



#2023-01
M’Lady Nissan – SUP Amendment
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	February 1, 2023
<u>Requests:</u>	Special Use Permit Amendment to allow a new free-standing sign at 18 feet 10 inches high and 37.67 square feet in area and less than 10 feet from the property line for M’Lady Nissan.
<u>Location:</u>	5656 Northwest Highway
<u>Acreage:</u>	Approximately 4.6 acres
<u>Existing Zoning:</u>	B-2 General Commercial
<u>Surrounding Properties:</u>	North: B-2 PUD General Commercial South: B-2 PUD General Commercial East: B-2 PUD General Commercial West: B-2 PUD General Commercial
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- M’Lady Nissan was annexed in June of 1998 as an existing use with existing signage. The annexation agreement stated that provided the free-standing sign was not increasing in size or illumination it could be replaced and not need to comply with current ordinances.
- The proposed sign is about two square feet larger in area than the previous sign. Due to the corporate requirements, M’Lady is unable to alter the proposed sign.

Request:

- To allow a new free-standing sign with a height of 18’10” and 37.67 square feet of copy area that is less than 10 feet from the property line. The height and location match the existing sign approval.

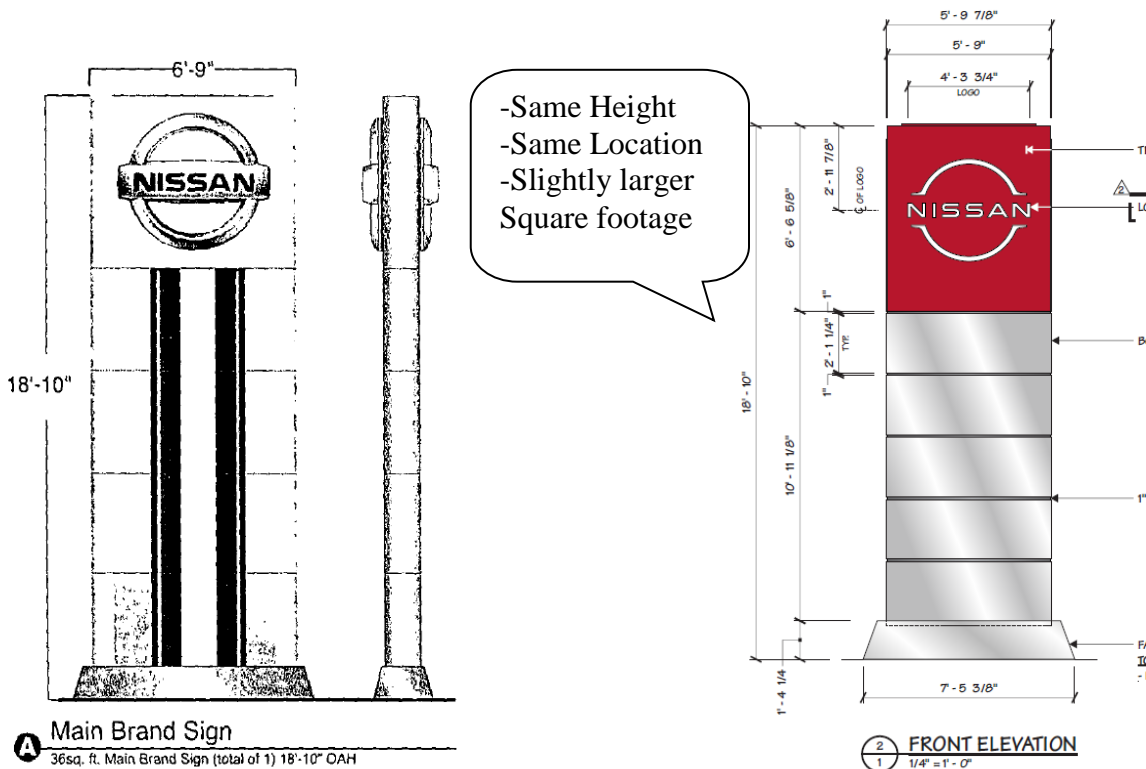
Land Use Analysis:

ZONING

- The site is currently zoned B-2 General Commercial. M’Lady Nissan car dealership is an appropriate use in this zoning district.
- The Comprehensive Land Use Plan designates this area as Commercial. The proposed car dealership use is an acceptable use in the Commercial land use district.

SIGNAGE

- The new sign is the same height and removes the illuminated red pillars.
- The top portion of the new sign will be illuminated with internal LED lighting, the base will not be illuminated.
- Staff has added a condition to add landscape around the sign base to comply with the UDO. This was also a requirement for the Chevrolet dealership.
- The comparison of the two signs is illustrated below:



Findings of fact:

SPECIAL USE PERMIT AMENDMENT

The petitioner has requested a Special Use Permit Amendment to allow changes to one of the free-standing signs to install a new sign with increased square footage. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 B of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where

applicable.

Meets

Does not meet

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future retail uses. The following goal is applicable to this request:

Land Use – Office

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the City, as well as the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting actions:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Bright Light Signs, received 01/11/23)
 - B. Sign Plan (AGI, dated 06/15/20, received 01/11/23)
 - C. Sign Package (Nissan, undated, received 01/11/23)
 - D. Plat of Survey (Mionske, dated 01/22/98, received 01/11/23)
2. The petitioner must install 36 square feet of landscape material along the base of the sign, which must be comprised of evergreen and deciduous trees and shrubs. Provide a landscape plan for staff review and approval.
3. The petitioner shall address all of the review comments and requirements of the Community Development Department.

PIQ Map
5656 Northwest Highway



**City of Crystal Lake
Development Application**

Office Use Only
File # _____

Project Title: _____

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Bright Light Sign Co.
Address: 310 Telsler Rd
Lake Zurich, IL 60047
Phone: 847-550-8902
Fax: _____

Owner Information (if different)

Name: MIR ALI
Address: 5656 Northwest Hwy
Crystal Lake, IL
Phone: 815-459-2288
Fax: _____

E-mail: permits@brightlightsign.com E-mail: Mir. Ali@mlady.com

Property Information

Project Description: Replace Existing Nissan Ground
Sign

Project Address/Location: 5656 Northwest Highway

PIN Number(s): 19 04 300 020

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: _____

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

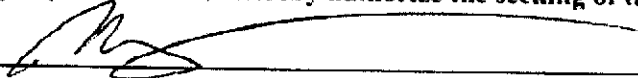
Other: Bright Light Sign 847-550-8902

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Mic Ali 

12-13-22

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: MIR ALI

Address: 5656 NORTHWEST HIGHWAY
CRYSTAL LAKE IL

Phone: 815-459-2288

E-mail: MIR.ALI@MCADY.COM

Project Name & Description: REPLACE EXISTING NISSAN
SIGN.

Project Address/Location: 5656 NORTHWEST HIGHWAY

Signature

Mir Ali

12/13-22

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



FROM THE OFFICE OF:
 GLENDA L. MILLER
 McHENRY COUNTY TREASURER

REAL ESTATE TAX BILL
1ST INSTALLMENT COUPON PAYMENT

ASSESSED TO: 5656 NORTHWEST HIGHWAY LLC
 PIN: 19-04-300-020



MAKE CHECKS PAYABLE TO: McHENRY COUNTY COLLECTOR

THIS IS THE ONLY BILL THAT WILL BE MAILED

Tax Bills Are Mailed To The Taxpayer of Record,
 Even If Your Lender Is Responsible For Payment.

1st
2021

MLADY, JAMES TRS
 5656 NORTHWEST HIGHWAY
 CRYSTAL LAKE IL 60014-8017

00024526
PAID



5-16-22

FIRST INSTALLMENT 2021	\$61,980.13
INTEREST	
COST	
INSTALLMENT AMOUNT PAID	\$0.00
INSTALLMENT BALANCE DUE	\$61,980.13
DUE BY 06/06/2022	

1904300020000619801310

PAID BY: CHECK CASH MAIL



FROM THE OFFICE OF:
 GLENDA L. MILLER
 McHENRY COUNTY TREASURER

REAL ESTATE TAX BILL
2ND INSTALLMENT COUPON PAYMENT

ASSESSED TO: 5656 NORTHWEST HIGHWAY LLC
 PIN: 19-04-300-020



MAKE CHECKS PAYABLE TO: McHENRY COUNTY COLLECTOR

THIS IS THE ONLY BILL THAT WILL BE MAILED

2nd
2021

MLADY, JAMES TRS
 5656 NORTHWEST HIGHWAY
 CRYSTAL LAKE IL 60014-8017

00024526
PAID

FIRST INSTALLMENT 2021	\$61,980.13
INTEREST	
COST	
INSTALLMENT AMOUNT PAID	\$0.00
INSTALLMENT BALANCE DUE	\$61,980.13
DUE BY 09/06/2022	

1904300020000619801323

PAID BY: CHECK CASH MAIL

Taxing Body	Rate	Percent	Tax This Year	Tax Last Year
MCHENRY COUNTY	0.657845	6.83	\$8,443.72	\$8,187.72
MCHENRY COUNTY PENSION	0.078611	0.81	\$1,009.01	\$1,247.98
MCHENRY CO CONSV	0.221944	2.30	\$2,848.75	\$2,768.96
COLLEGE DISTRICT 528 MCC	0.329558	3.41	\$4,230.01	\$4,248.05
COLLEGE DISTRICT 528 MCC PENSION	0.000115	0.00	\$1.48	\$1.49
SCHOOL DIST 47	3.667790	37.98	\$47,077.66	\$45,757.20
SCHOOL DIST 47 PENSION	0.136968	1.42	\$1,758.04	\$1,969.74
SCHOOL DIST 155	2.425083	25.11	\$31,126.99	\$30,458.10
SCHOOL DIST 155 PENSION	0.050325	0.52	\$645.94	\$644.35
CITY CRYSTAL LAKE LIBRARY	0.342410	3.55	\$4,394.98	\$4,370.14
CITY CRYSTAL LAKE LIBRARY PENSION	0.024973	0.26	\$320.54	\$278.56
CRYSTAL LAKE PARK	0.447475	4.63	\$5,743.54	\$5,626.37
CRYSTAL LAKE PARK PENSION	0.022853	0.24	\$293.32	\$332.21
ALGONQUIN TOWNSHIP	0.054295	0.56	\$696.90	\$690.79
ALGONQUIN TWP RD & BR	0.123082	1.27	\$1,579.81	\$1,565.88
ALGONQUIN TWP RD & BR PENSION	0.000000	0.00		
CRYSTAL LAKE CITY	0.031065	0.32	\$398.73	\$494.97
CRYSTAL LAKE CITY PENSION	0.327853	3.39	\$4,208.14	\$3,659.31
CRYSTAL LAKE FIRE CITY	0.530326	5.57	\$6,909.65	\$6,810.71
CRYSTAL LAKE FIRE CITY PENSION	0.177992	1.83	\$2,273.05	\$2,012.09
TOTAL	9.657663	100.00	\$123,960.26	\$121,125.62

X 2834.64

MCHENRY COUNTY 2021 REAL ESTATE TAX BILL

LEGAL DESCRIPTION
 DOC 2021R0038467 PT E1/2 SE1/4 SW1/4 /
 EX CIR CT 86ED87/

ASSESSED TO:
 5656 NORTHWEST HIGHWAY LLC

SITE ADDRESS:
 5656 NORTHWEST HWY
 CRYSTAL LAKE, IL 60014

If paid after due date, pay amount below which includes 1.5% per month penalty

	FIRST INSTALLMENT	SECOND INSTALLMENT
Jun 07 - Jul 06	\$62,909.83	
Jul 07 - Aug 06	\$63,839.53	
Aug 07 - Sept 06	\$64,769.24	
Sept 07 - Oct 06	\$65,698.94	\$62,909.83
Oct 07 - Nov 6	\$66,628.64	\$63,849.53
Nov7 - Nov 10	\$67,558.34	\$64,779.24
PIN 19-04-300-020		
Township	ALGONQUIN TWP	Property Class 0060
Tax Code	19002	
Sub Lot	Acres 4.6300	
1st Install	\$61,980.13	2nd Install \$61,980.13
Interest		Interest
Costs		Costs
Total Paid		Total Paid
Due By	06/06/2022	Due By 09/06/2022

Fair Cash Value	3,851,010
S/A Value	1,238,105
S/A Multiplier	1.0367
S/A Equalized Value	1,283,543
Brd. of Review Value	1,283,543
Brd. of Review Multiplier	1.0000
Brd. of Review EQ Value	1,283,543
Home Improv./Vet Exemptions	0
State Multiplier	1.0000
State Equalized Value	1,283,543
Farmland & Bldgs. Value	0
Total Amt. Prior to Exemptions	1,283,543
Annual Homestead Exemptions	0
Sr. Freeze Abated Amt.	0
Elderly Homestead Exemption	0
Disabled Vet Homestead Ex	0
Disabled Person Exemption	0
Returning Veteran Exemption	0
Net Taxable Amount	1,283,543.00
Local Tax Rate	9.657663
Total Current Year Tax Due	\$123,960.26

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION OF 5656 Northwest Highway LLC

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Bright Light Sign Co., on behalf of Mir Ali representing 5656 Northwest Highway LLC for a Special Use Permit, relating to the property at 5656 Northwest Highway in Crystal Lake, Illinois 60014. PIN: 19-04-300-020.

This application is filed for the purpose of seeking a Special Use Permit to allow a new free-standing pylon sign which requires a variation from square footage for M'Lady Nissan, pursuant to Article 2, Article 4 and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday February 1, 2023, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald January 14, 2023)2047610

STATE OF ILLINOIS

COUNTY OF MCHENRY

IN THE MATTER OF THE APPLICATION OF
Jim M'Lady Nissan;

AFFIDAVIT

William Holley, being first duly sworn on oath deposes and states as follows:

- A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on February 1, 2023, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on January 13th, 2023.

- B. That the posting requirements of the Zoning Ordinance have been complied with by placing the customary public notice sign on the subject property on January 17th 2023.



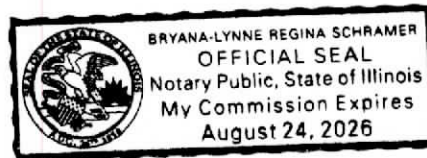
William Holley (Signature)

Subscribed and Sworn to me before

This 17 day of January, 2023



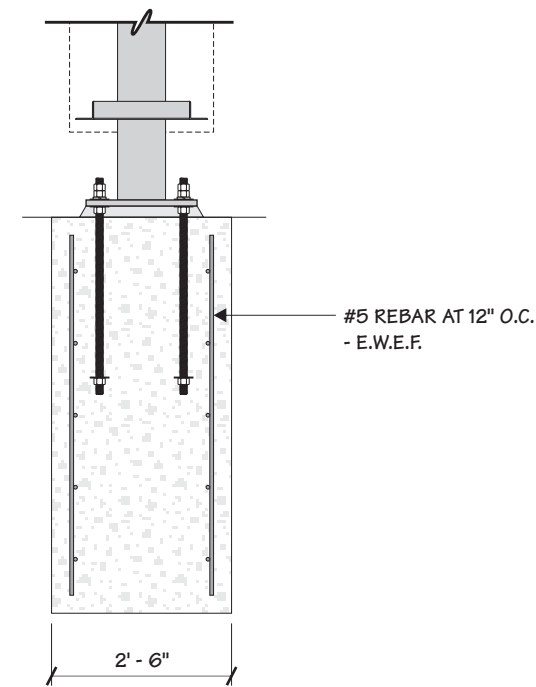
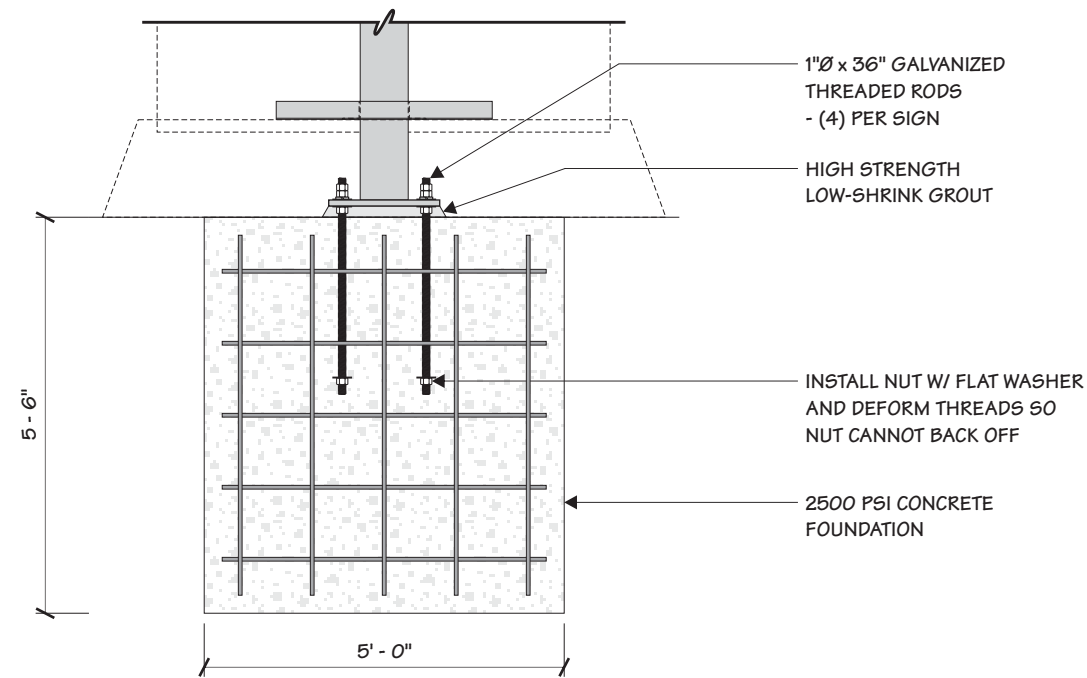
Bryana-Lynne Regina Schramer
Notary Public



STANDARD FOUNDATION

MATERIAL SPECIFICATIONS:
(UNLESS OTHERWISE NOTED)

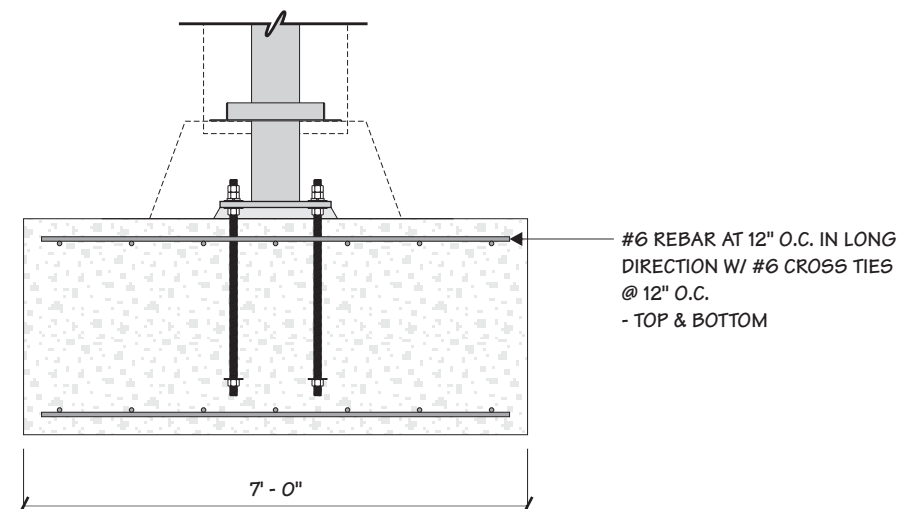
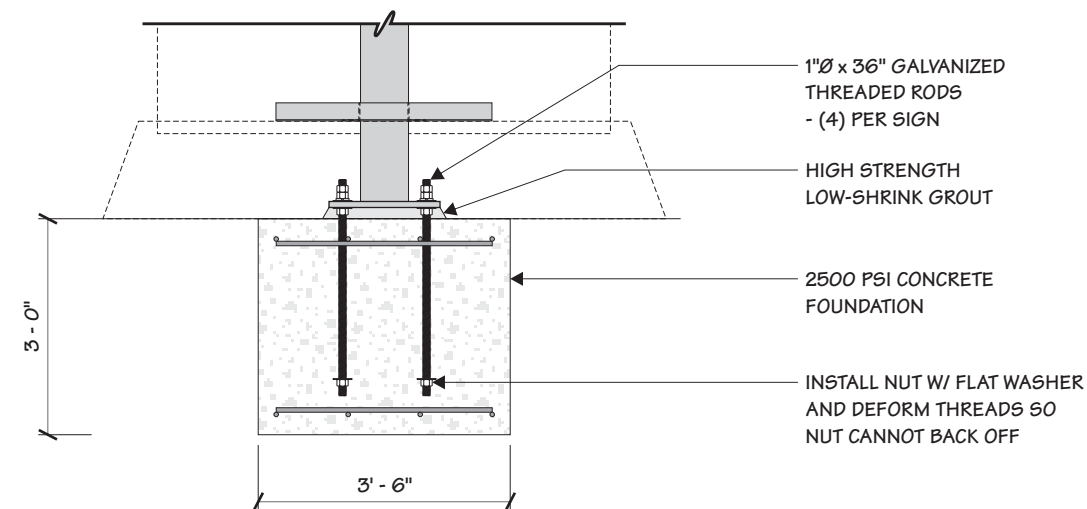
REINFORCING - GRADE 60 W/ 3" MIN. COVER
DO NOT WELD REBAR



1 FOUNDATION ELEVATION (VERTICAL SLAB)
15 3/8" = 1' - 0"

2 SIDE VIEW (VERTICAL SLAB)
15 3/8" = 1' - 0"

CUSTOM - SPECIAL PRICING REQUIRED



3 FOUNDATION ELEVATION (BLOCK)
15 3/8" = 1' - 0"

4 SIDE VIEW (BLOCK)
15 3/8" = 1' - 0"

Project Title
NISSAN NRC NEXT

Date 06.15.20

AGI EoR M. SMITH
Lead Drafter DLR
Drawn By DLR
Project Mgr. S. HNATKOWICZ

General Sign Specifications

Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
120 Volts 8.1 Amps(+/-)

Location _____
Windload 115 MPH / ASCE 7-10

Drawing Revisions	Change	Date	By
1	42905 - SHOP UPDATES	08.07.20	DLR
2	UPDATED LOGO TO ADAMS TECH & UPDATED POWER SUPPLY CALLOUTS	12.16.20	DLR
3	49892 - RB UPDATES, REMOVE GUSSETS FROM BASE PLATES	09.14.21	DLR
4	52579 - SEPARATED NEW AND RETRO DRAWINGS	03.16.22	DLR
5	52579 - ADDED LIFTING ANGLE DETAILS	03.16.22	DLR
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

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Code 41923 Type C

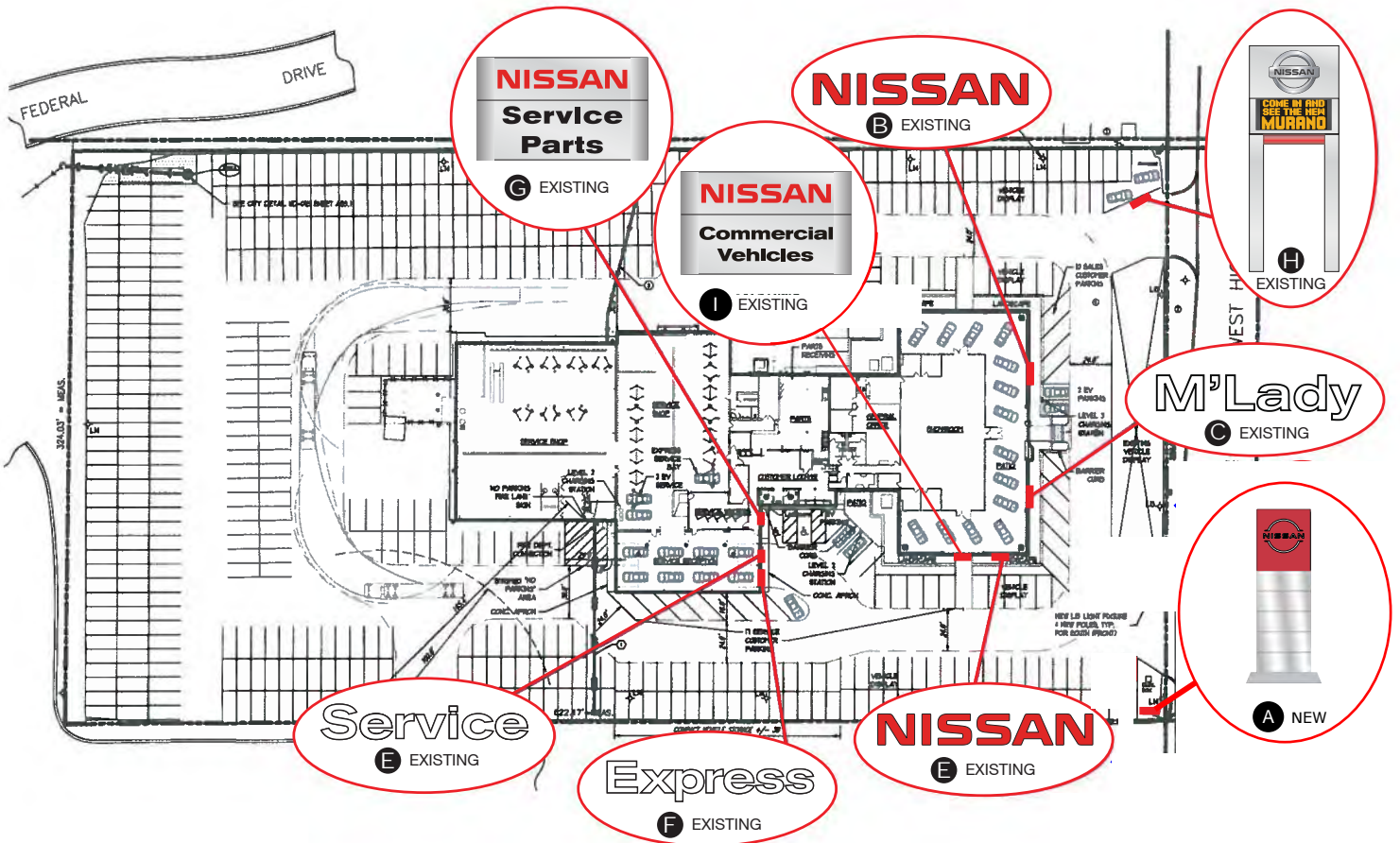
Sign Type P36N-115 PG #: 15

NISSAN NORTH AMERICA Dealer Presentation Package



1. SITE PLAN

The following provides a visual representation of the prepared schedule:



NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS Site Before



Proposed Signage

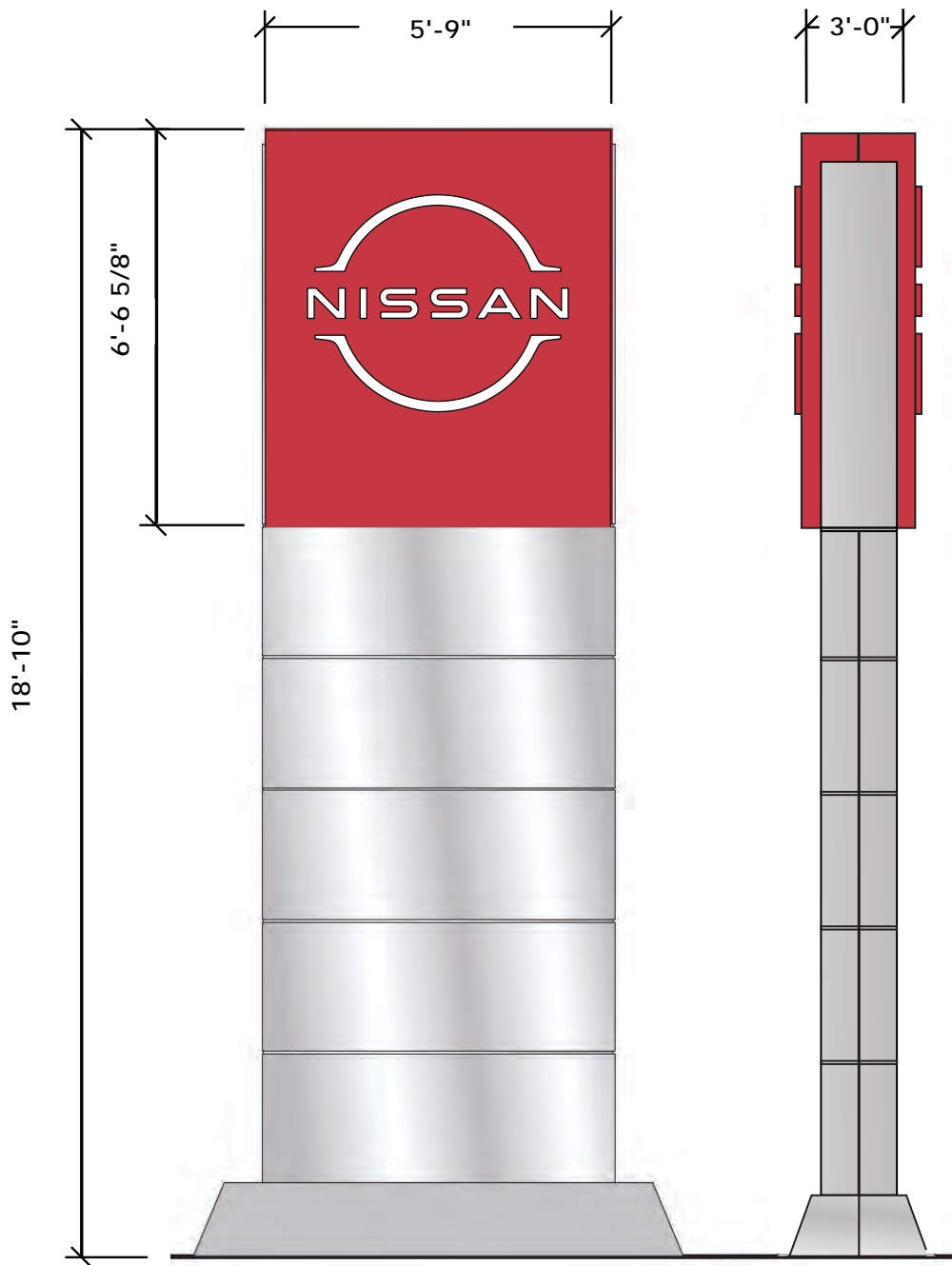


A: P36 Main Brand Pylon

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS



A	P36	Main Brand Pylon
	37.67 sf	Total of 1
	New	

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS

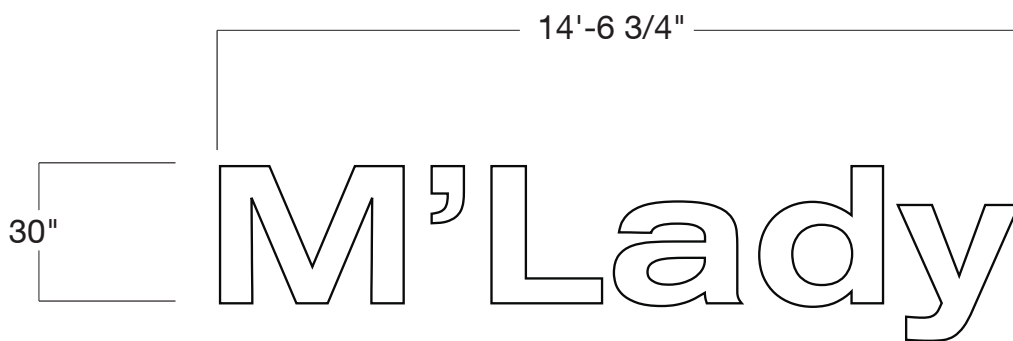


B	<u>Nissan Word Mark Channel Letters</u>
	62.35 sf Total of 1
	Existing

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS



C	Dealer Name Letters
36.40 sf	Total of 1
Existing	

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS

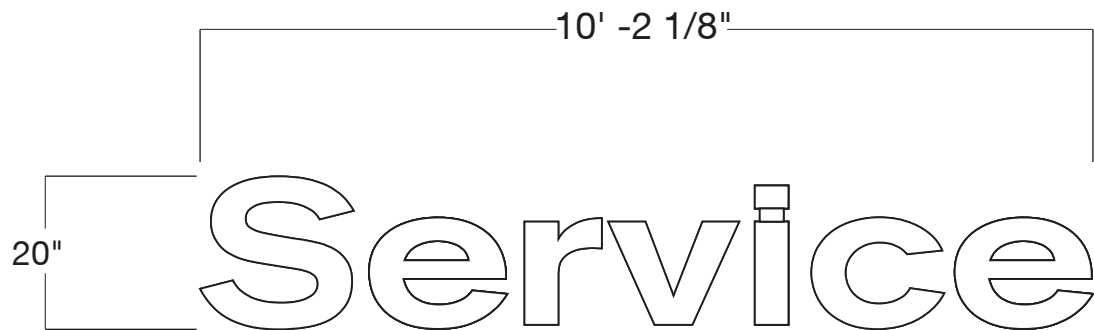


D	<u>Nissan Word Mark Channel Letters</u>
27.71 sf	Total of 1
Existing	

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS



E	Service Channel Letters
	16.96 sf Total of 1
	Existing

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS

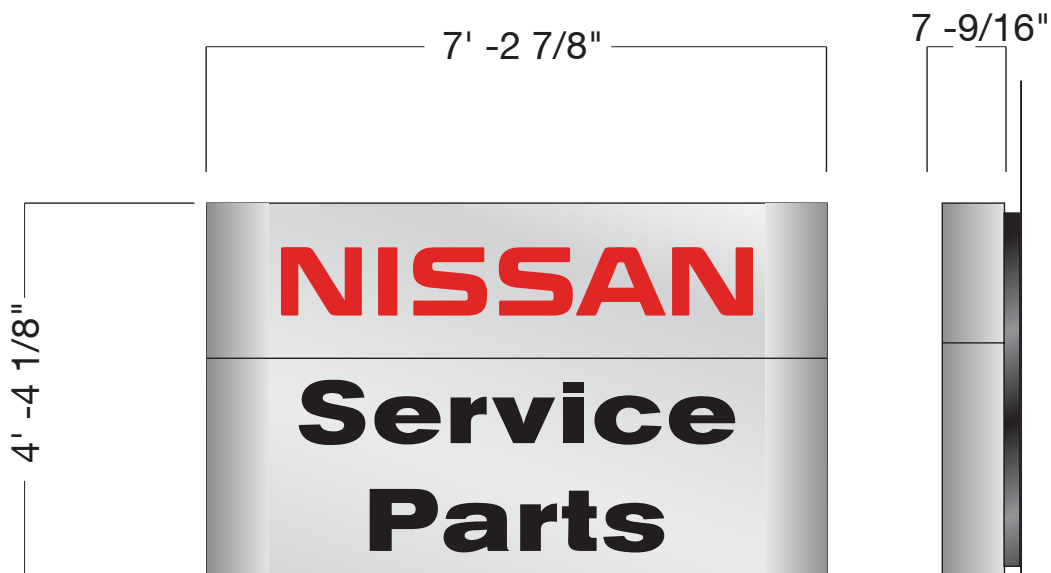


F	Express Channel Letters
18.15 sf	Total of 1
Existing	

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS

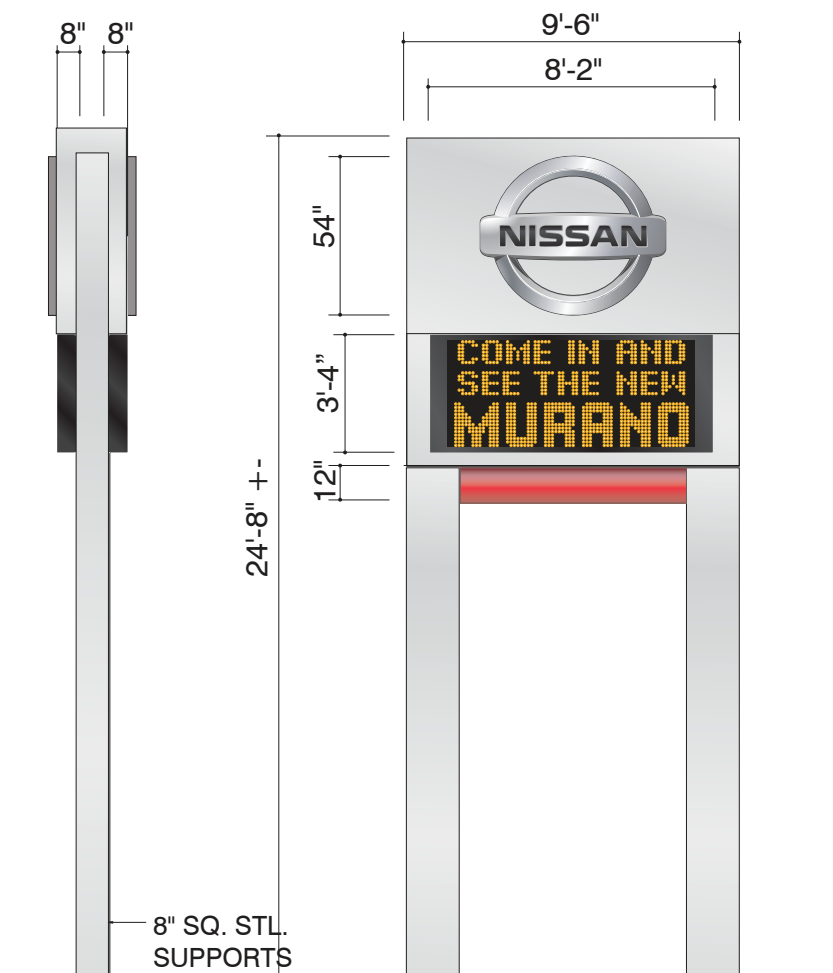


G	SRV-32 WS Wall Sign
	32 sf Total of 1
	Existing

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS



Custom Pylon

98.16 sf

Total of 1

Existing

NISSAN NORTH AMERICA Dealer Presentation Package



2. SCHEDULE OF SIGNS



- I** CV-32-WS Wall Sign
32 sf Total of 1
Existing

