



#2023-00002
583 Lake Avenue – Simplified Residential Variation
Project Review for Planning and Zoning Commission

Meeting Date: February 1, 2023

Requests: Simplified Residential Variations from:

1. Article 7-300 to allow the expansion of a non-conforming structure by increase in volume of nonconformity; and,
2. Article 3-200 to allow a 9.12-foot interior side yard setback, a variation of 2.88 feet from the 12-foot minimum side yard setback for a second story addition; and,
3. Article 3-200 to allow a 28.2-foot front yard setback, a variation of 1.8 feet from the 30-foot minimum front yard setback, for a balcony addition.

Location: 583 Lake Avenue

Acreage: Approximately 10,436 square feet

Existing Zoning: R-1 – Single-Family Residential

Surrounding Properties: North: RE – Residential Estate
South: R-1 – Single-Family Residential
East: R-1 – Single-Family Residential
West: RE – Residential Estate and R-1 – Single-Family Residential

Staff Contact: Katie Rivard (815.356.3612)

Background:

- The subject property is currently improved with a single-family residence.
- The principal structure is existing nonconforming as it has an interior side yard setback of 9.12 feet instead of the minimum required 12 feet.

Development Analysis:

General:

- Request: The petitioners are requesting variations to construct a second story addition above the existing garage and a balcony addition off of the main floor on the front of the principal structure.
- Land Use: The Comprehensive Land Use map shows the area as Urban Residential, which is an appropriate land use designation.
- Zoning: The site is zoned R-1 Single-Family Residential. Single-family residential is permitted in the R-1 zoning district.

Request Overview:

- The second story addition would follow the existing footprint of the principal structure, which has an existing nonconforming side yard setback of 9.12 feet instead of the minimum required 12 feet. As a result, this increases the volume of the nonconformity.
- The Unified Development Ordinance does permit the enlargement or structural alterations of an existing nonconforming building or structure in the appropriate zoning district, provided that the enlargement or alteration does not increase the nonconformity.
- The balcony addition would be at the front of the principal structure and would be setback 28.2 feet from the front property line instead of the required 30-foot front yard setback.
- The required and proposed principal structure setbacks are shown below.

	R-1 Requirement	Principal Structure Proposed Setbacks
Front Yard Setback	30 feet	28.2 feet (balcony addition)
Interior Side Yard Setback	12 feet	9.12 feet (second-story addition)
Combined Side Yard Setbacks	20 feet	17.93 feet (no change - existing non-conforming)
Rear Yard Setback	20 feet	>60 feet

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 7-300 to allow the expansion of a non-conforming structure by increase in volume of the nonconformity, and variations from Article 3-200 to allow a 9.12-foot interior side yard setback, a variation of 2.88 feet from the minimum 12-foot interior side yard setback for a second story addition and 28.2-foot front yard setback, a variation of 1.8 feet from the 30-foot minimum front yard setback for a second story balcony addition. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*
- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*
- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;
or
 Meets *Does not meet*
- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
 Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioners' request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Johnson, dated 01/06/23, received 01/09/2023)
 - B. Floor Plans (Hess Architects, received 01/09/2023)
 - C. Elevations (Hess Architects, received 01/09/2023)
2. The petitioners shall address all of the review comments and requirements of the Community Development and Engineering Departments.

PIQ Map
583 Lake Avenue





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: DAN Johnson & Laura Dzielski-Johnson

Address: 583 Lake Ave, Crystal Lake, IL 60014

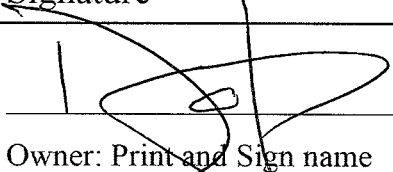
Phone: _____

E-mail: _____

Project Name & Description: Second floor addition above the existing garage area, and remodeling of the existing first floor spaces. The only addition to existing footprint will be two piers for new balcony.

Project Address/Location: 583 Lake Ave, Crystal Lake, IL 60014

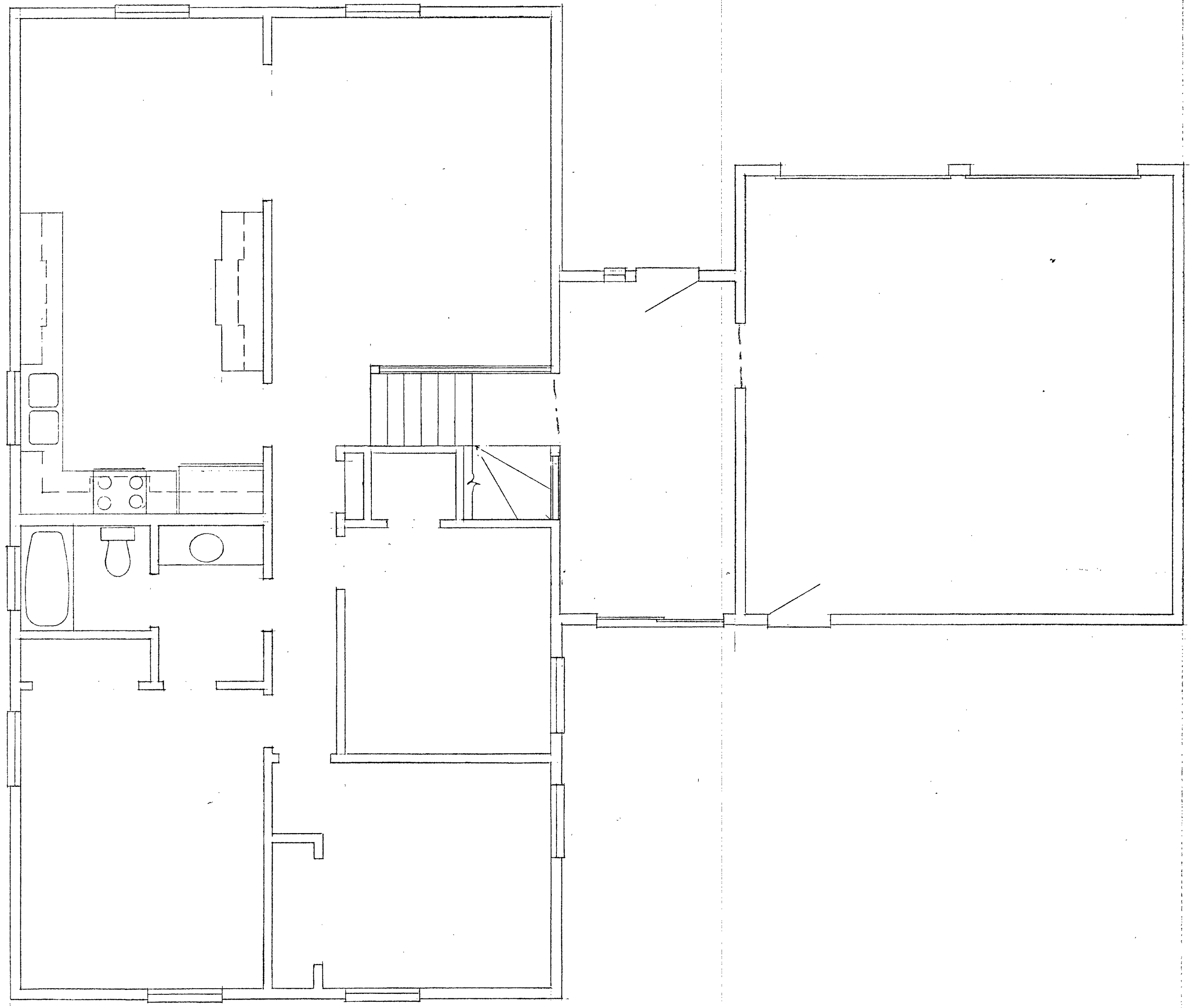
Signature

 Dan Johnson 1/10/2023
Owner: Print and Sign name Date

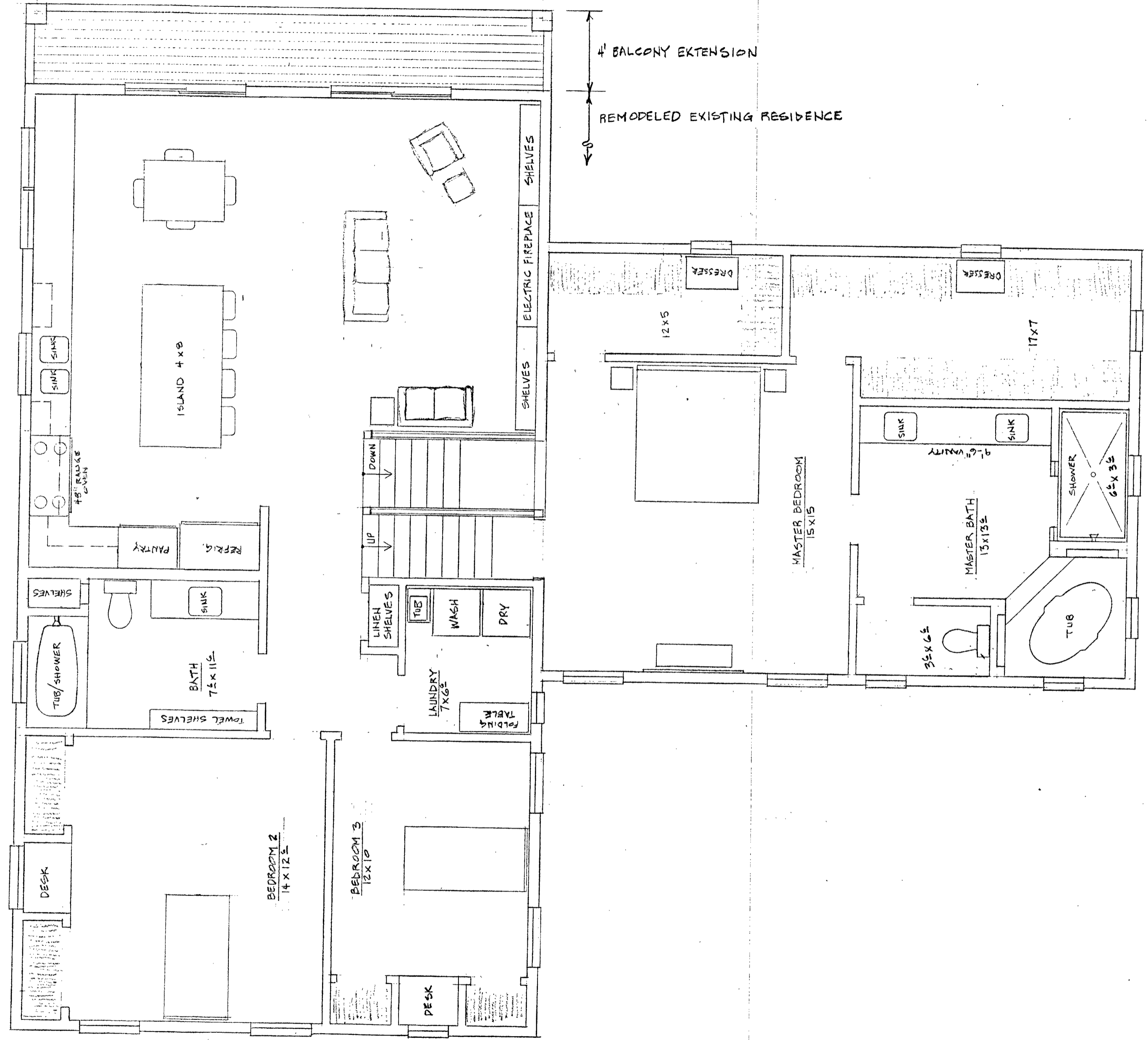
NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

[Back to Results](#)

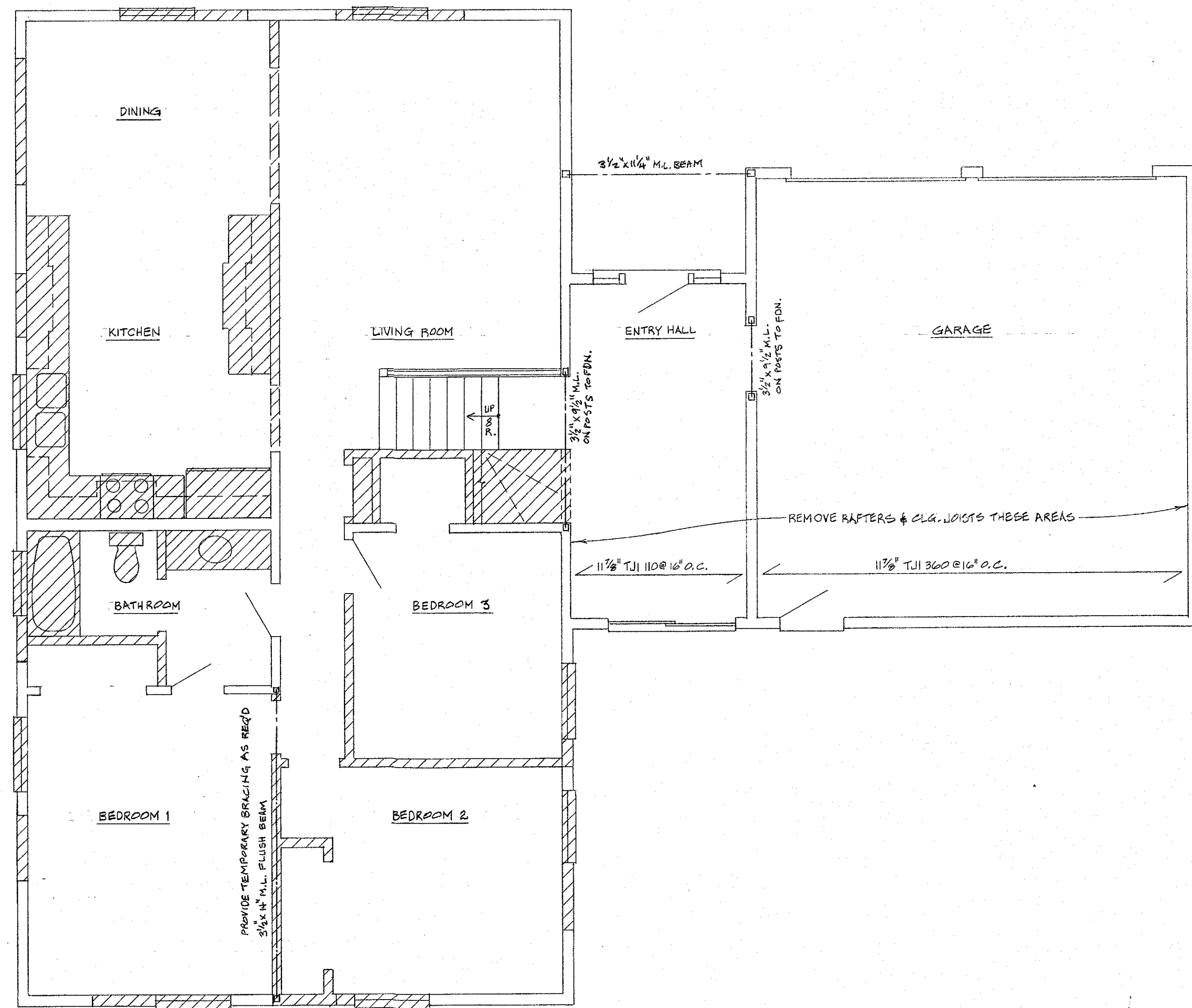
PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE APPLICATION OF Dan Johnson and Laura Dzielski-Johnson LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Dan Johnson and Laura Dzielski-Johnson, for Simplified Residential Variations relating to the property at 583 Lake Avenue, Crystal Lake, Illinois 60014, PIN: 19-06-403-005. This application is filed for the purpose of seeking Simplified Residential Variations to allow the expansion of a non-conforming structure by increase in volume of the nonconformity and a 9.12-foot interior side yard setback, a variation of 2.88 feet from the minimum 12-foot interior side yard setback, for a second story addition, and a 28.2-foot front yard setback, a variation of 1.8 feet from the 30-foot minimum front yard setback, for a second story balcony addition, and any other changes or variations as presented at the hearing, pursuant to Article 3, Article 4, Article 7 and Article 9. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, February 1, 2023, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald January 13, 2023)2047345



EXISTING CONDITIONS, JOHNSON RESIDENCE, 583 LAKE AVENUE, CRYSTAL LAKE, ILLINOIS, DECEMBER 2022

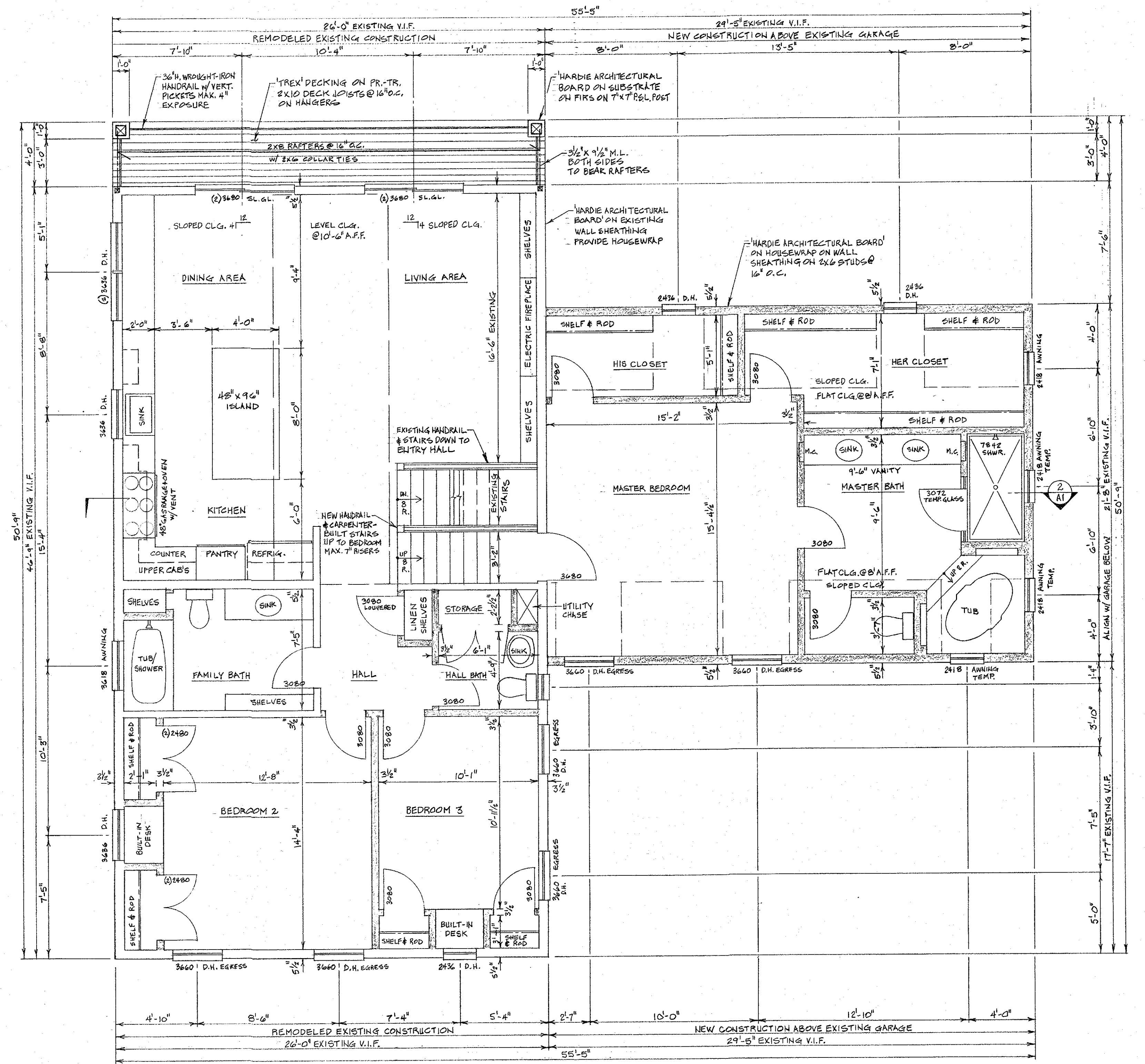


PROPOSED REMODELING AND ADDITION PLAN, JOHNSON RESIDENCE, 583 LAKE AVENUE, CRYSTAL LAKE, ILLINOIS DECEMBER 2022 HESS ARCHITECTS



NOTES: 1. SHADED AREAS INDICATE STUD WALLS, WINDOWS, CABINETS, FIXTURES AND APPLIANCES TO BE REMOVED.
 2. REMOVE ALL EXTERIOR SIDING AND PREPARE FOR NEW HARDIE ARCHITECTURAL BOARD.

1 EXISTING CONDITIONS/DEMOLITION PLAN
 A3 SCALE: 1/4" = 1'-0"



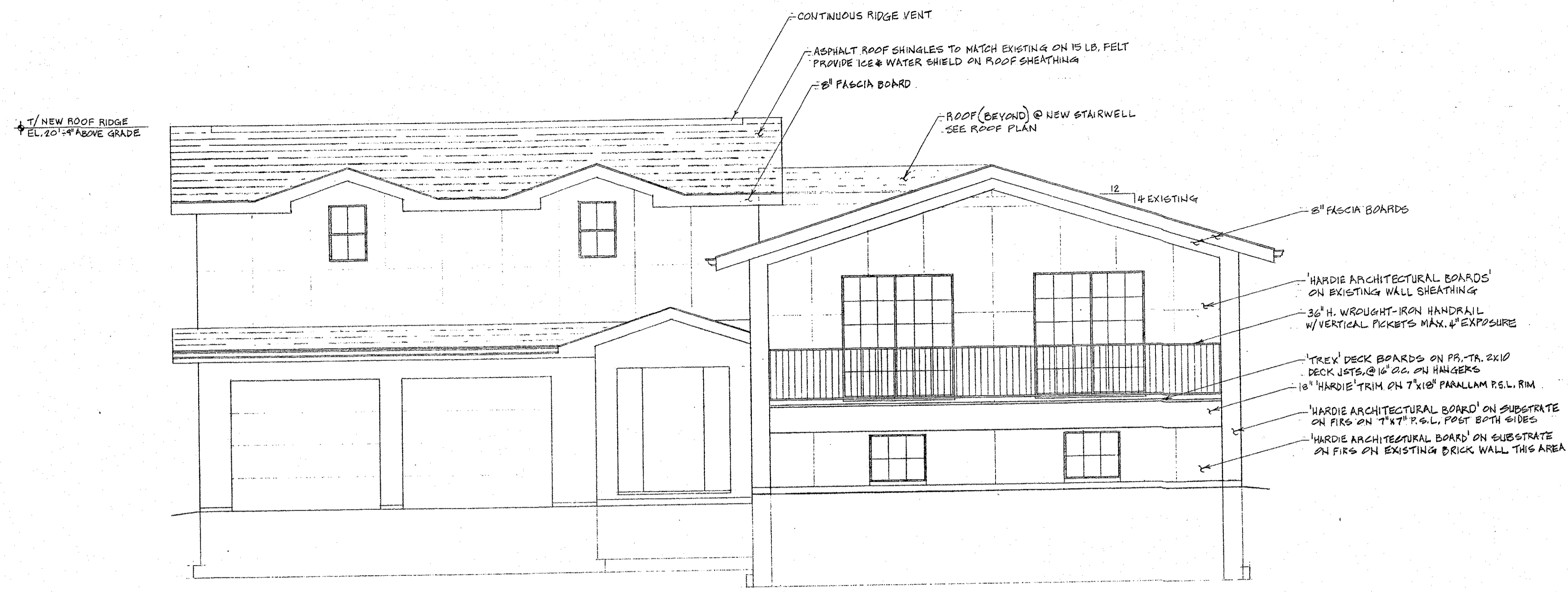
2 FLOOR PLAN: REMODELED AND NEW CONSTRUCTION
 A3 SCALE: 1/4" = 1'-0"

SCALE:	APPROVED BY:	DRAWN BY:
DATE:		REVISED:
		DRAWING NUMBER
		A3 OF 5

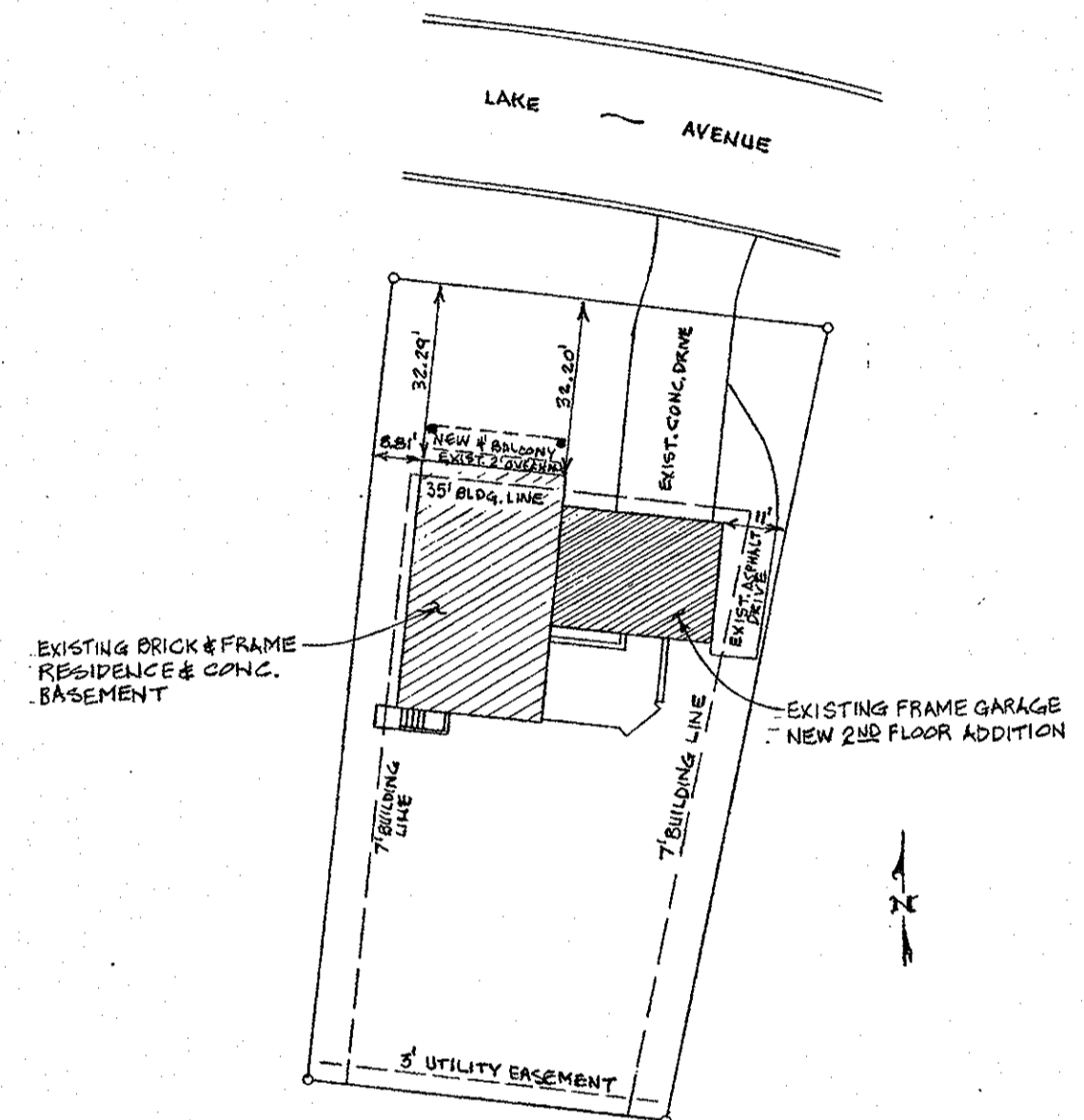


GENERAL NOTES

1. ALL WORK MUST COMPLY WITH THIS DOCUMENT, AND WITH ALL APPLICABLE BUILDING AND ZONING ORDINANCES, INCLUDING 2018 INT. RESIDENTIAL CODE, 2018 INT. MECHANICAL CODE, 2017 NATIONAL ELECTRIC CODE, 2018 ENERGY CONSERVATION CODE, AND 2014 ILLINOIS STATE PLUMBING CODE, WITH AMENDMENTS.
2. CONTRACTOR MUST VERIFY ALL CONDITIONS AND DIMENSIONS, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
3. DO NOT SCALE DRAWINGS.
4. THE USE OF THIS DOCUMENT TO OBTAIN A PERMIT SHALL CONSTITUTE APPROVAL OF THE DESIGN AND DOCUMENT AS INDICATED.
5. CONTRACTOR SHALL VERIFY ALL ELECTRICAL, H.V.A.C. AND PLUMBING REQUIREMENTS.

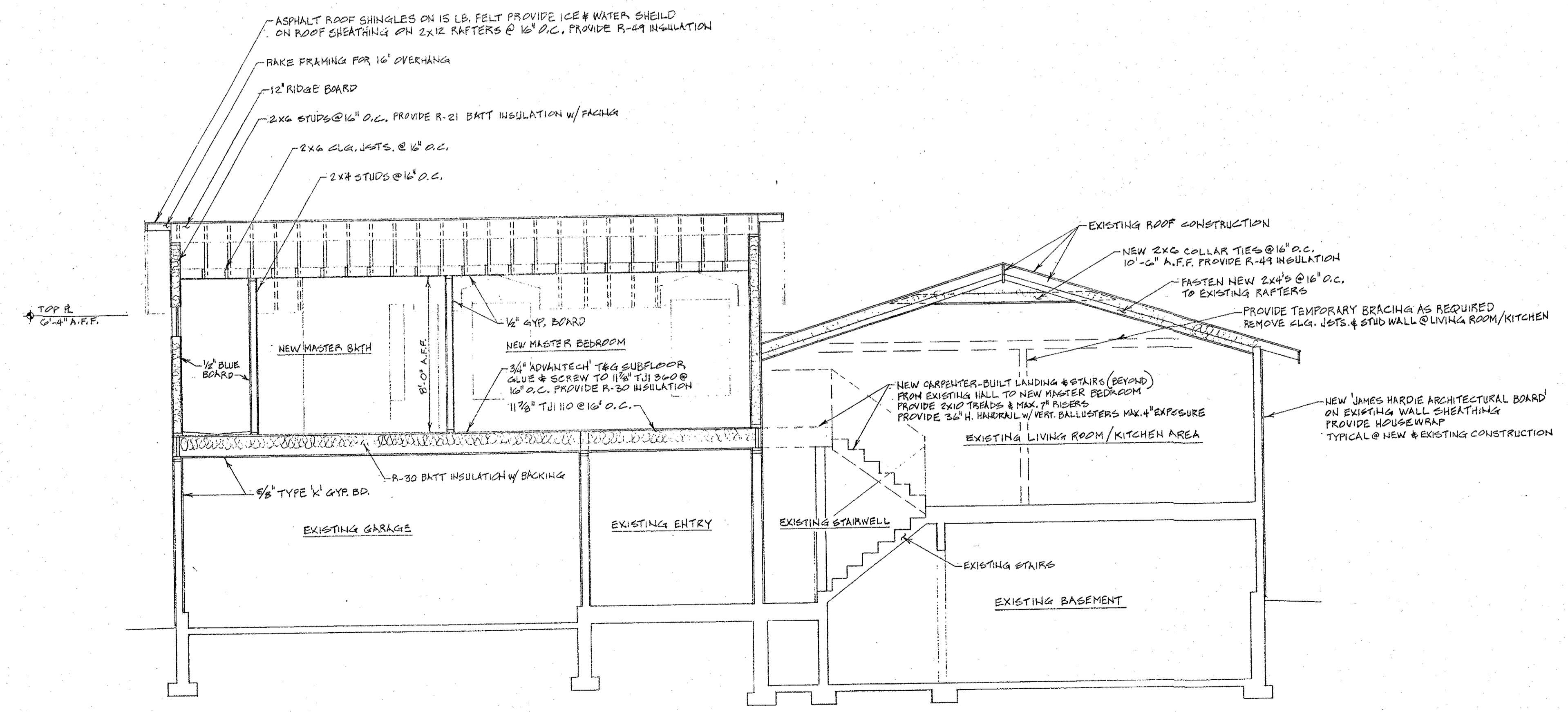


1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



NOTE: INFORMATION REGARDING EXISTING CONDITIONS FROM MAY 19, 2022 PLAT OF SURVEY.

3 SITE PLAN
NO SCALE

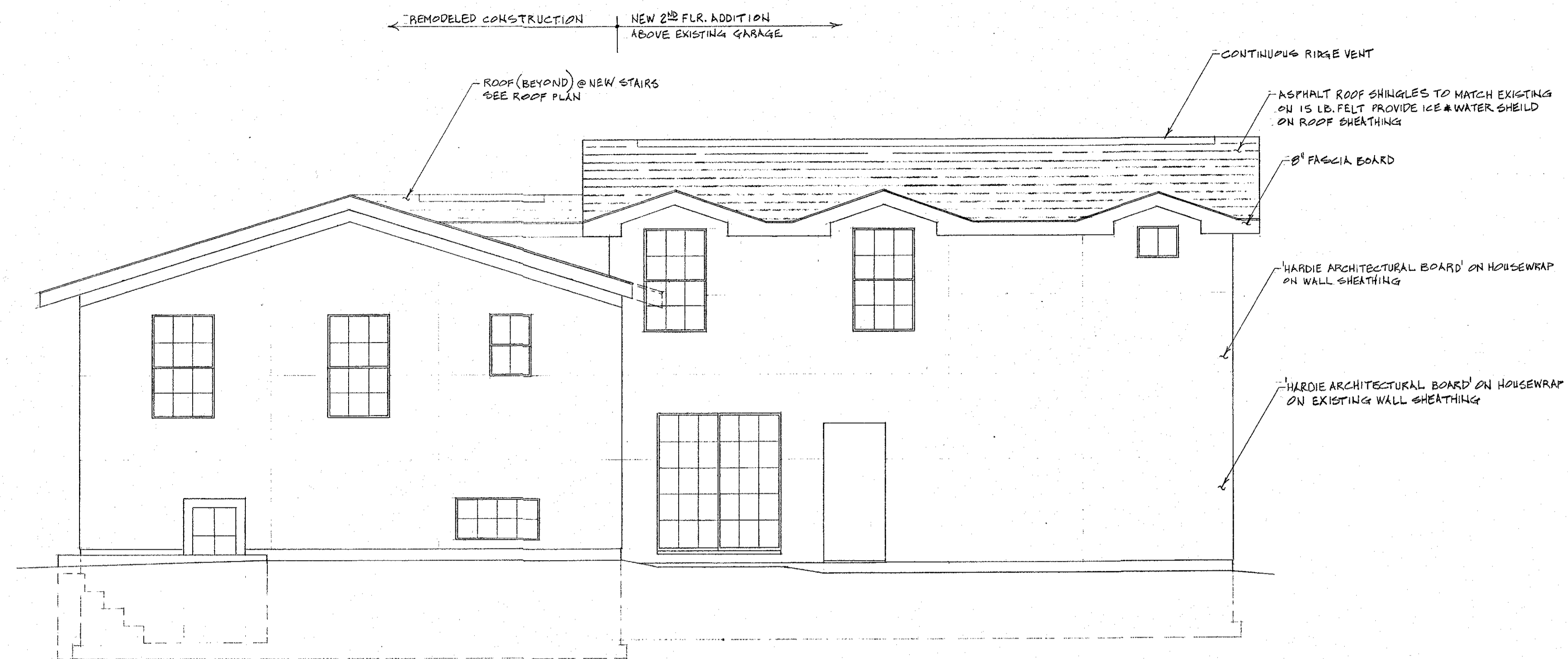


2 SECTION
SCALE: 1/4"=1'-0"

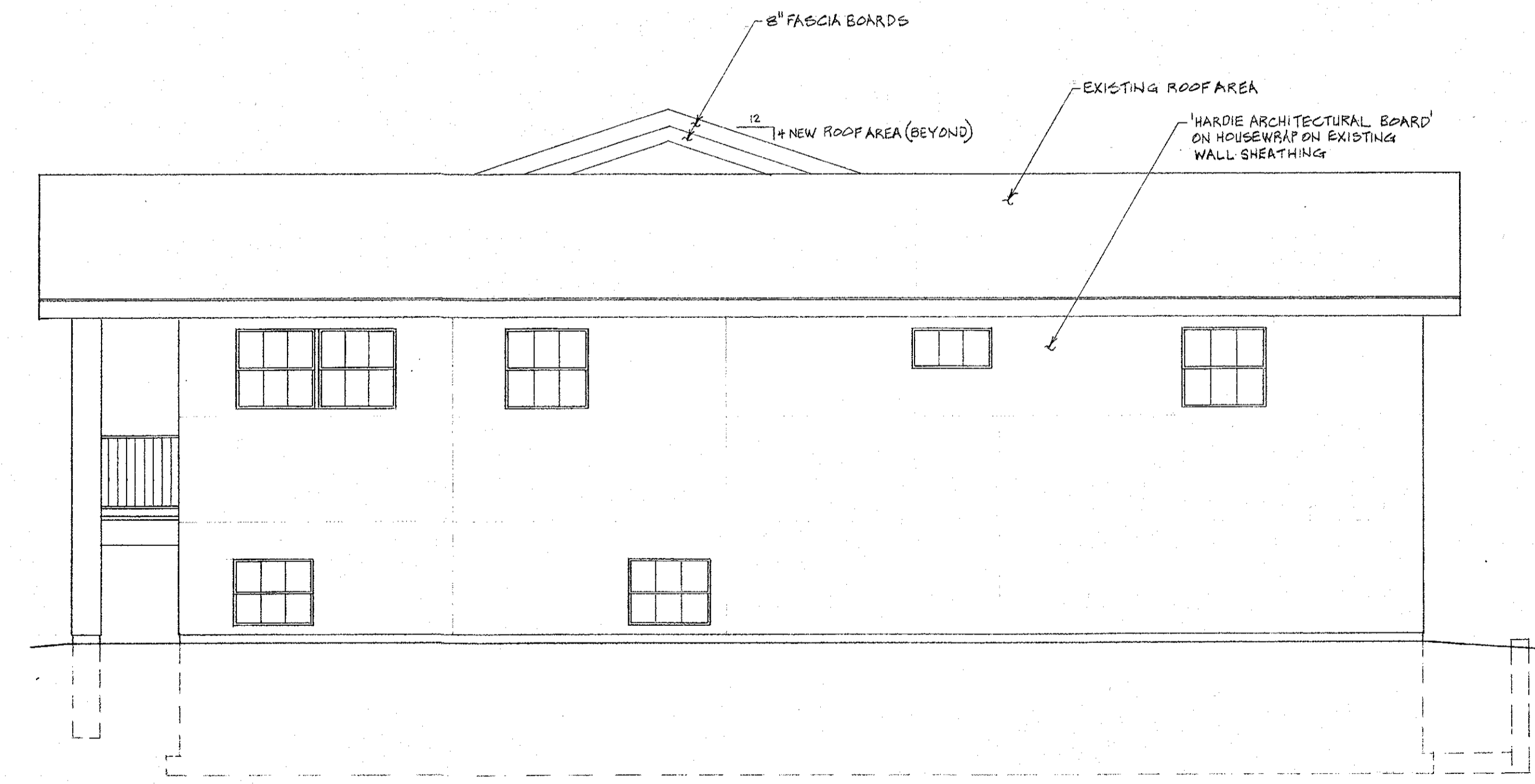
January 24, 2023

 James Hess
 001-015901
 Nov 2024

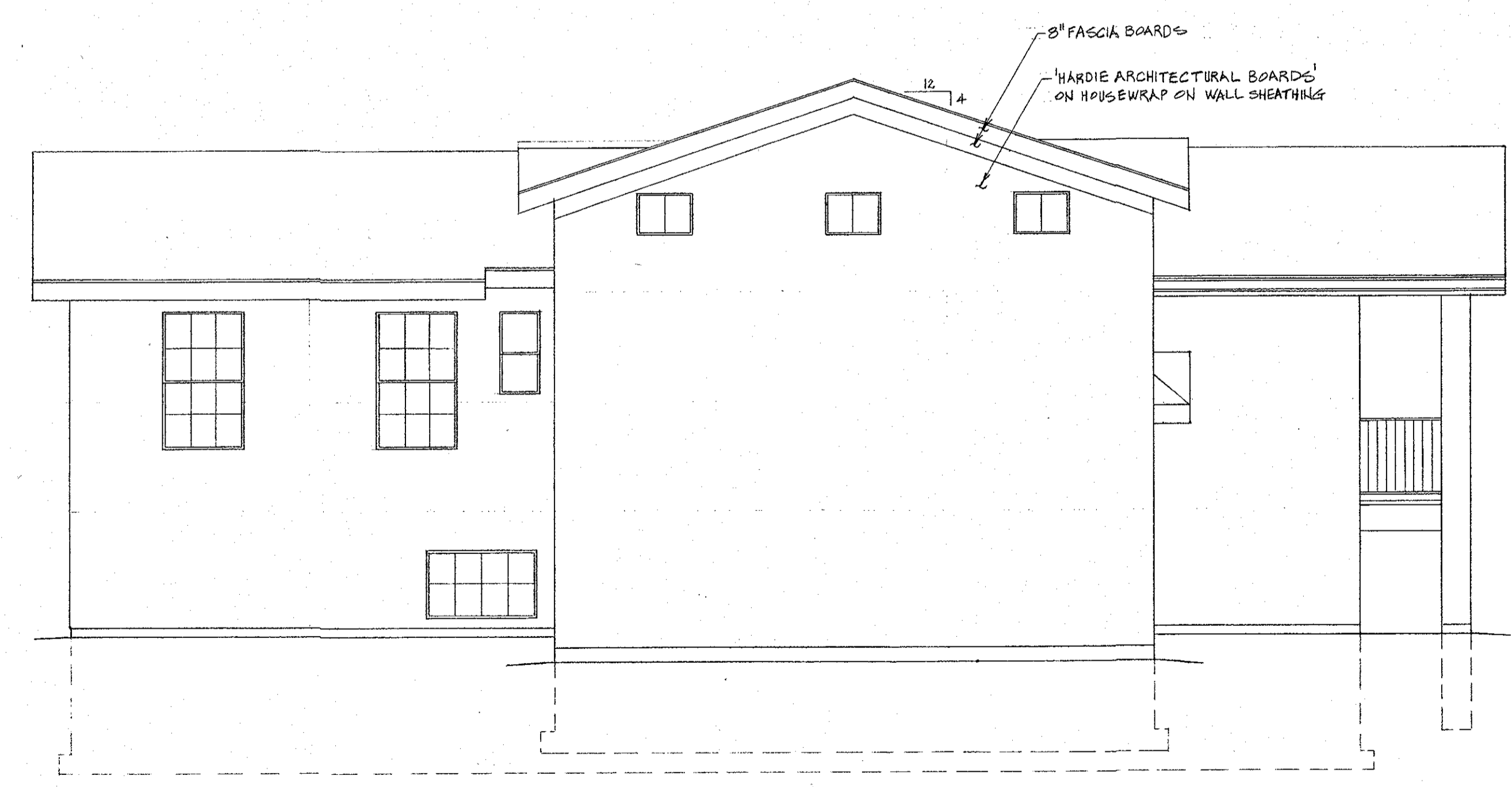
ADDITION AND REMODELING OF THE JOHNSON RESIDENCE 583 LAKE AVENUE, CRYSTAL LAKE, ILLINOIS 60014		
SCALE: AS NOTED	APPROVED BY:	DRAWN BY JAMES HESS
DATE: JAN. 24, 2023.		REVISED
HESS ARCHITECTS 87 SOUTH WALKUP AVENUE, CRYSTAL LAKE, ILLINOIS 815 528-2945		
DRAWING NUMBER		A1 of 5



1 SOUTH ELEVATION
A2 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A2 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
A2 SCALE: 1/4" = 1'-0"

SCALE:	APPROVED BY:	DRAWN BY:
DATE:		REVISED:
		DRAWING NUMBER
		A2 OF 5

COMPASS ALTERNATIVES
 4708 GREGORY STREET
 MCHENRY, IL 60051
 Licensed Professionals in
 both Illinois & Wisconsin
 IL DESIGN FIRM #184.008609

PLAT OF SURVEY

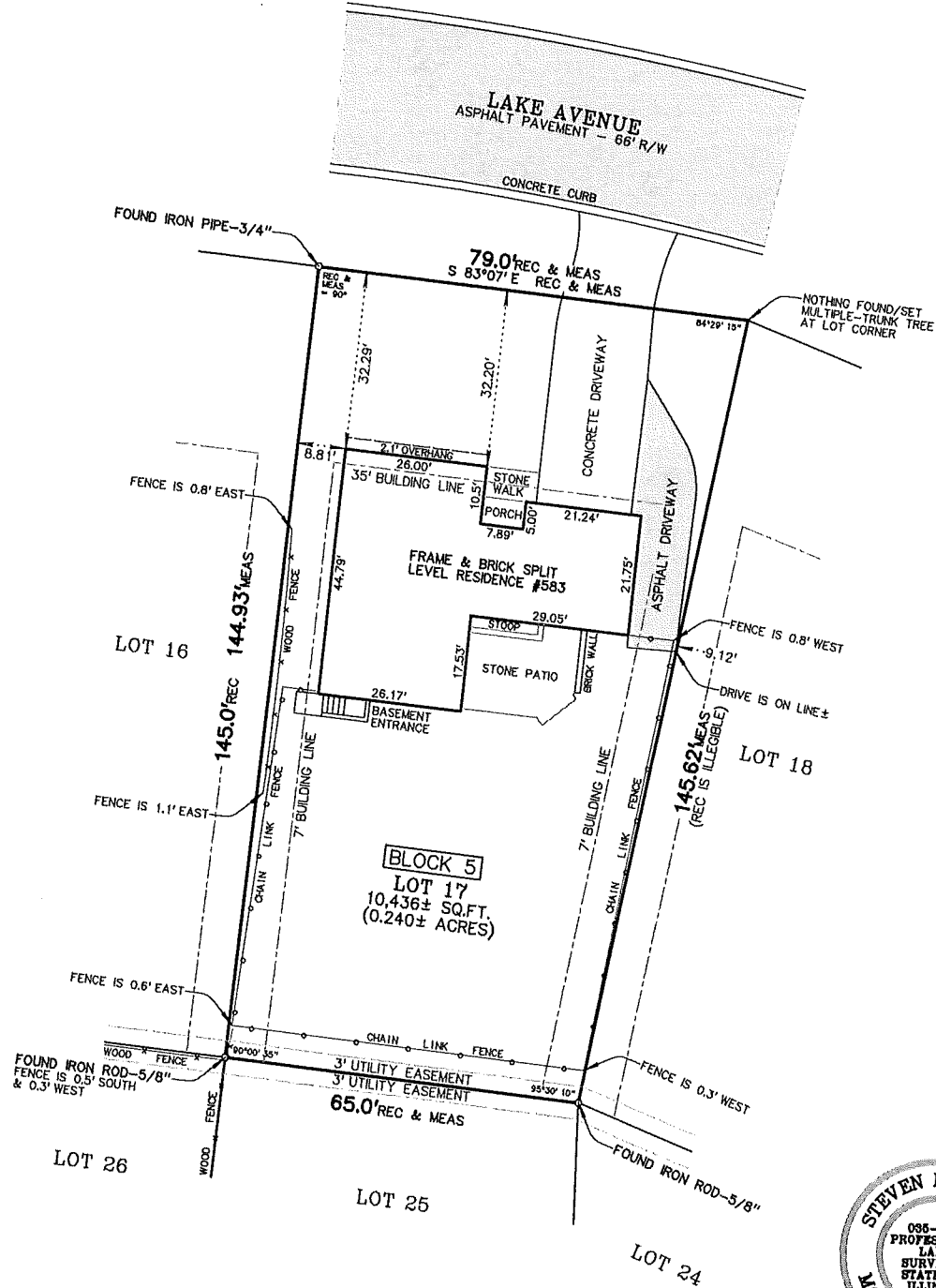
PHONE: 847-978-5124

compalt743@gmail.com

www.compassalternatives.com

LOT 17 IN BLOCK 5 IN COUNTRY CLUB ADDITIONS TO CRYSTAL LAKE,
 A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 6, TOWNSHIP
 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING
 TO THE PLAT THEREOF RECORDED NOVEMBER 8, 1923 AS DOCUMENT
 NO. 61104, IN BOOK 4 OF PLATS, PAGE 109, IN MCHENRY COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 583 LAKE AVENUE, CRYSTAL LAKE, IL 60014
 PERMANENT INDEX NUMBER: 19-06-403-005



SCALE: 1 inch = 20 feet

ORDERED BY: TIMOTHY J. SOMEN, ATTORNEY

REFERENCE: WELDER TRUST

JOB NO.: 22144

FIELDWORK COMPLETED: MAY 19, 2022

COMPARE ALL POINTS AND REPORT ANY DIFFERENCE AT ONCE.
 BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY
 ARE SO RECORDED IN THE MAPS. REFER TO YOUR DEED,
 ABSTRACT, TITLE POLICY OR BUILDING COMMISSIONER.
 DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 NO DIMENSION IS TO BE ASSUMED BY SCALING THIS PLAT.
 THIS PLAT IS NOT VALID WITHOUT SURVEYORS SEAL.



STATE OF ILLINOIS }
 COUNTY OF MCHENRY } S.S.

THIS IS TO CERTIFY THAT I HAVE SURVEYED THE ABOVE
 DESCRIBED PROPERTY, ACCORDING TO THE OFFICIAL RECORD,
 AND THE ABOVE PLAT CORRECTLY REPRESENTS SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
 ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

Steven M. Sloat
 STEVEN M. SLOAT

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-003279
 MY PROFESSIONAL LICENSE EXPIRES ON NOVEMBER 30, 2022.