



#2022-86
Turnstone Senior Housing Phase 2 –
338 Station Drive – Conceptual PUD
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	April 20, 2022
<u>Request:</u>	Conceptual Planned Unit Development for 27 senior independent living apartment units.
<u>Location:</u>	338 Station Drive
<u>Acreage:</u>	Approximately 2 acres
<u>Zoning:</u>	B-2 PUD General Commercial
<u>Surrounding Properties:</u>	North: M Manufacturing South: B-2 PUD General Commercial East: B-2 PUD General Commercial and O PUD Office West: M PUD Manufacturing
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The site is a vacant lot. It is adjacent to the first phase of the Residences of Crystal Lake senior housing project. The first phase is a 60-unit senior independent living apartment building.
- When the first phase was approved, the use was classified as a Continuing Care Retirement Community. This use was allowed in the Office zoning district. This use would be classified as an Age-Restricted Independent Living per the current UDO definitions. This use is allowed as a Special Use Permit in the Office zoning district. The property would need to be rezoned to Office, similar to the first phase.

Development Analysis:

Land Use/Zoning

- The site is currently zoned B-2 General Commercial. It would need to be rezoned to O Office.
- The current land use is Office. This is an appropriate land use for the Office zoning district.

General

- The proposed project is 27 units of age-restricted senior apartments.
- This is the second phase of the project and will be able to utilize the services provided in the main building.

Site Layout

- Access into the site is from Station Drive and the driveway is across from the existing driveways to the east.
- A crosswalk between the two properties will be provided across Station Drive. This allows the residents to pass between the two properties.
- There is green space planned around the building. A larger patio and seating area was added to the southwest corner to address previous comments from the PZC.

Parking

- Traditional multi-family living requires (1.75 per one-bedroom + 2.25 per two-bedroom) 49 spaces. Continuing care retirement living requires (0.5 per unit) 13.5 spaces.
- The site is providing 30 parking spaces. This is sufficient for this type of use.
- Due to the pending legislation, some of these parking spaces will be equipped with electric vehicle charging infrastructure.

Building Elevations

- The building is very residential in character with a pitched gable roof, decorative trim around windows and doors, and soft colors.
- The building would be stone along the base with fiber cement board siding in both shingle-shake style and horizontal lap style.
- The colors are an Autumn Tan and Aqua Sea. They will compliment, but not be identical to the first phase.
- The peaked gable roofs and the small roof-top dormers break up the large expanse of the roofline.

Previous PZC Discussion from April 20, 2022:

Mr. Skluzacek was in favor of the project and said it looks very nice and those were affordable rents.

Mr. Gronow asked about the age restriction. He was a bit concerned with the parking provided, but noted it is clearly working for their residents.

Mr. Jouron liked the new color scheme of the second phase.

Ms. Teetsov appreciated the work done by the petitioners to provide affordability and accessible units to the community. She asked where outdoor gathering space was and if more amenities could be added.

Mr. Atkinson said it looks great and phase one looks very nice. He appreciates the diversity of housing in the community.

Mr. Greenman asked if there would be separate staff at this phase, to which the petitioner replied no that there was one manager between the two properties.

The Commission was supportive and encouraged the petitioner to move forward.

PIQ Map
338 Station Drive



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Residences of Crystal Lake 2

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input checked="" type="checkbox"/> Conceptual PUD Review | <input checked="" type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Turnstone Development

Address: 56 E. North Avenue Suite 100

Northlake, IL 60164

Phone: 312-453-0615

Fax: 312-453-0652

E-mail: hschneider@turnstonedev.org

Owner Information (if different)

Name: Same

Address: _____

Phone: _____

Fax: _____

E-mail: _____

Property Information

Project Description: Rezoning approximately 1.97 Acres of an existing parcel (Lot 4) from "B-2" to "O" and creating a conditional use to permit a 3-story active seniors apartment building (Gross building area of approximately 31,000 SF)

Project Address/Location: Approximately 1.97 Acres (Lot 4) located at the southwest corner of Congress Parkway and Station Drive in Crystal Lake, IL

Commonly known as: 338 Station Drive

PIN Number(s): 19-04-404-006

Development Team

Please include address, phone, fax and e-mail

Developer: Turnstone Development, 56 E. North Ave., Northlake, IL 60164 Attention: Bill Mr. Schneider -
bschneider@turnstonedev.org 312-453-0615

Architect: Groundwork, Ltd., 351 W. Dundee Rd., Buffalo Grove, IL 60559 Attention: Mr. John P. Green -
john@groundworkltd.com 847-541-4151

Attorney: N/A

Engineer: Groundwork, Ltd., 351 W Dundee Rd., Buffalo Grove, IL 60559 Attention: Mr. Marek Klonowski -
marek@groundworkltd.com 847-451-4151

Landscape Architect: Krogstad Land Design, Ltd. 17592 W. Patrick Lane, Surprise, AZ 85387 Attention: Mr.
Karl Krogstad - krogstad@landdesignlimited.com 815-529-1551

Planner: Groundwork, Ltd., 351 W. Dundee Rd., Buffalo Grove, IL 60559 Attention: Mr. John P. Green -
john@groundworkltd.com - 847-541-4151

Surveyor: CEMCON, Ltd., 2280 White Oak Circle, Suite 100, Aurora, IL 60502 Attention: Mr. Jeff Pankow,
P.L.S. - jeff.pankow@cemcon.com - 630-862-2100 - FAX: 630-862-2199

Other: N/A

Signatures

PETITIONER: Print and Sign name (if different from owner) Date

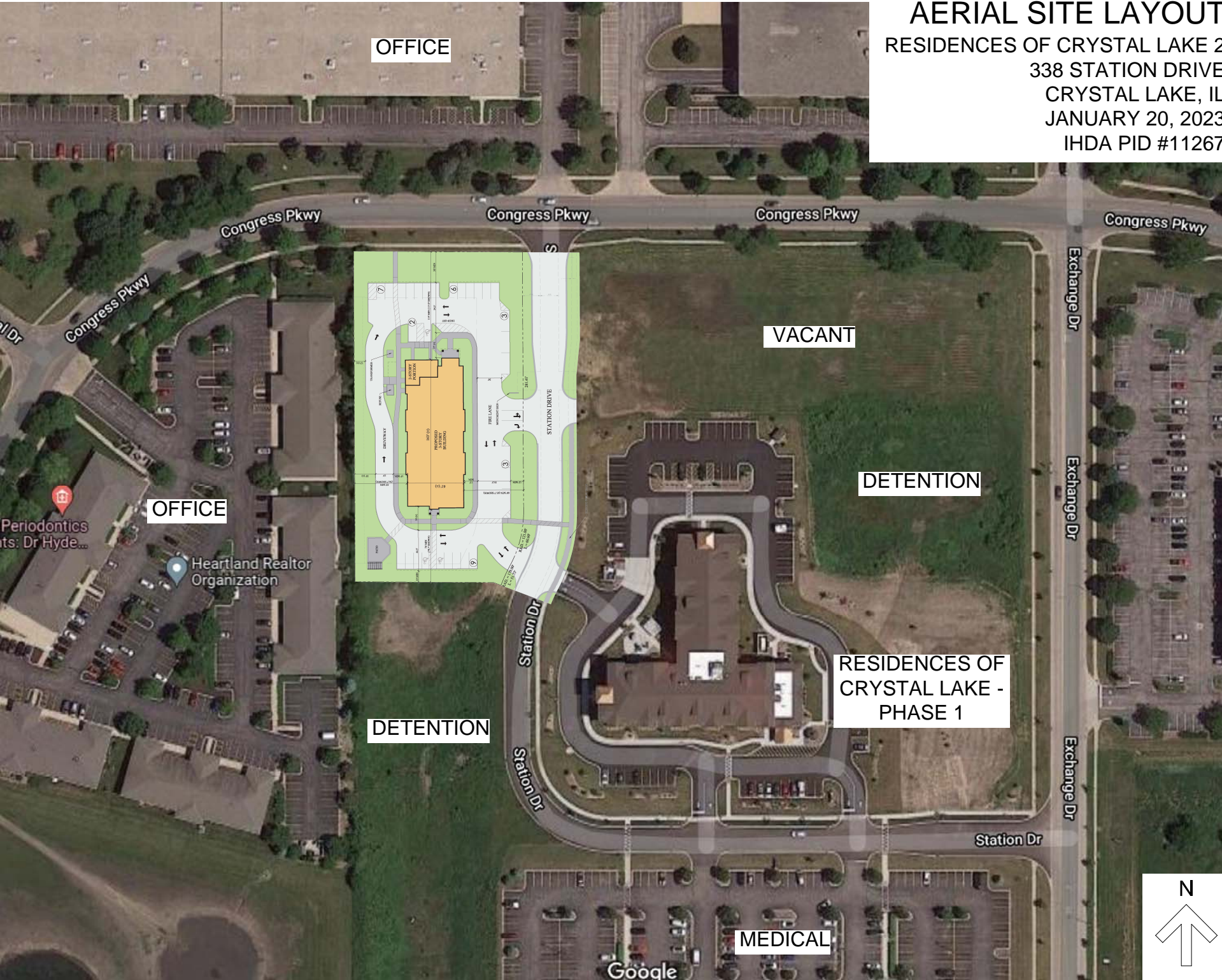
As owner of the property in question, I hereby authorize the seeking of the above requested action.

OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

AERIAL SITE LAYOUT

RESIDENCES OF CRYSTAL LAKE 2
338 STATION DRIVE
CRYSTAL LAKE, IL
JANUARY 20, 2023
IHDA PID #11267



OFFICE

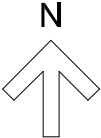
VACANT

DETENTION

RESIDENCES OF
CRYSTAL LAKE -
PHASE 1

DETENTION

MEDICAL



Google

Periodontics
ts: Dr Hyde...

OFFICE

Heartland Realtor
Organization

Congress Pkwy

Congress Pkwy

Congress Pkwy

Congress Pkwy

Exchange Dr

Exchange Dr

Exchange Dr

Station Dr

Station Dr

Station Dr

PRELIMINARY SITE PLAN

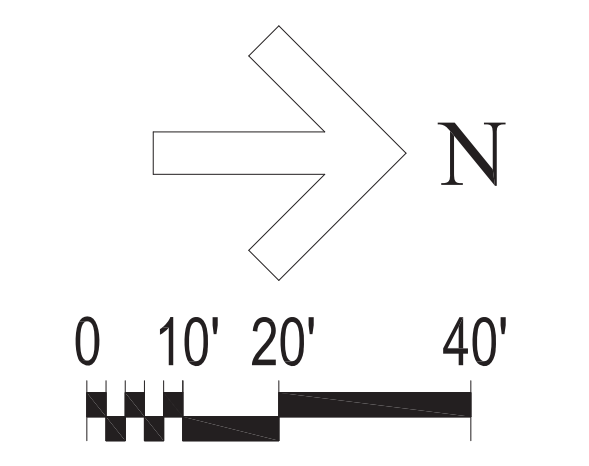
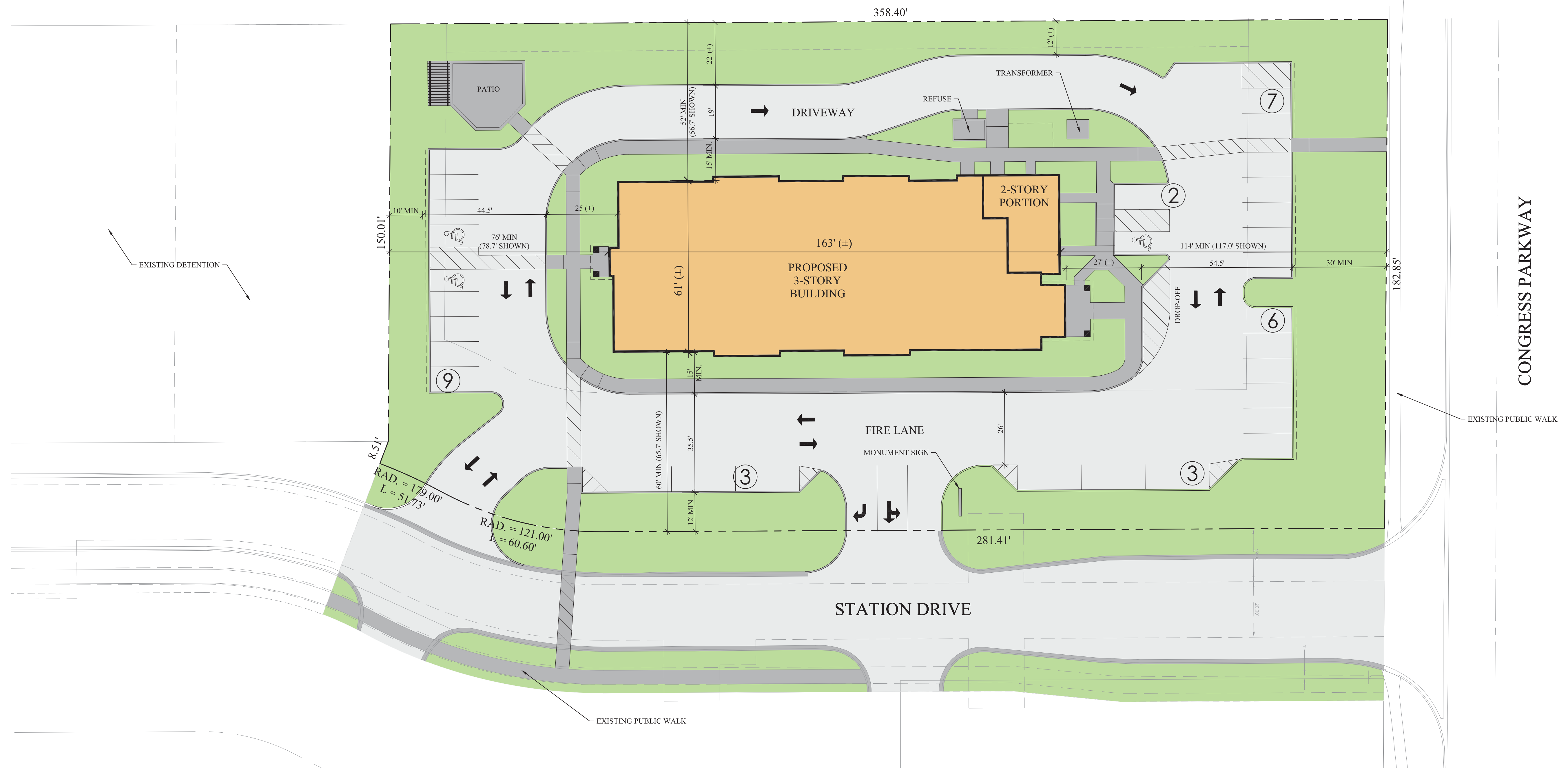
THREE STORY

RESIDENCES OF CRYSTAL LAKE 2
 338 STATION DRIVE
 CRYSTAL LAKE, IL
 JANUARY 20, 2023
 IHDA PID #11267

PROPOSED 3 STORY BUILDING
 23 1-BEDROOM UNITS
 4 2-BEDROOM UNITS
 27 UNITS

30 PARKING SPACES (1.11/DWELLING UNIT)

SITE AREA = 86,027 SF (1.97 AC)



Groundwork, Ltd.
 Architects / Planners / Engineers
 Ph. (847) 541-4151 © 2023
 www.groundworkltd.com

PLAT OF SURVEY

LOT 4 IN CONGRESS STATION 2, BEING A RESUBDIVISION OF LOT 2 AND OUTLOT 2 IN CONGRESS STATION, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 2019R0012873 IN MCHENRY COUNTY, ILLINOIS.

AREA OF SURVEY:

CONTAINING 86027 SQ. FT. OR 1.97 ACRES MORE OR LESS

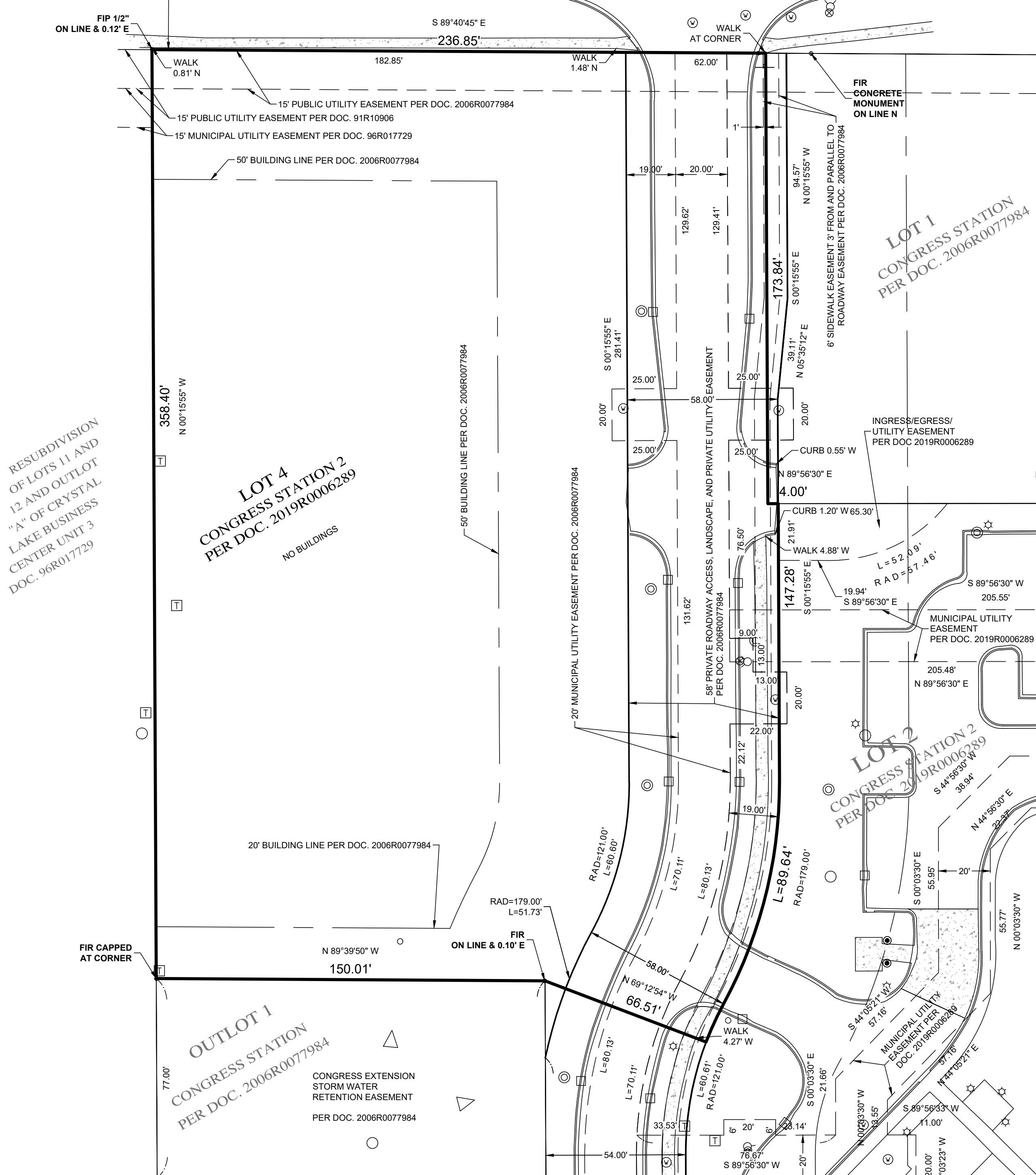


BASIS OF BEARING:
SOUTH LINE OF CONGRESS PARKWAY AS
FOUND MONUMENTED PER RECORD
SUBDIVISION.
S 89°40'45" E (ASSUMED)

LEGEND	
A = ASSUMED	NE = NORTHEAST
C = CALCULATED	NW = NORTHWEST
CH = CHORD	P.O.B. = POINT OF BEGINNING
CL = CENTERLINE	P.O.C. = POINT OF COMMENCEMENT
D = DEED	R = RECORD
E = EAST	RAD = RADIUS
F.I.P. = FOUND IRON PIPE	R.O.W. = RIGHT OF WAY
F.I.R. = FOUND IRON ROD	S = SOUTH
FT. = FEET/FOOT	S.I.P. = SET IRON PIPE
L = ARC LENGTH	S.I.R. = SET IRON ROD
M = MEASURED	SE = SOUTHEAST
N = NORTH	SW = SOUTHWEST
NE = NORTHEAST	W = WEST
	= CHAIN LINK FENCE
	= WOOD FENCE
	= METAL FENCE
	= VINYL FENCE
	= EASEMENT LINE
	= SETBACK LINE
	= INTERIOR LOT LINE

HERETOFORE DEDICATED FOR PUBLIC ROADWAY PER DOC. 91R10906

CONGRESS PARKWAY



RESUBDIVISION
OF LOTS 11 AND
12 AND OUTLOT
"A" OF CRYSTAL
LAKE BUSINESS
CENTER UNIT 3
DOC. 96R017729

LOT 4
CONGRESS STATION 2
PER DOC. 2019R0006289
NO BUILDINGS

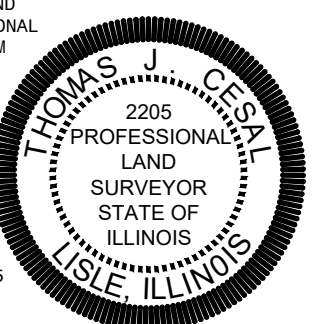
LOT 1
CONGRESS STATION
PER DOC. 2006R0077984

LOT 2
CONGRESS STATION 2
PER DOC. 2019R0006289

OUTLOT 1
CONGRESS STATION
PER DOC. 2006R0077984



STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.



DATED, THIS 21ST DAY OF JANUARY, A.D., 2022, AT LISLE, ILLINOIS.
Thomas J. Casal
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
LICENSE EXPIRATION DATE NOVEMBER 30, 2022
ILLINOIS BUSINESS REGISTRATION NO. 184-001245

Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

NOTE:
1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS LOT 4 CONGRESS STATION 2 RESUB CRYSTAL LAKE, ILLINOIS

CLIENT TURNSTONE DEVELOPMENT CORPORATION

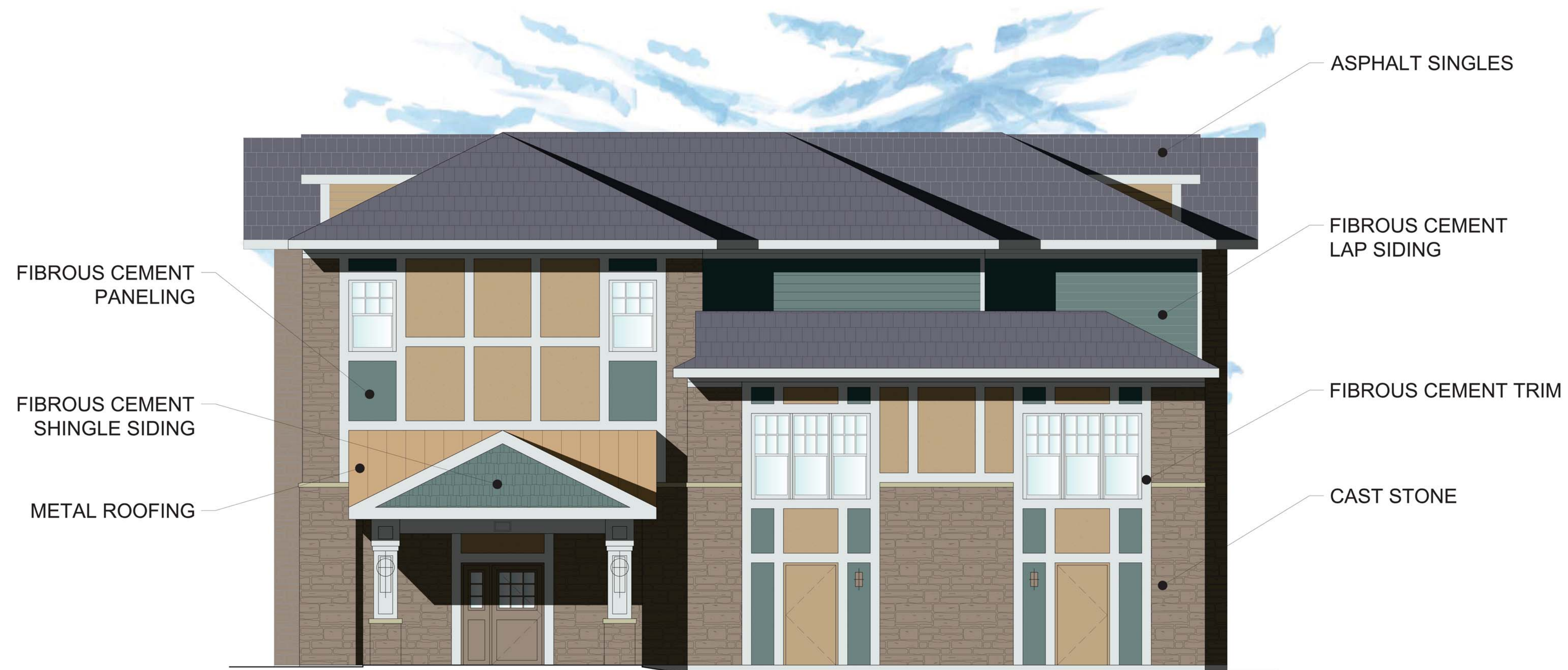
FIELDWORK DATE (CREW)
DRAWN BY: CJS REVISED: JOB NO. 18-07-1001

PRELIMINARY BUILDING
ELEVATIONS

RESIDENCES OF CRYSTAL LAKE 2
338 STATION DRIVE
CRYSTAL LAKE, IL
JANUARY 21, 2022
IHDA PID #12107



EAST ELEVATION



NORTH ELEVATION

**PRELIMINARY BUILDING
ELEVATIONS**

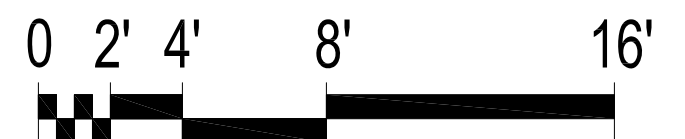
RESIDENCES OF CRYSTAL LAKE 2
338 STATION DRIVE
CRYSTAL LAKE, IL
JANUARY 21, 2022
IHDA PID #12107



WEST ELEVATION



SOUTH ELEVATION



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Architects / Planners / Engineers
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Fibrous Cement Panels and Shingle Siding
Color: Autumn Tan



Fibrous Cement Lap Siding
Color: Auqa Sea



Residences of Crystal Lake 2
Senior Housing
Preliminary Exterior Materials
January 21, 2022
IHDA PID #12107

Cast Stone
Color: Madison County



Fibrous Cement Facia Trim
Color: Arctic White



Roofing Shingles
Color: Colonial Slate



Note: Materials shown are preliminary and subject to change.
Significant color shifts may occur when printing.

PRELIMINARY FLOOR PLANS

RESIDENCES OF CRYSTAL LAKE 2

338 STATION DRIVE

CRYSTAL LAKE, IL

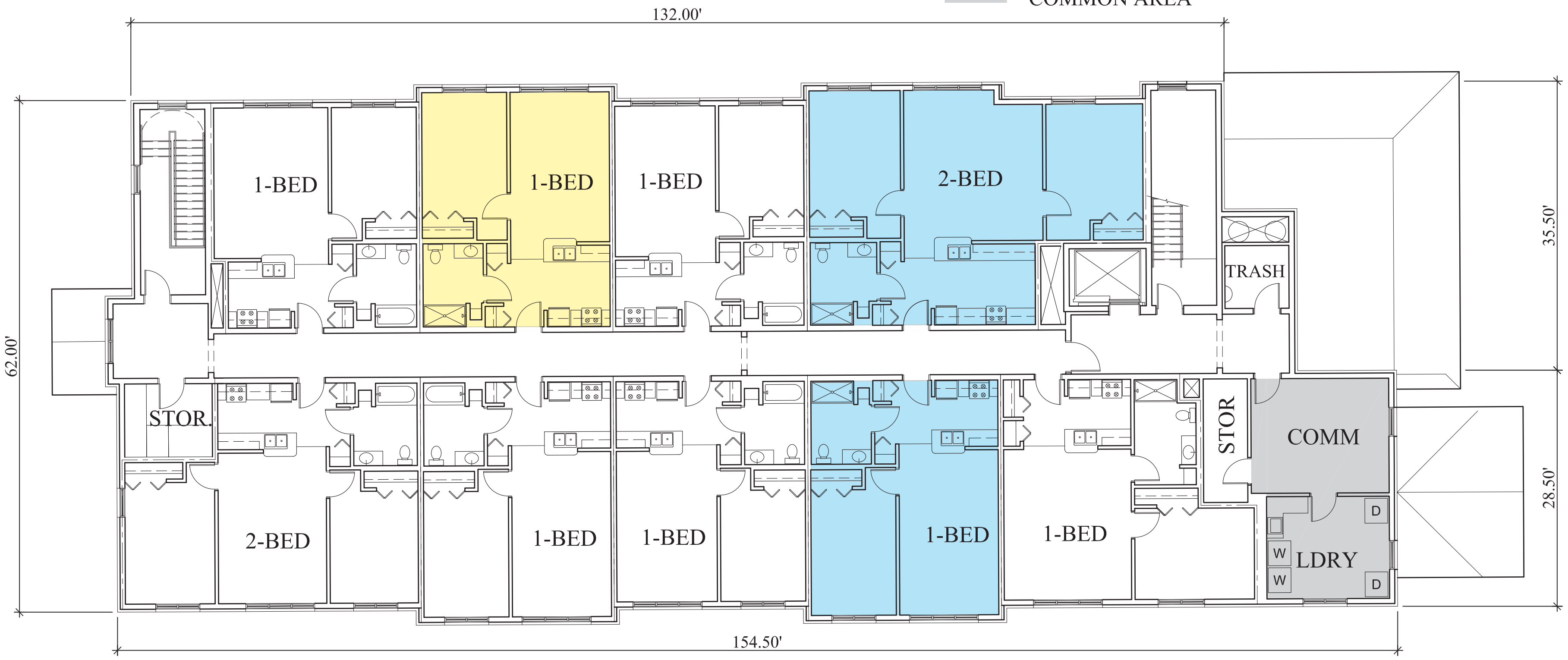
JANUARY 21, 2022

IHDA PID #12107

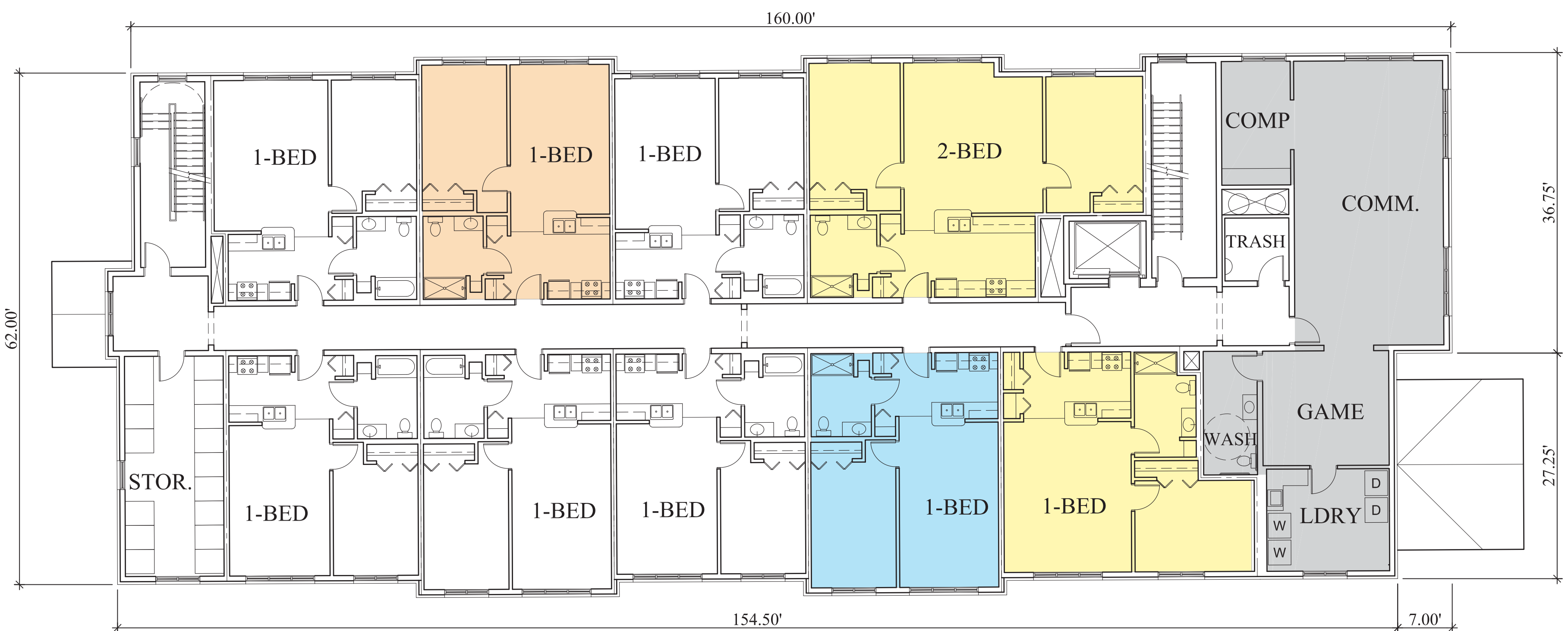
PROPOSED 3 STORY BUILDING
 23 1-BEDROOM UNITS
 4 2-BEDROOM UNITS
 27 UNITS

BUILDING AREA
 1ST FLOOR - 10,250 SF
 2ND FLOOR - 10,000 SF
 3RD FLOOR - 9,200 SF
 TOTAL - 29,450 SF
 (FAR = 0.34)

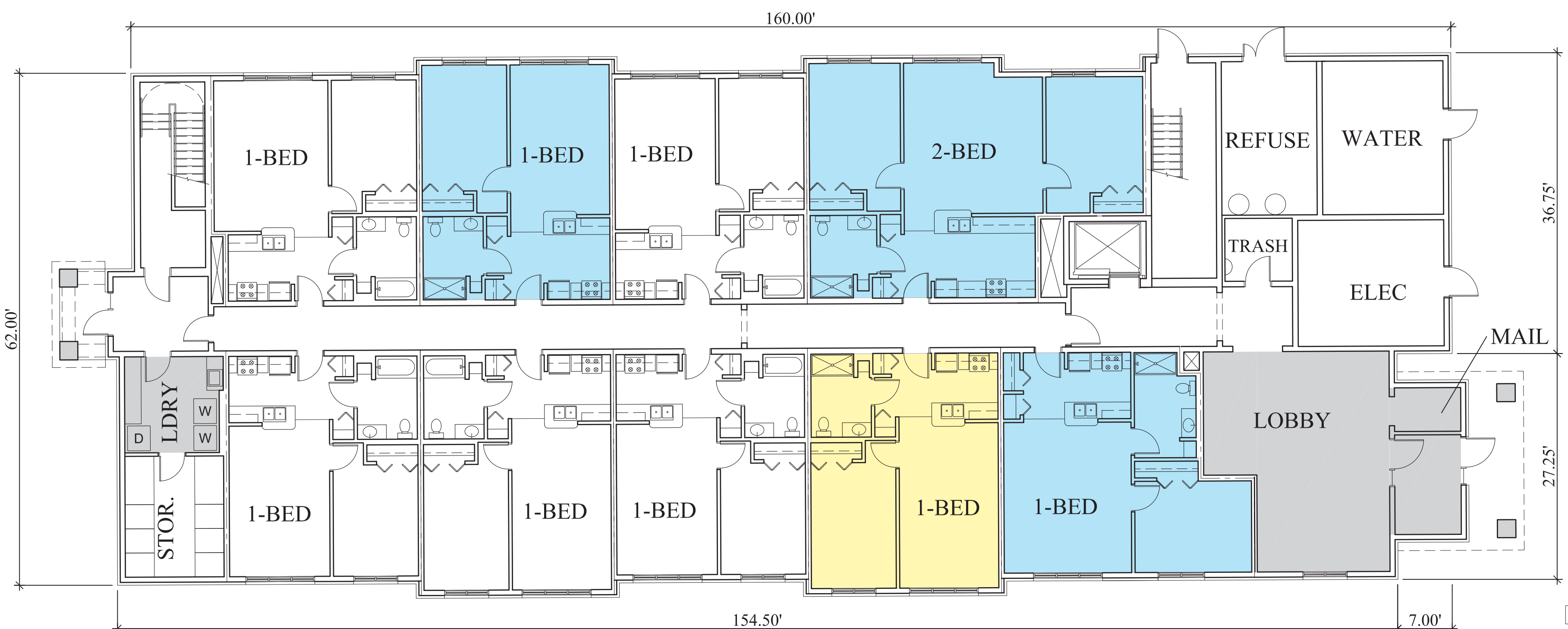
ACCESSIBLE 4 TOTAL
 ADAPTABLE 6 TOTAL
 SENSORY 1 TOTAL
 SHADED AREA INDICATES COMMON AREA



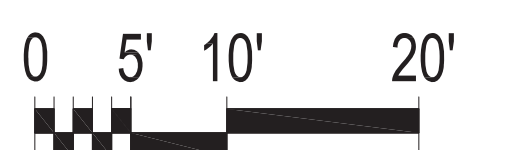
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



PRELIMINARY TYPICAL UNITS

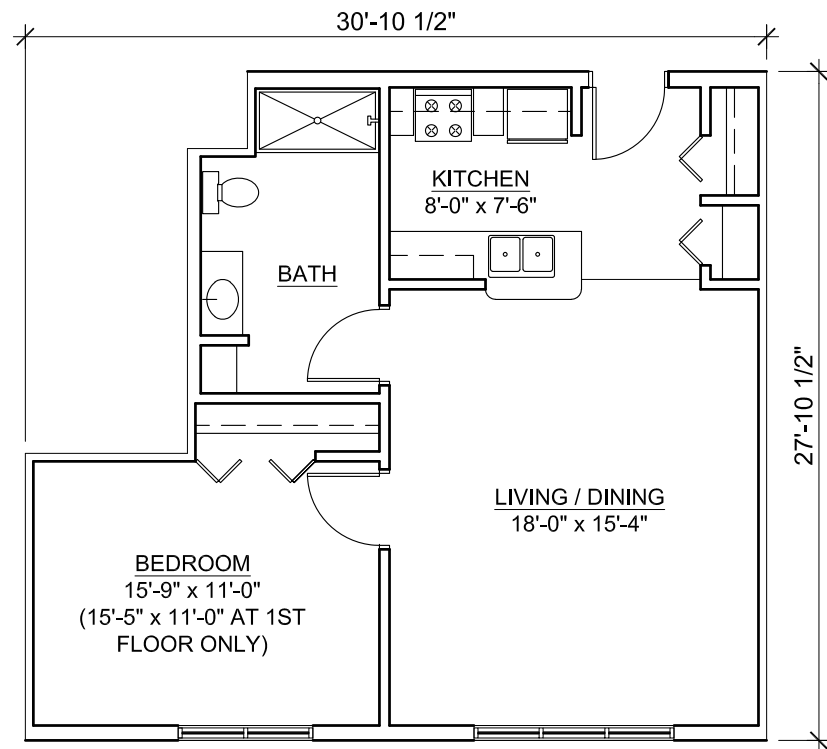
RESIDENCES OF CRYSTAL LAKE 2

388 STATION DRIVE

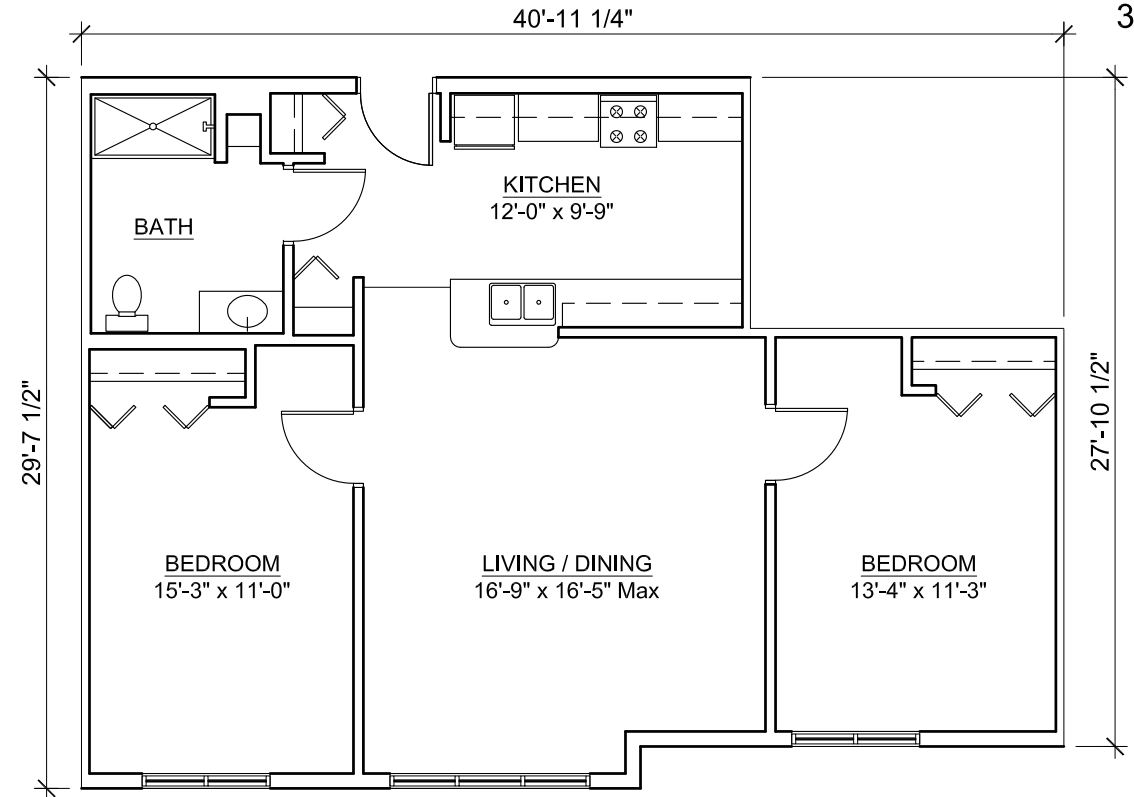
CRYSTAL LAKE, IL

JANUARY 21, 2022

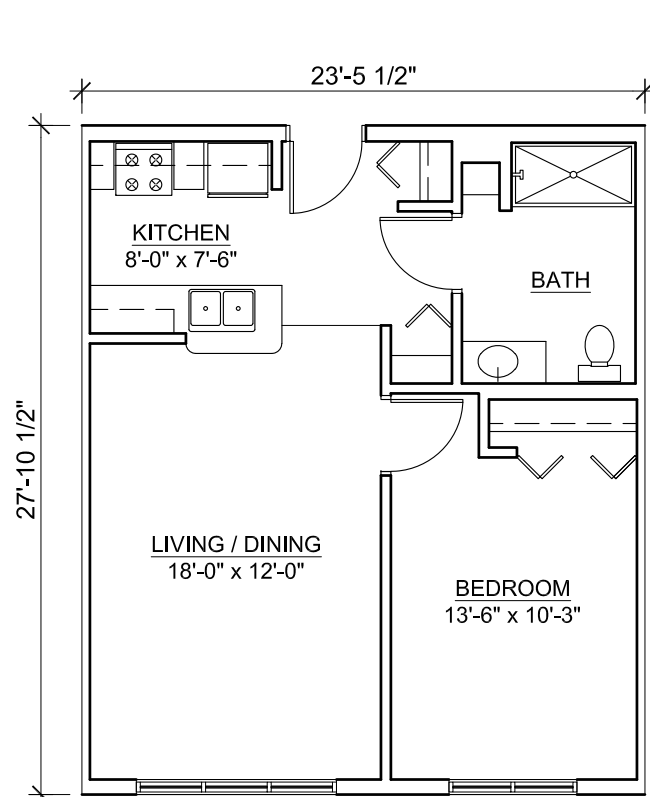
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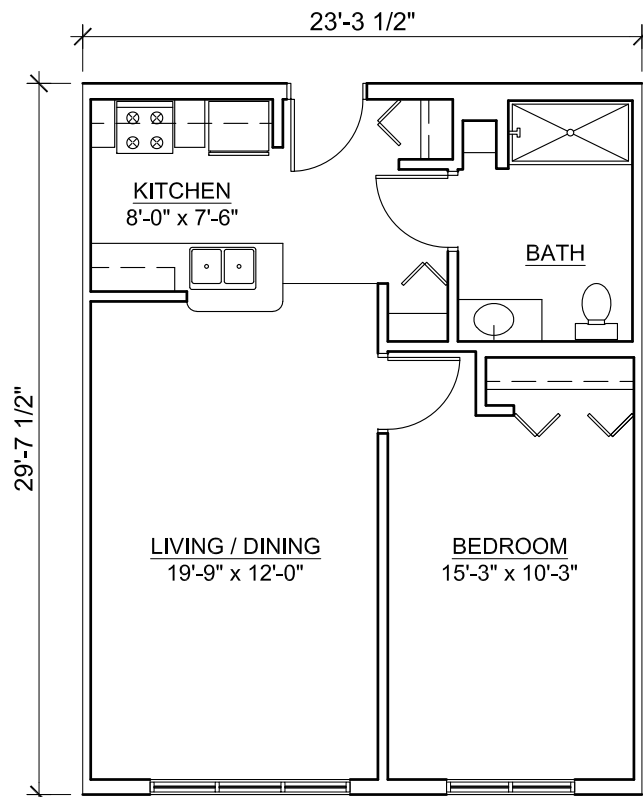
1D 740 SF GROSS
685 SF NET



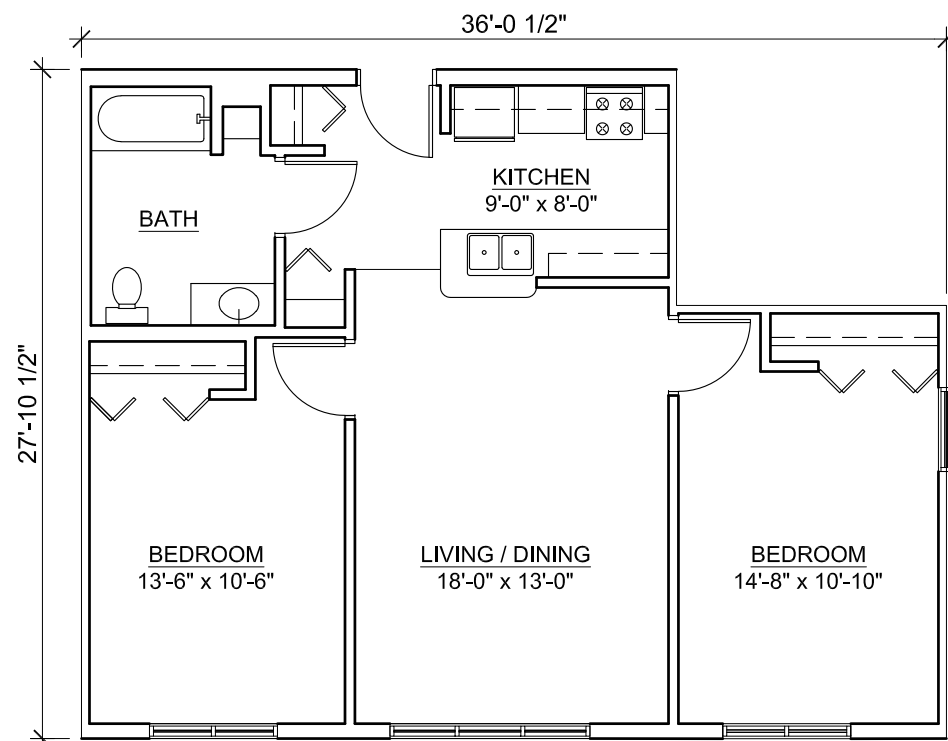
2B 1,045 SF GROSS
975 SF NET



1A 653 SF GROSS
605 SF NET



1C 690 SF GROSS
640 SF NET



2A 894 SF GROSS
832 SF NET

