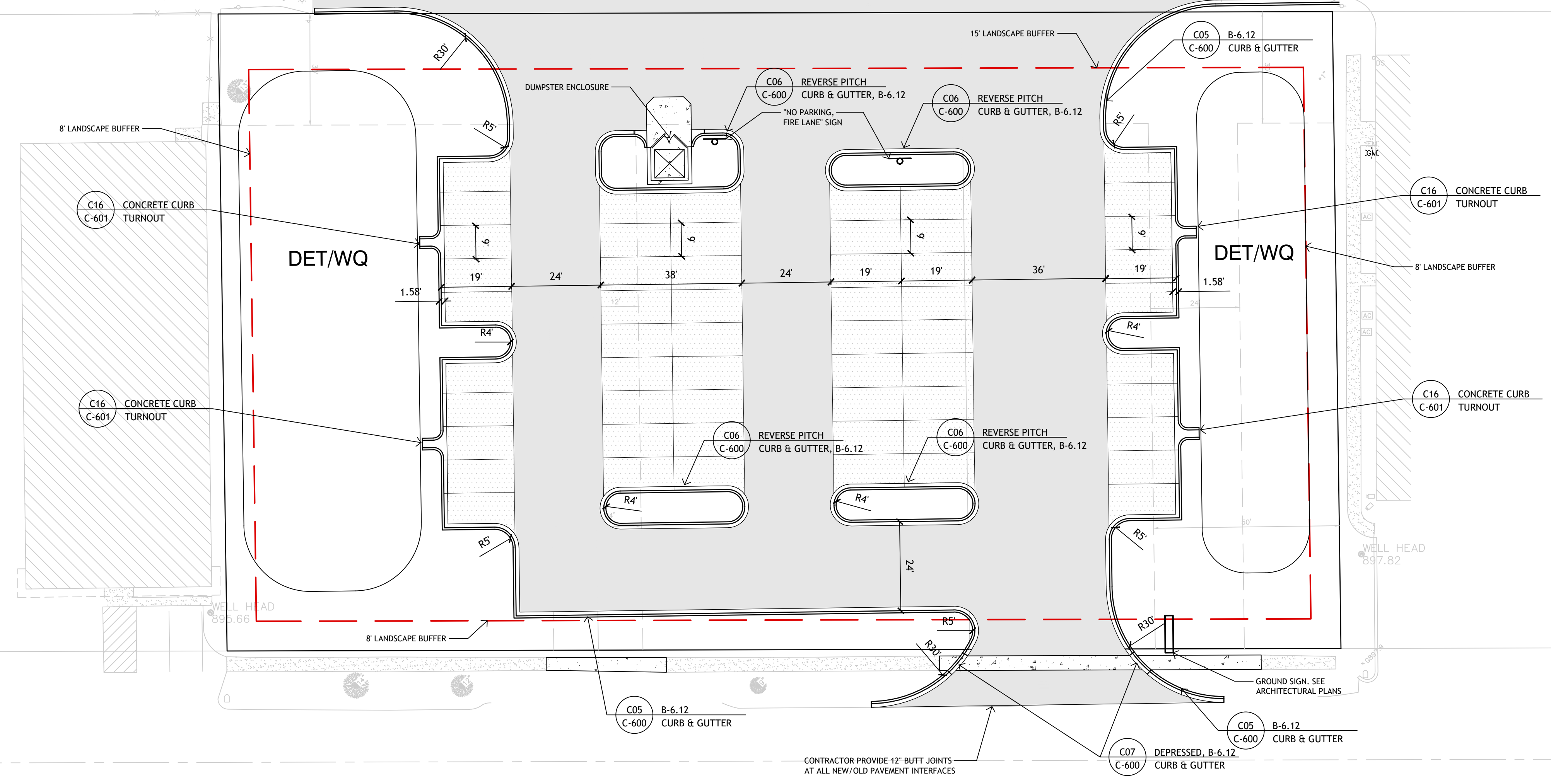
- REFER TO GENERAL NOTES ON SHEET C-001 AND C-002 FOR ADDITIONAL INFORMATION.
- THE BASIS FOR THE GEOMETRIC LAYOUT IS THE EASTERN PROPERTY LINE.
- DIMENSIONS ARE TO FACE OF CURB IN ALL PAVED AREAS, BACK OF CURB IN GRASS/LANDSCAPE AREAS AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ANY CONTRACTOR DAMAGE TO EXISTING PAVEMENT OR CURBS TO REMAIN SHALL BE REMOVED AND RESTORED TO PROPOSED SPECIFICATIONS.
- EXISTING CONDITIONS ARE AS SHOWN PER SURVEY BY OTHERS.

SITE SUMMARY

LOT SIZE:	±1.93 AC.
ZONING:	NORTH: B-2 PUD GENERAL COMMERCIAL SOUTH: M-MANUFACTURING
BUILDING SIZE:	10,000 SF.
BUILDING SETBACKS:	FRONT: 40 FT. SIDE: 0 FT. REAR: 20 FT.
PARKING SETBACKS:	FRONT: 20 FT. SIDE: 8 FT. REAR: 8 FT.
SURROUNDING ZONING:	NORTH = B-2 PUD GENERAL COMMERCIAL SOUTH = M-MANUFACTURING EAST = M-MANUFACTURING WEST = M-MANUFACTURING
MAX LOT COVERAGE (+65%):	65%
MAX F.A.R. (-80%):	10%

PARKING SUMMARY

MIN. SIZE:	9 FT. x 18 FT.
MIN. DRIVE WIDTH:	24 FT.
MIN. SPACES REQUIRED:	45 (3/BAY + 1/EMPLOYEE)
MAX. SPACES ALLOWED:	56 (125% OF REQ'D)
SPACES PROVIDED:	68
ADA SPACES REQUIRED:	3
ADA SPACES PROVIDED:	3
NO. OF PARKING STALLS:	68



Belle Tire
Crystal Lake, IL

6119 Northwest Hwy
Crystal Lake, IL 60014

SITE PLAN

PERMIT: SEPTEMBER 13, 2022
CRYSTAL LAKE REVIEW #1: NOVEMBER 28, 2022

21-980

C-200

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C

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E

F

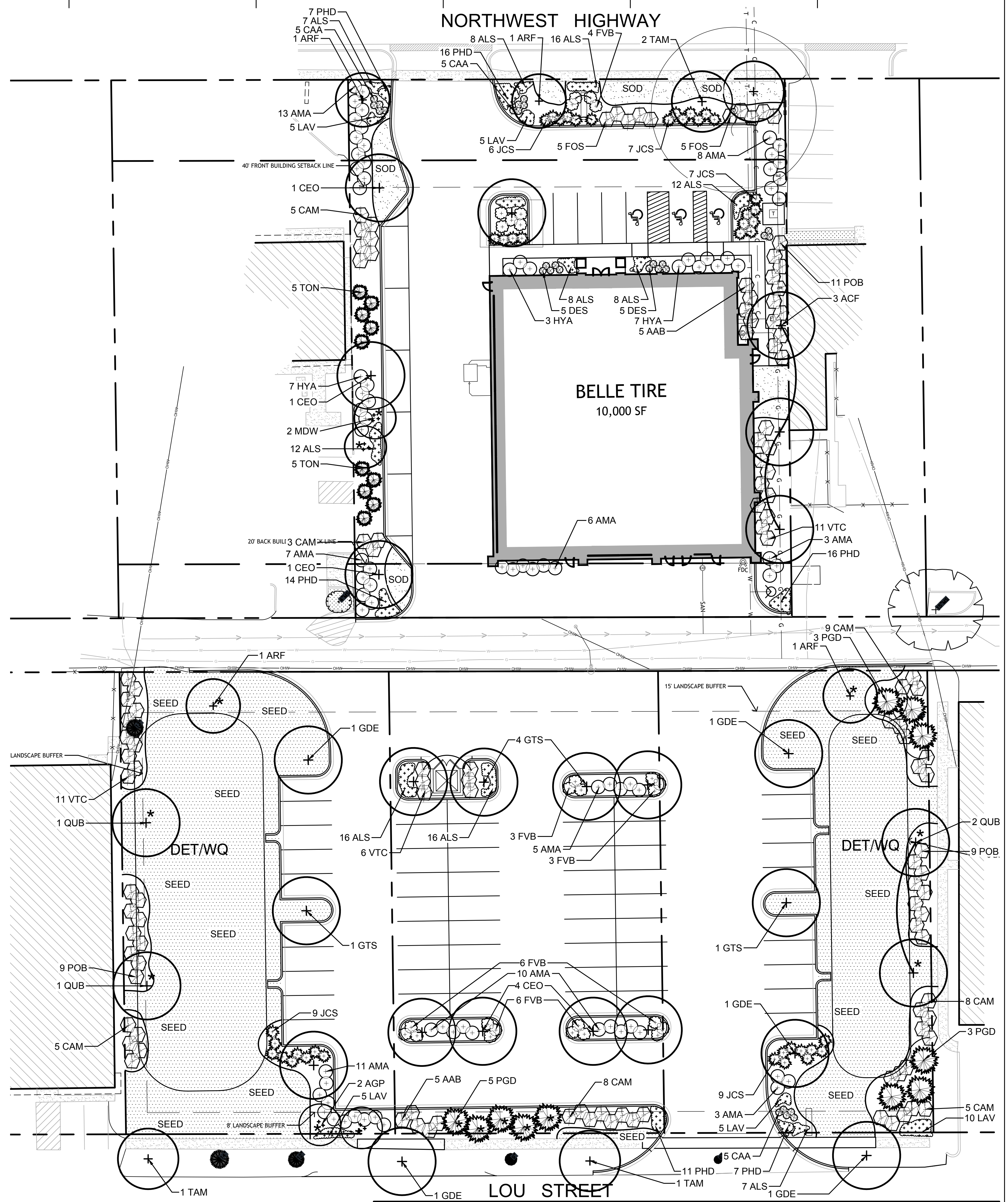
LANDSCAPE LEGEND

	EXISTING TREE		PROPOSED LARGE SHRUB
	PROPOSED SHADE TREE		PROPOSED MEDIUM SHRUB
	PROPOSED EVERGREEN TREE		PROPOSED EVERGREEN SHRUB
	PROPOSED ORNAMENTAL TREE		PROPOSED LOW SHRUB
			PROPOSED ORNAMENTAL GRASS
			PROPOSED PERENNIAL PLANTING
			SODDED LAWN
			SEEDED LAWN

PLANT LIST

SYM	SIZE	QTY	BOTANICAL NAME	COMMON NAME	COMMENT
DECIDUOUS SHADE TREES					
ACF	2.5" CAL.	3	ACER FREEMANII 'SIENNA'	SIENNA GLEN MAPLE	B&B
ARF	2.5" CAL.	4	ACER RUBRUM 'FRANK JR.'	REDPOINTE RED MAPLE	B&B
CEO	2.5" CAL.	7	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B&B
GDE	2.5" CAL.	6	GYMNOCLADUS DIOIC. 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	B&B
GTS	2.5" CAL.	7	GLEDITSIA TRIAC. INERM. 'SKYLINE'	SKYLINE HONEYLOCUST	B&B
QUB	2.5" CAL.	4	QUERCUS BICOLOR	SWAMP WHITE OAK	B&B
TAM	2.5" CAL.	4	TILIA AMERICANA 'MCKSENTRY'	AMERICAN SENTRYLINDEN	B&B
ORNAMENTAL TREES					
AGP	8" MULTI	2	AMELANCHIER GRAN. 'PRINCESS DI'	PRINCESS DIANA SERVICEBERRY	B&B
MDW	8" MULTI	2	MALUS 'DONALD WYMAN'	DONALD WYMAN CRABAPPLE	B&B
EVERGREEN TREES					
PGD	6" HT.	11	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B&B
TON	6" HT.	10	THUJA OCCIDENTALIS 'NIGRA'	DARK GREEN ARBORVITAE	B&B
DECIDUOUS SHRUBS					
AAB	36" HT.	10	ARONIA ARBUT. 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	B&B
AMA	18" HT.	55	ARONIA MELANO. 'ELATA'	ELATA CHOKEBERRY	B&B
CAM	36" HT.	45	CORNUS ALBA 'ARGENTEO MARG.'	CREAM EDGE DOGWOOD	B&B
FOS	24" HT.	10	FORSYTHIA INTERMEDIA 'MINDOR'	SHOW OFF BORDER FORSYTHIA	B&B
FVB	18" W.	27	FORSYTHIA VIRID. 'BRONXENSIS'	BRONX FORSYTHIA	B&B
HYA	18" HT.	28	HYDRANGEA ARBOR. 'ANNABELLE'	ANNABELLE HYDRANGEA	B&B
POB	36" HT.	29	PHYSOCARPUS OPUL. 'DIABLO'	DIABLO NINEBARK	B&B
VTC	36" HT.	28	VIBURNUM TRILOBUM 'ALFREDO'	ALFREDO AMER. CRANBERRY BUSH	B&B
EVERGREEN SHRUBS					
JCS	18" HT.	42	JUNIP. CHIN. 'SEA GREEN'	SEA GREEN JUNIPER	B&B
ORNAMENTAL GRASSES					
CAA	#3 CONT.	18	CALAMAGROSTIS ACUT. 'STRICTUS'	STRICTUS FEATHER REED GRASS	
DES	#3 CONT.	10	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	
GROUNDCOVER / PERENNIALS					
ALS	#1 CONT.	110	ALLIUM TANGUT. 'SUMMER BEAUTY'	SUMMER BEAUTY WILD ONION	18" O.C.
LAV	#1 CONT.	30	LAVENDULA 'MUNSTEAD STRAIN'	MUNSTEAD ENGLISH LAVENDAR	24" O.C.
PHD	#1 CONT.	71	PHLOX DIVARICATA	BLUE PHLOX	15" O.C.
SOD	SQ. YD.	185		SODDED LAWN	
SEED	SQ. YD.	1843		SEEDED LAWN - BID ALTERNATE #1	BID AS SODDED LAWN.

* INDICATES REPLACEMENT TREES - 13 TOTAL



1 LANDSCAPE PLAN

SCALE 1"=20'

0' 10' 20' 40' 60'

CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 106
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

Landscape Architecture
Site Planning
Illustration

LG Workshop, LLC

2324 W. Armitage Avenue
Chicago, IL 60647
ph. 773.697.4388
www.LGWLA.com



Belle Tire
Crystal Lake, IL

6119 Northwest Hwy
Crystal Lake, IL 60014

Issued for
PERMIT: SEPTEMBER 9, 2022
VILLAGE COMMENTS: NOV. 28, 2022

21-980 LANDSCAPE PLAN
PROJECT SITE

L.2

A

B

C

D

E

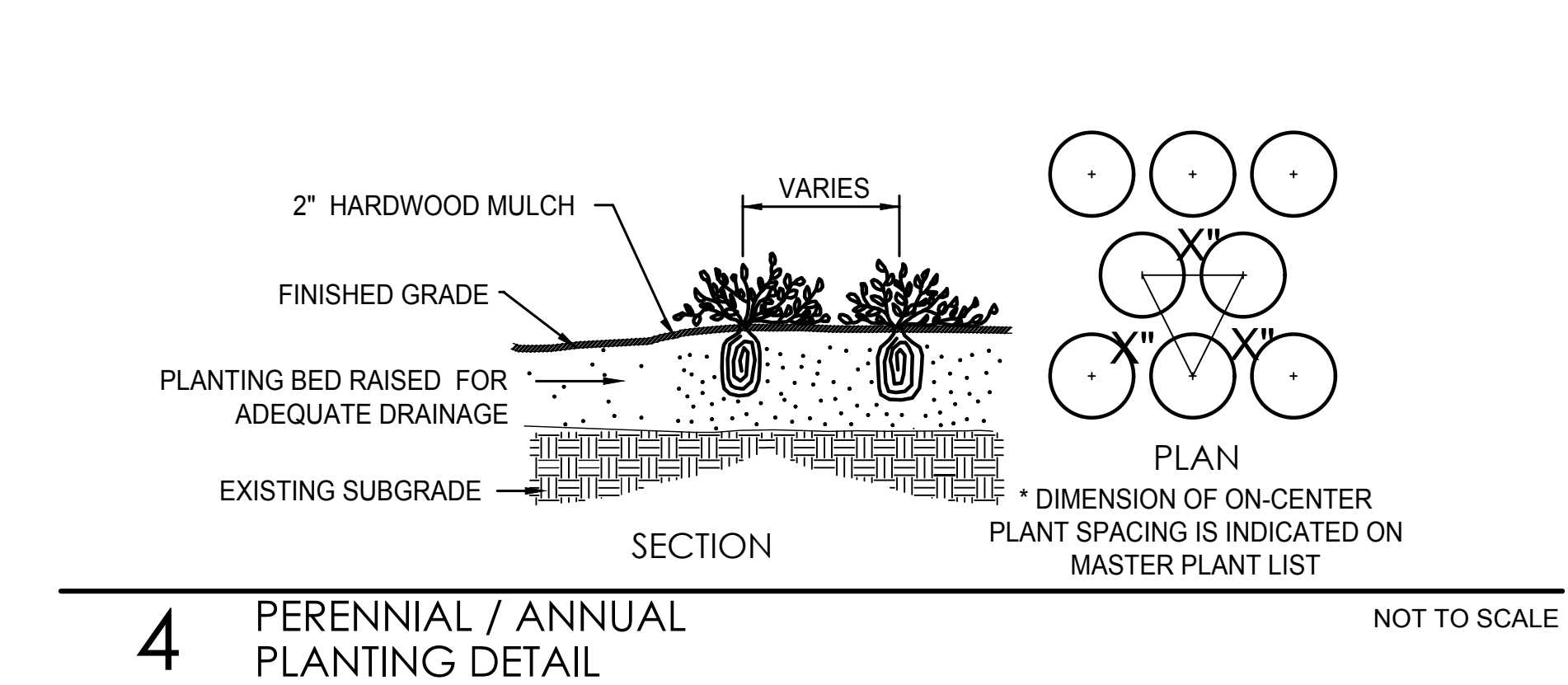
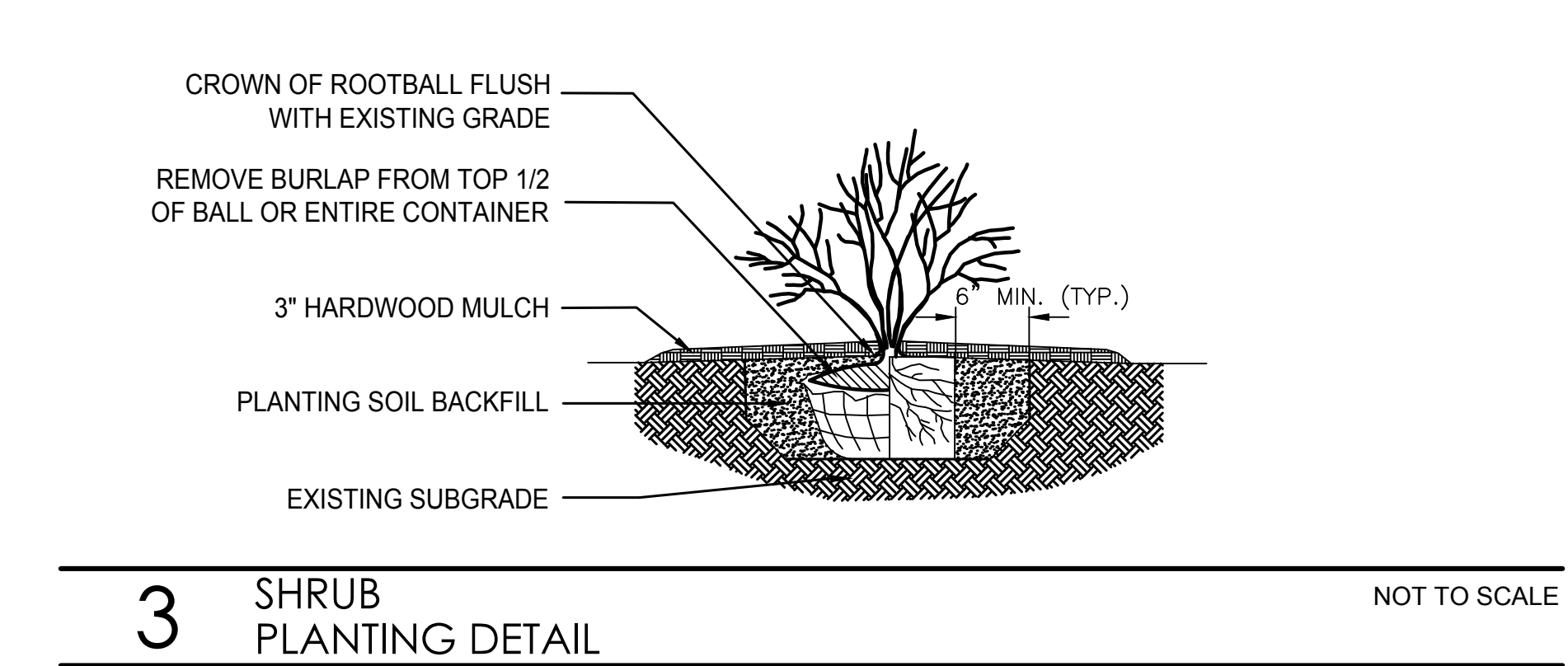
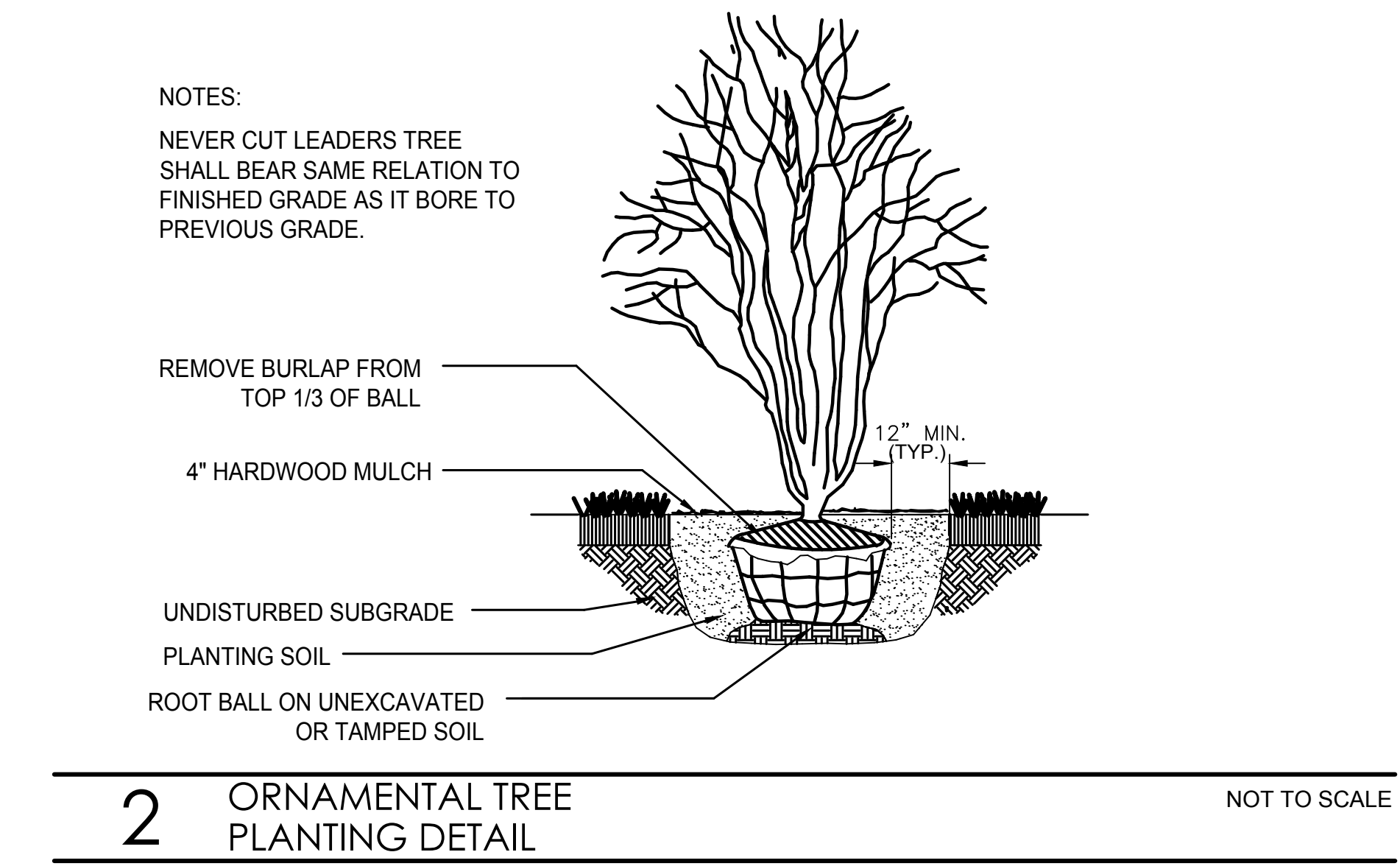
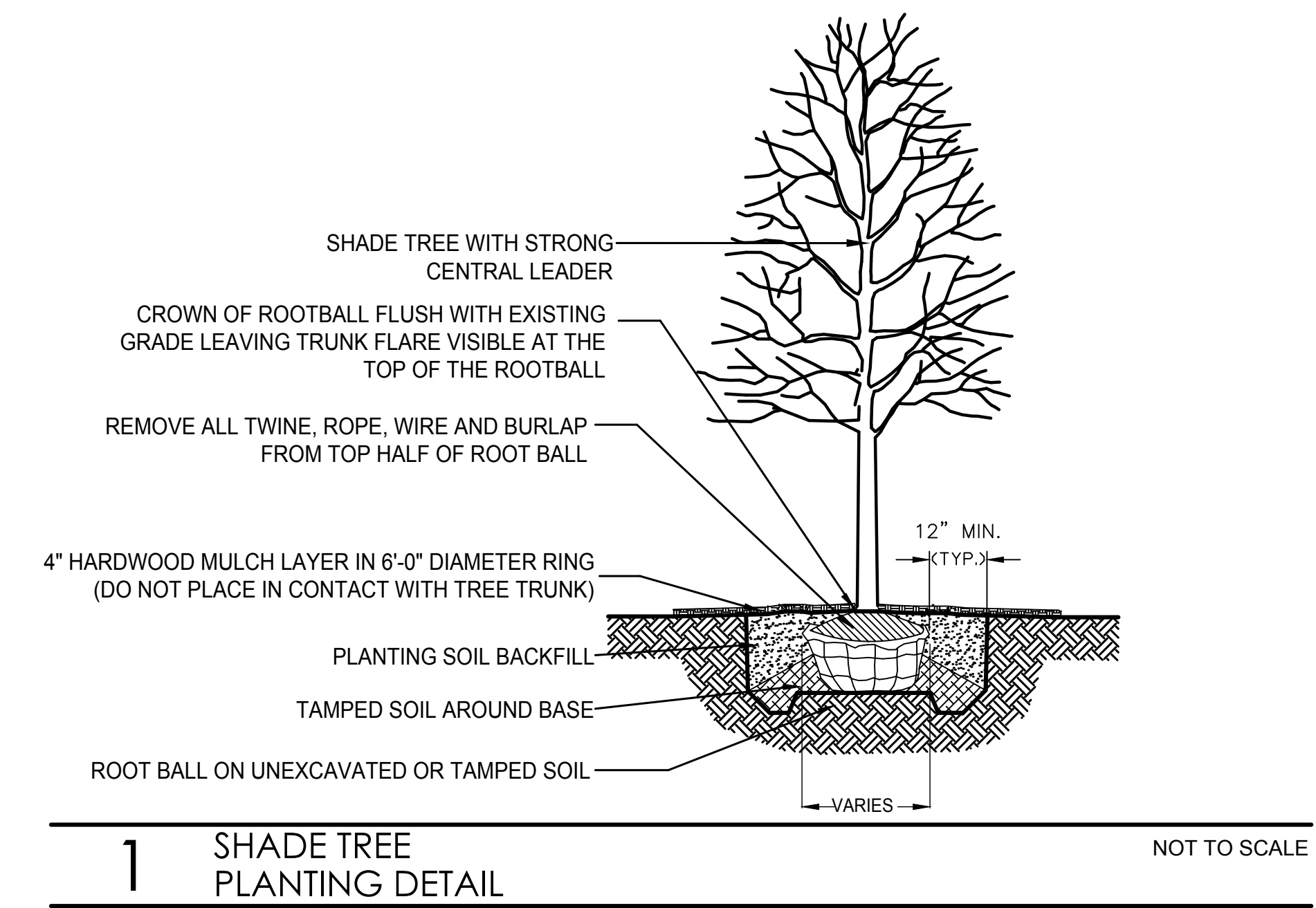
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LANDSCAPE NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS AND PERMISSIONS TO INSTALL THE PROPOSED IMPROVEMENTS
- ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE VILLAGE OF CRYSTAL LAKE LANDSCAPING CODES AND ZONING ORDINANCES.
- PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL HAVE DIGGERS HOTLINE LOCATE AND MARK ALL UNDERGROUND UTILITY FACILITIES AND LINES.
- ALL PLANT MATERIALS (EXCEPT FOR GROUNDCOVER, ANNUALS, AND PERENNIALS) SHALL BE BALLED AND BURLAPPED STOCK AND MEET CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK (ANSI 260.1-1986) OR EQUAL. PLANT MATERIALS MUST BE SUPPLIED WITHIN A 150 MILE RADIUS OF PROJECT SITE WITHIN NORTHEAST ILLINOIS. CONTRACTOR MAY SUBSTITUTE CONTAINER STOCK FOR SHRUBS IF SIZES ARE EQUAL TO SPECIFIED B&B STOCK, WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- IF SPECIFIED PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, PLANTS WITH SIMILAR WHOLESALE VALUE AND LANDSCAPE CHARACTERISTICS MAY BE SUBSTITUTED UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT AND VILLAGE STAFF.
- SOIL IN GROUNDCOVER BEDS SHALL BE AMENDED USING 2 INCHES OF MUSHROOM COMPOST INCORPORATED INTO THE TOP 4 INCHES OF SOIL.
- DISTURBED AREAS TO RECEIVE SOD SHALL BE TILLED TO 6" DEPTH AND FINE GRADED TO PROVIDE SMOOTH BASE SURFACE. IF EXISTING SOIL IS A MAJORITY OF CLAY OR UNSUITABLE, 2" OF FINE GRADED TOPSOIL SHALL BE ADDED PRIOR TO TILLING. EXISTING SOD AREAS SHALL HAVE TURF REMOVED WITH AUTOMATED SODCUTTER OR HAND SPACE TO REMOVE ALL BLADES AND ROOTS. 1" OF FINE GRADED TOPSOIL SHALL BE TILLED AND GRADED.
- TREE AND SHRUB BACKFILL MIXTURE SHALL BE 2 PARTS EXIST. NATIVE TOPSOIL AND 1 PART SPHAGNUM PEAT MOSS W/ DECOMPOSED MANURE.
- ALL SHRUB BEDS AND GROUNDCOVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN DOUBLE SHREDDED BARK MULCH, COLOR BLACK, OVER A 4.1 OZ. WOVEN POLYPROPYLENE, NEEDLE-PUNCHED FABRIC WEED BARRIER, EXCEPT UNDER PERENNIAL AND ANNUAL FLOWERS.
- NURSERY TAGS (SPECIES, SIZE) FOR ALL SHADE TREES SHALL REMAIN ATTACHED TO TREES UNTIL FINAL APPROVAL FROM MUNICIPALITY.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT (BEGINNING ON THE OWNER'S POSSESSION DATE). THIS AGREEMENT SHALL COVER MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DEAD OR DAMAGED LANDSCAPING TO PRESERVE THE SAME QUANTITY AND QUALITY AS INITIALLY APPROVED.
- SITE TO BE 100% IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM THAT IS DESIGN BUILD BY CONTRACTOR. CONTRACTOR SHALL UTILIZE HUNTER HYDROWISE MODEL -PHC WIFI IRRIGATION TIMERS.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER THAN FIFTEEN (15) FEET TO STREETLIGHT, UTILITY POLE, OVERHEAD WIRES, FIRE HYDRANT, DRIVEWAY, OR ALLEY. ANY DISCREPANCY ON THE PLAN RELATED TO THESE PROXIMATE UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.

VILLAGE CALCULATIONS

DESCRIPTION	REQUIREMENT	AREA / LENGTH	PROPOSED
TOTAL SITE		83,896 S.F. 1.93 ACRES	
TOTAL BUILDING		10,000 S.F.	
LANDSCAPE ISLANDS	1 ISLAND PER 10 PARKING SPACES	68 TOTAL SPACES = 7 ISLANDS	11 ISLANDS
PERIMETER LANDSCAPING	AN INTERESTING PATTERN REQUIRING ONE CANOPY, ORNAMENTAL OR EVERGREEN TREE AND 5 SHRUBS...ALONG EVERY 40 LINEAL FEET	WEST = 371 L.F. 10 TREES 50 SHRUBS EAST = 371 L.F. 10 TREES 50 SHRUBS	4 SHADE TREES 6 EVERGREEN TREES 59 SHRUBS 4 SHADE TREES 6 EVERGREEN TREES 64 SHRUBS
FOUNDATION LANDSCAPING	5' WIDE LANDSCAPE AREA AROUND ALL PERIMETERS OF BUILDINGS ...	419 L.F. OF BUILDING FACADE	124 L.F.. LIMITED ROOM BECAUSE OF OVERHEAD DOORS ON FACADE.
STREET TREES	TREES SHALL EQUAL OR EXCEED THE RATIO OF ONE (1) TREE FOR EACH FORTY (40) FEET OF STREET FRONTAGE	NORTH - RANDALL 162 L.F. = 4 TREES SOUTH - LOU ST. 300 L.F. = 8 TREES	4 TREES PROPOSED. 3 EXIST. TREES. 4 TREES PROPOSED. LIMITED ROOM BECAUSE OF CURB CUTS.



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 106
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

Consultant
LG Workshop, LLC
Landscape Architecture
Site Planning
Illustration
2324 W. Armitage Avenue
Chicago, IL 60647
ph. 773.697.4388
www.LGWLA.com



Project
Belle Tire
Crystal Lake, IL

6119 Northwest Hwy
Crystal Lake, IL 60014

Issued for
PERMIT: SEPTEMBER 9, 2022

Project Number
21-980 LANDSCAPE
Sheet Number
DETAILS & NOTES

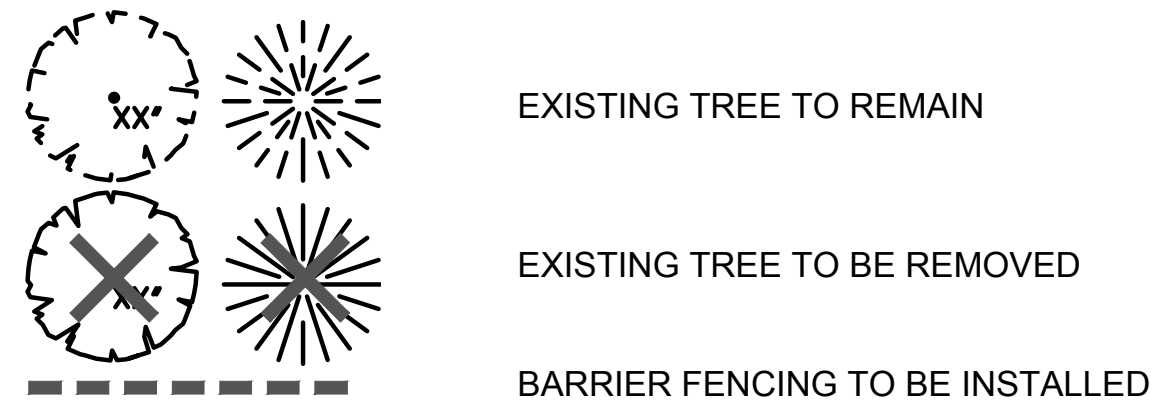
SURVEY OF EXISTING TREES

TREE #	SIZE	SCIENTIFIC NAME	COMMON NAME	CONDITION	SP.GROUP	COMMENTS
101	6"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	2	A	REMOVE
102	9"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	2	A	PRESERVE
103	12"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	2	A	PRESERVE
104	14"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	2	A	PRESERVE
105	8"	PICEA PUNGENS	GREEN SPRUCE	1	B	REMOVE
106	7"	PICEA PUNGENS	GREEN SPRUCE	2	B	REMOVE
107	9"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	2	A	REMOVE
108	8"	PICEA PUNGENS	GREEN SPRUCE	1	B	REMOVE
109	5"	ACER RUBRUM	RED MAPLE	2	B	REMOVE
110	8"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	1	A	REMOVE
111	5"	ACER RUBRUM	RED MAPLE	3	B	REMOVE
112	7"	GLEDITSIA TRIAC. 'INERMIS'	HONEYLOCUST	2	A	REMOVE
113	13"	ULMUS PUMILA	SIBERIAN ELM	4	D	REMOVE, IN WIRES
114	5"	SYRINGA RETICULATA	JAP. TREE LILAC	1	B	REMOVE

TOTAL TREES REMOVED = 11
 TOTAL CAL. INCHES REMOVED SPECIES GROUP A = 30 @ 50% DBH - REPLACE 15 CAL. INCHES
 TOTAL CAL. INCHES REMOVED SPECIES GROUP B = 38 @ 30% DBH - REPLACE 11 CAL. INCHES
 TOTAL CAL. INCHES REMOVED SPECIES GROUP D = 13 @ 5% DBH - REPLACE 1 CAL. INCH

TOTAL REQUIRED REPLACEMENTS = 27 CALIPER INCHES / 11 - 2.5" CAL. TREES
 TOTAL PROPOSED REPLACEMENTS = 6 SHADE TREES 2.5" CAL.
 5 EVERGREEN TREES 6' HT.
 4 ORNAMENTAL TREES 8' HT.

TREE PROTECTION & REMOVAL LEGEND

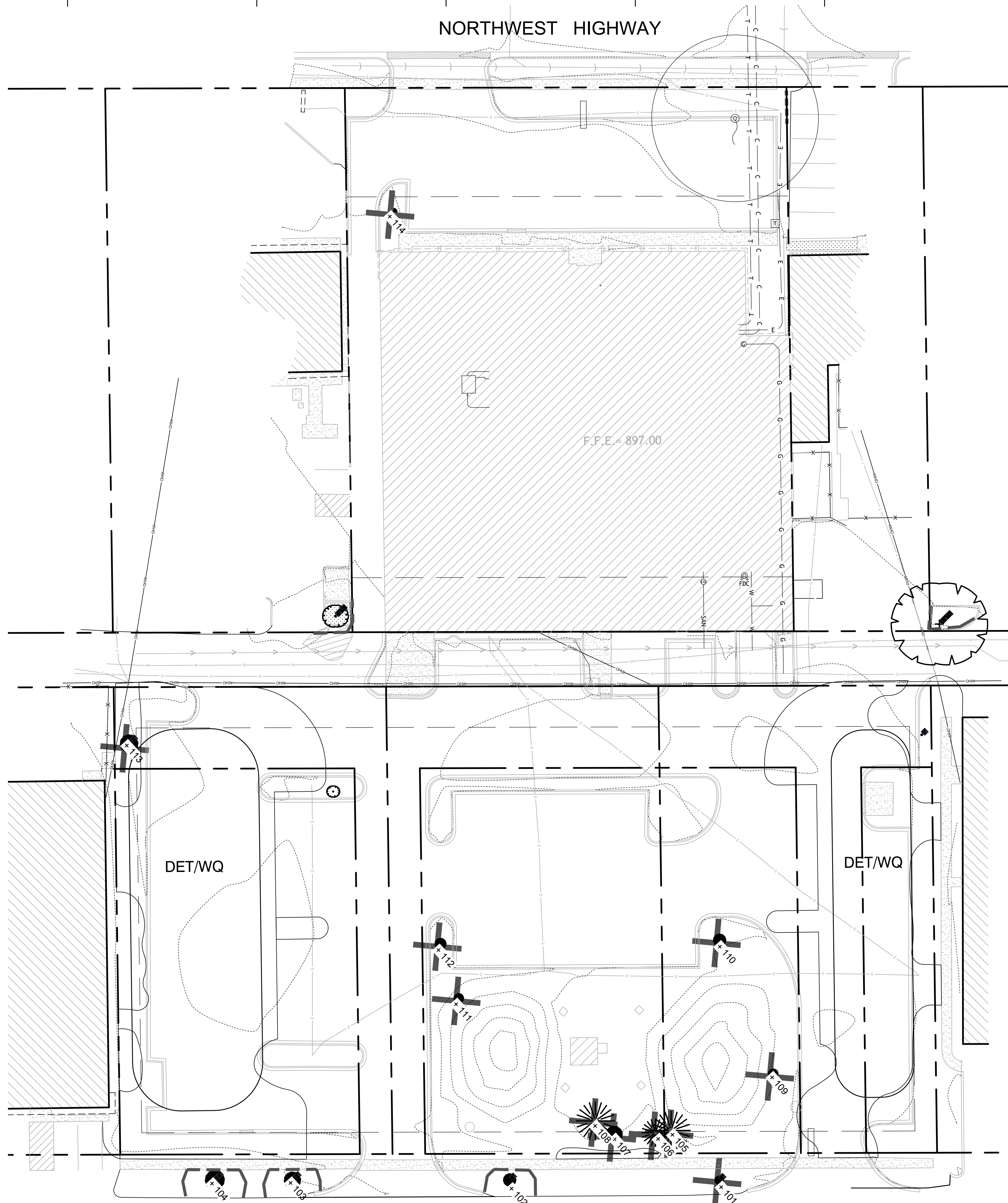


EXISTING VEGETATION DESCRIPTION

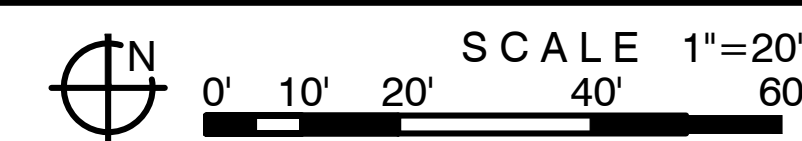
THE PROJECT SITE CONSISTS OF AN EXISTING SINGLE STORY RETAIL BUILDING AND ADJACENT PARKING LOT. 11 TREES ON THE SITE WILL HAVE TO BE REMOVED FOR DEVELOPMENT AND GRADING. 3 TREES WILL BE PRESERVED.

TREE PROTECTION & REMOVAL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS AND PERMISSIONS TO PRUNE, REMOVE, AND/OR TRANSPLANT ANY TREES ON SITE.
- DEAD AND DYING MATERIAL ON THE SITE SHALL BE REMOVED OR PRUNED. MATERIALS NOT LABELED ON THE PROTECTION PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REMEDIATION.
- DURING CONSTRUCTION EXISTING TREES OVER FOUR INCHES IN CALIPER SHALL BE PROTECTED WITH BARRIER FENCING.
- BARRIER SHALL BE CONSTRUCTED OF A MIN. 3' TALL SNOW FENCE OR SIMILAR AND SUPPORT POSTS MIN. 6" O.C. AND SHALL BE ERECTED ONE FOOT BEYOND THE DRIP LINE OFF ALL EXISTING TREES ON SITE AND ADJACENT SITES TO REMAIN.
- BARRIER FENCING SHOWN ON THE PLAN IS APPROXIMATE. CONTRACTOR SHALL ADJUST LOCATION OF BARRIER TO POSITION OUTLINED IN COMMENT 4.
- NO EXCESS SOIL OR ADDITIONAL FILL, BUILDING MATERIALS OR DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE BARRIER.
- NO VEHICLES OR HEAVY MACHINERY SHALL BE ALLOWED TO WORK WITHIN THE BARRIER AREA.
- NO ATTACHMENTS OR WIRES, OTHER THAN PROTECTIVE GUY WIRES, SHALL BE ATTACHED TO ANY OF THE TREES WHICH ARE WITHIN PROTECTIVE BARRIER.
- STUMPS OR TREE REMAINS NOT TO BE FULLY EXCAVATED SHALL BE REMOVED. A STUMP GRINDER SHALL BE USED TO REMOVE ALL REMAINING ROOTS AND WOODY MATERIAL. WITHIN A 24" RADIUS OF THE TREE TRUNK TO MIN. 6" BELOW GRADE. DISTURBED AREA SHALL BE BACKFILLED WITH COMPACTED TOPSOIL TO MEET SURROUNDING GRADES.



1 TREE PROTECTION & REMOVAL PLAN



CHRISTOPHER ENRIGHT ARCHITECTS
 A PROFESSIONAL CORPORATION

628 E. Parent Avenue
 Suite 106
 Royal Oak, MI 48067
 248.258.6485 (O)
 248.330.9395 (C)
 cenright@enrightarchitects.com

LG Workshop, LLC Landscape Architecture
 Site Planning
 Illustration
 2324 W. Armitage Avenue
 Chicago, IL 60647
 ph. 773.697.4388
 www.LGWLA.com

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 Crystal Lake, IL

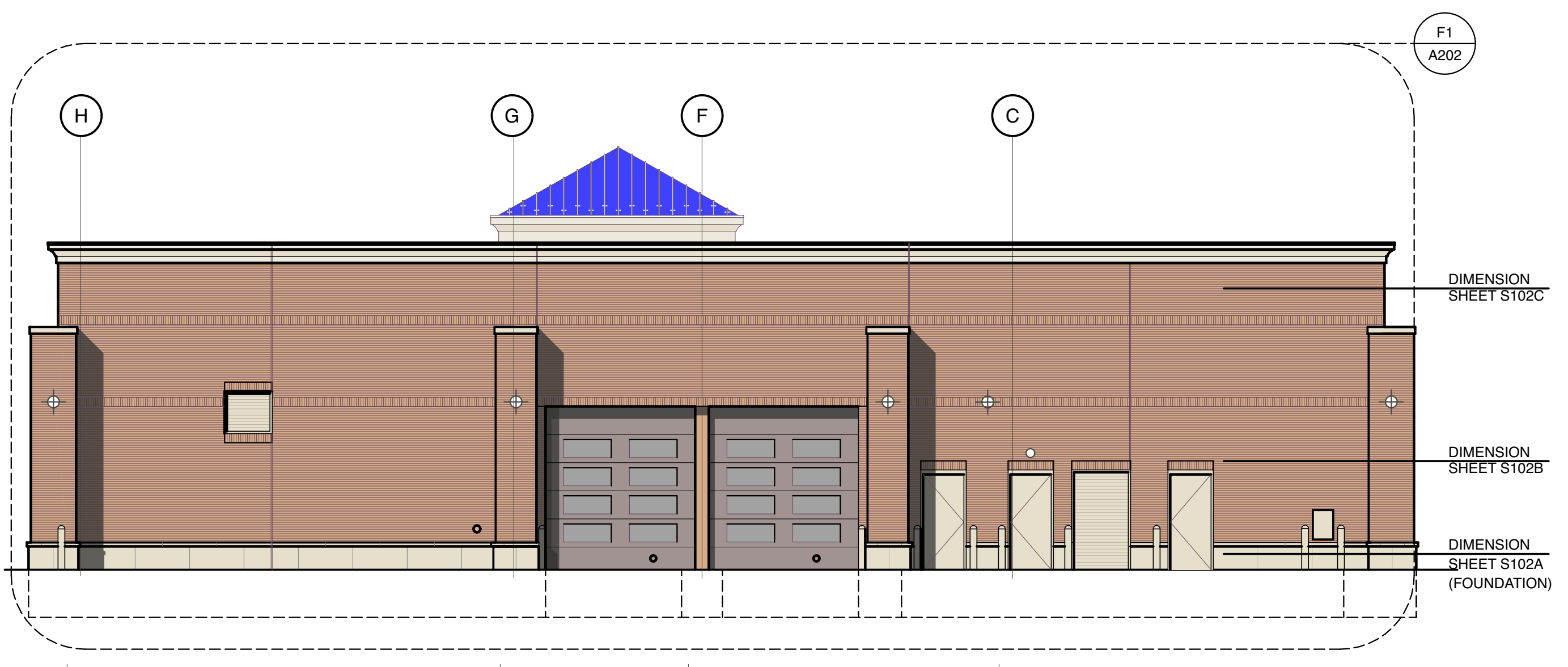
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PERMIT: SEPTEMBER 9, 2022

Project Number
21-980 TREE PROTECTION & REMOVAL PLAN

Sheet Number

L.1



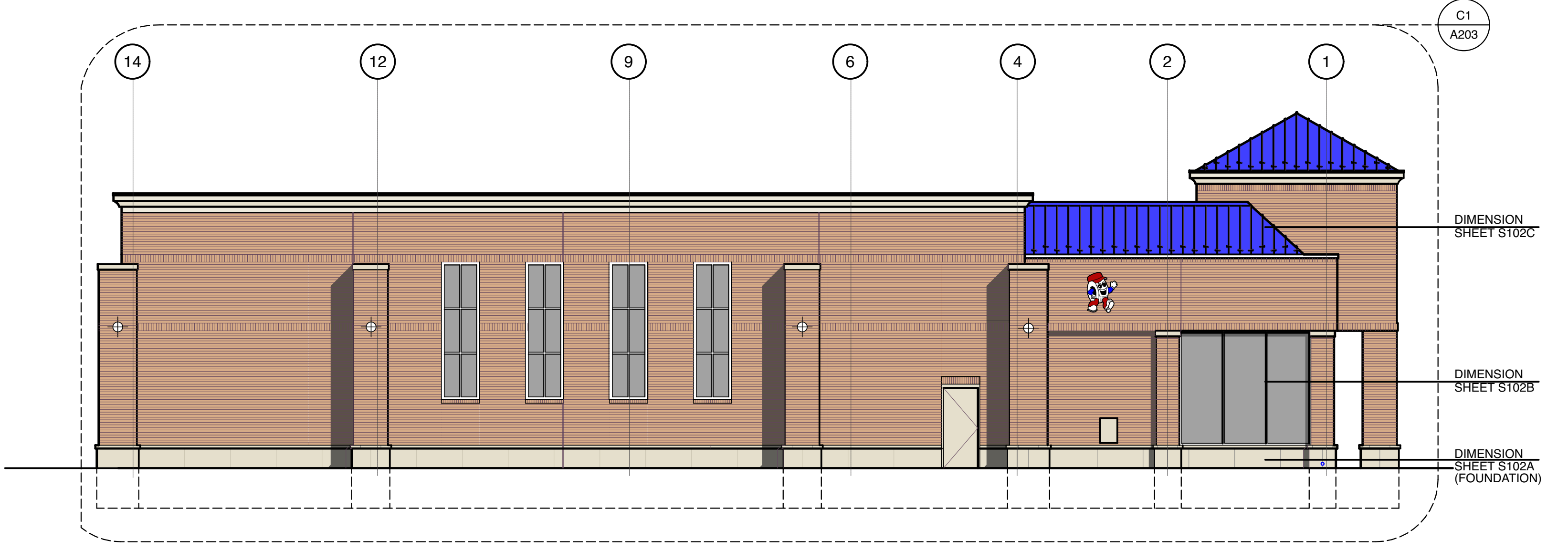
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A201 South Elevation
SCALE: 1/8" = 1'-0"



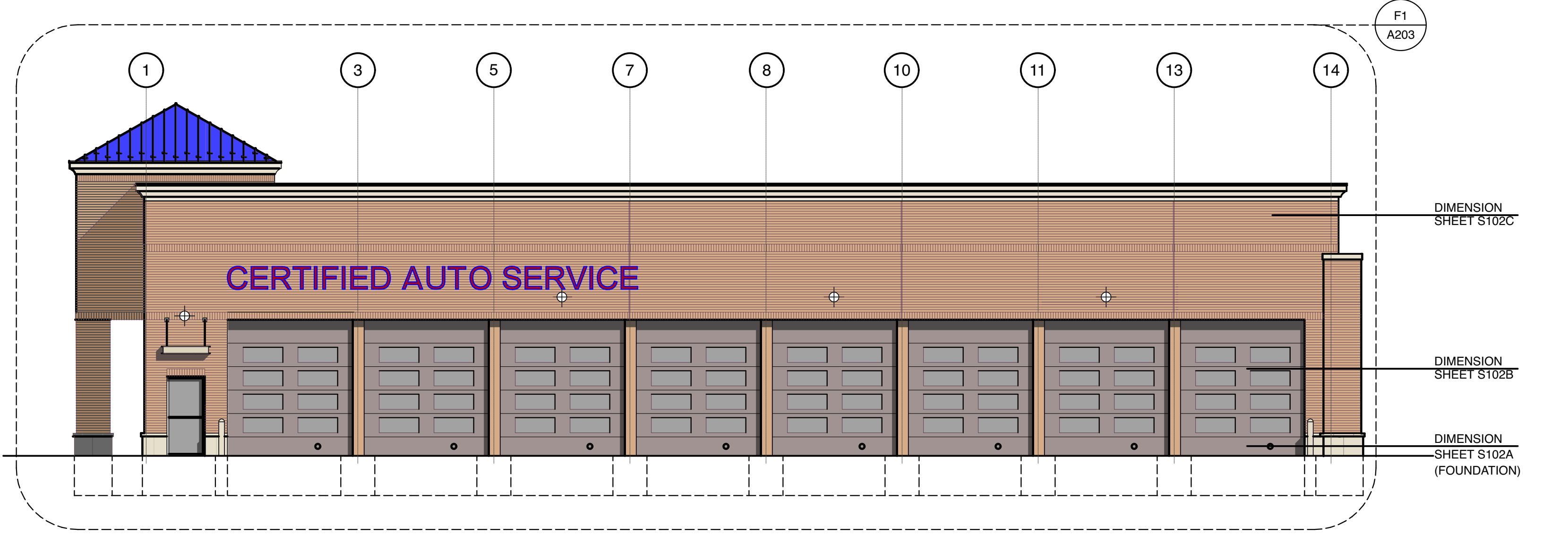
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A201 North Elevation
SCALE: 1/8" = 1'-0"

MATERIALS:

MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLIT 1.0 MOONLIT SAND 10611-64
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GL-1	GLAZING SYSTEM	GLAZING: 1" INSUL. - PPG SOLARBRAND 60 SOLAR CONTROL LOW 'E' CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED.
GL-2	GLAZING SYSTEM	GLAZING: 3/8" TWIN WALL HONEYCOMB POLYCARBONATE PANELS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP.
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7666 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADIER RED - PRATT & LAMBERT
P-3	PAINT	PAINT TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN



D5
A201 East Elevation
SCALE: 1/8" = 1'-0"



F5
A201 West Elevation
SCALE: 1/8" = 1'-0"



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, Michigan 48067
TEL: 248.258.6485
CEL: 248.330.9395
cenrht@enrightarchitects.com

Consultants

Project

Belle Tire
6119 Northwest Hwy
Crystal Lake, IL 60014

City Submittal: September 13, 2022

City Re-Submittal: November 28, 2022

MARK DATE DESCRIPTION

PROJECT NO:
21-980

MODEL FILE:
Crystal Lake_Color Elevations 3.0.pln

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SHEET TITLE

Building Elevations

A201

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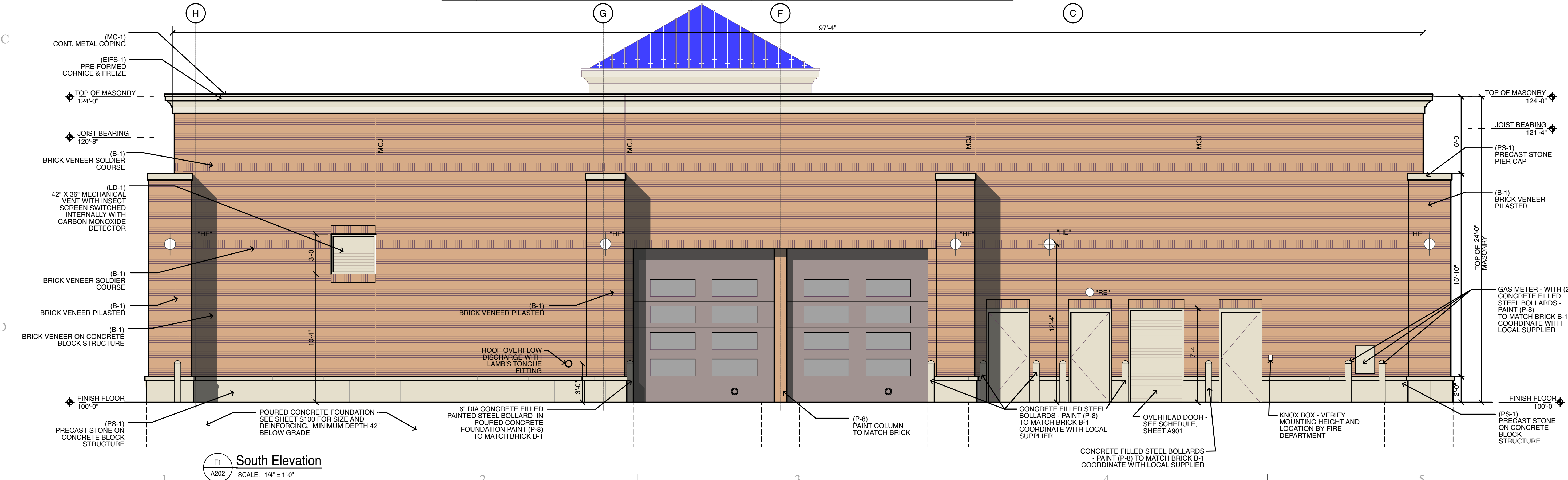
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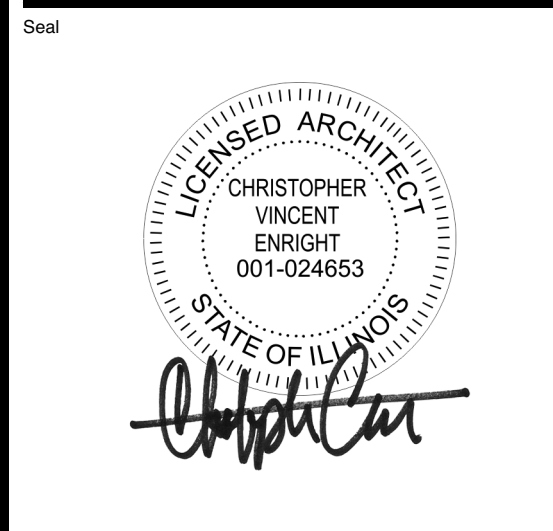
C1 North Elevation
A202 SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS / COLORS

MARK	DESCRIPTION	MARK	DESCRIPTION
B-1	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.	PS-1	PRE-CAST STONE COLOR - BUFF. CONTRACTOR TO SUBMIT SAMPLE FOR ARCHITECT APPROVAL
EIFS-1	STO-STOLIT 1.0 MOONLIT SAND 10611-64	P-1	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL - PRATT & LAMBERT
MC-1	DURO-LAST / FIRESTONE 2 PIECE SNAP-ON METAL FASCIA - COLOR TO MATCH EIFS - KYNAR FINISH	P-2	GRENADIER RED - INDUSTRIAL ENAMEL - PRATT & LAMBERT
SSM-1	STANDING SEAM ROOF - REGAL BLUE™ KYNAR FINISH	P-3	COLOR TO MATCH BRICK VENEER - TO BE DETERMINED
GL-1	GLAZING: STOREFRONT - 1" INSUL - PPG SOLARBRAND 60 SOLAR CONTROL LOW "E" CLEAR, LOW REFLECTIVE INSULATING GLASS - IN BRONZE ANODIZED FRAMING SYSTEM (TO MATCH EXISTING OR ARCHITECT APPROVED EQUAL) PROVIDE TEMPERED GLASS AS INDICATED ON A701	P-4	DRYFALL BRILLIANT WHITE - @ INTERIOR ROOF DECK ONLY
		P-5	GENERAL WHITE - INDUSTRIAL ENAMEL - PRATT & LAMBERT
		P-6	SHERWIN WILLIAMS #7038 TONY TAUPE SATIN
		P-7	BLACK SEMI-GLOSS SHERWIN WILLIAMS - INDUSTRIAL ENAMEL
		P-8	BENJAMIN MOORE - "MARYVILLE BROWN" HC-75



F1 South Elevation
A202 SCALE: 1/4" = 1'-0"



Christopher Enright Architects
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, Michigan 48067
TEL: 248.258.6485
CEL: 248.330.9395
cenright@enrightarchitects.com

Consultants

Project

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6119 Northwest Hwy
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City Re-Submittal: November 28, 2022

MARK DATE DESCRIPTION

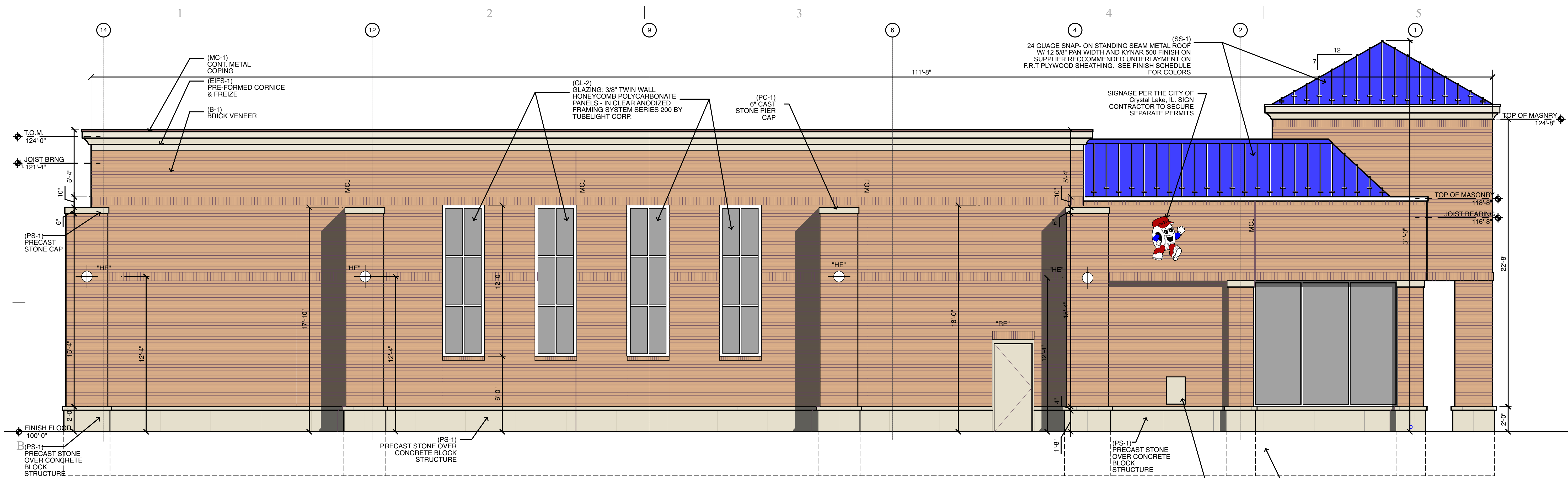
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Building Elevations

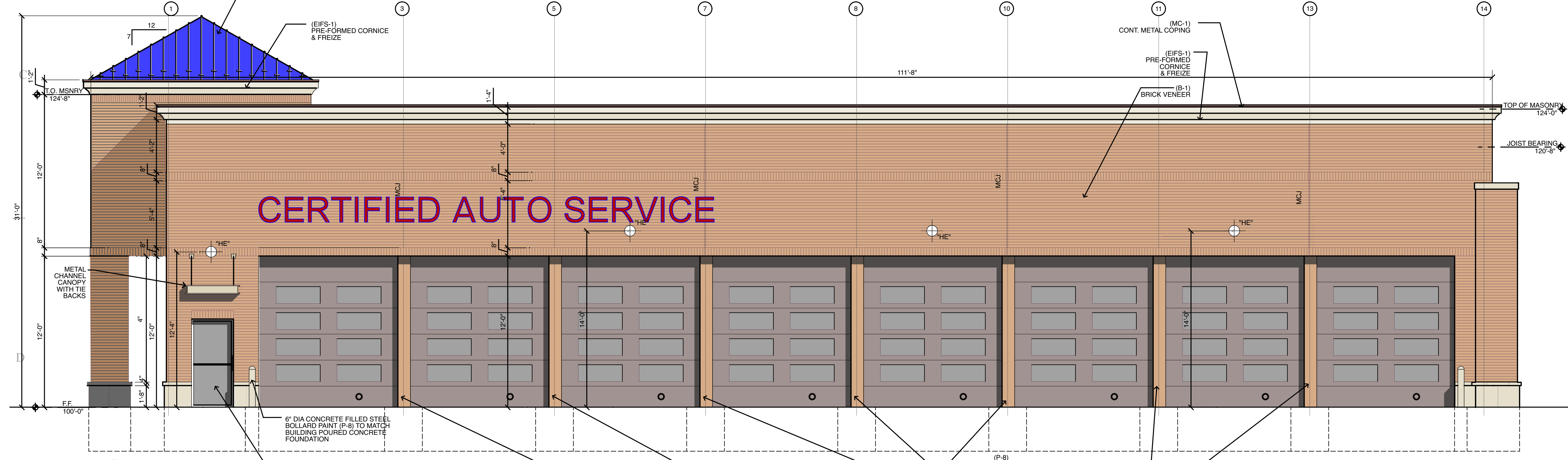
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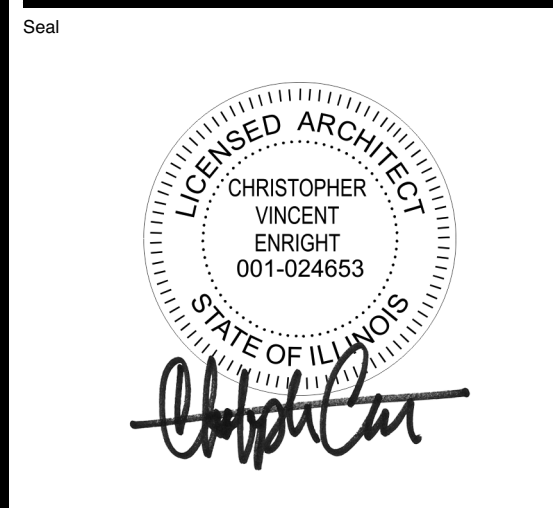


C1 East Elevation
A203 SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS / COLORS			
MARK	DESCRIPTION	MARK	DESCRIPTION
B-1	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.	PS-1	PRE-CAST STONE COLOR - BUFF. CONTRACTOR TO SUBMIT SAMPLE FOR ARCHITECT APPROVAL
EIFS-1	STO-STOLIT 1.0 MOONLIT SAND 10611-64	P-1	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL - PRATT & LAMBERT
MC-1	DURO-LAST / FIRESTONE 2 PIECE SNAP-ON METAL FASCIA - COLOR TO MATCH EIFS - KYNAR FINISH	P-2	GRENADE RED - INDUSTRIAL ENAMEL - PRATT & LAMBERT
SSM-1	STANDING SEAM ROOF - REGAL BLUE KYNAR FINISH	P-3	COLOR TO MATCH BRICK VENEER - TO BE DETERMINED
GL-1	GLAZING: STOREFRONT - 1" INSUL - PPG SOLARBRAND 60 SOLAR CONTROL LOW 'E' CLEAR, LOW REFLECTIVE INSULATING GLASS - IN BRONZE ANODIZED FRAMING SYSTEM (TO MATCH EXISTING OR ARCHITECT APPROVED EQUAL) PROVIDE TEMPERED GLASS AS INDICATED ON A701	P-4	DRYFALL BRILLIANT WHITE - @ INTERIOR ROOF DECK ONLY
GL-2	GLAZING: 3/8" TWIN WALL HONEYCOMB POLYCARBONATE PANELS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP.	P-5	GENERAL WHITE - INDUSTRIAL ENAMEL - PRATT & LAMBERT
		P-6	SHERWIN WILLIAMS #7038 TONY TAUPE SATIN
		P-7	BLACK SEMI-GLOSS SHERWIN WILLIAMS - INDUSTRIAL ENAMEL
		P-8	BENJAMIN MOORE - "MARYVILLE BROWN" HC-75



F1 West Elevation
A203 SCALE: 1/4" = 1'-0"



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, Michigan 48067
TEL: 248.258.6485
CEL: 248.330.9395
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Consultants

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Building Elevations

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A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, Michigan 48067
TEL: 248.258.6485
CEL: 248.330.9395
cenright@enrightarchitects.com

Consultants

Project

Belle Tire
6119 Northwest Hwy
Crystal Lake, IL 60014

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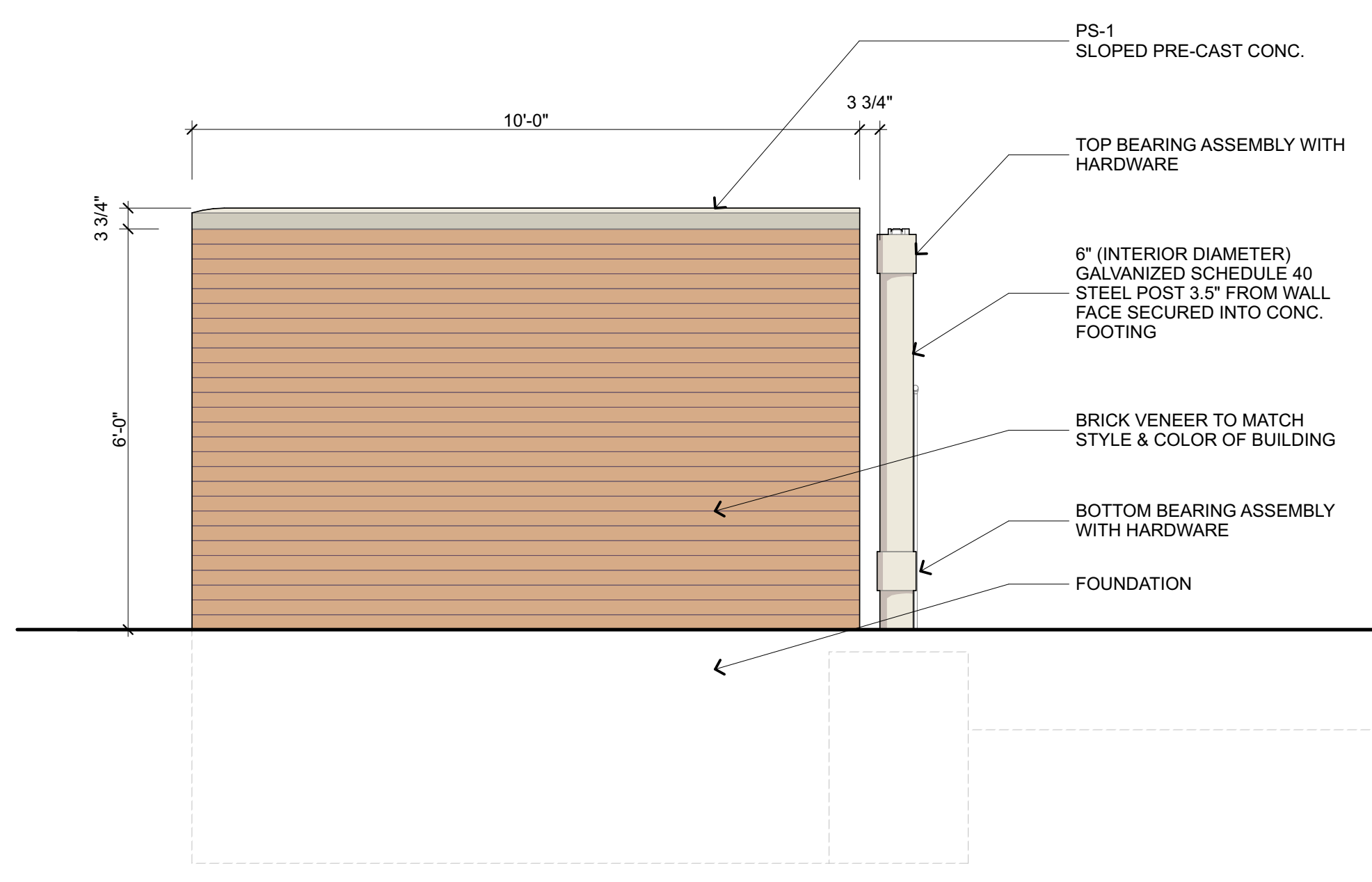
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Dumpster

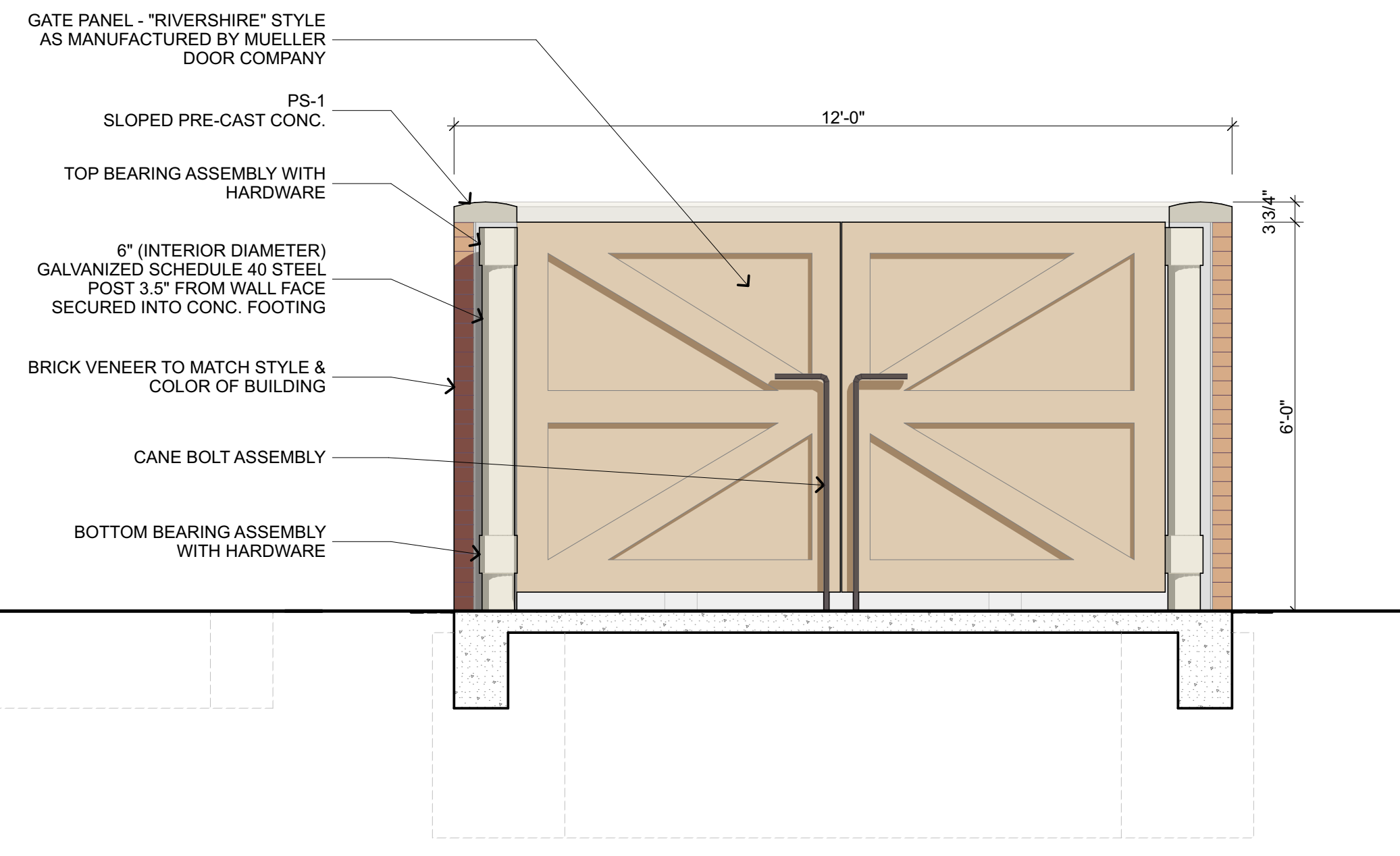
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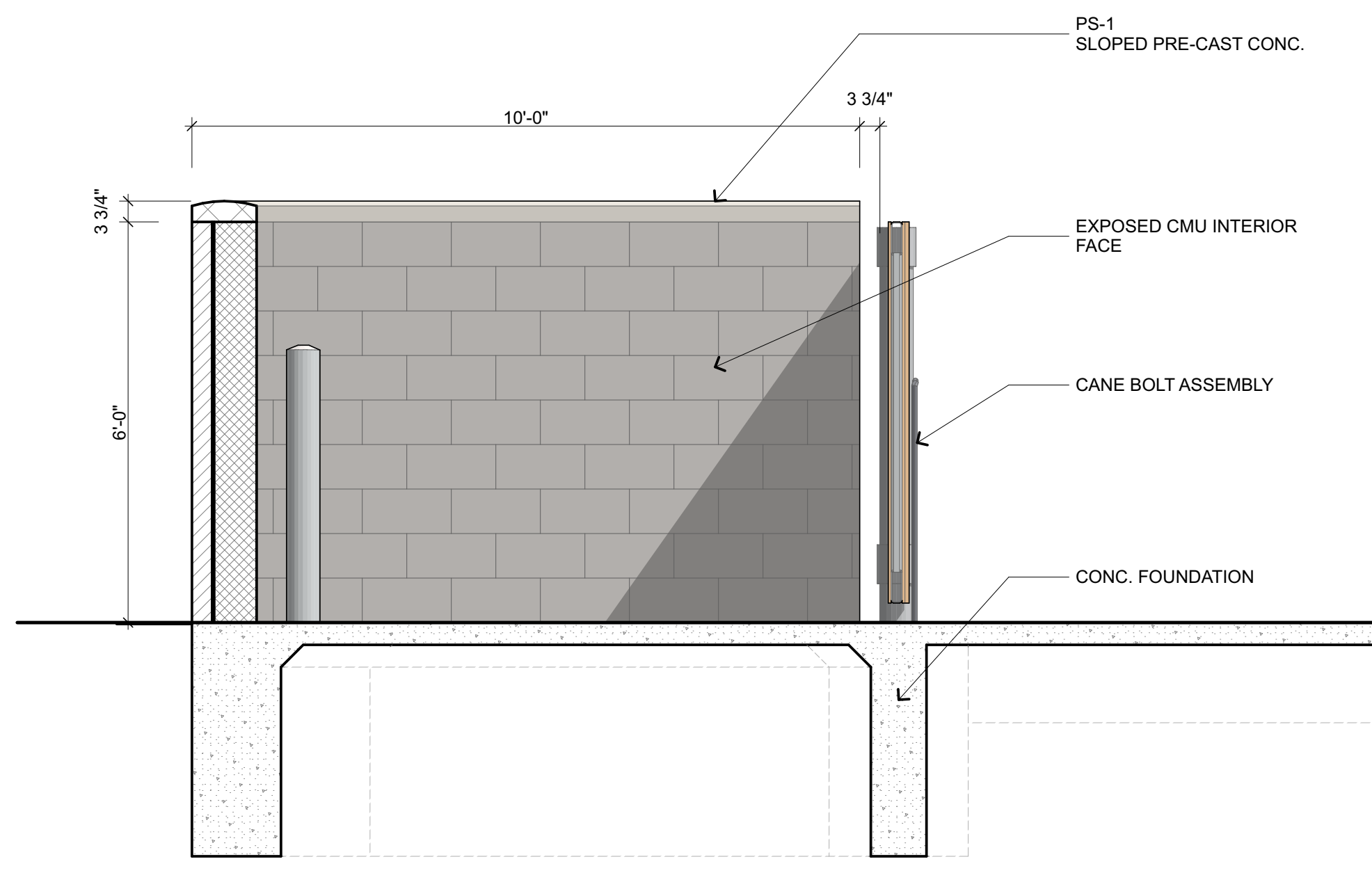
MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLIT 1.0 MOONLIT SAND 10611-64
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES-COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL. - PPG SOLARBRAND 60 SOLAR CONTROL LOW "E" CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
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P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7666 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADEIR RED - PRATT & LAMBERT
P-3	PAINT	PAINT TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN



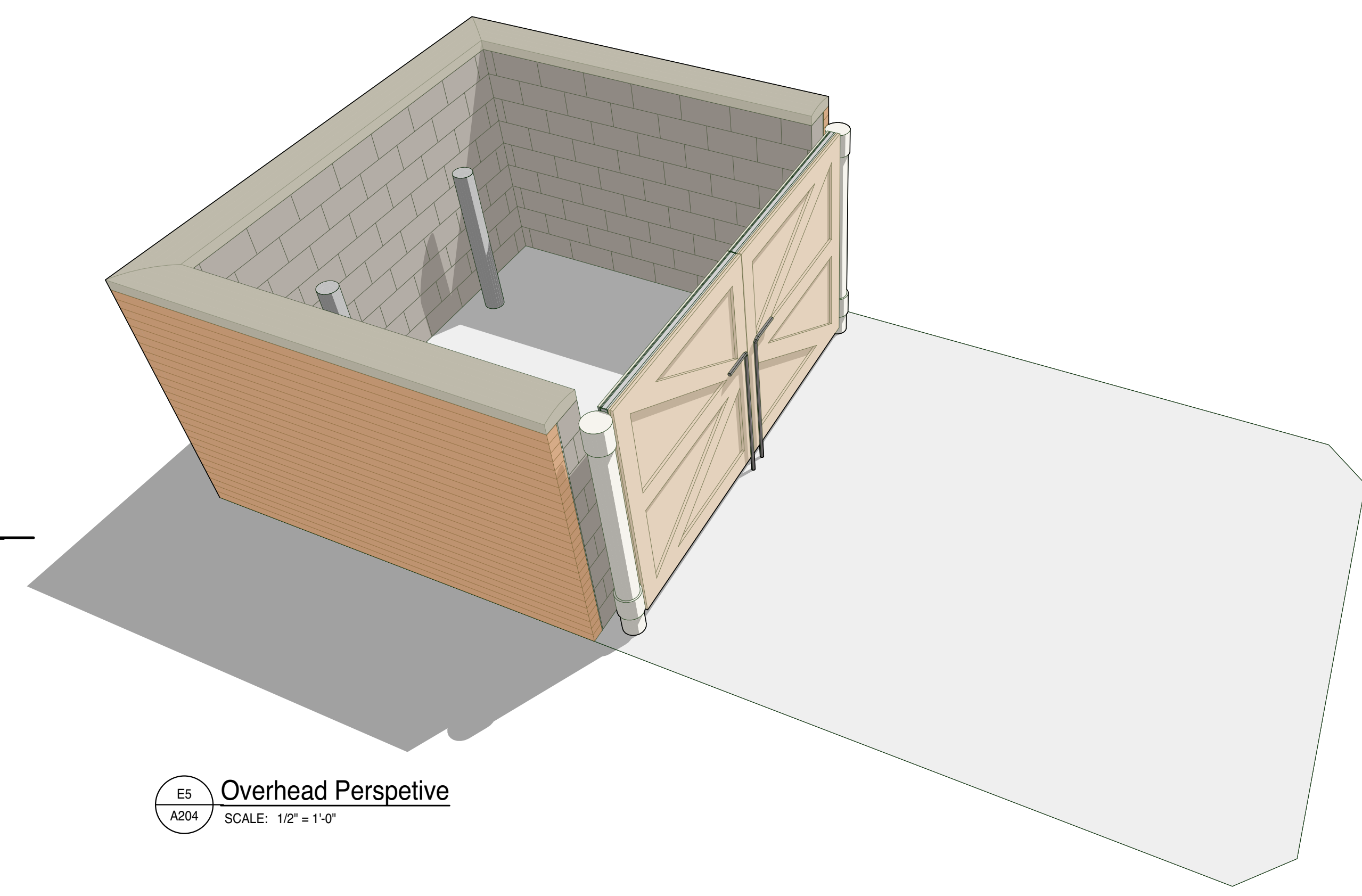
C1 Side Elevation
SCALE: 1/2" = 1'-0"



C5 Front Elevation
SCALE: 1/2" = 1'-0"

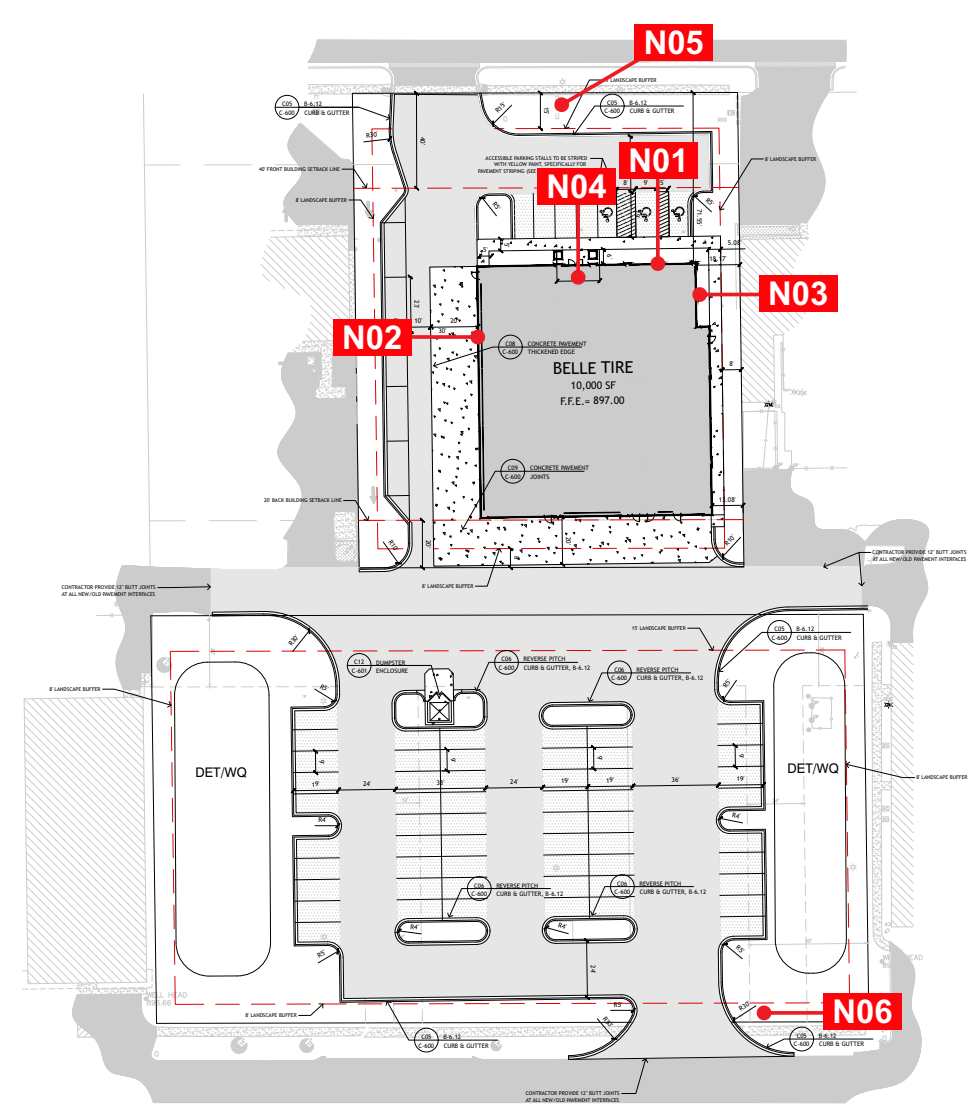


E1 Section Looking East
SCALE: 1/2" = 1'-0"

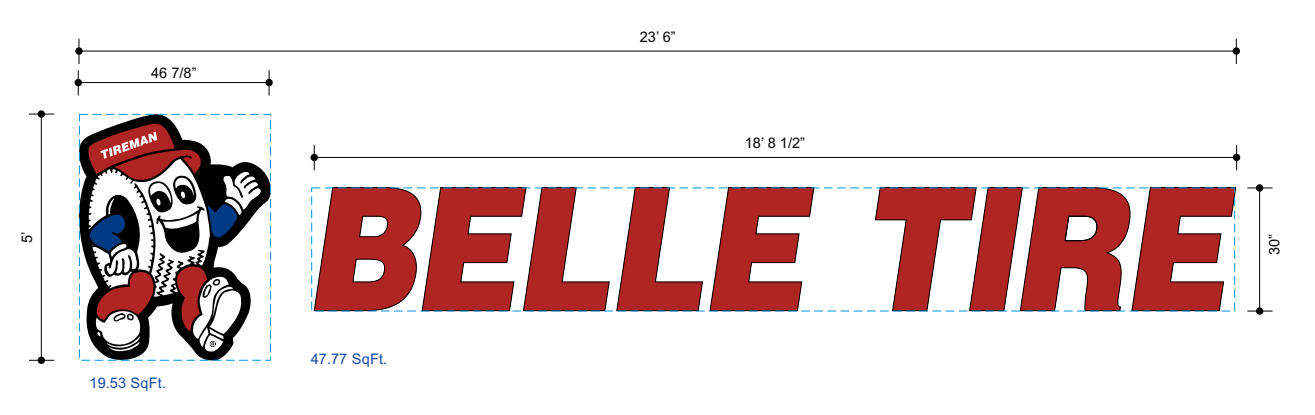


E5 Overhead Perspective
SCALE: 1/2" = 1'-0"

Volumes/enrigh/Shared/Projects/Belle Tire/21-980_BT_IL_Crystal Lake/5_Disciplines-Design/Architectural/CAD/SD/Crystal Lake_Color_Elevations_3.0.pln



Site Plan



N01 5' Logo 30" BT Letters North Elevation

CONCEPTUAL ONLY

Front Elevation 66.3 Sq Ft Scale: 3/8"=1'-0" Logo: Pan formed face flush mounted to the building. Lighted Letters: Flush mounted to the building. Power Supplies: Remote mounted. Power: 120V primary power with disconnect supplied by others. Quantity: (1) LOGO/LETTERS



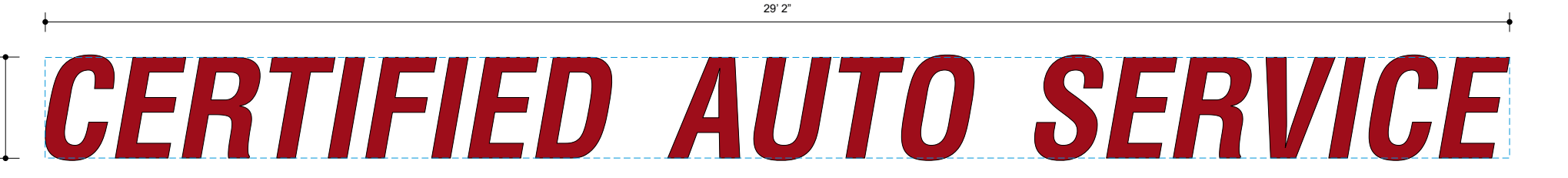
Revision table for N01 with columns for Date, Description, and Initials.

Revision table for N01 with columns for Date, Description, and Initials.

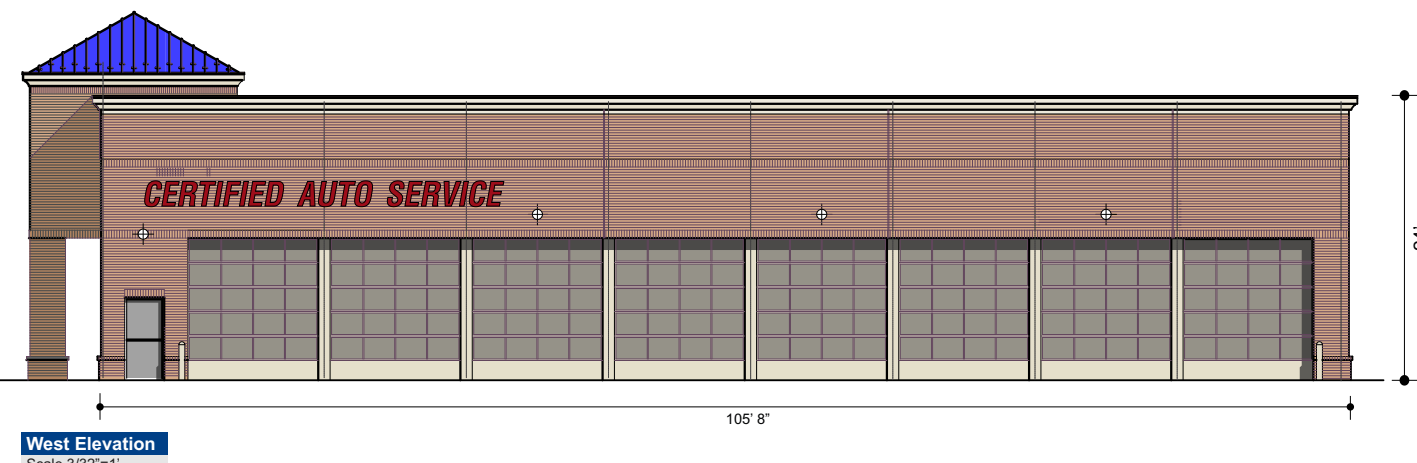
Revision table for N01 with columns for Date, Description, and Initials.

N02 24" CAS Letters West Elevation

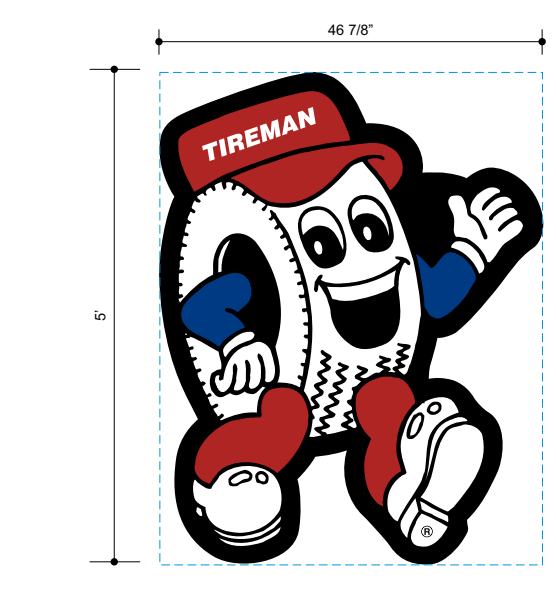
CONCEPTUAL ONLY



Front Elevation 58.8 Sq Ft Scale: 1/2"=1'-0" General Specifications: Face: 2793 Red Acrylic Faces w/ 1" Black Jewels. Returns: .640" Pre-Finished Black Coil Stock. Backs: .640" Aluminum. Illum: Red LEDs as required by manufacturer. Remote power supplies. Quantity: (1) SET OF LETTERS

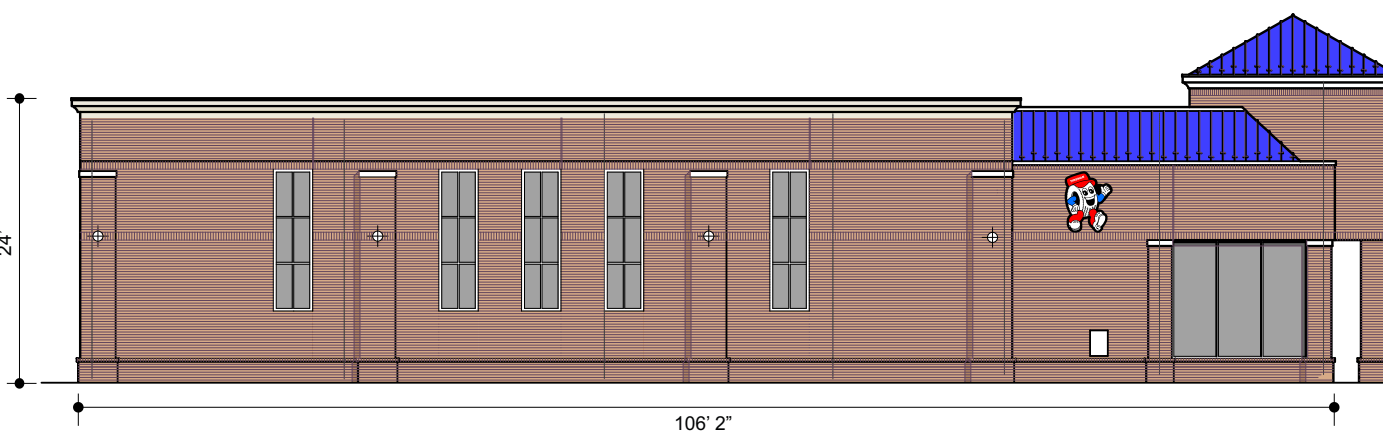


Revision table for N02 with columns for Date, Description, and Initials.



N03 5' Logo East Elevation

CONCEPTUAL ONLY

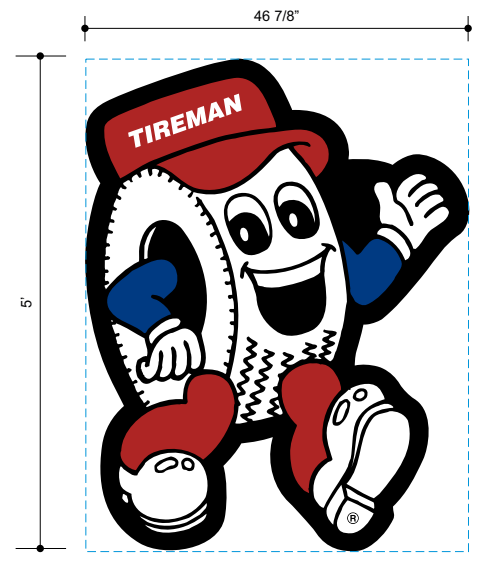


Front Elevation 19.53 Sq Ft Scale: 3/8"=1'-0" General Specifications: Face: .177" Polycarbonate Embossed Back Sprayed Face w/ 2" Black Jewels. Returns: .637" Pre-Finished Black Coil Stock. Backs: .640" Aluminum. Illum: White LEDs as required by manufacturer. Remote power supplies. Quantity: (1) Logo Capsule

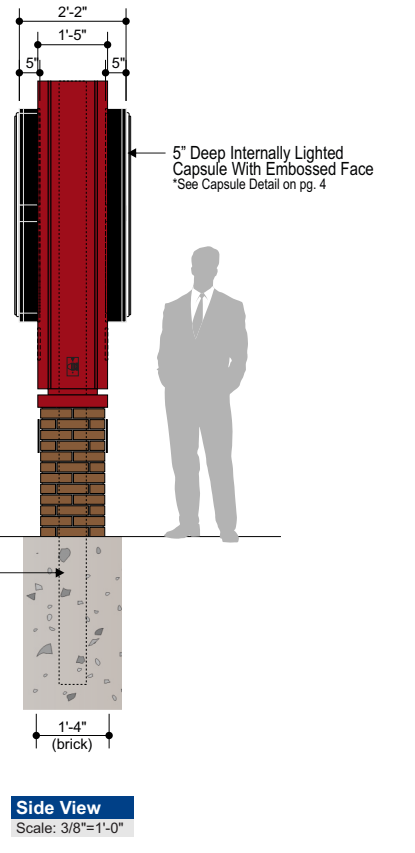
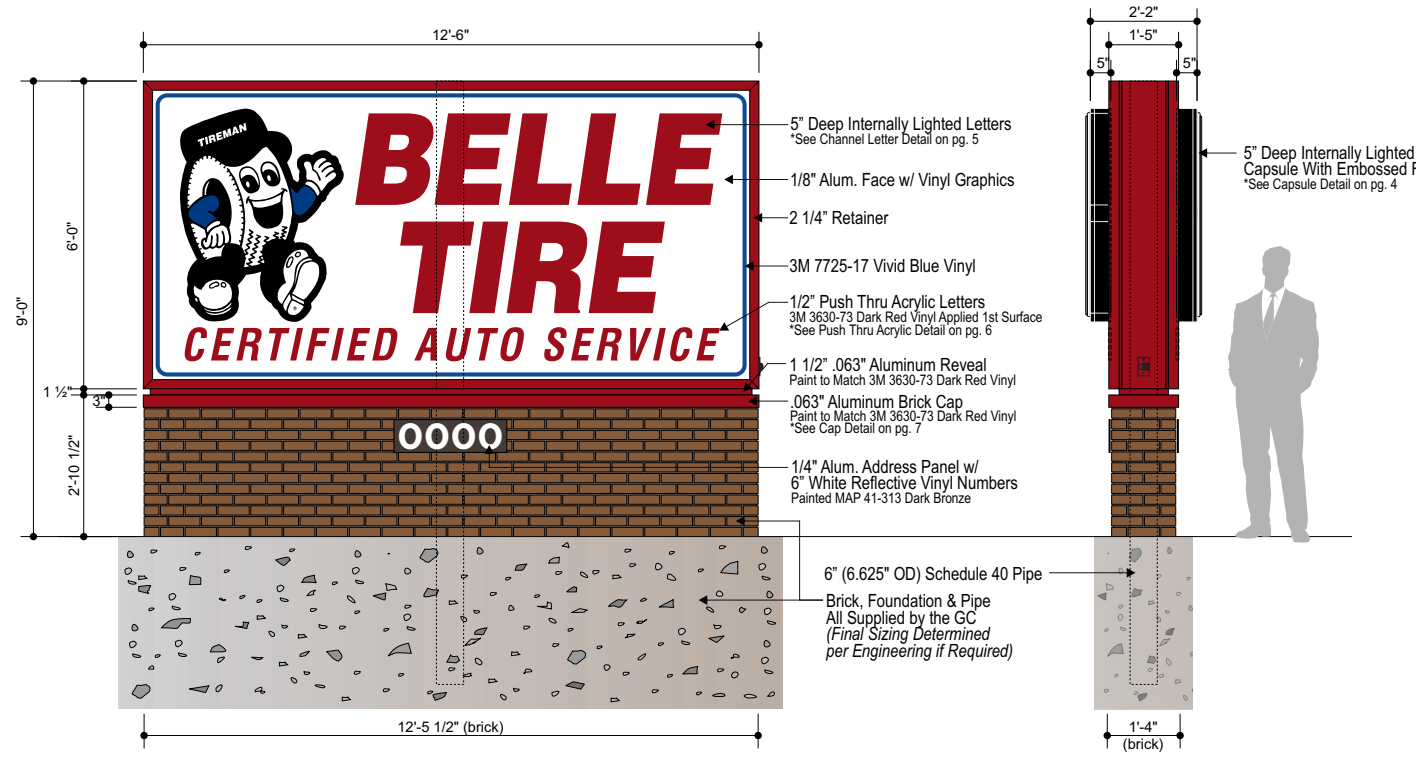
Revision table for N03 with columns for Date, Description, and Initials.

Revision table for N02 with columns for Date, Description, and Initials.

Revision table for N03 with columns for Date, Description, and Initials.



Front Elevation 19.53 Sq Ft Scale: 3/8"=1'-0" General Specifications: Face: .177" Polycarbonate Embossed Back Sprayed Face w/ 2" Black Jewels. Returns: .637" Pre-Finished Black Coil Stock. Backs: .640" Aluminum. Illum: White LEDs as required by manufacturer. Remote power supplies. Quantity: (1) Logo Capsule



N05 D/F Monument - 79.2 sqft Internal LED Illumination

CONCEPTUAL ONLY

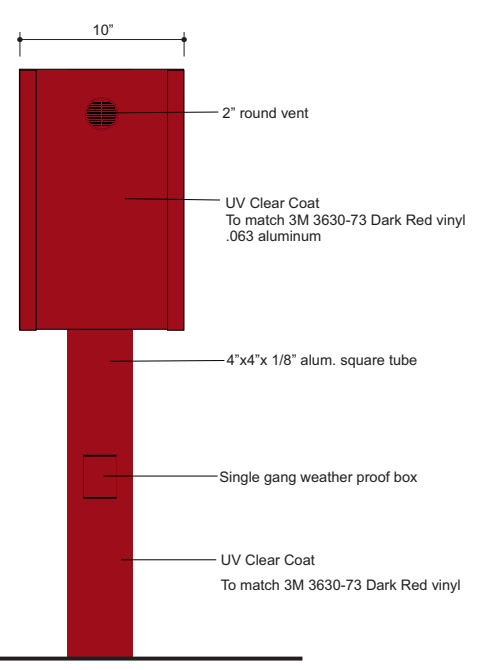
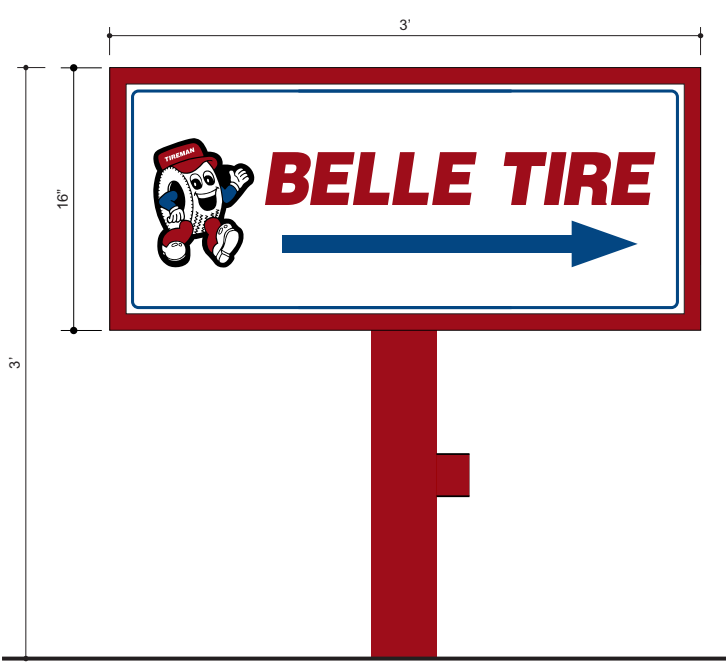
DESIGN INTENT ONLY Engineering Required to Determine Actual Production & Installation Requirements

Color Specifications: PMS 1905 C - RGB 1725154 CMYK 21100100117 PMS 294 C - RGB 5168117 CMYK 100872220 PMS Black C - RGB 000 CMYK 75687590 2793 Red Acrylic Vinyl Specifications: 3M 7725-17 Vivid Blue 3M 3630-73 Dark Red Vinyl 3M 690-10 Reflective White Vinyl

Paint Specifications: White MWP 41-313 Dark Bronze Pearl & Matrix 3M 3630-73 Dark Red Vinyl UV Clear Coat to prevent Fading

All paint finishes to be Satin unless otherwise specified

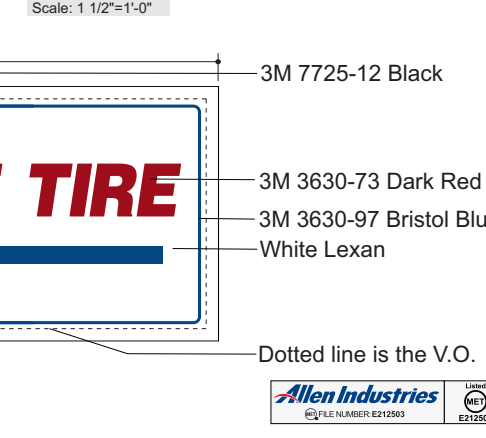
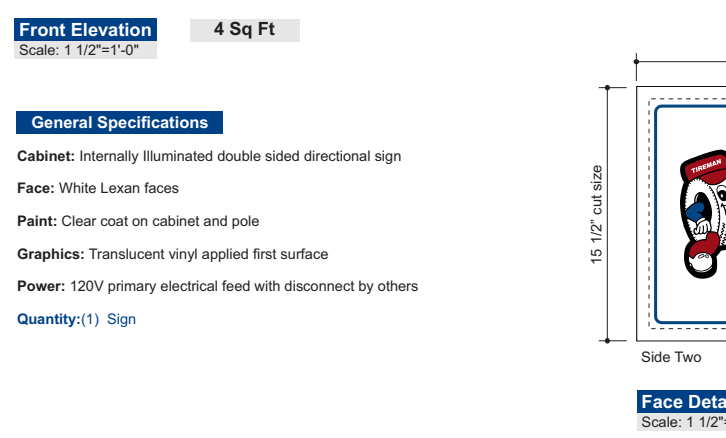
Revision table for N05 with columns for Date, Description, and Initials.



N06 D/F Lighted Directional With a 5' setback

CONCEPTUAL ONLY

DESIGN INTENT ONLY Engineering Required to Determine Actual Production & Installation Requirements



Color Specifications: 3M 3630-97 Bristol Blue 3M 3630-73 Dark Red Vinyl 3M 7725-12 Black White Lexan Paint to Match 3M 3630-73 Dark Red Vinyl UV Satin Clear to prevent Fading

All paint finishes to be Satin unless otherwise specified

Revision table for N06 with columns for Date, Description, and Initials.

Revision table for N05 with columns for Date, Description, and Initials.

Revision table for N06 with columns for Date, Description, and Initials.



CHRISTOPHER ENRIGHT ARCHITECTS A PROFESSIONAL CORPORATION

628 E. Parent Avenue Suite 100 Royal Oak, Michigan 48067 TEL: 248.258.6485 CEL: 248.330.9395 cenrigh@enrigharchitects.com

Belle Tire 6119 Northwest Hwy Crystal Lake, IL 60014

City Submital: September 13, 2022

City Re-Submital: November 28, 2022

MARK DATE DESCRIPTION

PROJECT NO: 21-980

MODEL FILE: Crystal Lake_Color Elevations 3.0.pln

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SHEET TITLE

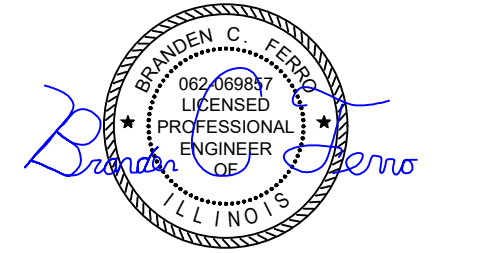
Sign Plan

A001

PRELIMINARY ENGINEERING PLANS

BELLE TIRE

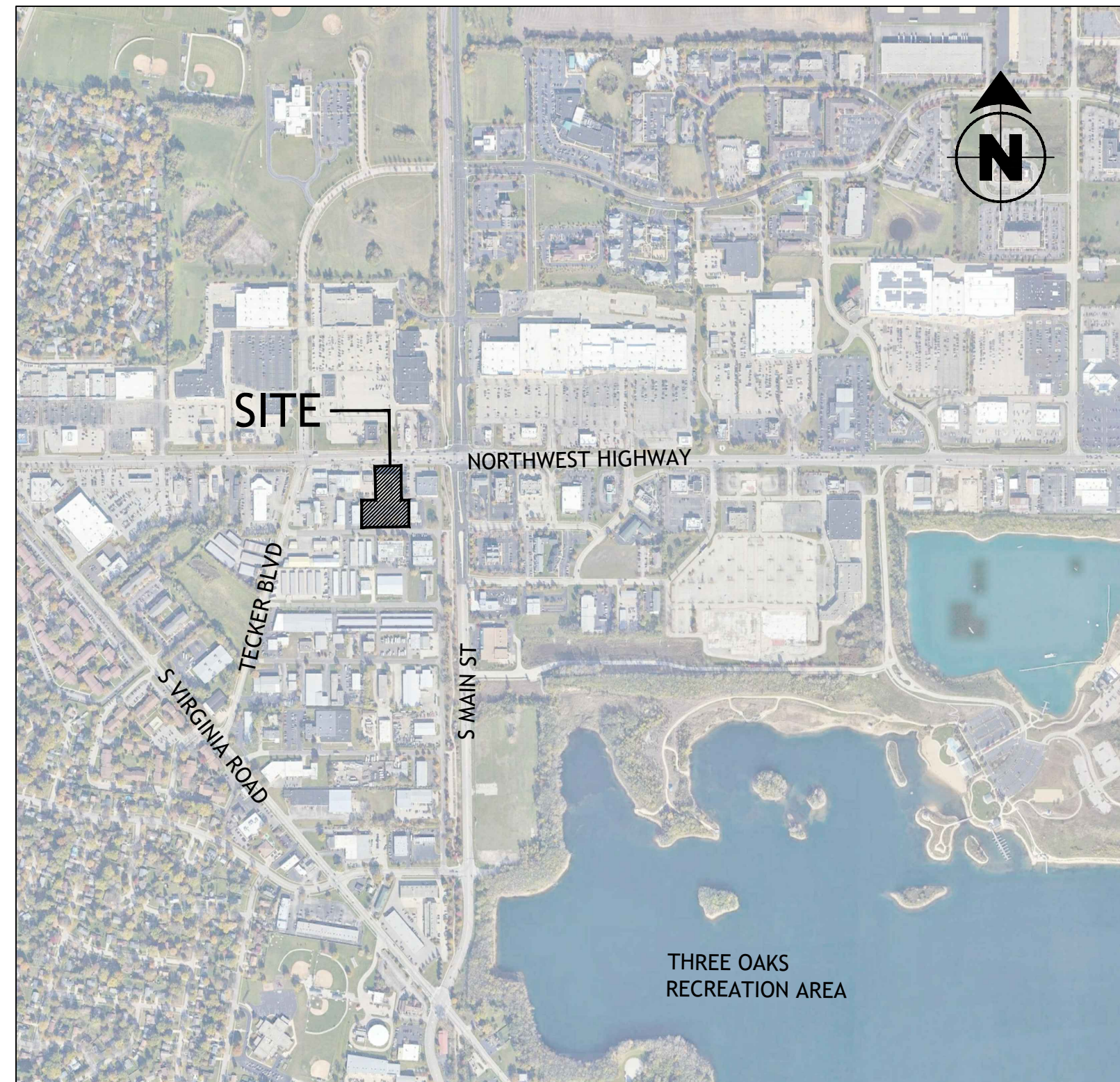
6119 NORTHWEST HIGHWAY
CITY OF CRYSTAL LAKE, ALGONQUIN TOWNSHIP, McHENRY COUNTY, ILLINOIS
S8 T43N R8E



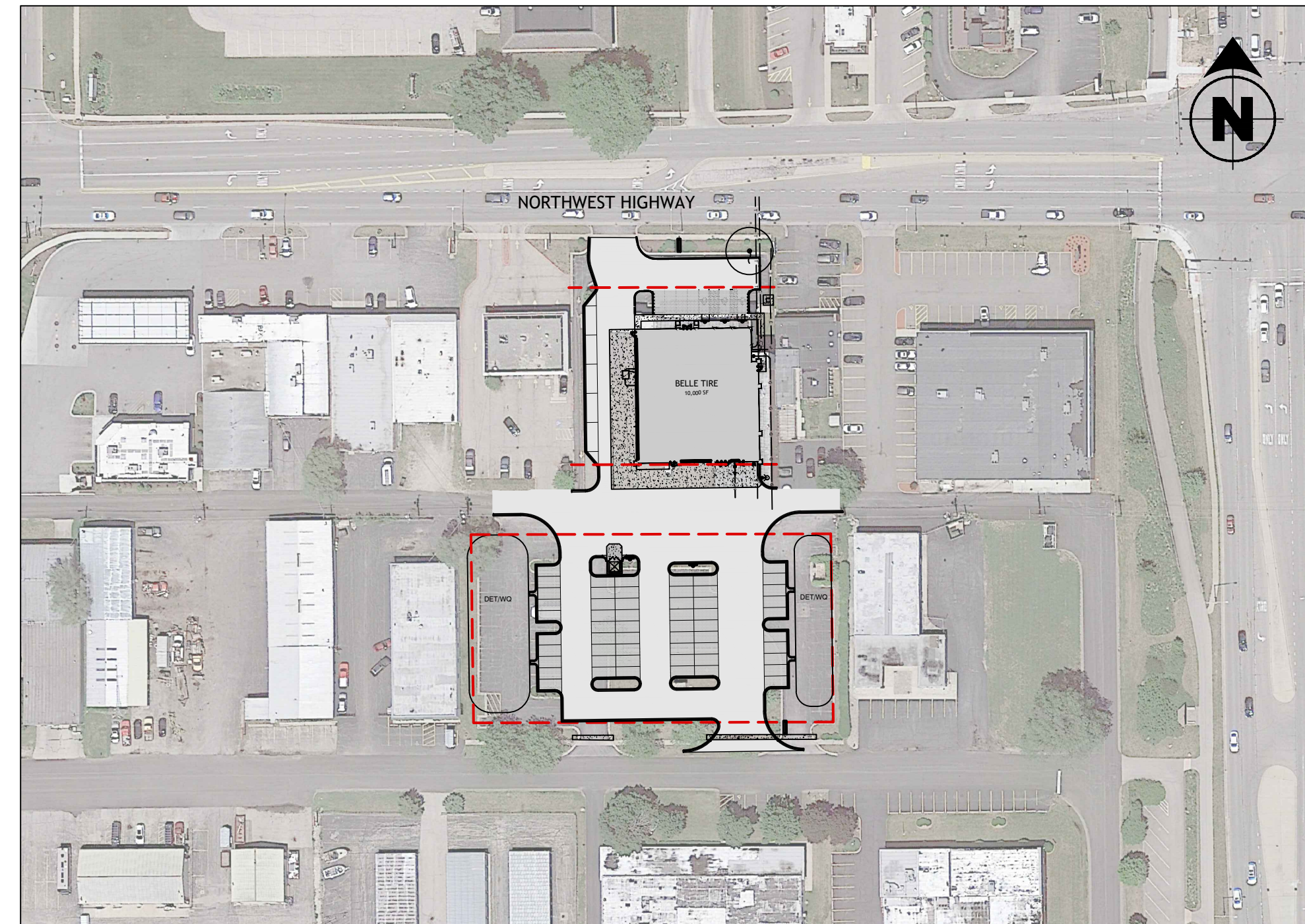
CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

Consultant



VICINITY MAP
NO SCALE



LOCATION MAP
NO SCALE

ADD/REV NO.	DATE	SHEET NUMBER	SHEET TITLE
	11/28/2022	C-000	COVER SHEET
	9/21/2022	ALTA (1 OF 2)	ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY
	9/21/2022	ALTA (2 OF 2)	ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY
	11/28/2022	C-001	GENERAL NOTES
	11/28/2022	C-002	CRYSTAL LAKE NOTES
	11/28/2022	C-100	DEMOLITION PLAN
	11/28/2022	C-200	SITE PLAN
	11/28/2022	C-300	GRADING PLAN
	11/28/2022	C-301	EROSION & SEDIMENT CONTROL PLAN
	11/28/2022	C-302	EROSION & SEDIMENT CONTROL DETAILS
	11/28/2022	C-303	EROSION & SEDIMENT CONTROL DETAILS
	11/28/2022	C-400	UTILITY PLAN
	11/28/2022	C-600	DETAILS
	11/28/2022	C-601	DETAILS
	11/28/2022	C-602	DETAILS
	11/28/2022	C-603	DETAILS
	11/28/2022	L.1	TREE PROTECTION & REMOVAL PLAN
	11/28/2022	L.2	LANDSCAPE PLAN PROJECT SITE
	11/28/2022	L.2	LANDSCAPE DETAILS & NOTES
	11/28/2022	1 OF 1	PHOTOMETRICS PLAN

Project

Belle Tire
Crystal Lake, IL

6119 Northwest Hwy
Crystal Lake, IL 60014

Sheet

COVER SHEET

Issued for

PERMIT: SEPTEMBER 13, 2022
CRYSTAL LAKE REVIEW #1: NOVEMBER 28, 2022

Project Number

21-980

Sheet Number

C-000

PROJECT TEAM

OWNER/DEVELOPER/APPLICANT

CHRISTOPHER ENRIGHT ARCHITECTS
628 E. PARENT AVE, SUITE 100
ROYAL OAK, MI 48067
CONTACT: CHRIS ENRIGHT, NCARB
PHONE: 248.258.6485

CIVIL ENGINEER

CHRISTOPHER ENRIGHT ARCHITECTS
628 E. PARENT AVE, SUITE 100
ROYAL OAK, MI 48067
CONTACT: BRANDEN FERRO, PE
PHONE: 815.210.1996

ARCHITECT

CHRISTOPHER ENRIGHT ARCHITECTS
628 E. PARENT AVE, SUITE 100
ROYAL OAK, MI 48067
CONTACT: CHRIS ENRIGHT, NCARB
PHONE: 248.258.6485

LAND SURVEYOR

COMPASS SURVEYING LTD
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
CONTACT: DANIEL WALTER, PLS
PHONE: 630.820.9100

LEGAL DESCRIPTION

PARCEL 1: LOT B IN JOHN E. SHERMAN'S RE-SUBDIVISION, BEING A RE-SUBDIVISION OF THE WEST HALF OF LOT 3 AND ALL OF LOTS 4 AND 5 IN JOHN PFEIFFER'S SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 4, 1987 AS DOCUMENT NO. 87R8671, IN McHENRY COUNTY, ILLINOIS.

PARCEL 2: LOTS 13, 14 AND 15 IN JOHN PFEIFFER'S SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 12, 1952 AS DOCUMENT NUMBER 257142, IN BOOK 11 OF PLATS, PAGE 62, IN McHENRY COUNTY, ILLINOIS.

AGENCY/UTILITY CONTACTS

CITY OF CRYSTAL LAKE

BUILDING AND ZONING:
100 W. WOODSTOCK ST.
PAUL WALTER
CAPITAL ENGINEER
815.356.3605

PUBLIC WORKS:
100 W. WOODSTOCK ST.
CRYSTAL LAKE, IL 60014
MICHAEL MAGNUSON
815.356.3614

ENGINEERING:
c/o VILLAGE OF CRYSTAL LAKE
ABBY WILGREEN
CITY ENGINEER
AWILGREEN@CRYSTALLAKE.ORG
815.459.2020

FIRE DEPARTMENT

CRYSTAL LAKE FIRE DEPARTMENT
100 W. WOODSTOCK ST.
CRYSTAL LAKE, IL 60014
PAUL DERAEDT
FIRE RESCUE CHIEF
815.356.3640

SEWER & STORM WATER PROVIDER

CRYSTAL LAKE PUBLIC WORKS
100 W. WOODSTOCK ST.
CRYSTAL LAKE, IL 60014
MICHAEL MAGNUSON
815.356.3614

UTILITIES

WATER:
CITY OF CRYSTAL LAKE
ABBY WILGREEN
AWILGREEN@CRYSTALLAKE.ORG
815.459.2020

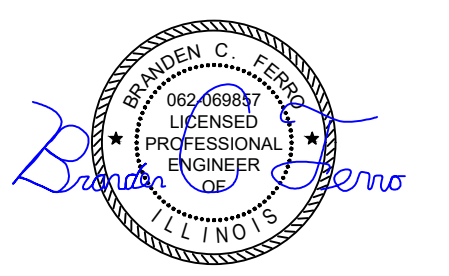
GAS:
NICOR
GASMAPS@NICOR.COM
888.642.6748

ELECTRIC:
COMED
800.334.7661

TELECOM:
AT&T
G11629@ATT.COM
800.288.2020

COMCAST
MARTHA GIERAS
MARTHA_GIERAS@COMCAST.COM
866.594.1234





CHRISTOPHER ENRIGHT ARCHITECTS

628 E. Parent Avenue
Suite 100
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

Consultant

Project

Belle Tire Crystal Lake, IL

6119 Northwest Hwy
Crystal Lake, IL 60014

Sheet

DEMOLITION PLAN

Issued for

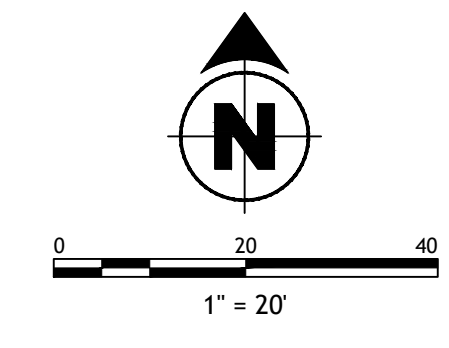
PERMIT: SEPTEMBER 13, 2022
CRYSTAL LAKE REVIEW #1: NOVEMBER 28, 2022

Project Number

21-980

Sheet Number

C-100



LEGEND

- FULL DEPTH ASPHALT PAVEMENT REMOVAL
- SAWCUT CLEAN LINES AND MILL 1" ASPHALT PAVEMENT FOR OVERLAY
- CURB LINE REMOVAL
- FULL DEPTH SAWCUT LINE

NOTES

- REFER TO GENERAL NOTES ON SHEET C-001 AND C-002 FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION COMPLETELY. STRIP TOPSOIL COMPLETELY AND STOCKPILE FOR REDISTRIBUTION. SEE EROSION CONTROL PLANS.
- ANY UNSUITABLE SOILS IN STRUCTURAL FILL AREAS SHALL BE ADDRESSED PER THE GEOTECHNICAL REPORT RECOMMENDATIONS.
- DIMENSIONS ARE TO FACE OF CURB.
- ANY CONTRACTOR DAMAGE TO EXISTING PAVEMENT OR CURBS TO REMAIN SHALL BE REMOVED AND RESTORED TO PROPOSED SPECIFICATIONS.
- EXISTING CONDITIONS ARE AS SHOWN PER SURVEY BY OTHERS. REFER TO SHEETS ALTA 1 OF 2 AND ALTA 2 OF 2.

REFERENCE BENCHMARKS

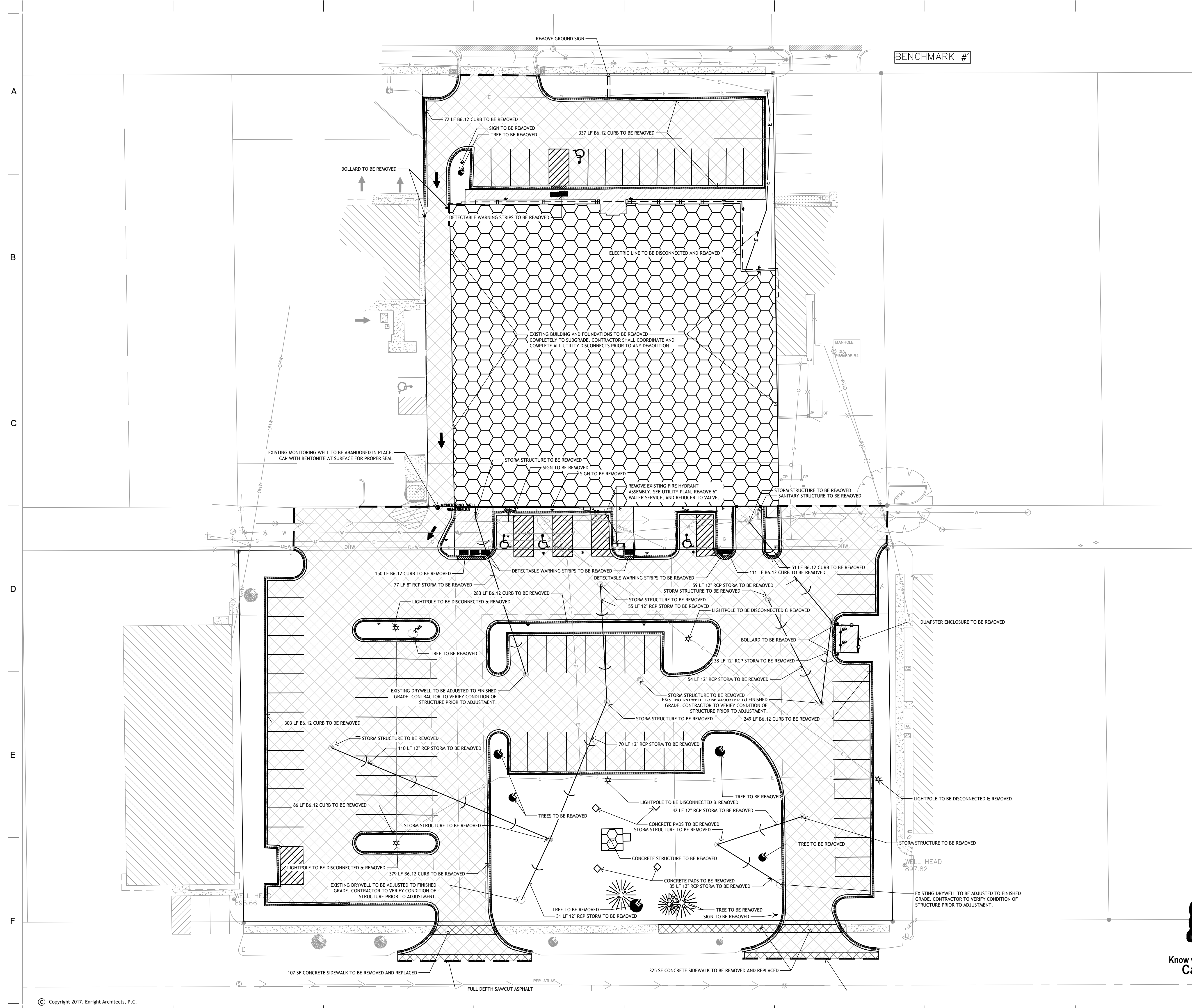
REFERENCE BENCHMARK:
MCHENRY COUNTY STATION NUMBER 6934
DESIGNATION: CRYSTAL LAKE - 2A

DATUM: NAVD83
ELEVATION = 928.35

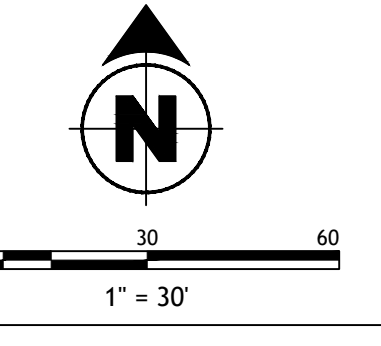
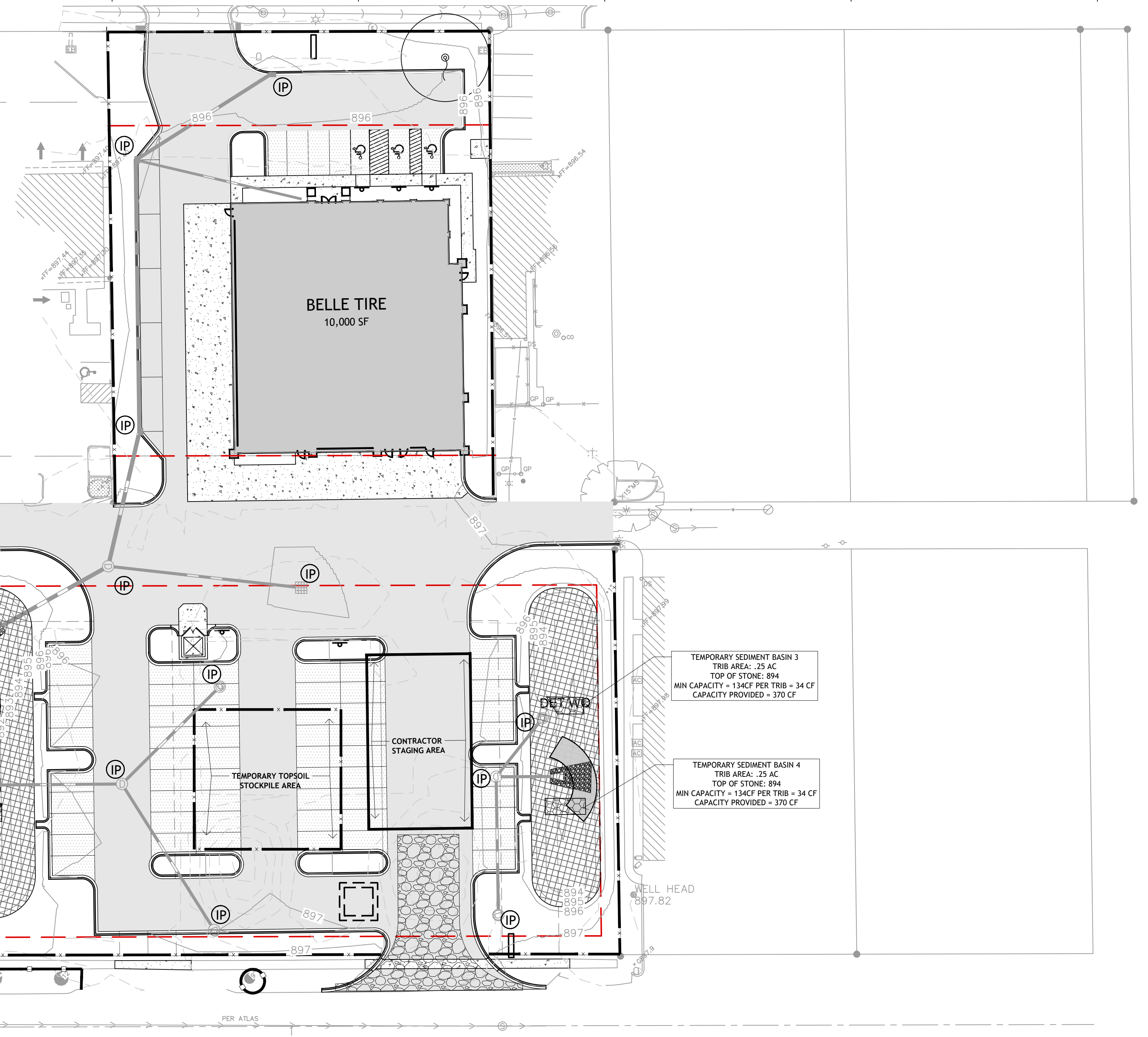
SITE BENCHMARKS:

SITE BENCHMARK #1
CROSS CUT ON SOUTHEAST CORNER OF TRAFFIC SIGNAL.
MANHOLE LOCATED NEAR THE NORTHEAST CORNER OF SITE.
ELEVATION = 895.60

SITE BENCHMARK #2
NORTHWEST BONNET BOLT ON FIRE HYDRANT ALONG THE NORTH SIDE OF HIGHLAND PARKWAY (U.S. ROUTE 14) ACROSS FROM SITE.
ELEVATION = 897.52



A
B
C
D
E
F

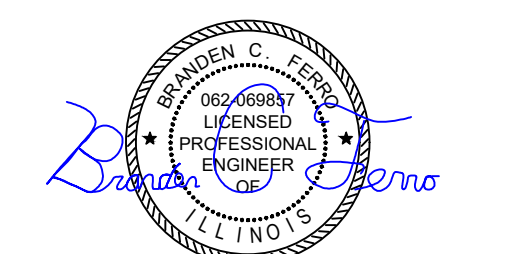


LEGEND

[Symbol]	E31 SILT FENCE
[Symbol]	E32 CONSTRUCTION ENTRANCE
[Symbol]	E33 CONCRETE WASHOUT
[Symbol]	E34 RIP RAP
[Symbol]	E35 CULVERT INLET PROTECTION
[Symbol]	E36 DROP INLET PROTECTION
[Symbol]	E37 EROSION CONTROL BLANKET
[Symbol]	E38 TEMPORARY SEDIMENT BASIN
[Symbol]	E39 TREE PROTECTION FENCING

- GENERAL NOTES**
- ALL EROSION CONTROL PRACTICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL STANDARDS AND SPECIFICATIONS AND ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) REQUIREMENTS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP, MAINTAIN AND PROVIDE THE PROPER INSPECTION DOCUMENTATION FOR THE STORMWATER POLLUTION PREVENTION PLAN.
 - THE AUTHORITY HAVING JURISDICTION MAY INSPECT THE SITE AND REQUIRE ADDITIONAL EROSION CONTROL MEASURES TO BE INSTALLED BY AND AT THE SOLE COST TO THE CONTRACTOR.
 - ALL GRADES SHOWN ON THIS PLAN ARE FINISHED PAVEMENT OR TOP OF GROUND GRADES. ALL LANDSCAPE AND GRASS AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL.
 - REFER TO THE LANDSCAPE PLAN FOR ALL FINAL STABILIZATION MEASURES AND PLANT MATERIALS.

- CRYSTAL LAKE NOTES**
- CONTROL MEASURES SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ILLINOIS URBAN MANUAL UNLESS STATED OTHERWISE. (ADOPTED 11-17-2020 BY ORD. NO. 7071)
 - SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE DISTURBED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL STABILIZATION IS ACHIEVED.
 - SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, DEVELOPMENT SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
 - STABILIZATION BY SEEDING SHALL INCLUDE TOPSOIL PLACEMENT AND FERTILIZATION, AS NECESSARY.
 - NATIVE SEED MIXTURES SHALL INCLUDE RAPID-GROWING ANNUAL GRASSES OR SMALL GRASS TO PROVIDE INITIAL, TEMPORARY SOIL STABILIZATION.
 - OFF-SITE PROPERTY SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT CONCENTRATED DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL, AS NECESSARY TO PREVENT EROSION.
 - SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF TRIBUTARY AREAS.
 - STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH-DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED WITHIN ONE WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH-DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 CALENDAR DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED BELOW:
 - WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECIPITATED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE; AND
 - IN AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD MAY BE USED.
 - DISTURBANCE OF STEEP SLOPES SHALL BE MINIMIZED. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH STAKED-IN-PLACE SOD, EROSION CONTROL BLANKETS IN COMBINATION WITH SEEDING, OR AN EQUIVALENT CONTROL MEASURE.
 - PERIMETER CONTROL MEASURES SHALL BE PROVIDED DOWNSLOPE AND PERPENDICULAR TO THE FLOW OF RUNOFF FROM DISTURBED AREAS, WHERE THE TRIBUTARY AREA IS GREATER THAN 5,000 SQUARE FEET, AND WHERE RUNOFF WILL FLOW IN A SHEET FLOW MANNER. PERIMETER EROSION CONTROL SHALL ALSO BE PROVIDED AT THE BASE OF SOIL STOCKPILES.
 - THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION DOWNSLOPE FROM DISTURBED AREAS. INLET PROTECTION THAT REDUCES SEDIMENT LOADING, WHILE ALLOWING RUNOFF TO ENTER THE INLET, SHALL BE REQUIRED FOR ALL STORM SEWERS, CHECK DAMS, OR AN EQUIVALENT CONTROL MEASURE. ACCEPTABLE CONTROL MEASURES SHALL BE REQUIRED FOR ALL CHANNELS, FILTER FABRIC INLET PROTECTION AND STRAW BALE BENCH CHECKS ARE NOT ACCEPTABLE CONTROL MEASURES.
 - IF DECONTAMINATION SERVICES ARE USED, DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT TRAP OR AN EQUIVALENT CONTROL MEASURE). THE ENFORCEMENT OFFICER SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF DECONTAMINATION ACTIVITIES.
 - ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OF THE DEVELOPMENT SITE IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NECESSARY. TRAPPED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
 - STOCKPILED SOIL AND MATERIALS SHALL BE REMOVED FROM FLOOD HAZARD AREAS AT THE END OF EACH WORK DAY. SOIL AND MATERIALS STOCKPILED IN HWY OR BUFFER AREAS SHALL BE PLACED ON TAMPER MATS, OR AN EQUIVALENT CONTROL MEASURE.
 - EFFECTIVE CONTROL MEASURES SHALL BE UTILIZED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE DEVELOPMENT SITE. AT A MINIMUM, CONTROL MEASURES SHALL BE IMPLEMENTED IN ORDER TO:
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER; AND
 - MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, VEHICLE FLUIDS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ON THE DEVELOPMENT SITE TO PRECIPITATION AND TO STORMWATER.
 - ADEQUATE RECEPTACLES SHALL BE PROVIDED FOR THE DEPOSITING OF ALL CONSTRUCTION MATERIAL DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE APPLICANT SHALL NOT CAUSE OR PERMIT THE DUMPING, DISPOSING, DROPPING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT SITE, CHANNEL, OR HWY. THE DEVELOPMENT SITE SHALL BE MAINTAINED FREE OF CONSTRUCTION MATERIAL DEBRIS.
 - THE ENFORCEMENT OFFICER MAY REQUIRE ADDITIONAL OR ALTERNATE SOIL EROSION AND SEDIMENT CONTROL MEASURES, BASED ON DEVELOPMENT-SITE-SPECIFIC CONSIDERATIONS AND THE EFFECTIVENESS OF THE INSTALLED CONTROL MEASURES.



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 100
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrigharchitects.com

EROSION CONTROL MAINTENANCE SCHEDULE

EROSION CONTROL MEASURE	MAINTENANCE
CONSTRUCTION ENTRANCE	INSPECT WEEKLY, AFTER STORM EVENTS, AND AFTER HEAVY USE; RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL; TOP DRESS WITH CLEAN STONE AS NEEDED; REMOVE ALL MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS IMMEDIATELY
SILT FENCE	INSPECT AFTER STORM EVENTS; REPAIR ANY AREAS OF DECOMPOSITION OR DAMAGE TO FENCE MATERIAL; REMOVE SEDIMENT AT DEPTH OF ONE HALF FENCE HEIGHT AT LOWEST POINT OR IF FABRIC BULGES; AVOID UNDERMINING DURING CLEANOUT
EXISTING INLET PROTECTION	WEEKLY, AFTER STORM EVENTS, AND AS NEEDED
TREE PROTECTION	WEEKLY, AFTER STORM EVENTS, AND AS NEEDED
TEMPORARY DIVERSIONS	INSPECT WEEKLY AND AFTER EACH STORM EVENT; REMOVE SEDIMENT FROM CHANNEL AND REINFORCE RIDGE AS NEEDED; REPAIR OUTLET DAMAGE IMMEDIATELY; REMOVE SEDIMENT FROM TRAPS WHEN SOIL FULL; WHEN WORK AREA IS STABILIZED, REMOVE RIDGE, FILL CHANNEL, REMOVE TEMPORARY SLOPE DRAINS, AND STABILIZE ALL DISTURBED AREAS
TEMPORARY SEDIMENT TRAP	INSPECT AFTER STORM EVENTS; REMOVE SEDIMENT AT ONE HALF DESIGN DEPTH; REPLACE SPILLWAY GRAVEL FACING IF CLOGGED; REPAIR EROSION AND HOLES AS NEEDED; REPLACE DISPLACED RIPRAP
TEMPORARY SEEDING	INSPECT PERIODICALLY TO VERIFY ADEQUATE ESTABLISHMENT OF VEGETATIVE; RESEED AND MULCH AS NEEDED; INSPECT AFTER STORM EVENTS AND REPAIR EROSION DAMAGE; TOP DRESS FILL SEEDED WHEAT OR RYE SEEDINGS WITH 50 LBS./AC OF NITROGEN IN FEBRUARY OR MARCH IF NITROGEN DEFICIENCY IS APPARENT; WATER AS NEEDED
PERMANENT SEEDING	INSPECT PERIODICALLY AND AFTER STORM EVENTS UNTIL VEGETATIVE STAND IS ESTABLISHED; ADD FERTILIZER AFTER GROWING SEASON PER SOIL TEST RECOMMENDATIONS; REPAIR DAMAGED, BARE, OR SPARSE AREAS BY FILLING, REPREPARING THE SEED BED, FERTILIZING, AND/OR SEEDING AND MULCHING
EROSION CONTROL BLANKET	INSPECT FOR AREAS OF EROSION BELOW THE BLANKET AFTER EACH STORM EVENT; REPAIR AREAS OF EROSION BY REMOVING AFFECTED PORTION OF BLANKET, ADD SOIL, RESEED, RELAY AND STAPLE BLANKET; INSPECT PERIODICALLY AFTER VEGETATION IS ESTABLISHED
STRAW BALES	INSPECT THE BALES AFTER EACH STORM EVENT; REMOVE SEDIMENT DEPOSITS TO PROVIDE STORAGE FOR THE NEXT STORM BEING CAREFUL NOT TO DAMAGE OR UNDERCUT THE BALES; REPLACE DAMAGED OR DEGRADED BALES IMMEDIATELY
INLET PROTECTION	INSPECT FABRIC BARRIER AFTER STORM EVENTS AND MAKE NEEDED REPAIRS IMMEDIATELY; REMOVE SEDIMENT FROM THE POOL AREA WHILE AVOIDING DAMAGING OR UNDERCUTTING THE FABRIC
SEED, SOD & LANDSCAPE AROUND UNITS FINISHED	KEEP SOD MOIST UNTIL FULLY ROOTED; WATER AS NEEDED

TEMPORARY SEEDING SPECIES, RATES AND DATES

Species	Lbs./Acre	Lbs./1000 ft. ²	Seeding Dates
Oats	90	2	Early spring – July 1
Cereal Rye	90	2	Early spring – Sept. 30
Wheat	90	2	Early spring – Sept. 30
Perennial Ryegrass	25	0.6	Early spring – Sept. 30

NOTE: SEEDBED PREP, MULCHING, SPREADING AND FERTILIZING SHALL FOLLOW ILLINOIS URBAN MANUAL CURRENT PRACTICE STANDARDS.

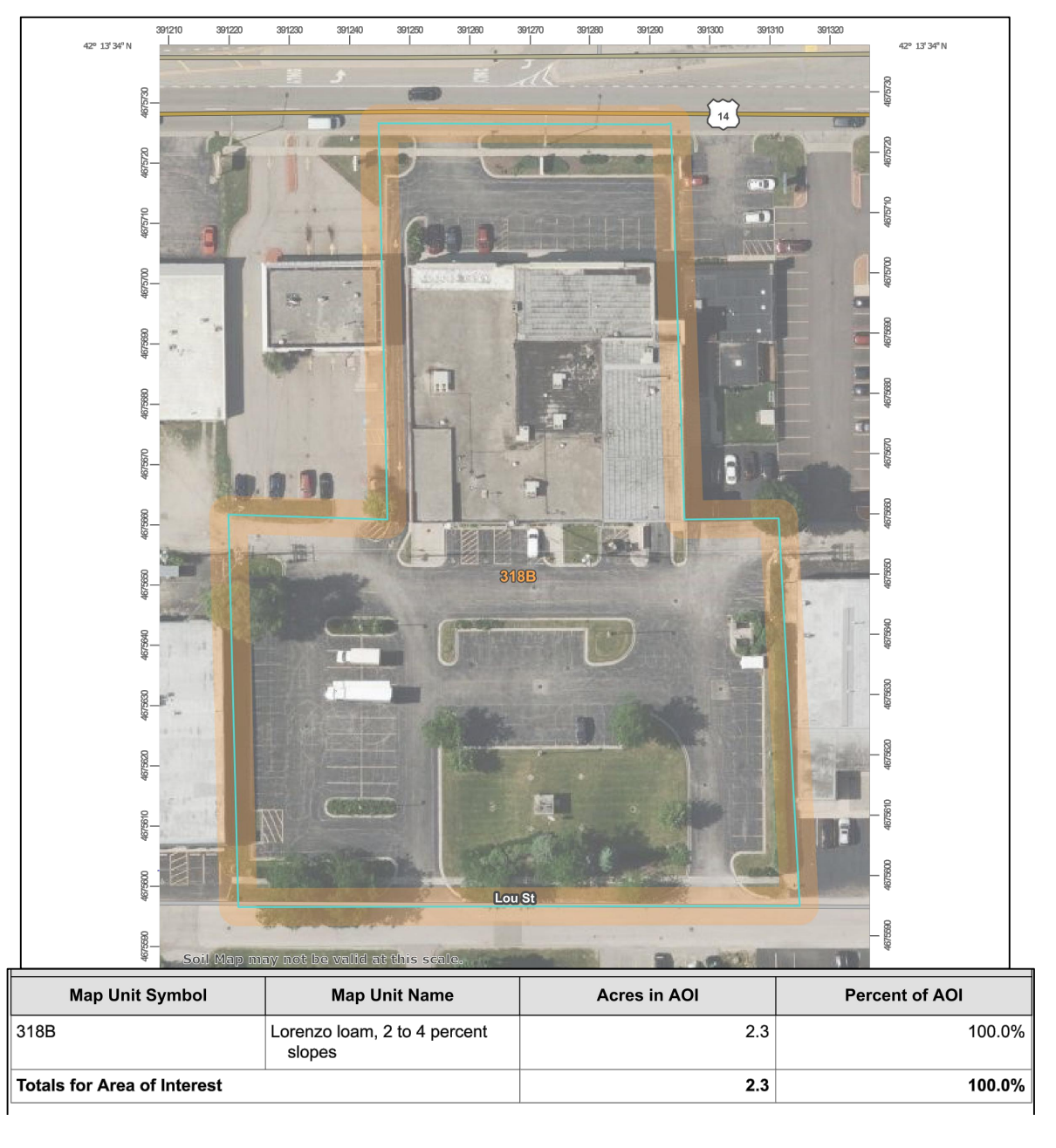
EROSION CONTROL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF MCHENRY)

THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

ILLINOIS LICENSED PROFESSIONAL ENGINEER
NO. 062-069557
LICENSE EXPIRES:
NOVEMBER 30, 2023

BRANDEN C. FERRO DATE



ANTICIPATED SCHEDULE

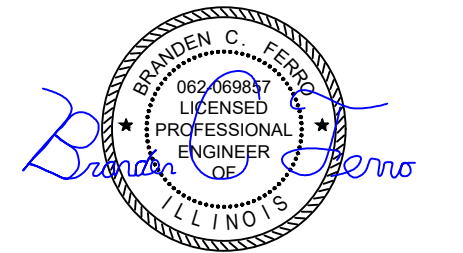
- MARCH 2023 - START CONSTRUCTION
- APRIL - JULY 2023 - CONSTRUCTION PERIOD
- AUGUST 2023 - STORE OPEN

ON-SITE SWPPP CONTACT

NAME: QUENTIN JEFFRIES
COMPANY: BELLE TIRE
ADDRESS: 1000 ENTERPRISE DR., ALLEN PARK, MI 48011
PHONE: 313.271.9400



- CONSTRUCTION SEQUENCE**
- CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL NOTICE OF INTENT (NOI) APPROVAL FROM ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) AND APPROVAL TO PROCEED FROM THE LOCAL AUTHORITY HAVING JURISDICTION.
 - THE CONTRACTOR WILL ASSIGN AN ON-SITE REPRESENTATIVE TO TAKE OWNERSHIP OF AND BE RESPONSIBLE FOR COMPLYING WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). AT A MINIMUM, SITE INSPECTION AND LOGS ARE REQUIRED AFTER EVERY 1/2" RAINFALL AND/OR A MINIMUM OF ONCE A WEEK.
 - ALL WEEKLY NPDES INSPECTION REPORTS (AND THOSE AFTER 1/2" RAINFALL) SHALL BE SENT TO JRODS@PEMDEVILLE.ORG
 - NOTIFY THE IEPA AND THE WILL COUNTY SOIL AND WATER CONSERVATION DISTRICT (SWCD) 815.462.3106 WITHIN 48 HRS OF STARTING CONSTRUCTION. SCHEDULE A PRECONSTRUCTION MEETING WITH LOCAL AUTHORITY.
 - POST SWPPP AND CONTACT INFORMATION AT THE CONSTRUCTION ENTRANCE. INCLUDE COPY OF NOI. THE SWPPP SHOULD BE ON-SITE AND AVAILABLE WITHIN 72 HRS OF A REQUEST.
 - INSTALL CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROL MEASURES, CULVERT AND INLET PROTECTION ON EXISTING STRUCTURES TO REMAIN.
 - STAMP TOPSOIL AND STOCKPILE ACCORDING TO IUM STD., CLEAR AND GRUB AS INDICATED ON THE PLANS.
 - COMPLETE MASS EARTHWORK, INSTALL STORM SEWER SYSTEMS, PERIMETER SWALES, ANY SEDIMENT TRAPS OR DETENTION PONDS.
 - DUST SHALL BE KEPT TO A MINIMUM BY UTILIZING SPRINKLING, CALCIUM CHLORIDE, VEGETATIVE COVER, SPRAY ON ADHESIVES OR OTHER APPROVED METHODS.
 - ANY AREAS LEFT DISTURBED FOR 7 DAYS SHALL BE TEMPORARILY RESEED.
 - INSTALL PROPOSED SYSTEM EROSION CONTROL MEASURES, INCLUDING DROP INLET PROTECTION, EROSION CONTROL BLANKET, CONCRETE WASHOUT, ETC.
 - FINE GRADE BUILDING PAD AND PARKING LOTS. INSTALL REMAINING UTILITIES AND COMPLETE BUILDING FOUNDATIONS.
 - INSTALL CURBS, STONE AND ASPHALT TO BINDER COURSE, AND COMPLETE ALL REQUIRED RECORD DRAWINGS AS RESULTS.
 - INSTALL LANDSCAPING, AND COMPLETE BUILDING. APPLY TEMPORARY SEEDING AS NEEDED TO DISTURBED AREAS.
 - ONCE ALL CONSTRUCTION COMPLETE, ADD SURFACE COAT OF ASPHALT. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL FINAL LANDSCAPING IS IN PLACE AND 70% OF VEGETATION ESTABLISHED.
 - COMPLETE SWPPP NOTICE OF TERMINATION (NOT) AND SUBMIT TO LOCAL SWCD, IEPA AND LOCAL AUTHORITY.



CHRISTOPHER ENRIGHT ARCHITECTS

628 E. Parent Avenue
Suite 100
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

Contract

Project

Belle Tire Crystal Lake, IL

6119 Northwest Hwy
Crystal Lake, IL 60014

Sheet

UTILITY PLAN

Issued for

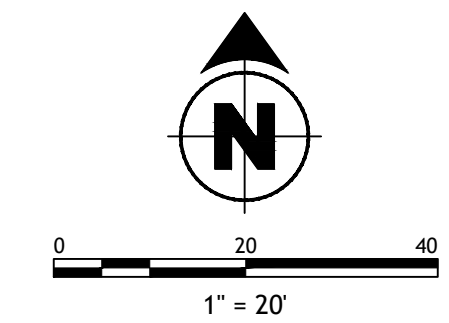
PERMIT: SEPTEMBER 13, 2022
CRYSTAL LAKE REVIEW #1: NOVEMBER 28, 2022

Project Number

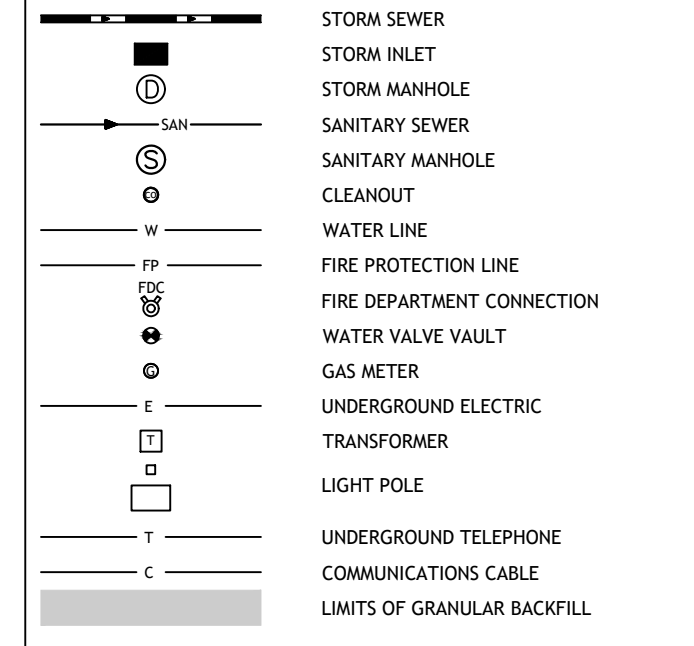
21-980

Sheet Number

C-400



LEGEND



UTILITY CROSSINGS

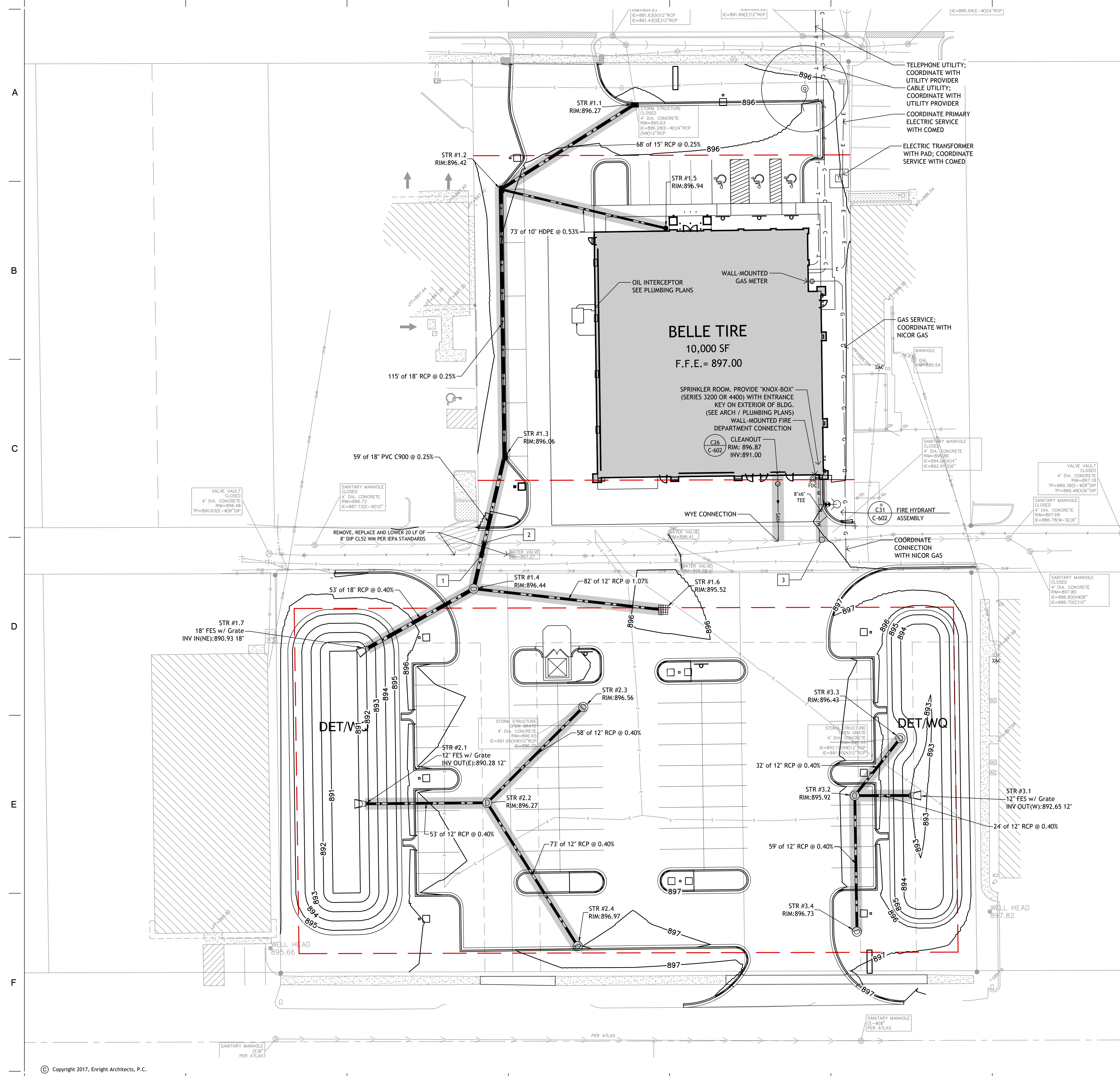
1	15" STORM B.O.P.	891.11
	8" WATER T.O.P.	889.60
2	15" STORM B.O.P.	891.13
	10" SANITARY T.O.P.	888.51
3	8" WATER B.O.P.	890.44
	10" SANITARY T.O.P.	888.07

NOTES

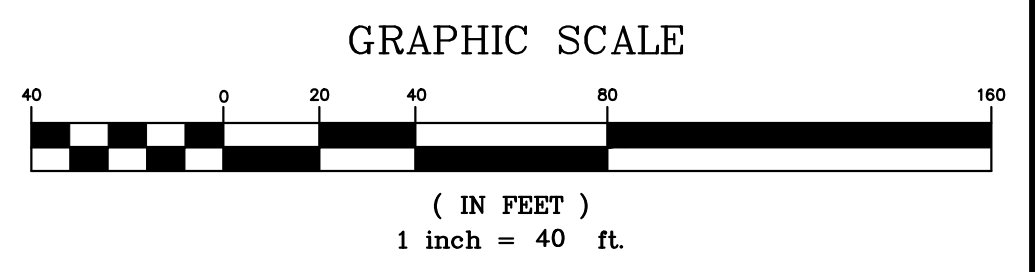
- REFER TO GENERAL NOTES ON SHEET C-001 AND C-002 FOR ADDITIONAL STANDARDS AND SPECIFICATIONS, AS WELL AS DETAIL SHEETS.
- CONTRACTOR BE CONSCIOUS OF DAMAGING THE PAINT ON THE HYDRANTS DURING INSTALLATION. THE CITY OF CRYSTAL LAKE HAS FOUND THAT THE PAINT ON THE HYDRANTS CAN BE DAMAGED DURING BACKFILLING. IF REQUESTED BY THE CITY OF CRYSTAL LAKE WATER SUPERINTENDENT, ANY HYDRANTS EXHIBITING EXCESSIVE ROCK DAMAGE WILL BE SAND-BLASTED AND REPAINTED BY AN APPROVED CONTRACTOR PRIOR TO ACCEPTANCE.
- A MINIMUM OF 48 HOURS PRIOR TO ANY WATER USAGES (I.E. FLUSHES, FILLS, ETC.), THE CONTRACTOR MUST CALL THE CITY OF CRYSTAL LAKE'S WATER DEPARTMENT AT 815-356-3614 TO GET APPROVAL OF SAID USAGE. ANY UNAUTHORIZED USAGES WILL RESULT IN PENALTIES.
- ALL VALVES AND HYDRANTS SHALL BE SUBMITTED TO THE CITY OF CRYSTAL LAKE WATER DEPARTMENT FOR WRITTEN APPROVAL PRIOR TO ORDERING.
- ALL PROPOSED WATER MAINS SHALL MAINTAIN THE FOLLOWING MINIMUM SEPARATION FROM ALL OTHER SEWERS:
5.1. 10" HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE
5.2. 18" VERTICALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE
- CONTRACTOR REFER TO WATER AND SEWER SEPARATION DETAIL C29 ON C-603 FOR ALL WATER MAIN CROSSINGS.
- ANY CONTRACTOR DAMAGE TO EXISTING PAVEMENT OR CURBS TO REMAIN SHALL BE REMOVED AND RESTORED TO PROPOSED SPECIFICATIONS.
- FOR CLOSED LID STORM STRUCTURES, SANITARY MANHOLES AND WATER VAULT, FRAME AND COVER SHALL BE EAST JORDAN 150521 WITH 1000# LID EMBOSSED WITH THE RESPECTIVE "STORM", "SANITARY", OR "WATER" AND "CITY OF CRYSTAL LAKE".

STORM STRUCTURE TABLE						
NAME	DESCRIPTION	RIM	SUMP	INVERTS	CASTING	DETAIL
1.1	Inlet, Type A	896.27	892.00	15 RCP (SW): 892.00	R-3281-A	(C17) (C60)
1.2	Manhole, Type A, 48"	896.42	891.58	15 RCP (NE): 891.83 10 HDPE (E): 892.61 18 RCP (S): 891.58	R-3281-A	(C60) (C67)
1.3	Manhole, Type A, 48"	896.06	891.29	18 RCP (N): 891.29 18 PVC C900 (S): 891.29	R-3281-A	(C60) (C67)
1.4	Catch Basin, Type A, 48" W/ 24R BMP Snout Hood on Outlet	896.44	887.14	18 PVC C900 (N): 891.14 12 RCP (E): 891.64 18 RCP (SW): 891.14	R-1713	(C60) (C61) (C67)
1.5	Cleanout	896.94	893.00	10 HDPE (W): 893.00		(C60)
1.6	Inlet, Type A	895.52	892.52	12 RCP (W): 892.52	R-3472	(C17) (C60)
2.2	Manhole, Type A, 48"	896.27	890.07	12 RCP (W): 890.07 12 RCP (NE): 890.07 12 RCP (SE): 890.07	R-1713	(C60) (C67)
2.3	Existing Drywell 3	896.56	887.00	12 RCP (SW): 889.84	R-1713	
2.4	Existing Drywell 4	896.97	881.00	12 RCP (NW): 889.78	R-1713	
3.2	Manhole, Type A, 48"	895.92	892.55	12 RCP (E): 892.55 12 RCP (NE): 892.55 12 RCP (S): 892.55	R-1713	(C60) (C67)
3.3	Existing Drywell 2	896.43	890.00	12 RCP (SW): 892.43	R-1713	
3.4	Existing Drywell 1	896.73	882.00	12 RCP (N): 892.32	R-1713	

NOTE: ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".



ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY



AREA SUMMARY
(TO HEAVY LINES)
PARCEL 1: 32,404 SQUARE FEET OR 0.744 ACRES
PARCEL 2: 51,492 SQUARE FEET OR 1.182 ACRES
TOTAL: 83,896 SQUARE FEET OR 1.926 ACRES
(BASED ON MEASURED VALUES)

STRIPED PARKING DATA

PARCEL 1
REGULAR SPACES: 14
ACCESSIBLE SPACES: 1
PARCEL 2
REGULAR SPACES: 67
ACCESSIBLE SPACES: 0
TOTAL SPACES: 81



LEGAL DESCRIPTION

PARCEL 1
LOT B IN JOHN E. SHERMAN'S RE-SUBDIVISION, BEING A RE-SUBDIVISION OF THE WEST HALF OF LOT 3 AND ALL OF LOTS 4 AND 5 IN JOHN PFEIFFER'S SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 4, 1987 AS DOCUMENT NO. 87R06671, IN MCHEENRY COUNTY, ILLINOIS.

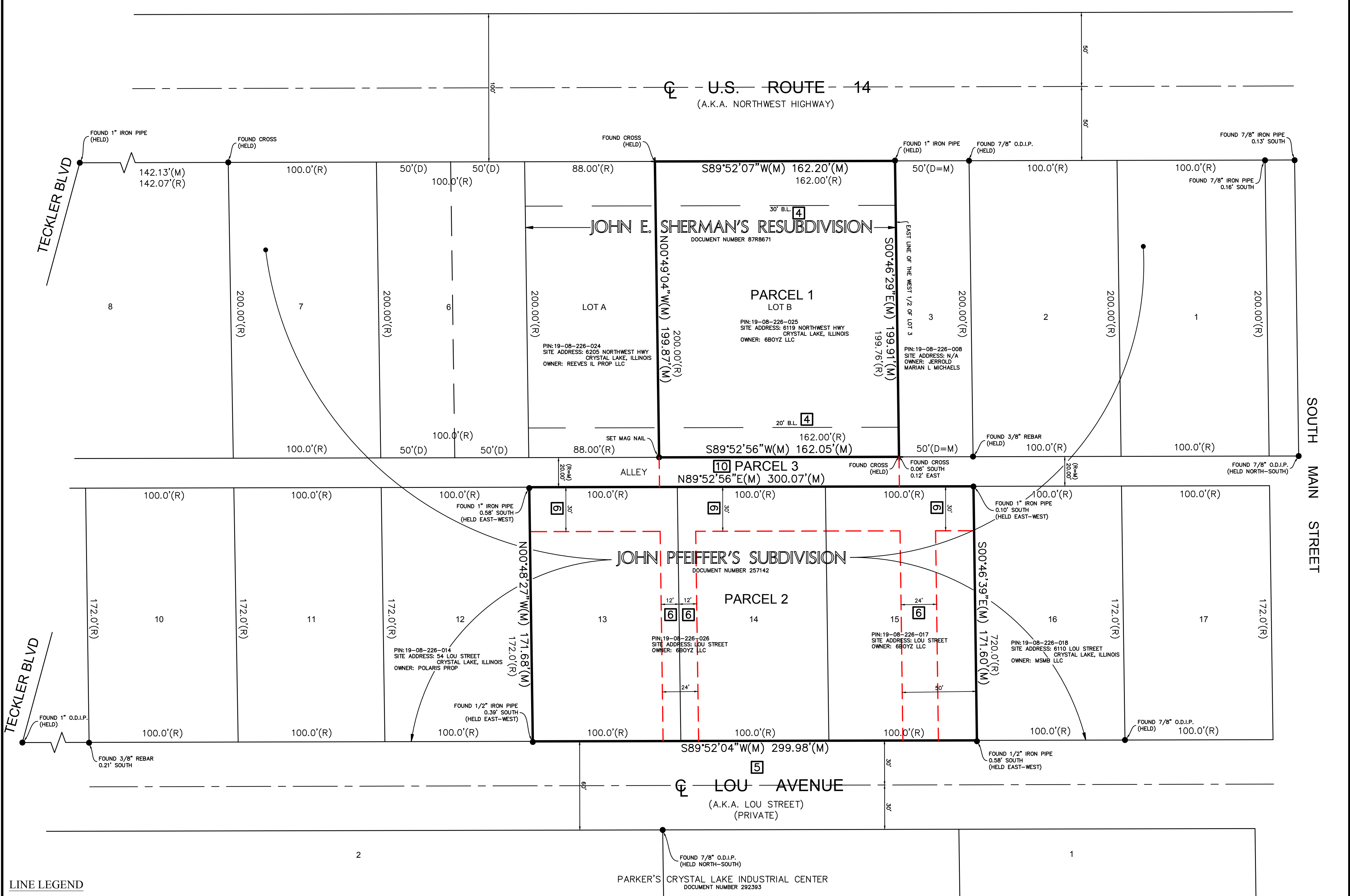
PARCEL 2
LOTS 13, 14 AND 15 IN JOHN PFEIFFER'S SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 12, 1952 AS DOCUMENT NUMBER 257142, IN BOOK 11 OF PLATS, PAGE 62, IN MCHEENRY COUNTY, ILLINOIS.

PARCEL 3
AN EASEMENT TO BE USED FOR THE PURPOSE OF PARKING OF VEHICLES, LOADING AND UNLOADING OF VEHICLES AND PEDESTRIAN ACCESS AS CREATED, LIMITED AND DEFINED BY THE INSTRUMENT RECORDED SEPTEMBER 4, 2001 AS DOCUMENT NO. 2001R0064604.

SCHEDULE B EXCEPTIONS
SHOWN OR NOTED HEREON

- 4 BUILDING LINE(S) AS SHOWN ON THE PLAT OF JOHN E. SHERMAN'S RESUBDIVISION RECORDED NOVEMBER 4, 1987 AS DOCUMENT 87R006671.
 - 5 NOTE: THE STREET DEPICTED AS LOU AVENUE ON THE PLAT OF JOHN PFEIFFER'S SUBDIVISION RECORDED SEPTEMBER 12, 1952 AS DOCUMENT 257142, IN BOOK 11 OF PLATS, PAGE 62 IS MARKED "PRIVATE".
 - 6 EASEMENT FOR ROAD RIGHT-OF-WAY AND ROADWAY MAINTENANCE IN FAVOR OF THE CITY OF CRYSTAL LAKE, ITS SUCCESSORS AND ASSIGNS, RECORDED SEPTEMBER 4, 2001 AS DOCUMENT 2001R0064604, AND THE TERMS AND PROVISIONS THEREOF.
 - 10 THE TERMS, PROVISIONS, CONDITIONS AND LIMITATIONS OF THE INSTRUMENT RECORDED SEPTEMBER 4, 2001 AS DOCUMENT 2001R0064604.
- THE FOLLOWING SCHEDULE B EXCEPTIONS ARE NOT SURVEY RELATED AND THEREFORE NOT SHOWN: PART ONE NUMBERS 1, 2, 3, 4, 5, AND 6, PART TWO NUMBERS 1, 2, 3, 7, 8 AND 9.

RESUBDIVISION OF LOTS 1 & 2 IN THE COMMONS OF CRYSTAL LAKE
DOCUMENT NUMBER 964327



LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

LEGEND

- FOUND 7/8" O.D.I.P. (HELD LOCATION)
- UNLESS OTHERWISE NOTED
- CONCRETE MONUMENT
- ✦ CROSS IN CONCRETE MANHOLE
- ⊕ STORM STRUCTURE
- ⊕ SANITARY MANHOLE
- ⊕ CLEANOUT
- ⊕ FLARED END SECTION
- ⊕ TRANSFORMER PAD
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC BOX
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC MARKER
- ⊕ ELECTRIC METER
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W/LIGHT
- ⊕ UTILITY POLE W/TSF
- ⊕ GUY POLE
- ⊕ OVERHEAD TRAFFIC SIGNAL
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ LIGHT
- ⊕ VALVE VAULT
- ⊕ FIRE HYDRANT
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ POST INDICATOR VALVE
- ⊕ SIAMESE WATER CONNECTION
- ⊕ WATER MARKER
- ⊕ WATER METER
- ⊕ VALVE BOX
- ⊕ SPRINKLER CONTROL VALVE
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE NETWORK INTERFACE
- ⊕ TELEPHONE MARKER
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE TELEVISION PEDESTAL
- ⊕ CONTROL BOX
- ⊕ WETLAND FLAG

BENCHMARKS

REFERENCE BENCHMARK:
MCHEENRY COUNTY STATION NUMBER 6934
DESIGNATION: CRYSTAL LAKE - 2A
ELEVATION = 928.35

SITE BENCHMARKS:
SITE BENCHMARK #1
CROSS OUT ON SOUTHEAST CORNER OF TRAFFIC SIGNAL MANHOLE LOCATED NEAR THE NORTHWEST CORNER OF SITE.
ELEVATION = 895.60

ABBREVIATIONS
O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
TF = TOP OF FOUNDATION
FF = FINISHED FLOOR
FES = FLARED END SECTION
VCP = VITRIFIED CLAY PIPE
DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED BEARING OR DISTANCE
N = NORTH
S = SOUTH
E = EAST
W = WEST
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING
W = WEST
E = EAST
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING

UTILITY CONTACTS

- DESIGN DIG #X221790887
VILLAGE OF PRAIRIE GROVE
3125 BARREVILLE RD, CRYSTAL LAKE, IL 60012
(815) 455-1411
- CABLE
COMCAST - MARTHIA GIERAS
224-229-5862
MARTHIA_GIERAS@COMCAST.COM
- ELECTRIC
COMED
630-576-7094
- GAS
NICOR GAS
GASMAPS@NICOR.COM
- COMMUNICATIONS
AT&T
G11629@ATT.COM
- MC/VERIZON
ASG.INVESTIGATIONSTEAM@ASGINC.US
CCI: INVESTIGATIONS@VERIZON.COM
G11629@ATT.COM
- EVERSTREAM GLC HOLDING CO, LLC - CHRIS BOWER
216W@EVERSTREAM.NET
- WATER / SANITARY / STORM
CITY OF CRYSTAL LAKE - ABBY WILGREEN
815-459-2020 X3746
AWILGREEN@CRYSTALLAKE.ORG

NOTES

1. THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AND EASEMENTS OF RECORD AS IDENTIFIED IN TITLE COMMITMENT NUMBER NCS-1135611-MICH ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF JUNE 27, 2022 AND A REVISED DATE OF SEPTEMBER 15, 2022.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), ZONE 1201 (ILLINOIS EAST).
3. THIS SITE FALLS WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 170476 0327 J, MAP NUMBER 17111C0327J, HAVING AN EFFECTIVE DATE OF NOVEMBER 16, 2006.
4. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS, AND IS BASED ON FIELD WORK PERFORMED ON 07/07/2022.
5. THE SURVEYOR CONTACTED J.U.L.I.E. (JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS) FOR AN ON-SITE LOCATE WHICH WAS ASSIGNED A DIG NUMBER OFX221817220. THE UTILITIES AS MARKED ON-SITE AT THE TIME OF THE SURVEY ARE SHOWN HEREON. ADDITIONALLY, THE SURVEYOR CONTACTED J.U.L.I.E. FOR A DESIGN STAGE REQUEST FOR THIS SITE WHICH WAS ASSIGNED A DIG NUMBER OFX221790887. INQUIRIES WERE SENT OUT TO THE VARIOUS UTILITY COMPANIES REQUESTING MAPS AND/OR ATLASES OF THEIR RESPECTIVE FACILITIES. THE INFORMATION RECEIVED TO DATE IS SHOWN HEREON.
6. IN ACCORDANCE WITH TABLE A ITEM 16, NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
7. IN ACCORDANCE WITH TABLE A ITEM 17, NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES BASED ON INFORMATION RECEIVED FROM THE CONTROLLING JURISDICTION AT THE TIME OF THE SURVEY. NO OBSERVED EVIDENCE OF RECENT SIDEWALK CONSTRUCTION OR REPAIRS. SOME SECTIONS OF CURB ON U.S. ROUTE 14 HAVE BEEN RECENTLY REPAIRED.
8. IN ACCORDANCE WITH TABLE A ITEM 6(A), A ZONING REPORT OR LETTER WAS NOT PROVIDED TO THE SURVEYOR FOR REVIEW.
9. JOHN PFEIFFER'S SUBDIVISION, RECORDED AS DOCUMENT 257142, IDENTIFIES LOU AVENUE AS "PRIVATE"; HOWEVER THE EAST-WEST ALLEY LYING BETWEEN PARCEL 1 AND PARCEL 2 OF THIS SURVEY IS NOT IDENTIFIED AS BEING PUBLIC OR PRIVATE.

SURVEYOR'S CERTIFICATION

TO: BARNES DEVELOPMENT COMPANY, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 7(B), 7(C), 8, 9, 11(A), 13, 14, 16, 17 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 8, 2022.

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2023

DATE OF PLAT OR MAP: JULY 21, 2022

BY: DANIEL W. WALTER
IL PROFESSIONAL LAND SURVEYOR NO. 3585
LICENSE EXPIRES 11/30/22

COMPASS SURVEYING LTD
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 630-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT
Belle Tire - Crystal Lake

CLIENT
Christopher Enright Architects
628 E. Parrett Avenue, Suite 100
Royal Oak, MI 48067

NO.	REVISIONS	DATE	BY
1.	PER EMAIL DATED 09-15-2022	09-21-22	RHM

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS. MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

811
Know what's below.
Call before you dig.