



#2023-07 741 Woodland Drive – Variation Project Review for Planning and Zoning Commission

Meeting Date: March 1, 2023

Request: Variation to allow an addition to a house to encroach into the required 66.55-foot yard abutting a street by 37 feet and 3 feet 4 inches into the required 8-foot side yard setback.

Location: 741 Woodland Drive

Acreage: Approximately 12,500 square feet

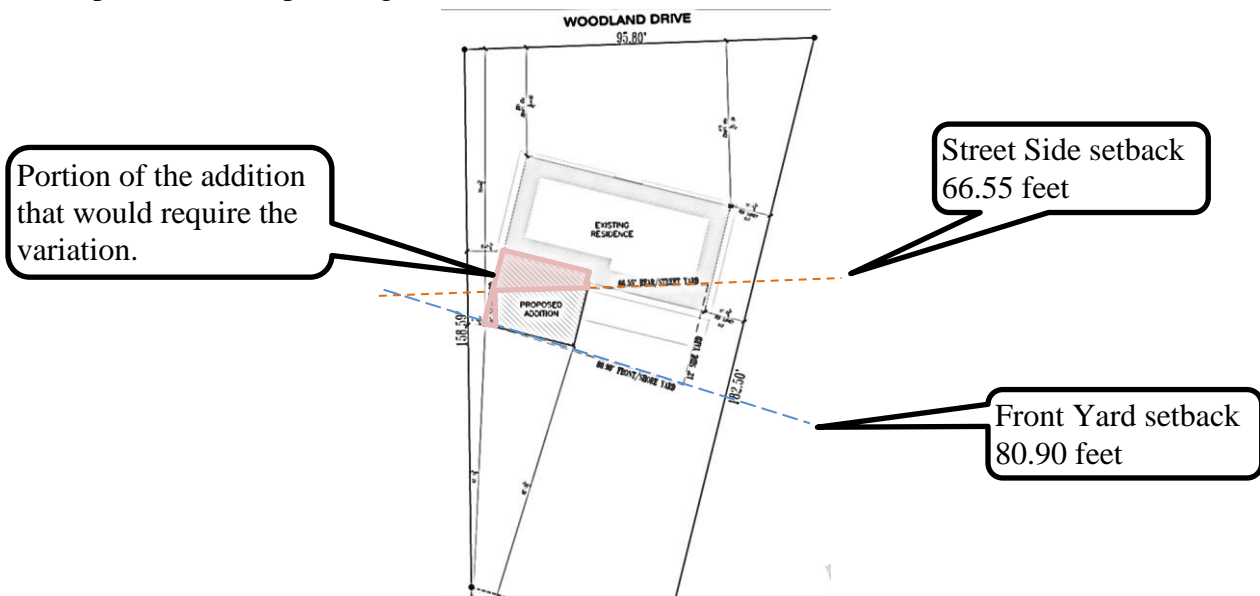
Existing Zoning: R-1 Single Family

Surrounding Properties: North: R-1 Single Family
South: R-1 Single Family
East: R-1 Single Family
West: W Watershed (City of Crystal Lake channel)

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The property is an existing single-family residential lot in Crystal Lake.
- The petitioners are planning an addition behind the house.



- Front Yard (lake side) and street side setbacks are determined by the average of homes for the length of the block or within 400 feet. The street side setback is determined to be 66.55 feet. This extends farther south on the lot than the majority of the house. The front yard setback is determined to be 80.90 feet. The proposed addition is not within the front yard setback.
- The proposed addition also extends into the required 8-foot minimum side yard setback.

Development Analysis:

General

- **Request:** To construct an addition to a house which encroaches into the required 66.55-foot yard abutting a street by a total of 37 feet and 3 feet 4 inches into the required 8-foot side yard setback.
- **Zoning:** The site is zoned R-1 Single Family. This property is used as a single-family home.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3 to allow an addition that encroaches into the street side setback and the side yard setback.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional

narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Blum, received 01/24/23)
 - B. Site Plan (ALA dated 01/18/23, received 01/24/23)
2. The petitioner shall address all of the review comments and requirements of Community Development Department.

PIQ Map
741 Woodland Drive



ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

No

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

No

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUSBTANTIALY INCREASE THE DANGER OF FIRE; OT ENDANGER PUBLIC SAFETY?

No

3. List any previous variations that are approved for this property:

N/A

IV. Signatures

David A. Blum David A. Blum 4/6/23

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

David A. Blum 4/6/23

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICATION OF
Kelly and Dave Blum

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Kelly and Dave Blum for approval of a Variation at the following real estate known as 741 Woodland Drive, Crystal Lake, Illinois 60014, PIN: 19-06-177-001.

This application is filed for the purpose of seeking a Simplified Residential Zoning Variation to allow an addition to a house to encroach into the required 66.55-foot yard abutting a street by a total of 37 feet and 3 feet 4 inches into the required 8-foot side yard setback, as well as any other variations as presented at the public hearing pursuant to Unified Development Ordinance Article 3 and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, March 1, 2023, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

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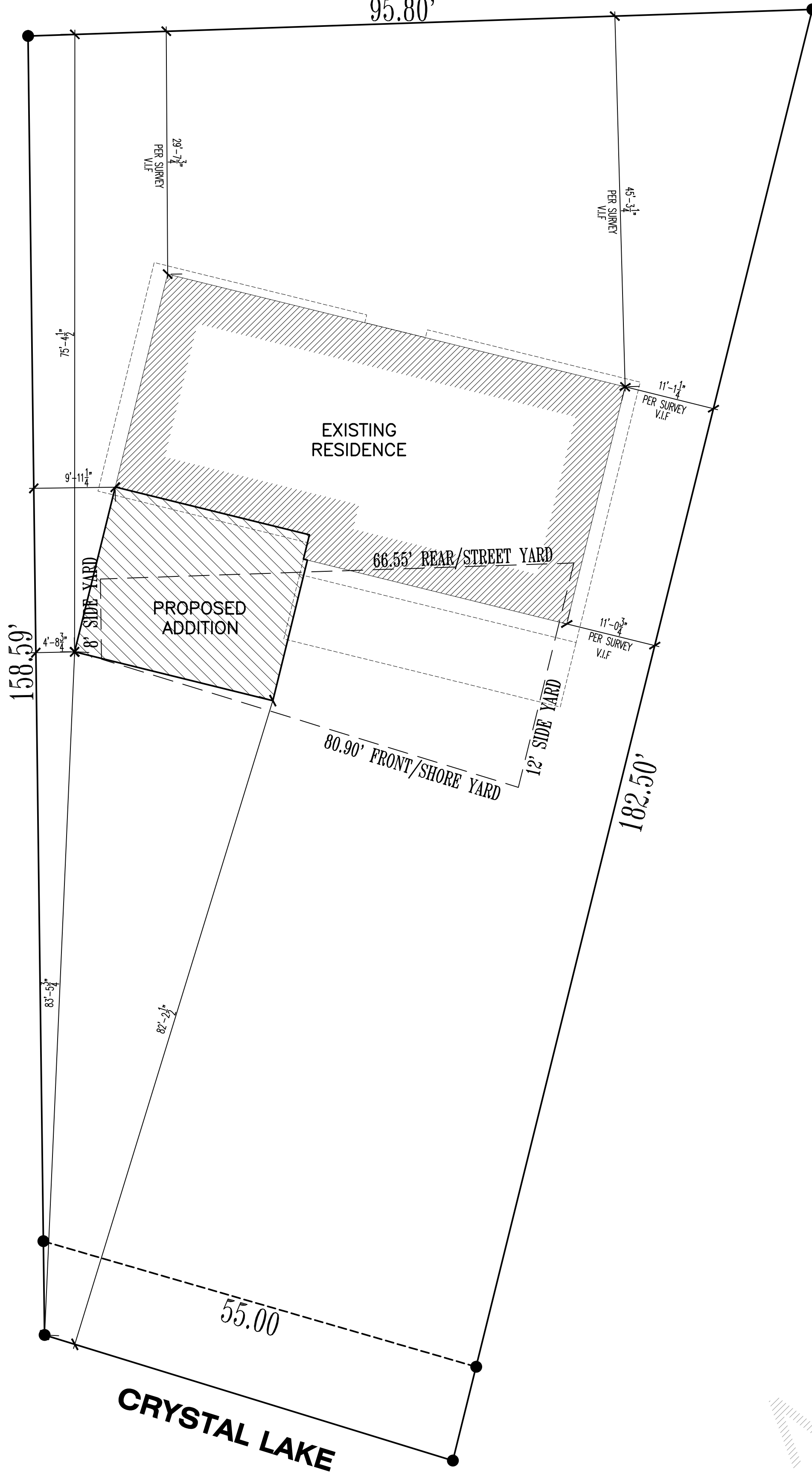
BLUM RESIDENCE

741 WOODLAND DRIVE

CRYSTAL LAKE, IL 60014

WOODLAND DRIVE

95.80'



CRYSTAL LAKE SPECIFIC NOTES:

NOTE: SOME NOTES LISTED IN THIS SECTION MAY NOT APPLY TO THE THIS SPECIFIC PROJECT DRAWING SET. ALL NOTES LISTED SHALL BE ACKNOWLEDGED WHETHER RELEVANT TO THIS PROJECT OR NOT.

NOTE: PROVIDE 1/2" X 3/8" FLOOR-TO-FLOOR FLAT STRIP TIES @ 2ND FLOOR DECK WITHIN 6'-0" OF CORNERS & 12'-0" ON CENTER.

NOTE: ANY PORTION OF EAVES & WALLS SHOWN WITHIN 5'-0" OF THE PROPERTY LINE SHALL HAVE A MINIMUM FIRE RATING OF 1-HR, TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 WITH EXPOSURE FROM BOTH SIDES. ANY PORTION OF SOFFITS & FASCIA WITHIN 5'-0" OF THE PROPERTY LINE SHALL HAVE 3/8" GYP. BD. UNDER THE NORMAL WEATHER PROTECTIVE MATERIAL SPECIFIED.

DRAWING INDEX

A000	SITE PLAN, DRAWING INDEX, GENERAL NOTES
A010	LOWER LEVEL DEMOLITION PLAN
A011	UPPER LEVEL DEMOLITION PLAN
A101	LOWER LEVEL PLAN
A102	UPPER LEVEL PLAN
A200	FRONT ELEVATION, REAR ELEVATION

NOTES:

- VERIFY UTILITY LOCATIONS.
- VERIFY TREES TO BE REMOVED WITH OWNER.
- VERIFY STRUCTURE LOCATION WITH OTHERS.

SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.

- REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
- BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.

NOTE:
MAINTAIN EXISTING GRADES & DRAINAGE PATTERN. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITEE

IECC - INTERNATIONAL ENERGY CONSERVATION CODE
--NOTE TO PLAN REVIEWERS, OFFICIALS & CONTRACTORS--

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE CURRENT EDITION OF INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY THE STATE OF ILLINOIS AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.
- THE ARCHITECT HAS CHOSEN TO DEMONSTRATE COMPLIANCE OF MEETING THE PROVISIONS OF THE ILLINOIS ENERGY CONSERVATION CODE COVERED BY 71 ILL. ADM. CODE 600 SUBPART 10 BY SUBMITTING, AS REQUIRED BY SECTION 14.02 OPTION 1, THE SEAL OF THE ARCHITECT/ENGINEER AS REQUIRED BY SECTION 14 OF THE ILLINOIS ARCHITECTURAL PRACTICE (225 ILCS 305).
- AS SPECIFIED BY THE CODE, 401.2 OPTION 1, COMPLIANCE IS DEMONSTRATED BY MEETING THE REQUIREMENTS OF SECTION 402 TO 404 OPTION 1. THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE ALTERNATIVE" OR "RESOCH" TO EVALUATE THE ENVELOPE.
- THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME. CONTRACTORS SHOULD ALSO VERIFY WHICH EDITION/YEAR ENERGY CODE SHALL BE FOLLOWED BASED ON THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED IN.

NOTE TO BIDDERS & CONTRACTORS:

+++ IF YOU DON'T READ ANY OTHER NOTES - READ THIS ONE +++

THESE PLANS HAVE BEEN PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THIS APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT FOR APPROVAL PRIOR TO BEGINNING WORK.

THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION. NOT ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL PROGRESS OR COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR DISCIPLINES AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

PLAN & ELEVATION SYMBOLS

5 S SHELVES	1SR 1 SHELF & ROD	SPRINKLER HEAD
GAS HOOKUP	WATER HOOKUP	FROST PROOF HOSE BEB
SHOWER HEAD FAUCET	SHOWER RAIN HEAD	FLOOR DRAIN
PRE-FAB FIREPLACE FLUE	MASONRY FIREPLACE FLUE	REBAR
CEILING DETAIL DIAGRAM	WORK POINT	ROOF PITCH
SECTION/VIEW MARKER	ELEVATION MARKER	REVISION MARKER

V.L.F. VERIFY IN FIELD
V.O. VERIFY WITH OWNER

FACE BRICK	HORIZONTAL SIDING	BOARD & BATT INSULATION	ASPHALT/FLYASH ROOFING
STONE	SHAKE SIDING	CEDAR SHAKE ROOFING	CONCRETE
FIELD STONE	STUCCO	METAL ROOFING	GRAVEL

ELECTRICAL SYMBOLS:

SMOKE DETECTOR (S)	SWITCH	TELEPHONE JACK
DUPLEX OUTLET (D)	DOOR ACTIVATED SWITCH	TELEPHONE JACK
QUAD OUTLET (Q)	MOTION ACTIVATED SWITCH	FAN JACK
SWITCHED DUPLEX OUTLET (SD)	TERMOSTAT CONTROLS	FAN JACK
CEILING MOUNTED LIGHT FIXTURE	EXHAUST FAN	110V SMOKE DETECTOR
RECESSED CAN LIGHT	EXHAUST FANLIGHT	110V SMOKE & CARBON MONOXIDE DETECTOR COMBO
DIRECTIONAL RECESSED CAN L.T.	FLOOD LIGHT W/ MOTION DETECTOR	110V SMOKE & CARBON MONOXIDE DETECTOR COMBO
WALL MOUNTED LIGHT FIXTURE	CEILING MOUNTED FAN/LIGHT	WIRE IN SERIES W/ BATTERY BACKUP PLAN ON DEKATED CIRCUIT
RECESSED WATER PROOF LED CAN LIGHT (EXTERIOR)	LED LIGHT STRIP	W.P. - WATER PROOF
EXTERIOR LAMP W/ POST	P.C. - PULL CHAIN LIGHT	GF - GROUND FAULT CIRCUIT INTERRUPTER
FLUORESCENT LIGHT FIXTURE	W.P. - WATER PROOF	

WALL TYPES

NEW FRAME WALL	NEW FOUNDATION WALL & FOOTING
DRYWALL, ARCHED OR CASD OPENING	DEPRESSED FOUNDATION WALL
BEARING WALL ABOVE	TR. SILL PLATE @ FDN. WALL

NOTE TO CONTRACTORS

- ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.
- ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

CODE CONFORMANCE

THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FIRE CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2014 ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2017 ILLINOIS CRIMINAL JUSTICE CODE
- 2017 ILLINOIS CRIMINAL JUSTICE CODE

PLUMBING NOTES

- PROVIDE GAS SHUTOFF VALVES TO ALL GAS APPLIANCES & FIREPLACES
- ALL FRAMING DRILLED FOR PLUMBING KENS OR SIMILAR HOLES TO BE IN A 2 X 6 MIN. STUD WALL
- ALL WATER LINES TO A SECOND FLOOR TO HAVE 1/2" AIR CHAMBERS
- BELOW GROUND WASTE - SCHEDULE 40 P.V.C, 1100 SERIES
- BELOW GROUND WATER - SCH 40 P.V.C OR CAST IRON
- BELOW GROUND WATER - TYPE L COPPER, NO LEAD SOLDER
- BELOW GROUND WATER - TYPE K COPPER
- UNDERGROUND SANITARY SHALL BE 1/2" MIN.
- COLORLED PRIMER & STACK TEST REQUIRED ON ALL P.V.C PIPING
- 75 LB. AIR OR WATER PRESSURE TEST REQUIRED ON WATER PIPING

HVAC NOTES:

- HVAC CONTRACTOR TO VERIFY NEW & EXISTING HVAC SYSTEMS IN FIELD
- HVAC CONTRACTOR TO VERIFY HVAC SYSTEMS ARE CAPABLE OF PROVIDING ADEQUATE AIR FLOW TO NEW ADDITION, UPDATE, REPLACE, ADD TO OR MOVE AS REQ'D
- FOR ANY PROPOSED ATTIC FURNACES, PROVIDE A SMOKE/CO2 DETECTOR, PROVIDE FLOOR DRAIN WITH PAN & AUTO SHUT OFF VALVE (FOR DRAIN BACK UP) ALONG WITH ANY OTHER REQUIREMENTS WHICH MAY BE NEEDED TO SATISFY LOCAL & NATIONAL BUILDING CODES
- DUCT JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT
- DUCTS SHALL BE SUPPORTED @ 10'-0" MIN. INTERVALS
- PROVIDE MIN. 36" DEEP X 36" WIDE X 78" HIGH CLEAR WORK AREA IN FRONT OF FURNACE SERVICE PANEL

FINISHES

- ALL INTERIOR & EXTERIOR FINISHES INCLUDING BUT NOT LIMITED TO MOLDING, DOORS, WINDOWS, SIDING, ROOFING, ETC. ARE TO MATCH EXISTING UNLESS OTHERWISE NOTED.

DESIGN LOADING VALUES

ROOF = 30 PSF LIVE LOAD
CEILING = 20 PSF LIVE LOAD
FLOOR = 60 PSF LIVE LOAD FOR EXTERIOR BALCONY
= 40 PSF LIVE LOAD FOR FLOORS, DECKS, STAIRS

WALLS = 20 PSF WIND FOR 0-20 FT. HEIGHT
= 25 PSF WIND FOR 21-29 FT. HEIGHT
= 30 PSF WIND FOR 30 FT. AND ABOVE

SOL = 3000 PSF MINIMUM ASSUMED
OWNER/CONTRACTOR RESPONSIBLE TO VERIFY

CONCRETE/MASONRY NOTES:

- SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT, THICKNESS & REINFORCING OF FOUNDATION WALLS
- FOUNDATION REINFORCING TO BE GRADE 60, LAP CONTINUOUS BARS 3X DIAMETERS
- FOUNDATION WALLS WITH FULL MASONRY VENEER ABOVE TO BE A MINIMUM OF 10" THICK
- ALL EXTERIOR WALKOUT OR ENGLISH BASEMENT FRAME WALLS 4" (2x6 W/ 1/2" SHEATHING)
- STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS & 3500 PSI FOR CONCRETE FLAT WORK AND EXTREME CONDITIONS
- ALL FORMWORK, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI & BETWEEN 5/8" & 7/8" AIR ENTRAINED
- FOUNDATION HEIGHT TO BE AT SUCH A LEVEL SO NEW TOP OF FINISHED FLOOR MATCHES EXISTING TOP OF FINISHED FLOOR, UNLESS OTHERWISE NOTED
- PROVIDE SAW CUTS IN EXISTING FOUNDATION TO PROVIDE FOR ADEQUATE ACCESS EITHER TO NEW GRADE, SPACE OR BASEMENT, PER PLANS AND LOCAL CODES
- PROVIDE SAW CUTS IN EXISTING FOUNDATION FOR HVAC ACCESS TO NEW ADDITION AS REQ'D
- CONTRACTOR IS RESPONSIBLE TO PROVIDE VERIFICATION OF EXISTING STRENGTH AND DEPTH OF EXISTING FOUNDATION AND FOOTING
- MASONRY MORTAR TO BE TYPE N

WINDOW NOTES:

- VERIFY ALL NEW WINDOW SIZES IN FIELD PRIOR TO PURCHASE
- NEW WINDOWS TO MATCH EXISTING WINDOW TYPE & STYLE, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING UNLESS FOLLOWING HDR HEIGHTS BELOW
- FOR BASEMENTS, TOP OF WINDOWS @ 6'-8" (80") ABOVE FLOOR SLAB, UNLESS OTHERWISE NOTED
- FOR 10'-0" PLATES, TOP OF WINDOWS @ 106-3/4" ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED
- FOR 8'-0" PLATES, TOP OF WINDOWS @ 102-3/4" ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED
- FOR 8'-0" PLATES, TOP OF WINDOWS @ 82-3/4" ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED
- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES
- EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- PROVIDE (2) 2 X 12 HDR. ABOVE ALL NEW WINDOWS & OPENINGS, UNLESS OTHERWISE NOTED
- VERIFY ALL EXISTING HEADERS WHERE BEARING WILL BE INCREASED AS A RESULT OF THE REMODELING, TO BE MIN. (2) 2 X 12 HDR., UNLESS OTHERWISE NOTED
- PROVIDE TEMPERED SAFETY GLAZING IN ALL NEW WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 18" OF FLOOR, IN TUB & SHOWER ENCLOSURES, & IN STAIR WELLS
- PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2000 WHEN NEW WINDOW SILLS ARE LESS THAN 24" ABOVE FINISHED FLOOR
- ALL NEW FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS = (0.30), SKYLIGHTS = (0.55)
- WINDOW & DOOR TAGS: FIXED WINDOW = (F), TEMPERED WINDOW = (T)

STRUCTURAL NOTES:

- PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS & POINT LOADS
- ALL INTERIOR FRAME WALL PARTITIONS = 3-1/2" (2 X 4 STD.) UNLESS OTHERWISE NOTED
- ALL EXTERIOR FRAME WALLS = 4-1/2" (2 X 4 STD + 1" SHEATHING)
- ALL EXTERIOR FRAME WALLS WITH MASONRY VENEER = 9-1/2" (2 X 4 STD + 1" SHEATHING + 1" AIR SPACE + 4" MASONRY VENEER)
- ALL EXTERIOR FRAME WALLS 5'-0" OF 12 X 12 STD + 1/2" SHEATHING
- ALL EXTERIOR FRAME WALLS WITH MASONRY VENEER = 11'-0" (2 X 4 STD + 1/2" SHEATHING + 1" AIR SPACE + 4" MASONRY VENEER)
- ALL EXTERIOR DIMENSIONS ARE SHIPPED TO EXTERIOR OF WALL SHEATHING OR FULL MASONRY VENEER & ALSO CONSIDERS WITH EXTERIOR OF FOUNDATION EXCE (DIMENSIONS ARE NEVER SHIPPED TO FINISH OUT MASONRY VENEER, THEY ARE SHIPPED AS A TYPE OF EXTERIOR SIDING/CLADDING)
- ALL STEEL TO BE A-36 & STRUCTURAL STEEL BOLTS TO BE A-308
- PROVIDE (2) X 3-1/2" X 5/16" STEEL ANGLE L.L.V. ABOVE OPENINGS UP TO 4'-0" WIDE WITH MASONRY VENEER ABOVE
- PROVIDE (2) X 4" X 1/2" STEEL ANGLE L.L.V. ABOVE OPENINGS FROM 4'-0" TO 16'-0" WIDE WITH MASONRY VENEER ABOVE
- PROVIDE (2) X 4" X 1/2" STEEL ANGLE L.L.V. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH UP TO 2'-0" OF MASONRY VENEER ABOVE
- PROVIDE (2) X 4" X 1/2" STEEL ANGLE L.L.V. ABOVE 18'-0" & 18'-0" WIDE OVERHEAD DOORS WITH MORE THAN 2'-0" OF MASONRY VENEER ABOVE
- STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS & SHIMS FOR A COMPLETE INSTALLATION
- STEEL FLUTCH PLATE BEAMS TO BE CONNECTED WITH 1/2" DIA. BOLTS STAGGERED @ 20" O.C. @ (2) @ EACH END
- ALL STEEL BEAMS, LINTELS & COLUMN PLATES SHALL BE SHOP PRIMED
- STEEL SHALL BE BRANDED FOR EACH END @ 2'-0" BETWEEN PANELS MARK
- ALL JOISTS, STUDS & RAFTERS TO BE S.F.P. #2 (CANADIAN), UNLESS OTHERWISE NOTED
- ALL HEADERS TO BE (2) 2 X 12 S.F.P. #2 (CANADIAN), UNLESS OTHERWISE NOTED
- THE DIAMETER OF HOLES BORED INTO SOLID SAWN FRAMING MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER & SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE
- THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED FRAMING MEMBERS SHALL FOLLOW MFG. APPROVED SPECIFICATIONS
- PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOIST AT THE TIME OF INSPECTIONS
- PRE-ENGINEERED FLOOR JOIST TO BE "TRUSJOIST" MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS
- PRE-ENGINEERED FLOOR JOIST SUPPLIER SHALL PROVIDE JOIST LAYOUT FROM MANUFACTURER PRIOR TO START OF ROUGH FRAMING

ELECTRICAL NOTES

- WHEN REMODELING OR ADDING TO EXISTING STRUCTURES, THE FOLLOWING NOTES APPLY:
ALL OUTLETS ABOVE KITCHEN COUNTERTOP TO BE GFI & MAXIMUM 45" O.C.
ALL OUTLETS WITHIN 72" OF ANY SINK OR WATER FEATURE TO BE GFI
ALL OUTLETS IN GARAGE TO BE GFI
- WHEN REMODELING OR ADDING TO EXISTING STRUCTURES, THE FOLLOWING NOTES APPLY:
ALL EXISTING ELECTRICAL COMPONENTS WHICH ARE AFFECTED BY THE REMODELING AND/OR ADDITION ARE TO BE ADJUSTED, UPDATED, MOVED OR WIREWORK AS REQ'D TO CONFORM TO CURRENT LOCAL & NATIONAL ELECTRICAL CODES
- WHEN MODIFYING AN EXISTING RESIDENCE (ALTERATIONS, REPAIRS OR MODIFICATIONS), THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODE & LOCATED AS REQUIRED FOR A NEW DWELLING.
(1) COMBO, SMOKE/CARBON MONOXIDE DETECTOR @ EACH FLOOR LEVEL
(1) SMOKE DETECTOR IN EACH BEDROOM
(1) COMBO, SMOKE/CARBON MONOXIDE DETECTOR WITHIN 15'-0" OF EACH BEDROOM DOOR/ENTRANCE
- ALL TYPICAL ROOM OUTLETS TO BE SPACED MAX. 12'-0" APART, UNLESS OTHERWISE NOTED
- VERIFY THAT NO POINT ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET
- ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING
- ALL OUTLETS SHALL BE ARC FAULT PROTECTED
- ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT
- RECESSED INCANDESCENT SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED 6" MIN. IN FRONT OF THE TOP SHELF, SURFACE MOUNTED INCANDESCENT FIXTURES IN WALK-IN CLOSETS SHALL BE 12" MIN. IN FRONT OF TOP SHELF & SHALL BE FULLY ENCLOSED WITH A GLOBE, SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN CLOSETS
- ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN
- PROVIDE SEPARATE 20 AMP CIRCUITS FOR KITCHEN REFRIGERATORS, MICROWAVES, GARBAGE DISPOSALS & DISHWASHERS
- PROVIDE SEPARATE LOCAL DISCONNECTS FOR KITCHEN GARBAGE DISPOSALS & DISHWASHERS
- PROVIDE MIN. 36" DEEP X 36" WIDE X 78" HIGH CLEAR WORK AREA IN FRONT OF ELECTRICAL PANEL
- PROVIDE 200 AMP ELECTRICAL SERVICE FOR BUILDINGS UP TO 6,000 SF
- PROVIDE 400 AMP ELECTRICAL SERVICE FOR BUILDINGS OVER 6,000 SF

ARCHITECTS & PLANNERS, INC.

98 W. Main St.
Lake Geneva, WI 53147
1700 E. Rutledge Ave.
Waukegan, WI 53186

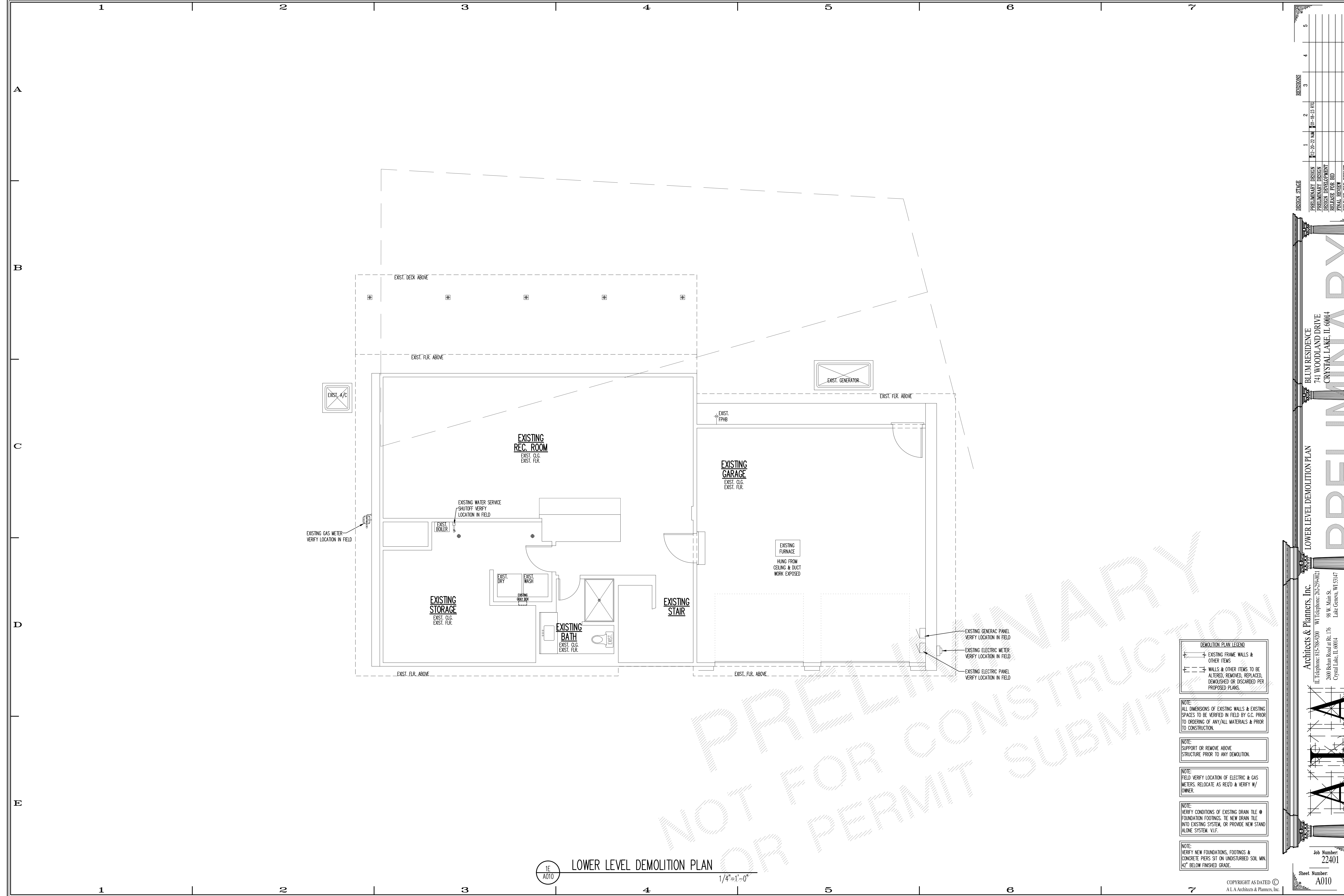
2600 Behan Road at Rt. 176
Crystal Lake, IL 60014
40 Crystal St.
Cary, IL 60013

IL Telephone: 615-788-9200 WI Telephone: 262-259-0401

Job Number: 22401
Sheet Number: A000

DATE: 22-01-2020

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DEMOLITION PLAN LEGEND

	EXISTING FRAME WALLS & OTHER ITEMS
	WALLS & OTHER ITEMS TO BE ALTERED, REMOVED, REPLACED, DEMOLISHED OR DISCARDED PER PROPOSED PLANS.

NOTE: ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.

NOTE: SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.

NOTE: FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS REQ'D & VERIFY W/ OWNER.

NOTE: VERIFY CONDITIONS OF EXISTING DRAIN TILE @ FOUNDATION FOOTINGS. THE NEW DRAIN TILE INTO EXISTING SYSTEM, OR PROVIDE NEW STAND ALONE SYSTEM. V.I.F.

NOTE: VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERS SIT ON UNDISTURBED SOIL MIN. 42" BELOW FINISHED GRADE.

1E A010 LOWER LEVEL DEMOLITION PLAN 1/4"=1'-0"

REVISIONS

5			
4			
3			
2			
1			

DESIGN STAGE

PRELIMINARY DESIGN	
PRELIMINARY DESIGN	
DESIGN DEVELOPMENT	
RELEASE FOR BID	
FINAL REVIEW	
RELEASE FOR PERMIT	
REVISION	

Architects & Planners, Inc.
 2600 Belton Road at Rt. 176
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 98 W. Main St.
 Lake Geneva, WI 53147
 1700 E. Resane Ave.
 Waukegan, WI 53186
 40 Crystal St.
 Cary, IL 60013

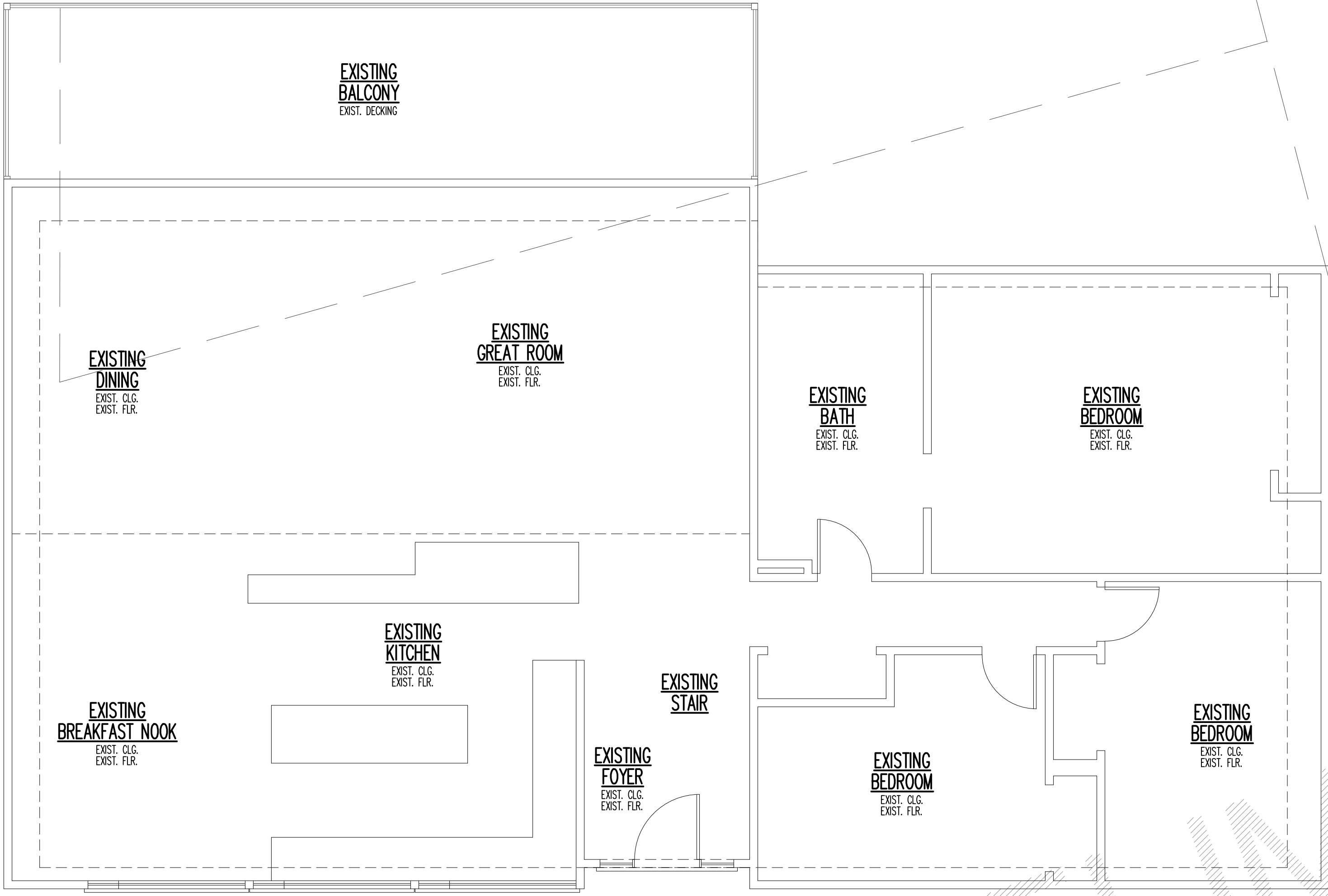
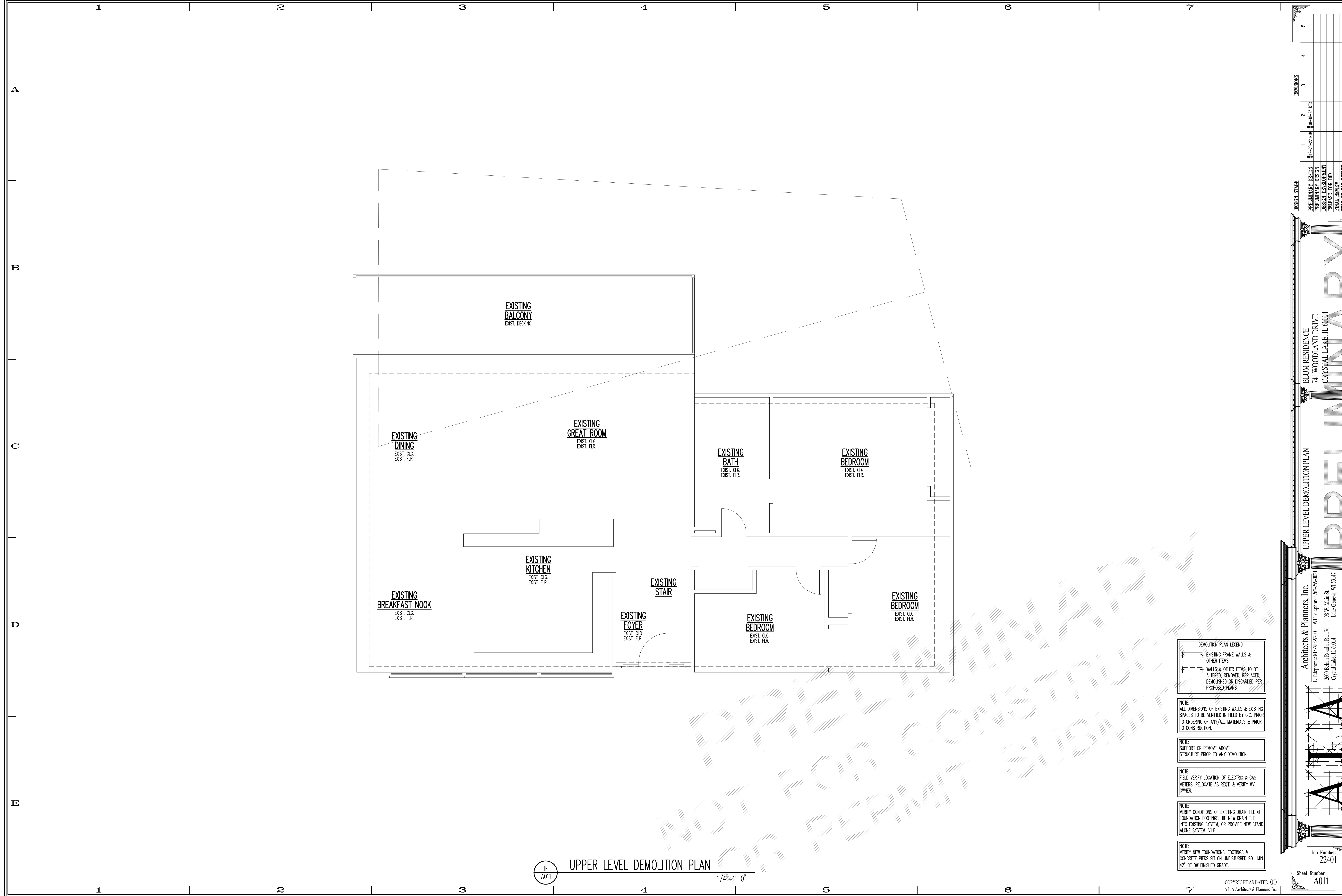
BLUM RESIDENCE
 741 WOODLAND DRIVE
 CRYSTAL LAKE, IL 60014

LOWER LEVEL DEMOLITION PLAN

PRELIMINARY

Job Number: 22401
Sheet Number: A010

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DEMOLITION PLAN LEGEND

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1E A011 UPPER LEVEL DEMOLITION PLAN
1/4"=1'-0"

REVISIONS

5			
4			
3			
2			
1			

DESIGN STAGE

PRELIMINARY DESIGN	
PRELIMINARY DESIGN	
DESIGN DEVELOPMENT	
RELEASE FOR BID	
FINAL REVIEW	
RELEASE FOR PERMIT	
REVISION	

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PRELIMINARY

UPPER LEVEL DEMOLITION PLAN

A L A

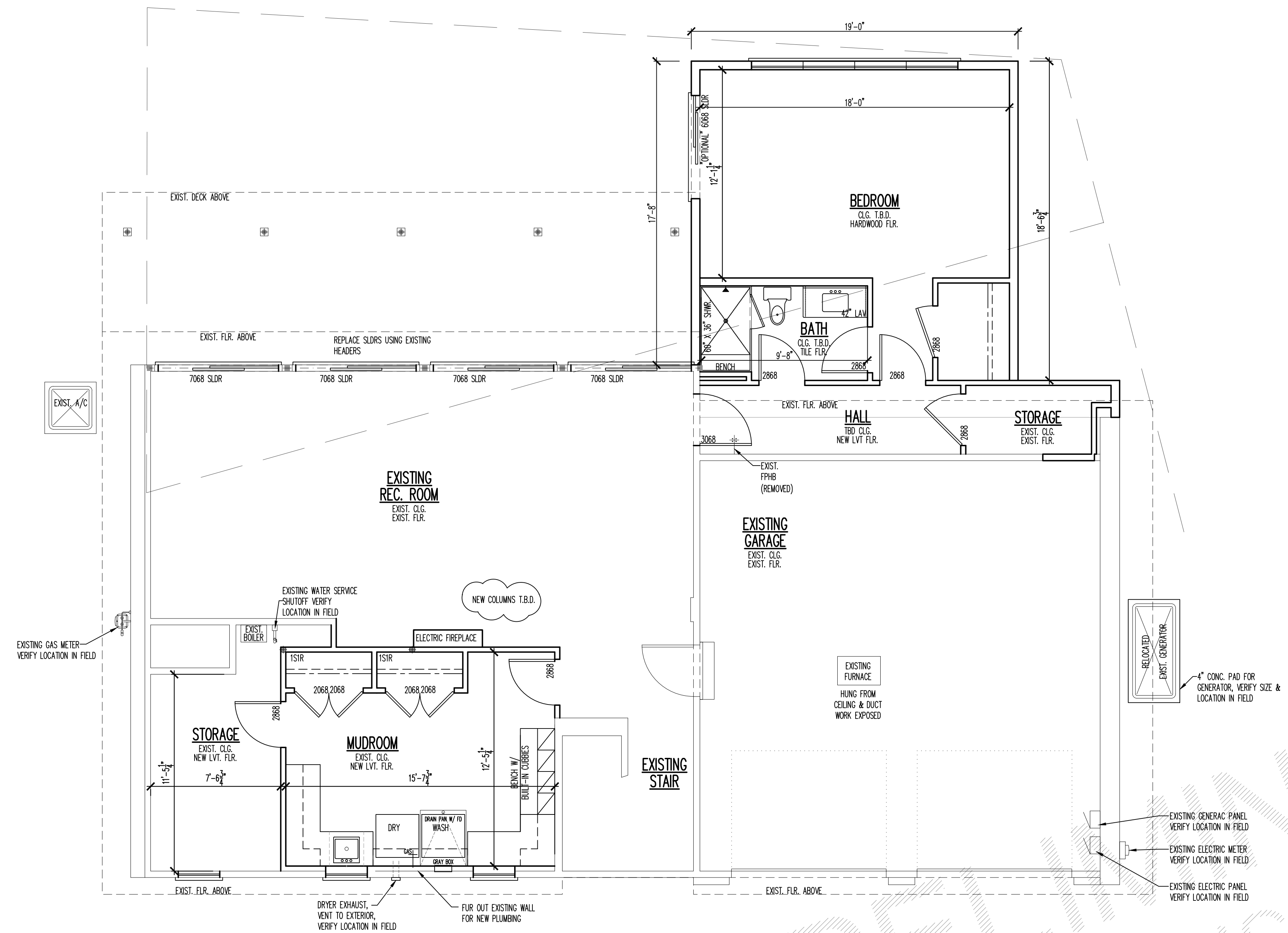
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Job Number: 22401
Sheet Number: A011

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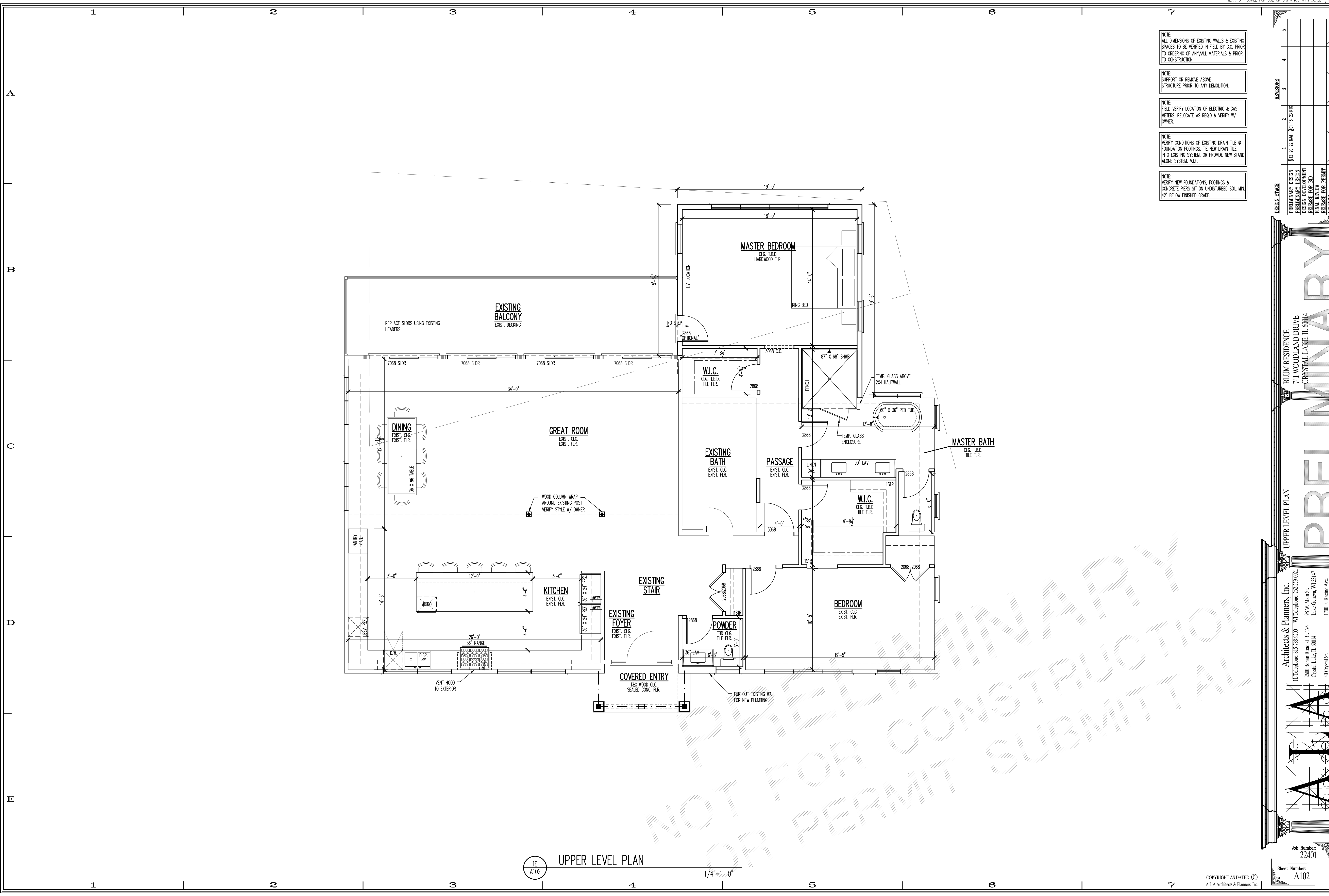
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DESIGN STAGE	DATE	BY	APP'D
PRELIMINARY DESIGN	12-22-14	PL	PL
PRELIMINARY DESIGN	12-22-14	PL	PL
DESIGN DEVELOPMENT			
RELEASE FOR BID			
FINAL REVIEW			
RELEASE FOR PERMIT			
REVISION			



1E AT01 LOWER LEVEL PLAN
1/4"=1'-0"

PRELIMINARY
 LOWER LEVEL PLAN
 BLUM RESIDENCE
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 Job Number: 22401
 Sheet Number: A101
 File Name: L1A07D1100



- NOTE: ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.
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DESIGN STAGE	DATE	BY	APP'D
PRELIMINARY DESIGN	12-22-21	MM	MM
PRELIMINARY DESIGN	12-22-21	MM	MM
DESIGN DEVELOPMENT	01-23-22	MM	MM
RELEASE FOR BID			
FINAL REVIEW			
RELEASE FOR PERMIT			
REVISION			

UPPER LEVEL PLAN

BLUM RESIDENCE
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CRYSTAL LAKE, IL 60014

PRELIMINARY

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Job Number: 22401

Sheet Number: A102

File Name: LAYOUT100

1E
A102
UPPER LEVEL PLAN
1/4"=1'-0"

1 2 3 4 5 6 7

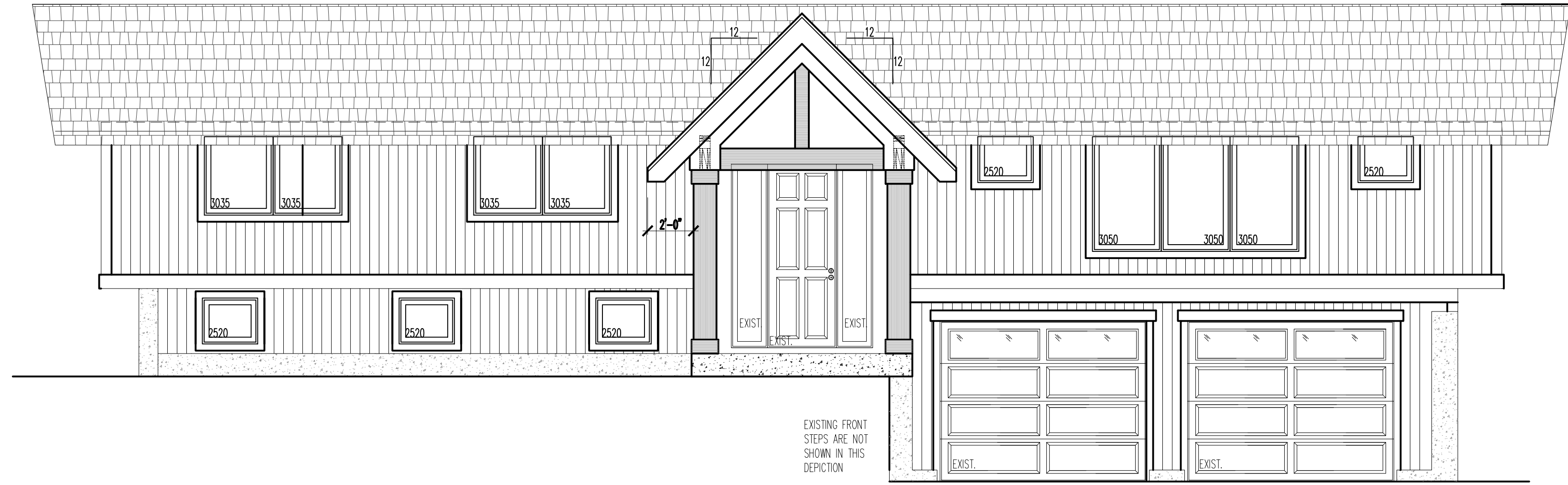
A

B

C

D

E



1E FRONT ELEVATION
A200 1/4"=1'-0"



1E REAR ELEVATION
A200 1/4"=1'-0"

ELEVATION NOTES

- DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES TO BE MET WITHIN 2" OR EXCEEDED, DEPENDING ON MFG.
- EXAMPLE: 2555 = 2'-5" X 5'-5"
- EXAMPLE: 3068 = 3'-0" X 6'-8"
- EXAMPLE: 18080 = 18'-0" X 8'-0"
- TEMPERED GLASS = (T) DOOR OR WINDOW PANE SLIDES RIGHT = (R)
- FIXED WINDOW = (F) DOOR OR WINDOW PANE SLIDES LEFT = (L)
- EGRESS WINDOW = (E)
- EGRESS WINDOW BREAKDOWN =
 - MIN. CLEAR OPEN AREA OF 5.7 SF.
 - MIN. CLEAR OPEN WIDTH OF 20"
 - MIN. CLEAR OPEN HEIGHT OF 24"
 - MAX. SILL HEIGHT OF 44"

REMODELING & ADDITION NOTES

- WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
- ALL NEW FASCIA, FRIEZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
- VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE, VERIFY LOCATION WITH PLANS AND OWNER.

NO.	DATE	DESCRIPTION
1	11-22-21	PRELIMINARY DESIGN
2	11-22-21	PRELIMINARY DESIGN
3	11-22-21	DESIGN DEVELOPMENT
4	11-22-21	RELEASE FOR BID
5	11-22-21	FINAL REVIEW
6	11-22-21	RELEASE FOR PERMIT
7	11-22-21	REVISION

DESIGN STAGE
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Job Number: 22401
 Sheet Number: A200

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