



#2023-35
997 North Shore Drive – Variations
Project Review for Planning and Zoning Commission

Meeting Date: April 5, 2023

Request: Variations from Article 3:

1. to allow the encroachment of the principal structure 10 feet 3 inches into the 106.98 street side setback,
2. to allow the encroachment of the principal structure 15 feet 3 inches into the 59.27-foot front yard (lake side) setback,
3. to allow a three-foot encroachment by a roof overhang over the bay windows, a one-foot variation,
4. the construction of an accessory structure (a raised patio and spa with retaining wall), which encroaches an additional 11 feet into the 59.27-foot, a variation of 26 feet, and
5. to allow a total impervious surface coverage of 59%, a variation of 9% or 1,053 square feet.

Location: 997 North Shore Drive

Acreage: Approximately 11,500 square feet

Existing Zoning: R-2 Single Family

Surrounding Properties: North: R-2 Single Family
South: Crystal Lake
East: R-2 Single Family
West: R-2 Single Family

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The property is an existing single-family residential lot in Crystal Lake.
- The petitioner plans to demolish the existing house and construct a new house.
- The back wall of the new house will be in generally the same location as the house is now. Due to the averaged setbacks this requires variations into the front yard and street yard setbacks.
- The new house and driveway will be increasing the impervious surface by about 2,311 square feet. It requires a variation to allow up to 59% impervious coverage.

Development Analysis:

General

- **Request:** To construct a new house, which encroaches into the front yard setback, street-side setback, with bay window roof overhangs into the side yards, and to exceed the maximum impervious surface coverage.
- **Zoning:** The site is zoned R-2 Single Family. This property will be used as a single-family home.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- The front yard setback and street side setback is determined by the average of homes with 400 feet. The setbacks are unique to each lot. The front yard setback along the lake cuts through the existing home footprint.
- Staff has reviewed the proposed location of the house and offers two suggestions for relocation to reduce or amend the requested variations. The exhibits at the end of the report illustrate the proposed footprint and two modified footprints which pull the house farther away from the lakefront.
- The petitioner is required to install a trench drain in the street side yard of the property large enough to accommodate the house, gutter/roof drains, and the driveway. The trench is calculated at approximately 32 feet in length, which is dependent on receiving additional information. An additional trench is required closer to the lake to catch the remaining water.
- Moving the home closer to the street would reduce the driveway length, reducing some of the impervious surface. The existing parking pad is going to be extended as a driveway.

Existing view of garage, parking pad and house.



Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting Variations from Article 3 to allow the encroachment of the principal structure 10 feet 3 inches into the 106.98 street side setback, to allow the encroachment of the principal structure 15 feet 3 inches into the 59.27-foot front yard (lake side) setback, to allow a three-foot encroachment by a roof overhang over the bay windows, a one-foot variation, the construction of an accessory structure (a raised patio and spa with retaining wall), which encroaches an additional 11 feet into the 59.27-foot, a variation of 26 feet, and to allow a total impervious surface coverage of 59%, a variation of 9% or 1,053 square feet.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Design Standards

City staff reviews new construction against the UDO design standards. New Subdivisions and Infill Development are subject to the following design standards:

1. Orientation of Buildings (Mandatory)

Meets *Does not meet*

Orientation of dwellings. For new and in-fill development, the main entrance of each primary structure must face the street, unless for in-fill development, another pattern is well established on the block. On corner lots, the main entrance may face either of the streets or be oriented to the corner. Where dwellings have more than one main entrance, only one entrance must meet this requirement

2. Entry Features (Mandatory)

Meets *Does not meet*

Infill development: On blocks where at least 75% of the existing dwellings have front porches, new dwellings will be required to have front porches, consistent with the style of the house. Even on blocks without a dominant pattern of porches, the inclusion of front porches is encouraged as a symbol of entry.

3. Garages (Optional)

Meets *Does not meet* (*existing garage meets, new garage does not*)

Infill development: In general, new garages should be located and sized consistent with the established pattern in the neighborhood.

Where 75% of the existing dwellings on a block have detached garages, new garages shall also be detached.

In neighborhoods where the predominant pattern is one-car or two-car attached garages, new garages that are for three cars should either be turned sideways to the street, or where that is not possible due to lot restraints, configured as two tandem spaces and one single space or split and offset as two distinct garages, a two-car and a one-car garage.

Detached garages shall be of the same style, appearance and building material of the dwelling.

4. Building Foundations (Optional)

Meets *Does not meet*

Building foundations. New subdivisions and in-fill development: Exposed foundations walls or piers shall be clad in face brick, stone, stucco, or the principal exterior building material. Latticework screening shall be installed between the piers on front and side building facades.

5. Roofs and Rooflines (Optional)

Meets *Does not meet*

Where 75% of the existing dwellings on a block have a predominant pattern of peaked roofs, the proposed dwelling shall also have a peaked roof.

6. Windows and Entryways (Optional)

Meets *Does not meet*

New dwellings in established neighborhoods are encouraged to be compatible with the architectural style found in the neighborhood. Compatibility can be achieved by selecting window styles (double hung, casement, fixed, etc.) and frame materials that are specific to the predominant architectural style found in the neighborhood. Compatibility can also be achieved by paying attention to window sizes and proportions. For example, ranch-style windows are often wider than they are high, Victorian windows are typically tall and slender. Several styles also traditionally employ the same window repeated in groups of two, three or four as a fundamental style of expression.

7. Exterior Finish Materials (Optional)

Meets *Does not meet*

New subdivisions and in-fill development. Traditional masonry building materials such as brick or stone or wood clapboard or fiber cement siding are highly encouraged as exterior finish materials. Plain concrete block, plain concrete, corrugated metal, aluminum siding, plywood and sheet pressboard are not allowed as exterior finish material. Artificial stucco and exterior insulation and finish systems (EIFS) are not permitted as exterior finish materials. Authentic stucco consisting of three-coat Portland cement is acceptable. For in-fill developments, the materials should be appropriate to the style and style era of the dwelling. Materials developed after the establishment of a particular architectural style are appropriate only where they are of high quality or are deliberate reproductions of the original material. Composite boards manufactured from wood or other products, such as hardboard or hardiplank may be used where the board product is less than six inches wide. Where wood products are used for siding, the siding must be shingles or horizontal siding and not shakes. Where horizontal siding is used, it must be ship-lap or clapboard siding composed of boards with a reveal of three to six inches. If vinyl siding is used, it must be in a clapboard or ship-lap pattern where the Boards in the pattern are six inches or less in width.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

Supporting Actions: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines.

Supporting Actions: Provide for a reasonable rate of residential growth especially infill growth and mixed-use development which take advantage of existing city services.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Hutchins, received 02/27/23)
 - B. Civil Plans (Schmitt Engineering, dated 03/03/23, received 03/16/23)
 - C. Elevations (ALA Architects, dated 02/27/23, received 03/01/23)
 - D. Impervious Exhibit (Schmitt Engineering, dated 03/16/23, received 03/16/23)
 - E. Plat of Survey (Heritage Land Consultants, dated 06/23/22, received 03/01/23)
2. A trench drain must be installed in the street side yard that takes the front of the house, roof drains/gutters, and the driveway water flows into the trench. The trench shall be moved away from the property line and designed and sized appropriately. The driveway must be pitched west so water flows to the trench.
3. No additional impervious coverage from the current coverage is permitted between the existing rear of the house and the lakefront, due to the water body buffer. Provide documentation showing the existing impervious coverage and proposed impervious coverage in this area.
4. An adequate stormwater management system must be designed to properly convey onsite and offsite water for 100-year storm event.
5. All impervious surface areas shall be installed at least 18 inches from any side property line.
6. Retaining walls cannot exceed 3 feet in height at any point or be used to alter natural grade, provide additional details on the patio construction.
7. The petitioner shall address all of the review comments and requirements of Public Works and Engineering Department, Community Development Department and the City's Stormwater Consultant.

Exhibit A
Petitioner's Proposed Building Footprint

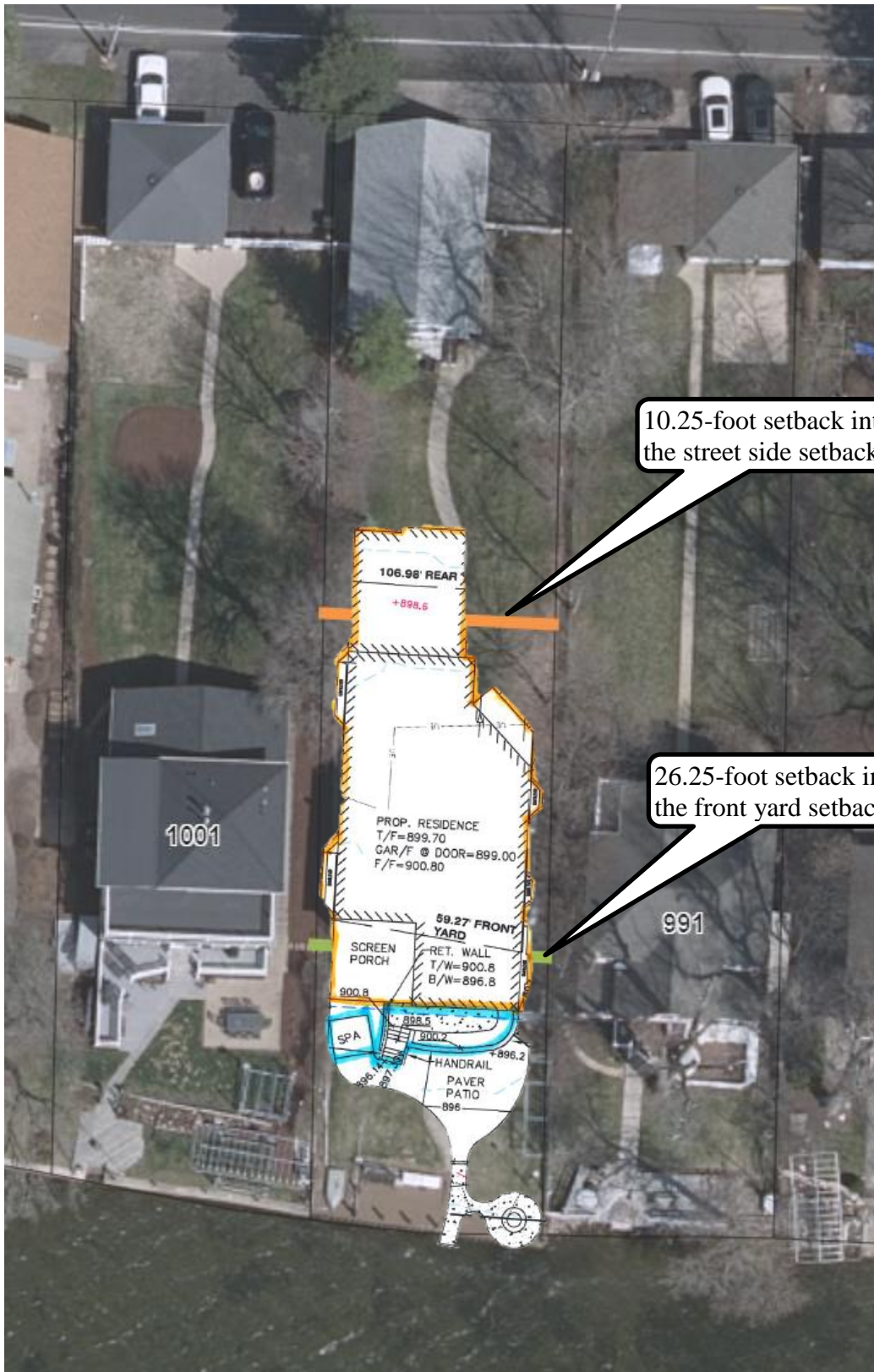


Exhibit B
Relocation of all structures behind lake side setback

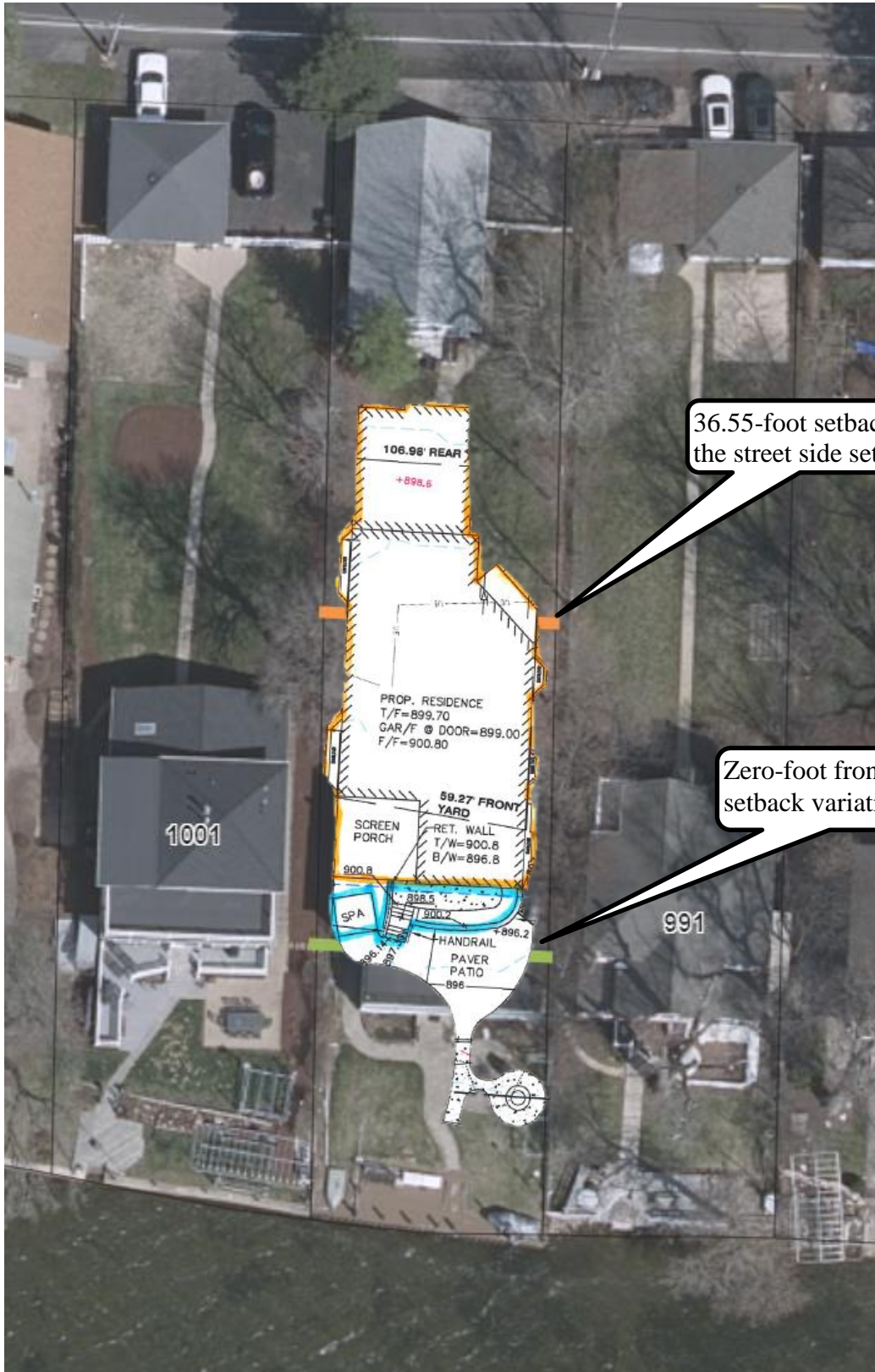


Exhibit C
Relocation of principal structure behind lake side setback



PIQ Map
997 North Shore Drive



Application for Simplified Residential Variation

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

I. Applicant

Angie Ruger Hutchins & Christopher Hutchins (managers of CL Lake House LLC)

Name

997 North Shore Drive

Street

Crystal Lake, IL 60014

City State Zip Code

(312) 339-3271 cfhutchins04@gmail.com

Telephone Number E-Mail Address

II. Owner of Property (if different)

Same as above

Name

Same as above

Address

III. Project Data

1. a. Location/Address: 997 North Shore Drive, Crystal Lake, IL 60014

b. PIN #: 18-01-299-031

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

The lot and existing home are both non-conforming. The plight of the property owner is unique with exceptional narrowness with the non-conforming lot.

The owners' original intent was to keep the existing footprint but the foundation is in disrepair.

The foundation is in 3 different sections with crumbling walls and water leaking into some areas.

The goal is to create an attractive custom home on the lake that will allow "age in place" with a first floor master and attached garage.

Variances on the building setbacks and impervious surface coverage are being requested.

IS THE HARDSHIP SELF-CREATED?

No, the lot is non-conforming.

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

No, the non-conformity of the lot differentiates it from the other properties. The variation is not applicable to other properties in the same zoning classification because the guidelines change the standards from house to house depending on the other houses on the lake.

WILL THE VARIATION ALERT THE ESSENTIAL CHARACTER OF THE LOCALITY?

The variation will not alter the essential character of the locality. The proposed home will blend well with the two newly remodeled homes next door and the other attractive homes on the lake.

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO THE PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No, the variations will not be detrimental to public welfare or injurious to other property. The variations will increase property values.

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUBSTANTIALLY INCREASE THE DANGER OF FIRE; TO ENDANGER PUBLIC SAFETY?

No, the variations will not be detrimental to: public welfare, light or air to adjacent properties, congestion in the public street, or fire risk. The variations will increase property values.

- 3. List any previous variations that are approved for this property:
N/A

IV. Signatures

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.
Christopher Hutchins 2/27/2023

OWNER: Print and Sign name Date

Note: if the property is held in trust, the trust officer must sign this petition as owner. In Addition, the trust officer must provide a letter that names all beneficiaries of the trust.



**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: _____

Address: _____

Phone: _____

E-mail: _____

Project Name & Description: _____

Project Address/Location: _____

Signature

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

STATE OF ILLINOIS

COUNTY OF MCHENRY

IN THE MATTER OF THE APPLICATION OF
Angie Hutchins;

AFFIDAVIT

Angie Hutchins, being first duly sworn on oath deposes and states as follows:

A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on April 5, 2023, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on March 17, 2023

B. That the posting requirements of the Zoning Ordinance have been complied with by placing the customary public notice sign on the subject property on 997 North Shore Drive

Angie Hutchins
(Angie Hutchins) (Signature)

Subscribed and Sworn to me before

This 16th day of March, 2023

Maryelle Proszek
Notary Public



PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY
OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICATION OF
Christopher Hutchins and Angie Ruger Hutchins

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Chris Hutchins for approval of a Variation at the following real estate known as 997 North Shore Drive, Crystal Lake, Illinois 60014, PIN: 18-01-299-031.

This application is filed for the purpose of seeking Simplified Residential Zoning Variations to allow the construction of a house with variation to allow the encroachment of the principal structure 10 feet 3 inches into the 106.98 street side setback, 15 feet 3 inches into the 59.27 foot front yard (lake side) setback which is not to extend further than where the exterior wall of the current residence exists, a 1 ft. variation from the maximum 2 ft. overhanging allowance over bay windows for roof plus a gutter, the construction of accessory structures for a portion of raised patio and stairs exiting the home before a ground level patio extending 26.3 feet total into the 59.27 foot front yard setback (9.3ft. of this encompasses the residence) but not further than what is currently there, a patio variation of 11.2 feet; and to allow a total impervious coverage of 59%, a variation of 9% or 1,053 square feet, as well as any other variations as presented at the public hearing pursuant to Unified Development Ordinance Article 3, Article 4, and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, April 5, 2023, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald March 18, 2023) 2063575

Christopher & Angie Hutchins
CL Lake House LLC
6180 Stansbury Lane
Crystal Lake, IL 60014
312-349-3271

February, 27, 2023

Good Afternoon Liz,

We have included the following for staff review prior to attending the Planning and Zoning meeting on April 5th at 7pm.

1. Ownership Sign-off Acknowledgement form
2. Application for Simplified Residential Variation
3. Cover letter
4. Street and lakeside home elevations - ALA Architects
5. Civil Engineer's site plan fully dimensioned and with storm water and impervious surface coverage calculations - Schmitt Engineering
6. Plat map of existing home - Heritage Land Consultants
7. Topography map - Vanderstappen Land Surveying
8. Soil boring report - Midland Standard Engineering and Testing
9. Consultant acknowledgment form
10. Property deed - McHenry County
11. CL Lakehouse LLC proof of ownership, State of Illinois

We have also included additional details and background below.

Please let us know if anything else is needed, otherwise we will look forward to the staff's suggestions.

Thank you, again, for guiding us through this process.
Christopher & Angie Hutchins

Background & Developmental Analysis

The goal is to create an attractive custom home on the lake that will allow "age in place" with a first floor master and attached garage. We will provide floorplans at the meeting to show the board members the plans for age in place living.

Variances on the building setbacks and impervious surface coverage are being requested

1. Property is a non-conforming lot with a non-conforming single-family home.
2. The plight of the property owner is unique with exceptional narrowness with the non-conforming lot.
3. Intent was to remodel but the foundation is in disrepair. The foundation is in 3 different sections with crumbling walls and water leaking into some areas.
4. Proposing to retain the existing house setback on the lake side with a new build.

5. Variances on building setbacks and impervious surface coverage are being requested.
6. Existing garage will remain in place for owners' antique cars and water craft.

Variance Requests:

Setbacks for properties in existing neighborhoods are determined by the average of the homes within 400 ft. The average setbacks are 59.27 ft. along the lake and 106.98 ft. along the street.

The petitioners are requesting a variation:

1. To keep the existing lakeside footprint with the new build as it is currently on the existing house which extends 9.30 ft. into the lakeside setback.
2. For the street side footprint which extends 10.88 ft. into the setback for an attached garage as owner's intent is to age in place.
3. From the maximum impervious surface coverage of 50% to 59% to allow a 9% variation.
4. A 1 ft. variation from the maximum 2 ft. overhanging roof and gutter allowance over bay windows.

GENERAL NOTES:

- SILT FENCE TO BE INSTALLED ALONG THE LIMITS OF GRADING AND NOT TO ENCRoACH INTO THE FLOODPLAIN. SILT FENCE MUST BE INSTALLED BEFORE ANY OTHER WORK CAN COMMENCE.
- INFILTRATION TRENCHES: CUT 9" INTO GRADE SO TOP OF INFILTRATION TRENCH IS AT ELEVATION SHOWN; THEN CONSTRUCT INFILTRATION TRENCH PER ATTACHED DETAIL; INFILTRATION TRENCH AREA TO BE LEFT UNDISTURBED DURING HOUSE CONSTRUCTION. THIS SHALL NOT BE INSTALLED UNTIL FINAL GRADING AROUND HOUSE. IF TRENCH DRAIN IS CONSTRUCTED AT BEGINNING; IT SHALL BE PROTECTED FROM OTHER SITE CONSTRUCTION USING SILT OR CONSTRUCTION FENCE.
- CONTRACTOR TO VERIFY DEPTH OF WATER SERVICE. WATER SERVICE SIZE IS 1 1/2"
- DOWNSPOUTS ARE REQUIRED TO DISCHARGE AWAY FROM THE HOUSE FOUNDATION OR BE BURIED. BURIED DOWN SPOUT EXTENSIONS ARE REQUIRED TO BE SET A MINIMUM OF 5'-FEET WITHIN THE PROPERTY BOUNDARIES. ANY BURIED DOWNSPOUT OR SUMP DISCHARGE THAT UTILIZES A POP UP DRAIN WILL NOT HAVE THE POP UP DRAIN EXTEND MORE THAN 50% OF THE DISTANCE FROM THE HOUSE TO THE PROPERTY LINE. DOWNSPOUTS ON THE EAST SIDE OF THE HOME SHALL BE TIED INTO THE PROPOSED 6" ADS STORM PIPE. CONTRACTOR TO V.I.F DOWNSPOUT LOCATIONS.
- EXISTING ASPHALT/CONCRETE THAT IS TO BE TAKEN OUT IS TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY
- DO NOT STORE, STAGE, OR DUMP MATERIALS INTO THE STREET OR RIGHT-OF-WAY
- DO NOT TRACK DEBRIS ONTO ROADWAY. IF DEBRIS IS TRACKED ONTO ROADWAY IT MUST BE CLEANED UP IMMEDIATELY
- SAW CUT BUTT JOINT AT THE STREET AND LEAVE IN PLACE UNTIL READY FOR PAVING
- REMOVE BLACK DIRT IN AREA OF NEW DRIVEWAY
- SOIL STOCKPILES CAN NOT BE LOCATED IN THE FLOODPLAIN

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A,B,C,D			*	*					
SODDING				G**								
TEMPORARY SEEDING			E									
DORMANT SEEDING	USE SEED BLANKETS									USE SEED BLANKETS		

STANDARD LAWN MIXTURE
 A (1) KENTUCKY BLUEGRASS 50 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE AND CREEPING RED FESCUE 20 LBS/ACRE
 B SALT TOLERANT MIXTURE B
 (1A) BLUE GRASS 30 LBS/ACRE PERENNIAL RYEGRASS 10 LBS/ACRE DANSONS RED FESCUE 10 LBS/ACRE SCALDS HARD FESCUE 10 LBS/ACRE FULTS SALT GRASS 30 LBS/ACRE
 C LOW PROFILE NATIVE GRASS MIXTURE
 C ANDROPOGON SCOPARIUS (LITTLE BLUE STEW) 5 LBS/ACRE BOUQUET OF FLAMES (SWEET WOOD) 5 LBS/ACRE ELYMUS CANADENSIS (WILD RYE) 1 LBS/ACRE SPOROBOLUS HETEROLEPIS (PRAIRIE DROPS) 0.5 LBS/ACRE ANNUAL RYE GRASS 25 LBS/ACRE OATS, SPRING 25 LBS/ACRE PERENNIAL RYE GRASS 15 LBS/ACRE

WETLAND GRASS AND SEDGE MIXTURE.
 D (48) ANNUAL RYE GRASS 25 LBS/ACRE OATS, SPRING 25 LBS/ACRE
 E CEREAL RYE 90 LBS/ACRE, OR WHEAT 90 LBS/ACRE, OR PERENNIAL RYEGRASS 25 LBS/ACRE
 G SOD
 * IRRIGATION NEEDED DURING JUNE AND JULY
 ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.
 () IDOT STANDARD

IMPERVIOUS AND DISTURBANCE AREAS DATA:

EXISTING IMPERVIOUS FRAME GARAGE:	985 SQ.FT.
RESIDENCE:	1,621 SQ.FT.
BRICK WALKWAY:	1,310 SQ.FT.
CONCRETE APRON:	55 SQ.FT.
DECK:	160 SQ.FT.
ASPHALT DRIVEWAY:	480 SQ.FT.
TOTAL EXISTING IMPERVIOUS:	4,621 SQ.FT.
EXISTING IMPERVIOUS TO BE REMOVED:	3,037 SQ.FT.
PROPOSED IMPERVIOUS RESIDENCE & ATTACHED GARAGE:	2,765 SQ.FT.
SCREEN PORCH:	253 SQ.FT.
CONCRETE TO DETACHED GARAGE:	64 SQ.FT.
CONCRETE TO LAKE:	315 SQ.FT.
REAR LANDING:	100 SQ.FT.
PAVER PATIO:	460 SQ.FT.
SPA:	57 SQ.FT.
RETAINING WALLS:	39 SQ.FT.
ASPHALT DRIVEWAY:	1,295 SQ.FT.
TOTAL PROP. IMPERVIOUS:	5,348 SQ.FT.
TOTAL LOT SIZE:	11,759 SQ.FT.
FINAL IMPERVIOUS:	6,932 SQ.FT.
TOTAL IMPERVIOUS PERCENT:	59.0%
SOIL DISTURBANCE:	8,040 SQ.FT.

LEGAL DESCRIPTION

LOT 6 IN BLOCK 2 IN CLOW'S CRYSTAL LAKE PARK, A SUBDIVISION OF PART OF LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE WEST HALF OF LOT 2 OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 1894, AS DOCUMENT NO. 13360, IN BOOK 1 OF PLATS, PAGE 54, IN MCHEMRY COUNTY, ILLINOIS. ALSO, THAT PART OF SAID NORTHEAST QUARTER OF SECTION 1, LYING NORTHERLY OF SAID LOT 6 AND EASTERLY OF THE WESTERLY LINE OF SAID LOT 6 EXTENDED NORTH, AND LYING WESTERLY OF THE EASTERLY LINE OF SAID LOT 6 EXTENDED NORTH, AND LYING SOUTHERLY OF THE SOUTHERLY LINE, AS MONUMENTED AND OCCUPIED, OF NORTH SHORE DRIVE, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN MCHEMRY COUNTY, ILLINOIS.

CITY CONDITIONS:

- THE FOLLOWING CITY CONDITIONS SHALL APPLY: 1. 1% MINIMUM SWALES AND SITE GRADES. 2. 4" TOPSOIL, IDOT CLASS I SEED AND CURLEX BLANKET COVER. 3. 2,357 SQ.FT. NET IMPERVIOUS = 35'-LF TRENCH UNDERDRAIN REQUIRED. 36'-LF PROVIDED 4. 3:1 MAX. SIDE SLOPE 5. DRIVEWAY TO HAVE 6" CA6 GRADE 9, COMPACTED BASE, AND MIN. 2" IDOT HMA MIX "C", N50 SURFACE

BASE FLOOD ELEVATION

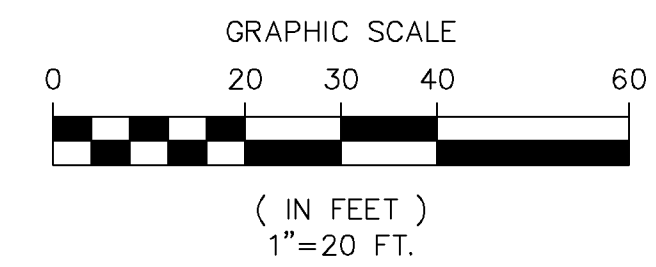
BASE FLOOD ELEVATION 892.6 PER FLOOD INSURANCE STUDY #17111CV002A EFF. DATE 11/16/2006

SITE BENCHMARK

SITE BENCHMARK: FOUND 1" IRON PIPE AT NW CORNER OF LOT ELEV=898.21 (NAVD 88)

LEGEND

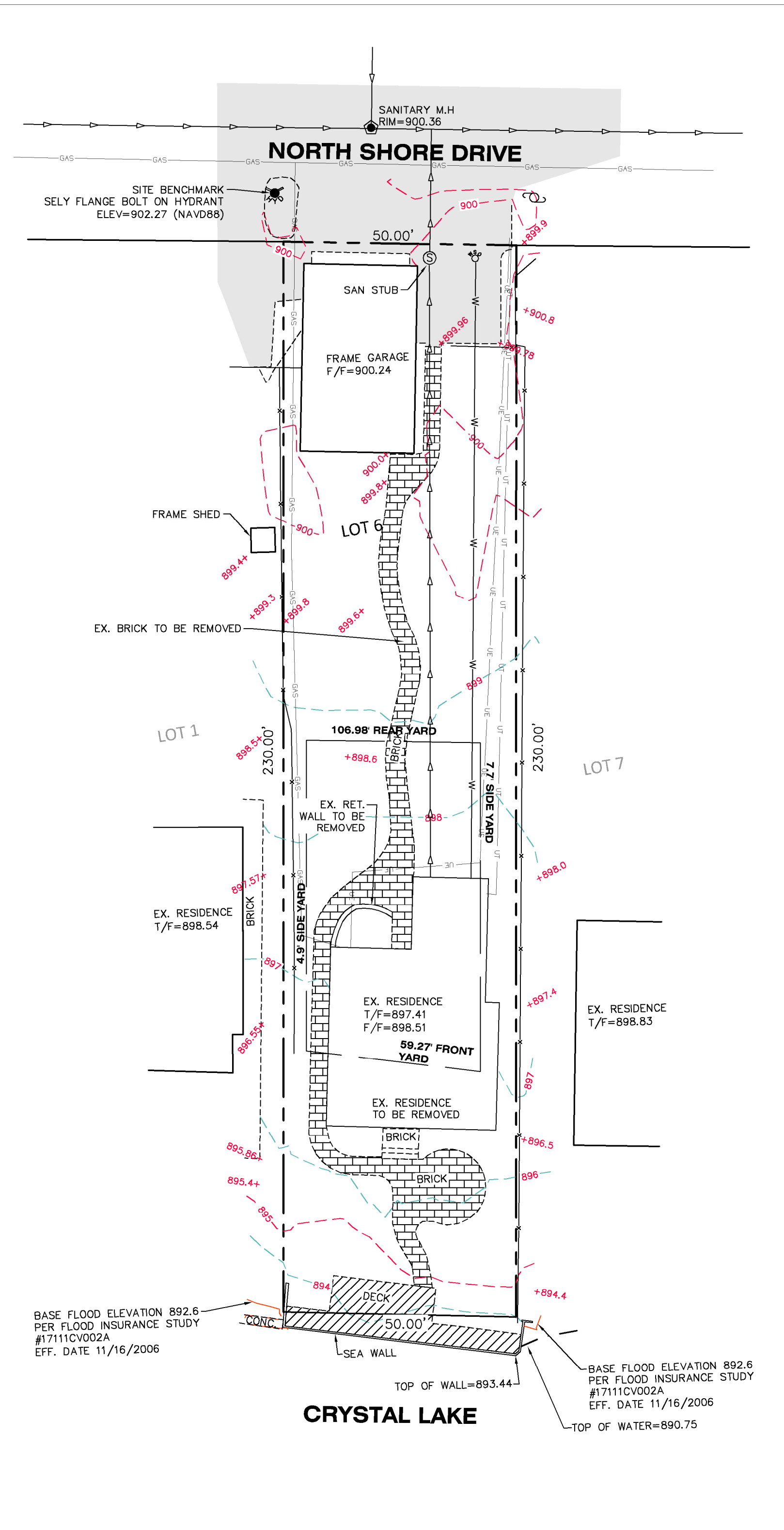
	SANITARY MANHOLE
	WATER SHUT OFF
	UTILITY POLE
	EXISTING FENCE
	EXISTING GRADE



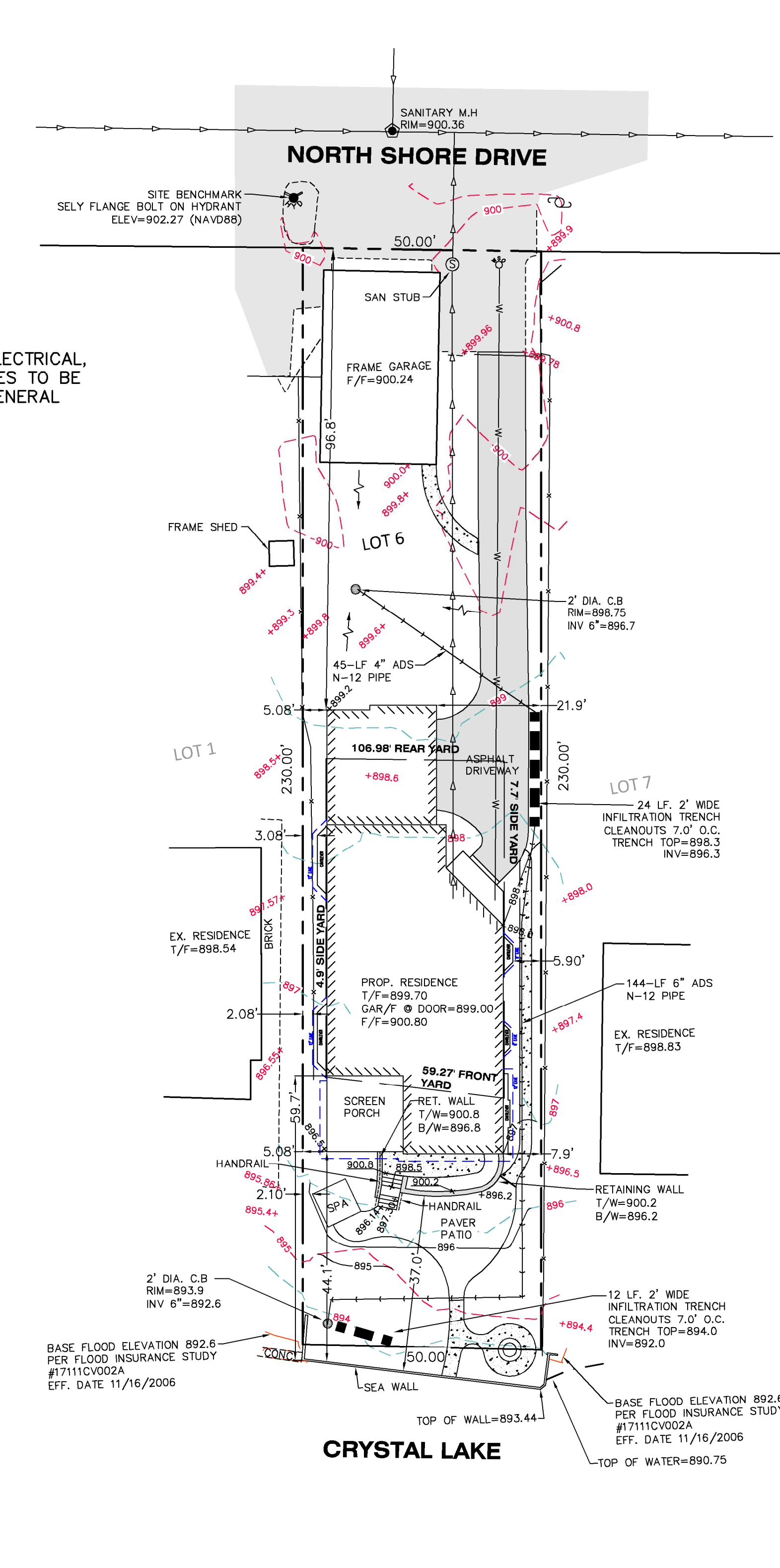
PLANS PREPARED FOR:
 CHRIS & ANGIE HUTCHINS
 6180 STANSBURY LANE
 LAKEWOOD, IL 60014
 312-339-3271
 chutchins04@gmail.com

NSG SOURCE BENCHMARK:
 MCHEMRY COUNTY GEODETIC CONTROL STATION DESIGNATED "MCH176-2A" ELEVATION 907.25 NAVD88

EXISTING CONDITIONS



PROPOSED CONDITIONS



UTILITY NOTE:

PROPOSED GAS, ELECTRICAL, AND CABLE UTILITIES TO BE RELOCATED PER GENERAL CONTRACTOR

SITE DRAINAGE INFORMATION:

- THERE IS APPROXIMATELY 1,300 S.F OF OFFSITE STRET AREA DRAINING ONTO THE PROJECT SITE. THERE IS A DRAINAGE RIDGE ALONG THE WESTERN PROPERTY LINE WHICH DIRECTS WATER EAST AND WEST. THERE IS NO DISCHARGE BEING RECEIVED FROM THE WEST NEIGHBORING LOT. THERE IS A APPROXIMATELY 150 SQ.FT. OF DRAINAGE AREA COMING FROM THE LOT TO THE EAST, AND A RIDGE THAT RUNS ALONG THE EAST PROPERTY LINE KEEPS THE REST OF THE EAST LOTS DISCHARGE ON THEIR LOT. APPROXIMATELY 1/2 OF THE SITE'S DRAINAGE IS DIRECTED TO WEST AROUND THE HOUSE DIRECTED TO CRYSTAL LAKE, AND THE OTHER HALF IS DIRECTED AROUND THE HOUSE TO THE EAST EVENTUALLY DISCHARGING TO CRYSTAL LAKE.

INSPECTION SCHEDULE:

- SILT FENCE INSPECTION BEFORE ANY WORK BEGINS
- THE BASE MATERIAL MUST BE INSPECTED BEFORE PAVING
- INFILTRATION TRENCH WHEN IT IS DUG DOWN 1 FOOT INTO THE GRAVEL LAYER
- INFILTRATION TRENCH WHEN THE CHAMBERS ARE INSTALLED (INCLUDING ANY DOWNSPOUT, SUMP PUMP, OR VERTICAL RISER CONNECTION TO THE TRENCH) AND THE FABRIC IS LINING THE TRENCH
- THE TRENCH ONCE THE WASHED STONE IS INSTALLED AND FABRIC IS COVERING THE STONE
- WHEN ALL WORK IS COMPLETED FOR FINAL INSPECTION. NEED TO HAVE AS-BUILT GRADING PLAN BEFORE THIS INSPECTION

THE FOLLOWING CITY DETAILS SHALL APPLY:

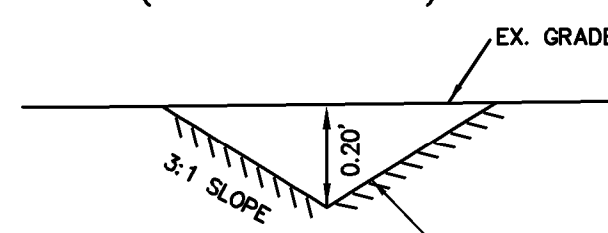
- EC-01 SILT FENCE
- EC-02 CONSTRUCTION ENTRANCE
- EC-04 INLET SEDIMENT CONTROL DEVICE
- UD-01B CATCH BASIN TYPE A
- UD-04 SUMP PUMP OR DOWNSPOUT CONNECTION
- UD-05 INFILTRATION TRENCH
- GE-02A GENERAL SITE WORK AND GRADING
- GE-02B TOPSOIL, EROSION CONTROL, AND UTILITY COORDINATION
- GE-02D WATERMAIN, AND PAVING

CONTRACTOR NOTES:

- CONTRACTOR TO VERIFY IN FIELD LOCATION OF SANITARY STUB
- CONTRACTOR TO VERIFY QUALITY OF SANITARY SERVICE
- CONNECT TO EXISTING SANITARY STUB, CONNECTION SHALL BE CLEANED AND EXISTING SERVICE TO BE TELEVIEWED TO MAIN TO DETERMINE IF ACCEPTABLE.

CONTRACTOR TO TAKE NECESSARY PRECAUTIONS NOT TO DISTURB SOIL ON NEIGHBORING LOT DURING INSTALLATION OF THE 6" ADS N-12 PIPE ALONG THE EAST PROPERTY LINE. PIPE TO HAVE 2'-4" SEPARATION TO PROPERTY LINE. WORK SHALL BE KEPT WITHIN THE LIMITS OF THE SILT FENCE WHICH SHALL NOT ENCRoACH ON NEIGHBORING LOT

TYPICAL SIDE YARD SWALE DETAIL (NOT TO SCALE)



REVISIONS	DESCRIPTION	DATE

Permit Number HEALTH

Permit Number PLANNING

ALBERT M. SCHMITT
 LICENSED PROFESSIONAL ENGINEER
 062-118261
 ILLINOIS
 EXPIRES 11-30-2023

RESIDENTIAL SITE PLAN
 LOT 6 IN BLOCK 2 IN CLOW'S
 CRYSTAL LAKE PARK
 997 NORTH SHORE DRIVE
 CRYSTAL LAKE, IL 60014
 P.I.N. 18-01-229-031
 NE 1/4, SEC 01, T43N, R07E

ALBERT M. SCHMITT
 ENGINEERING
 215 West Calhoun Street, Woodstock, Illinois 60098
 www.albertmrschmittengineering.com

Drawn By TJM
 Checked By AMS
 Date 03/03/2023
 Scale 1" = 20 Ft.
 Sheet 1 of 2
 Job Number 230114

GENERAL SITE-WORK

- Pre-Construction meeting shall be conducted with City Staff and all Contractors prior to commencing any grading or underground utility construction activities (schedule meeting with the Community Development Department at 815-356-3605).
- 24-hour Emergency contact numbers shall be provided to City Staff at the Pre-Construction meeting.
- Working hours shall be limited to the hours of 7:00 a.m. and 7:00 p.m. on weekdays only (except in cases of emergency). Non-emergency work on weekends or holidays is not permitted per City Code except under written permission from the City Engineer. The owner is responsible for the City Inspector cost of overtime inspection beyond the normal eight (8) hour day, including weekends and holidays.
- Public/private streets shall be kept free of dirt and debris with regular cleaning, sweeping, and scraping conducted by the Contractor. Junk and debris shall not be allowed to accumulate, blow, or scatter onto streets or adjacent properties.
- J.U.L.I.E. shall be contacted for utility locations on-site and in the adjacent rights-of-way.
- Contractor shall provide and maintain fencing, barricades, traffic control signs, and other safeguarding measures during the course of all work to protect the public from the construction operations.
- Maintain access to adjacent streets during construction. No closing of streets unless approval is first obtained from the agency with jurisdiction (City of Crystal Lake, McHenry County Department of Transportation, Illinois Department of Transportation, etc).
- Any damage to public right-of-way, public utilities, streets, curb, etc. shall be repaired/replaced as soon as possible and as directed by the City Engineer.
- The contractor shall give the City of Crystal Lake, Illinois Department of Transportation, and any other governmental agency having jurisdiction, at least two (2) working days notice excluding Saturday and Sunday prior to the initiation of any phase of construction. Contractor shall immediately notify if construction has ceased and renew the two (2) working day notification thereafter.
- The Contractor shall be responsible for obtaining all required permits for construction prior to commencement along or across existing streets or highways. The Contractor shall make arrangements for the proper marking, staking and other protection of all roadways before construction begins.

GRADING:

- The grading and construction of the site improvements shall not cause ponding of storm sewer water. All areas adjacent to these improvements shall be graded to allow positive drainage.
- The proposed grading elevations shown on the plans are finished grade. A minimum of six (6) inches of topsoil is to be placed before finished grade elevations are achieved.
- Enbankment material within parkway and open space areas shall be compacted to a minimum of ninety percent (90%) of maximum density in accordance with ASTM Specification D-1557 (modified proctor method), or to such other density as may be determined appropriate by the soils engineer.
- All subgrade material shall have a minimum CBR (California Bearing Ratio) of 3.0 as determined by the soils engineer, or base replacement and pavement design revisions shall be provided which are adequate to obtain equivalent pavement strength.
- Proposed pavement areas, building pads, driveways and sidewalks and yard/patio space areas shall be excavated or filled to plus or minus 0.1 foot of design subgrade elevations by the Contractor.
- Any borrow pit locations shall be identified by the Contractor on a copy of the approved site plans and forwarded to the Engineering Division at least 24-hours prior to excavation. Provide backfill compaction reports from a geotechnical engineer and as-built plans to the Engineering Division for any borrow pit area.
- Backfill shall be monitored by a geotechnical engineer on-site with compaction reports forwarded to the Engineering Division for review.
- Water truck shall be on-site at all times during mass-grading operations and be available as needed for the purposes of dust control at the request of City Staff.
- User of City fire hydrants is not allowed unless approved (separately from this permit) by the Public Works Department and a hydrant meter and RZ2 is obtained from the City of Crystal Lake Water Division (815-356-3614). Only the City of Crystal Lake Water Division may operate valves and hydrants.

Revised: 1. 06/12/2015
2.
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4.

Drawing Name: **STANDARD NOTES AND SPECIFICATIONS**

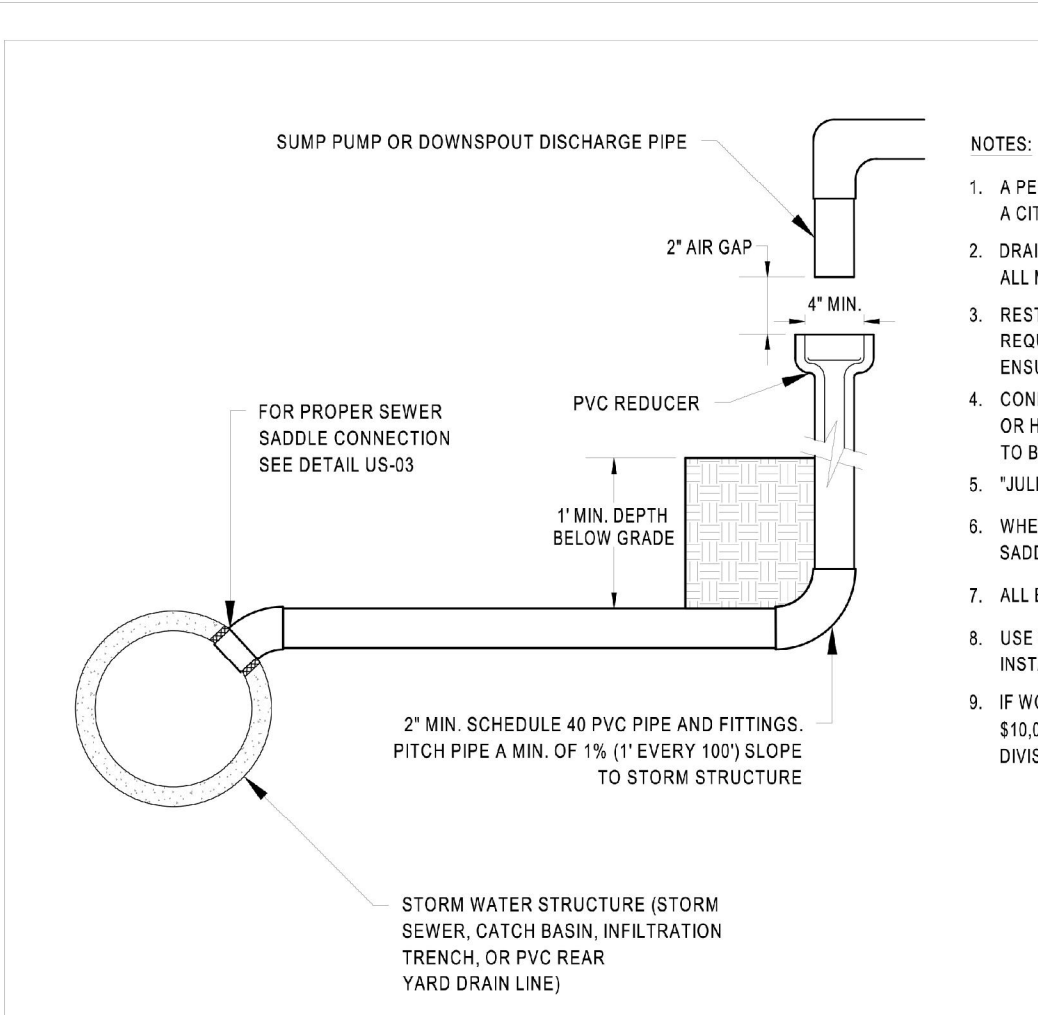
Drawing Number: **GE-02a**

Date: 01/30/15

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

SUMP PUMP OR DOWNSPOUT CONNECTION



NOTES:

- A PERMIT WILL BE REQUIRED FOR ANY CONNECTION INTO A CITY UTILITY. A SCALED DRAWING IS REQUIRED.
- DRAIN LINE IS PRIVATE AND OWNER IS RESPONSIBLE FOR ALL MAINTENANCE AND REPAIR TO LINE.
- RESTORATION OF THE PARKWAY (WHEN APPLICABLE) WILL REQUIRE USING 4" OF TOP SOIL, SOD AND WATERING TO ENSURE GROWTH.
- CONNECTION TO STORM SEWER PIPE SHALL BE CORED AND BOOTED OR HYDRAULIC CEMENTED. CONNECTION MUST BE INSPECTED PRIOR TO BEING BACKFILLED.
- "JULIE" LOCATES ARE REQUIRED PRIOR TO ANY EXCAVATIONS.
- WHEN CONNECTING TO A PVC STORM SEWER, THE USE OF A SADDLE IS MANDATORY.
- ALL EXCAVATIONS MUST BE BARRICADED SECURELY.
- USE CITY STANDARD UG-03 FOR TRENCH CROSS SECTION WHEN INSTALLING UNDER, OR WITHIN 2" OF A PAVED SURFACE.
- IF WORK IS WITHIN THE RIGHT-OF-WAY, CONTRACTOR MUST HAVE \$10,000 LICENSE AND PERMIT BOND ON FILE WITH THE BUILDING DIVISION.

Revised: 1. 06/12/2015
2. KL 1/25/2021 INCLUDE DOWNSPOUT CONNECTIONS
3.
4.

Drawing Name: **SUMP PUMP OR DOWNSPOUT CONNECTION**

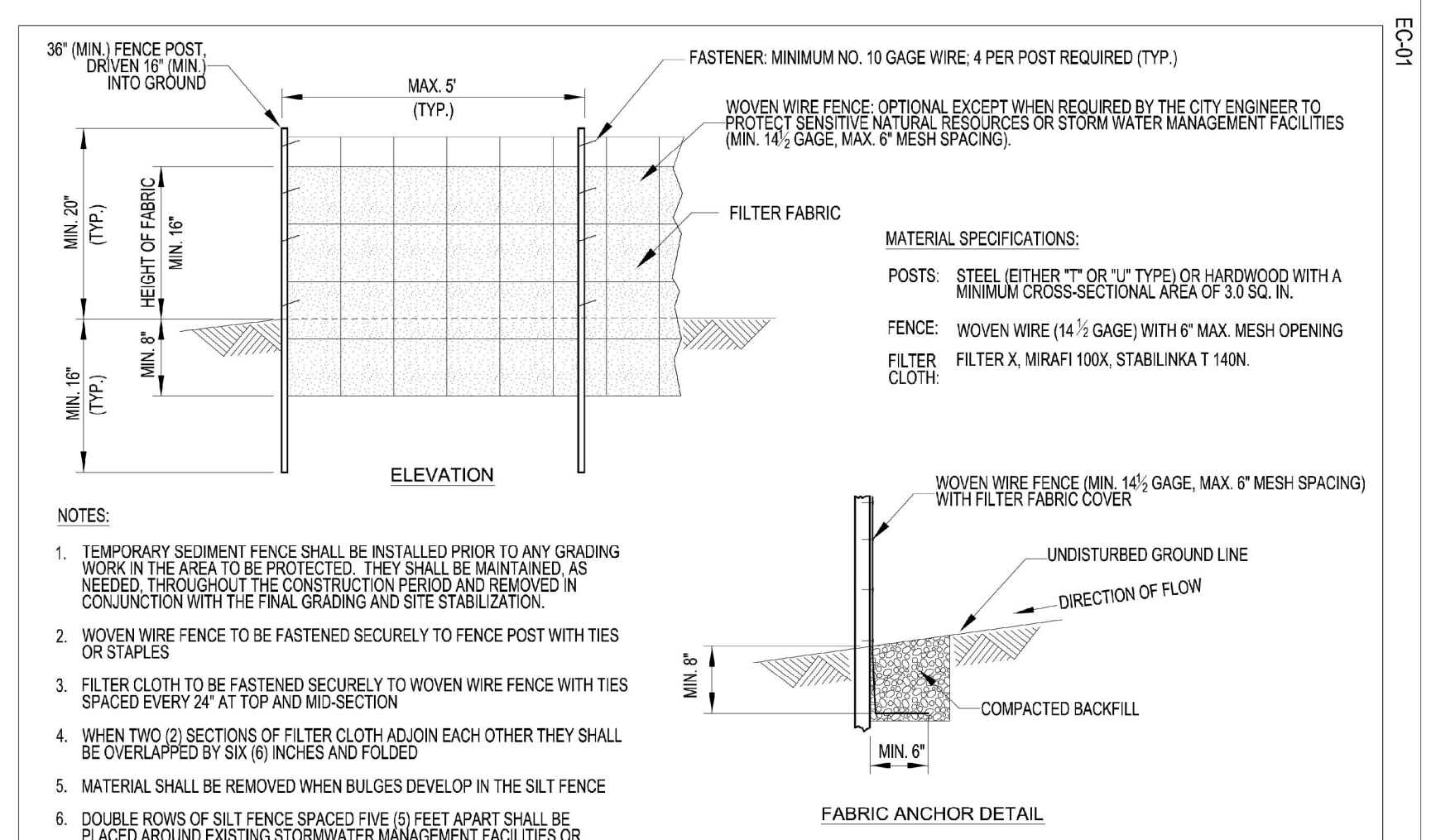
Drawing Number: **UD-04**

Date: 05/28/2015

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

SILT FENCE



NOTES:

- TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
- WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
- MATERIAL SHALL BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
- DOUBLE ROWS OF SILT FENCE SPACED FIVE (5) FEET APART SHALL BE PLACED AROUND EXISTING STORMWATER MANAGEMENT FACILITIES OR WETLANDS AS ADDITIONAL PROTECTION WHEN REQUIRED BY CITY ENGINEER.

Revised: 1. 06/12/2015
2.
3.
4.

Drawing Name: **SILT FENCE**

Drawing Number: **EC-01**

Date: 12/4/2012

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

TOPSOIL STOCKPILING:

- Location of any on-site topsoil stockpiles shall be identified on the approved plans with silt fence installed around the perimeter of the stockpile.
- Topsoil stockpiled for future use shall be relatively free from large roots, sticks, weeds, trash, stones larger than one (1) inch diameter, or other filler and waste products including other extraneous materials not conducive to plant growth.
- Topsoil shall be stockpiled in sequence to eliminate any re-handling or double movements by the Contractor. Failure to properly sequence the stockpiling operations shall not constitute a claim for additional compensation. No material shall be stockpiled in front yards, in utility easements, or in the right-of-way lines.
- If a stockpile is to remain in place for more than (14) calendar days, it is required that the stockpile meet the requirements as outlined in section 505 of the City Code.

EROSION CONTROL:

- All specified erosion control measures shall be installed and maintained per the requirements of the Crystal Lake Stormwater Ordinance in accordance with the active NPDES permit.
- All slopes 4:1 or steeper shall be sodded or blanketed immediately after mass earthwork.
- All overland flow routes to be stabilized by sod or blankets.
- Erosion control measures to be inspected and approved by City Engineering Division prior to additional work on site.
- Continuous monitoring of erosion control measures is required. Maintain records of weekly reports per the City of Crystal Lake Stormwater Ordinance.
- The Contractor shall implement any additional erosion control measures deemed necessary by the City per the standards of the City of Crystal Lake Stormwater Ordinance.
- All storm sewer catch basins, sumps and/or retention basins provided are to be cleaned at the end of construction of the project prior to final acceptance. Cleaning may also be required during the course of the construction of the project if it is determined that the silt and debris traps are not properly functioning and their performance is impaired.
- Rip-rap material RZ 2 (R7) - R94 (R7) shall be in accordance with Article 281 and grouted in place according to Article 601 of the IDOT Standard Specifications.
- Projects of 1 Acre or greater must obtain an NPDES permit prior to commencement of any construction activity.

UNDERGROUND UTILITY:

- The Contractor shall coordinate water main, water service, sanitary and storm sewer inspections and testing with the Community Development at least 24 hours in advance.
- All main line sanitary shall be cleaned and televised (provide DVD to the City's Engineering Division).
- All manholes or valve covers shall be imprinted "City of Crystal Lake Sanitary", or "City of Crystal Lake Storm", or "City of Crystal Lake Water" as directed by the City.
- Reference the latest edition of the Standard Specifications for Water and Sewer Main Construction in Illinois.
- Existing manholes to be circular cored and boored.

Revised: 1. 06/12/2015
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Drawing Name: **STANDARD NOTES AND SPECIFICATIONS**

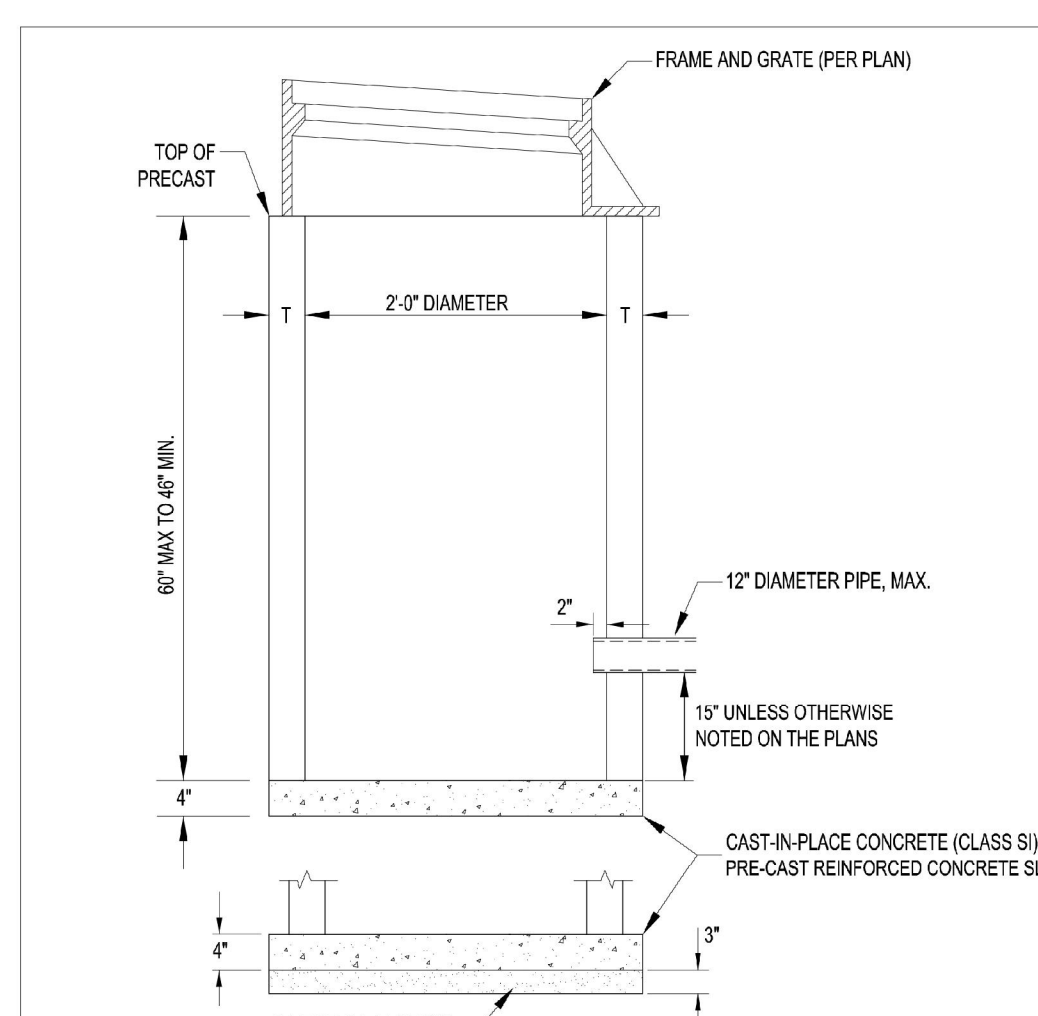
Drawing Number: **GE-02b**

Date: 01/30/15

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

CATCH BASIN TYPE C



CASTING SCHEDULE

LOCATION	E/W	NEENAH
B or M 12 C&G	725E M2	R502-A
DEPRESSED CURB	7210 M3	R-2511
PAVED	1020	R-1713
NON-PAVED	1020	R-2535

ALTERNATE MATERIALS FOR WALLS

	T
PRE-CAST REINFORCED CONCRETE SECTIONS	3"
CAST-IN-PLACE CONCRETE	6"

NOTES:

- IN ADDITION TO THE REQUIREMENTS OF ART. 602.16 OF THE STANDARD SPECIFICATIONS THE CONTRACT UNIT PRICE FOR CATCH BASINS, TYPE A SHALL INCLUDE THE CA-7 OR 11 CURB WHEN REQUIRED, FINISHING AND COMPACTING THE SPECIFIED BACKFILL MATERIAL.

Revised: 1. 06/12/2015
2.
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4.

Drawing Name: **CATCH BASIN TYPE C**

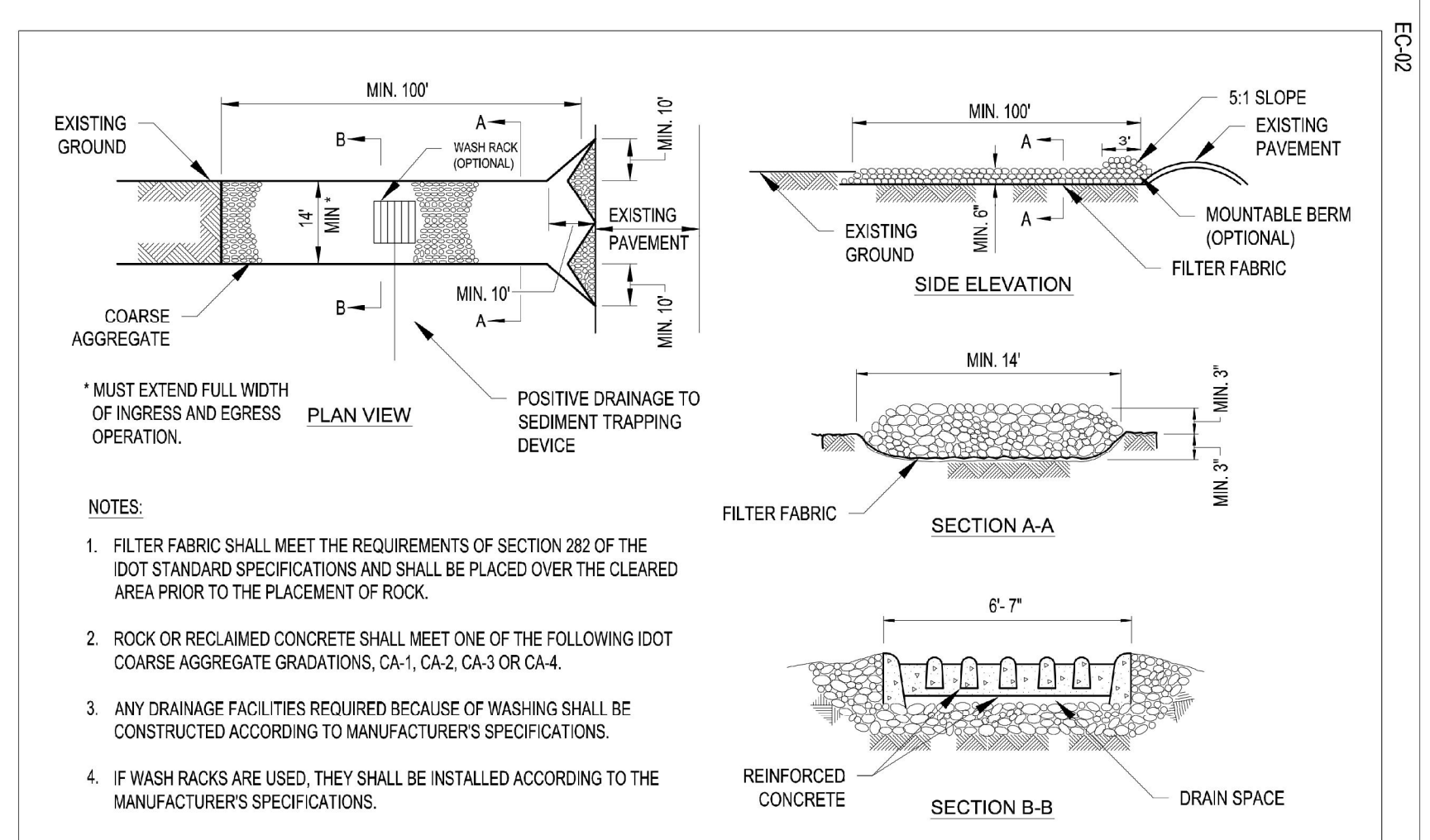
Drawing Number: **UD-01c**

Date: 05/19/2015

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

CONSTRUCTION ENTRANCE



NOTES:

- MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION.
1. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF SECTION 282 OF THE IDOT STANDARD SPECIFICATIONS AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO THE PLACEMENT OF ROCK.
- ROCK OR RECLAIMED CONCRETE SHALL MEET ONE OF THE FOLLOWING IDOT COARSE AGGREGATE GRADATIONS, CA-1, CA-2, CA-3 OR CA-4.
- ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

Revised: 1. 06/12/2015
2.
3.
4.

Drawing Name: **CONSTRUCTION ENTRANCE**

Drawing Number: **EC-02**

Date: 07/31/2012

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

WATER MAIN:

- Water main shall be Ductile Iron or Modularity Oriented Polyvinyl Chloride (PVCO).
- Ductile Iron water main shall be Class 52 conforming to ANSI/AWWA C151A21-51-09.
- Gaskets and cast iron fittings shall conform to ANSI/AWWA C111A21-11 and ANSI/AWWA C110A21-10 respectively.
- PVCO - See City Detail UW-12 and UW-13.
- Thrust blocking or Mega-Lug or pre-approved equal shall be installed on water mains at all bends, tees, elbows, etc. except as noted below.
- Thrust blocks not permitted with 45 degree vertical bends in water main (these shall be restrained with Mega-Lug or pre-approved equal).
- When specified, ductile iron pipe shall be encased in polyethylene and shall conform with ANSI/AWWA C105A21-10 - 10 and ASTM A674-10.
- Minimum cover from finished grade to top of water main shall be six (6) feet. Maximum cover shall be eight (8) feet.
- Water Main Tags: An Illinois licensed plumber is required for any water main tap.
- All water mains shall be subjected to a pressure test and a separate leakage test at system pressure for 24 hours by the Contractor. Hydrostatic pressure test shall be based on 125 PSI for 24 hours. Water mains shall be chlorinated in accordance with the Standard Specifications.
- The Underground Contractor shall consider incidental to the contract any chlorination and testing of existing water main where connections to and conclusion of such mains is indicated on the drawing.

PAVING:

- All subgrades and bases shall be proof-rolled and approved by the Engineering Division prior to base or binder installation.
- Subgrade and proposed pavements shall be finished by the Excavation Contractor to within 0.1 foot plus or minus, of plan elevation.
- The Paving Contractor shall ensure that the subgrade has been properly prepared and that the finished top of subgrade elevation has been graded within the tolerances allowed in these specifications. Unless the Paving Contractor advises the owner and engineer in writing prior to fine grading for base course construction, it is understood that the Contractor has approved and accepts responsibility for the subgrade.
- For the purpose of providing handicap accessibility and complying with the American Disability Act and City Standards, curbs shall be depressed at locations where public walks or pedestrian paths intersect curb lines at street intersections and other locations as directed.
- 1/2 inch thick preformed fiber expansion joints with two (2) No. 4 plain round steel dowel bars shall be installed at designated intervals and at all P.C., P.T., curb returns and at the end of each pour. Alternate ends of the dowel bars shall be greased and fitted with metal expansion tubes.
- 1/2 inch thick fiber expansion joints shall be used in every case where the sidewalk complies with the curb and gutter. Construction joints shall be saw cut at designated intervals in the curb. The cost of these joints shall be considered as incidental to the cost of the contract.
- All poured in place concrete curbs and gutters shall incorporate two (2) No. 4 reinforcing bars installed wherever the curb and gutter crosses utility service lines, the cost of which shall be considered incidental to the cost of concrete curb and gutter.
- Sidewalks (where required) shall be of the thickness and dimensions as shown in the construction plans. All sidewalk concrete shall be a minimum of 6" bag mix (or DOT class S1 concrete) and shall develop a minimum of 3,500 psi compressive strength at fourteen (14) days. Construction joints shall be set at five (5) foot centers, and one-half inch (1/2 inch) preformed fiber expansion joints at five (5) foot centers and where the sidewalk meets the curb or another sidewalk, or at the end of each pour. All sidewalks constructed over utility trenches and/or abutting driveway openings shall be reinforced with three (3) No. 4 reinforcing bars (10 foot minimum length).

Revised: 1. 06/12/2015
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Drawing Name: **STANDARD NOTES AND SPECIFICATIONS**

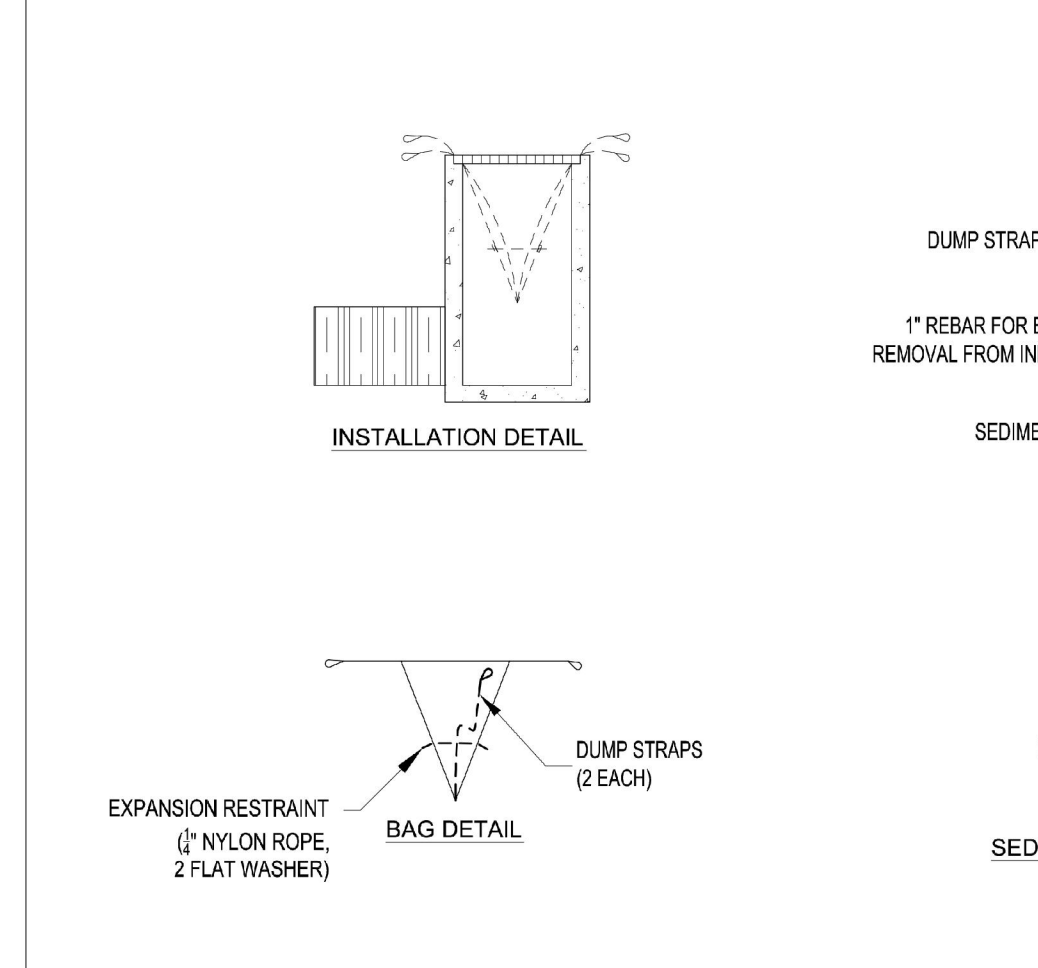
Drawing Number: **GE-02d**

Date: 01/30/15

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

INLET SEDIMENT CONTROL DEVICE



Revised: 1. 06/12/2015
2.
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Drawing Name: **INLET SEDIMENT CONTROL DEVICE**

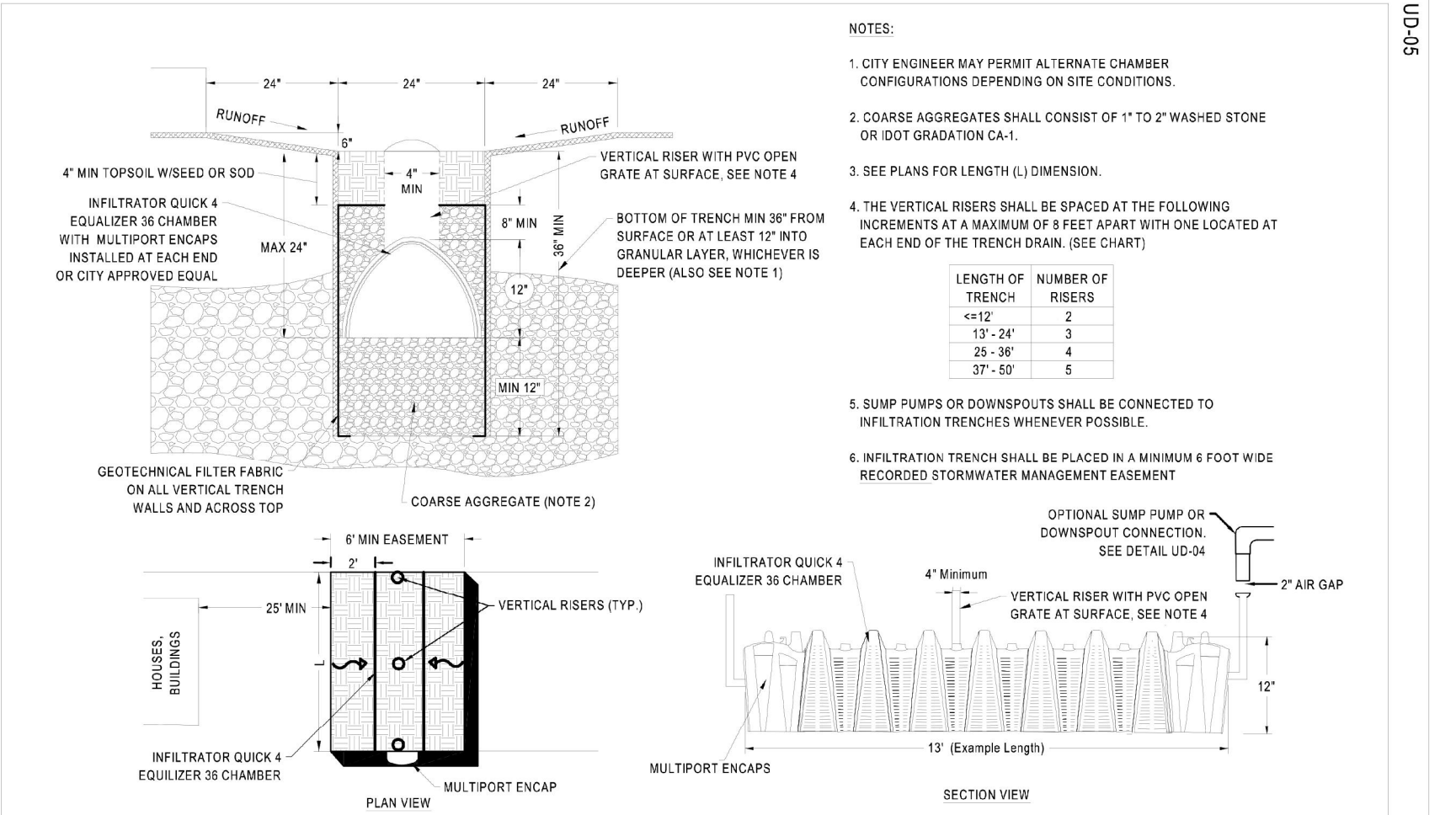
Drawing Number: **EC-04**

Date: 11/22/2007

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

INFILTRATION TRENCH



NOTES:

- CITY ENGINEER MAY PERMIT ALTERNATE CHAMBER CONFIGURATIONS DEPENDING ON SITE CONDITIONS.
- COARSE AGGREGATES SHALL CONSIST OF 1" TO 2" WASHED STONE OR IDOT GRADATION CA-1.
- SEE PLANS FOR LENGTH (L) DIMENSION.
- THE VERTICAL RISERS SHALL BE SPACED AT THE FOLLOWING INCREMENTS AT A MAXIMUM OF 8 FEET APART WITH ONE LOCATED AT EACH END OF THE TRENCH DRAIN (SEE CHART).

LENGTH OF TRENCH	NUMBER OF RISERS
<12'	2
12'-24'	3
25'-36'	4
37'-49'	5

Revised: 1. KL 4/16/2020 Quick 4 Chamber
2. KL 1/25/2021 Sump Pump/Downspout Connection
3.
4.

Drawing Name: **INFILTRATION TRENCH**

Drawing Number: **UD-05**

Date: 08/01/2019

City of Crystal Lake, Illinois

ENGINEERING AND BUILDING ENGINEERING DETAILS AND STANDARDS

PLANS PREPARED FOR:
CHRIS & ANGIE HUTCHINS
6180 STANSBURY LANE
LAKEWOOD, IL 60014
312-338-3271
chutchins04@gmail.com

NGS SOURCE BENCHMARK:
DESIGNATED CAMP
PID A-2950
SSN 7028
ELEVATION 918.54 NAVD88

REVISIONS	DESCRIPTION	DATE

Permit Number: **HEALTH**

Permit Number: **PLANNING**

EXPIRES 11-30-2023

DETAILS

LOT 6 IN BLOCK 2 IN CLOWS
CRYSTAL LAKE PARK
987 NORTH SHORE DRIVE
CRYSTAL LAKE, IL 60014
P.I.N. 18-01-229-031
NE 1/4, SEC 01, T43N, R07E

Drawn By: **TJM**

Checked By: **AMS**

Date: **03/03/2023**

Scale: **1" = 20 Ft.**

Sheet: **2 of 2**

Job Number: **230114**

SCHEMPP ENGINEERING
2415 West Channahon Street, Woodstock, Illinois 60098
www.schemppengineering.com

HUTCHINS RESIDENCE

997 NORTH SHORE DRIVE

CRYSTAL LAKE, IL 60014

IECC - INTERNATIONAL ENERGY CONSERVATION CODE

NOTE TO PLAN REVIEWERS, CITY/COUNTY ENGINEERS

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE CURRENT EDITION OF INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY THE STATE OF ILLINOIS AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.
- THE ARCHITECT HAS DIVISION TO DEMONSTRATE COMPLIANCE OF MEETING THE PROVISIONS OF THE ILLINOIS ENERGY CONSERVATION CODE COVERED BY 71 ILL. ADM. CODE 400 SUBPART 0 BY SUBMITTING, AS REQUIRED BY SECTION 101.5 OPTION 3, THE SEAL OF THE ARCHITECT/ENGINEER AS REQUIRED BY SECTION 14 OF THE ILLINOIS ARCHITECTURAL PRACTICE [225 ILCS 305].
- AS SPECIFIED BY THE CODE, 401.2 OPTION 1, COMPLIANCE IS DEMONSTRATED BY MEETING THE REQUIREMENTS OF SECTIONS 402 TO 404. OPTION 1 WAIVES THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE ALTERNATIVE" OR "RESCHEDULE" TO EVALUATE THE ENVELOPE.
- THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME. CONTRACTORS SHOULD ALSO VERIFY WHICH EDITION/YEAR ENERGY CODE SHALL BE FOLLOWED BASED ON THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED IN.

NOTE TO BIDDERS & CONTRACTORS

THESE PLANS HAVE BEEN PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THIS APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT FOR APPROVAL PRIOR TO BEGINNING WORK.

THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK, ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION. NOT ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL PRICING OR COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR DISCIPLINE AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

PLAN & ELEVATION SYMBOLS

5 SHELVES	1 SH. 1 RUD	SPRINKLER HEAD
GAS HOOKUP	WATER HOOKUP	FROST PROOF HOSE BIB
SHOWER HEAD FAUCET	SHOWER RAIN HEAD	FLOOR DRAIN
PRE-FAB FIREPLACE FLUE	MASONRY FIREPLACE FLUE	REBAR
CEILING DETAIL DIAGRAM	WORK POINT	ROOF PITCH
SECTION / VIEW MARKER	ELEVATION MARKER	REVISION MARKER
FACE BRICK	HORIZONTAL SOUNG	ASPHALT SHINGLE ROOFING
STONE	SHAKE SOUNG	CEDAR SHAKE ROOFING
FIELD STONE	STUCCO	METAL ROOFING
		FACE BRICK ON STONE (SEE SECTION)

WINDOW & DOOR NOTES

EXAMPLE WINDOW: 2555 = 2'-5" x 5'-5" (E) - EGRESS WINDOW (T) - TEMPERED GLASS
EXAMPLE DOOR: 2468 = 2'-4" x 6'-8" (E) - FIXED WINDOW (T) - TEMPERED GLASS

ELECTRICAL SYMBOLS:

SINGLE OUTLET (1)	SWITCHED DUPLEX OUTLET (2)	TELEVISION JACK
DUPLEX OUTLET (2)	SWITCH	TELEPHONE JACK
QUAD. OUTLET (4)	DOOR ACTIVATED SWITCH	HEMI JACK
FLUORESCENT LIGHT FIXTURE		AUDIO SYSTEM JACK
CEILING MOUNTED LIGHT FIXTURE	EXHAUST FAN (VENTED TO EXTERIOR)	
RECESSED CAN LIGHT	EXHAUST FAN/LIGHT (VENTED TO EXTERIOR)	
DIRECTIONAL RECESSED CAN LIGHT	UNDER CABINET LIGHT	
RECESSED W.P. LED CAN LIGHT	UNDER CABINET LED LIGHT STRIP	
WALL MOUNTED LIGHT FIXTURE	LAMP W/ POST	
FLOOD LIGHT WITH MOTION DET.	CEILING MOUNTED FAN/LIGHT	
A/C HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP	110V SMOKE DETECTOR WIRED IN SERIES W/ BATTERY BACKUP RUN ON DEDICATED CIRCUIT	

WALL TYPES

NEW FRAME WALL	NEW FOUNDATION WALL & FOOTING
DRYWALL, ARCHED OR CASED OPENING	DEPRESSED FOUNDATION WALL
BEARING WALL ABOVE	IR. SILL PLATE @ FOOTING WALL

NOTE TO CONTRACTORS

ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.

ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

CODE CONFORMANCE

THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRIC CODE
- 2014 NATIONAL FIRE CODE
- 2014 ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- CITY OF CRYSTAL LAKE CODE OF ORDINANCES

DRAWING INDEX

A000	SITE PLAN, DRAWING INDEX, GENERAL NOTES
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A200	FRONT ELEVATION, REAR ELEVATION
A201	LEFT SIDE ELEVATION
A202	RIGHT SIDE ELEVATION
A202	REAR ELEVATION

DESIGN LOADING VALUES

ROOF = 20 PSF LIVE LOAD
CEILING = 20 PSF LIVE LOAD
FLOOR = 40 PSF LIVE LOAD FOR EXTERIOR BALCONY
= 40 PSF LIVE LOAD FOR FLOORS, DECKS, STAIRS

WALLS = 20 PSF WIND FOR 0-20 FT. HEIGHT
= 25 PSF WIND FOR 21-29 FT. HEIGHT
= 30 PSF WIND FOR 30 FT. AND ABOVE

SOIL = 3000 PSF MINIMUM ASSUMED
OWNER/CONTRACTOR RESPONSIBLE TO VERIFY

CONCRETE/MASONRY NOTES:

- SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT, THICKNESS & REINFORCING OF FOUNDATION WALLS
- FOUNDATION REINFORCING TO BE GRADE 60 LAP CONTINUOUS BARS 36 DIAMETERS
- ALL FOUNDATION WALLS WITH FULL MASONRY VENER ABOVE TO BE A MINIMUM OF 10" THICK
- ALL EXTERIOR WALKOUT OR ENGLISH BASEMENT FRAME WALLS (24" W/ 1/2" SHEATHING)
- STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS & 3500 PSI FOR CONCRETE SLAB WORK AND EXTREME CONDITIONS
- ALL PORCHES, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI & BETWEEN 5/8" & 7/8" AIR ENTRAINED
- MASONRY MORTAR TO BE TYPE N

WINDOW NOTES:

- FOR BASEMENTS, TOP OF WINDOWS @ 6'-8" (8") ABOVE FLOOR SLAB, UNLESS OTHERWISE NOTED
- FOR 10'-0" PLATES, TOP OF WINDOWS @ 106-3/4" ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED
- FOR 8'-0" PLATES, TOP OF WINDOWS @ 94-1/4" ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED
- FOR 6'-0" PLATES, TOP OF WINDOWS @ 82-3/4" ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED
- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES
EXAMPLE: 2555 = 2'-5" x 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- PROVIDE (2) 2 X 12 HDR. ABOVE ALL WINDOWS & OPENINGS, UNLESS OTHERWISE NOTED
- PROVIDE TEMPERED SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 18" OF FLOOR, IN TUB & SHOWER ENCLOSURES, & IN STAIR WELLS
- PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2099 WHEN SILL IS LESS THAN 24" ABOVE FINISHED FLOOR
- ALL FINERSTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS = (U=0.30) SKYLIGHTS = (U=0.5)
- WINDOW & DOOR TAGS: FIXED WINDOW = (E), EGRESS WINDOW = (E), TEMPERED GLASS = (T)

STRUCTURAL NOTES:

- PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS & POINT LOADS
- ALL INTERIOR FRAME WALL PARTITIONS = 3-1/2" (2 X 4 STUD), UNLESS OTHERWISE NOTED
- ALL EXTERIOR FRAME WALLS = 4-1/2" (2 X 6 STUD) + 1/2" SHEATHING
- ALL EXTERIOR FRAME WALLS WITH MASONRY VENER = 9-1/2" (2 X 4 STUD + 1" SHEATHING + 1" AIR SPACE + 1/2" MASONRY VENER)
- ALL EXTERIOR FRAME WALLS = 6" (2 X 6 STUD + 1/2" SHEATHING)
- ALL EXTERIOR FRAME WALLS WITH MASONRY VENER = 11" (2 X 6 STUD + 1/2" SHEATHING + 1" AIR SPACE + 1/2" MASONRY VENER)
- ALL EXTERIOR DIMENSIONS ARE SHIPPED TO EXTERIOR OF WALL SHEATHING OR FULL MASONRY VENER & ALSO CONCORDS WITH EXTERIOR OF FOUNDATION EDGE (DIMENSIONS ARE NEVER SHIPPED TO THIN-OUT MASONRY VENEERS, THEY ARE DEPICTED AS A TYPE OF EXTERIOR SIDING/CLADDING)
- ALL STEEL TO BE A-36 & STRUCTURAL STEEL BOLTS TO BE A-305
- PROVIDE (2" X 4" X 1/2") STEEL ANGLE L.L.V. ABOVE OPENINGS FROM 9'-0" TO 16'-0" WIDE WITH MASONRY VENER ABOVE
- PROVIDE (2" X 4" X 1/2") STEEL ANGLE L.L.V. ABOVE OPENINGS FROM 9'-0" TO 16'-0" WIDE WITH MASONRY VENER ABOVE
- PROVIDE (2" X 4" X 1/2") STEEL ANGLE L.L.V. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH UP TO 25'-0" HIGH MASONRY VENER ABOVE
- PROVIDE (2" X 4" X 1/2") STEEL ANGLE L.L.V. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH MORE THAN 2'-0" OF MASONRY VENER ABOVE
- STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS & SHIMS FOR A COMPLETE INSTALLATION.
- STEEL FLUSH PLATE BEAMS TO BE CONNECTED WITH 1/2" BOLTS STAGGERED @ 20" O.C.
- 2" X 4" @ EACH END
- ALL STEEL BEAMS, LINTELS & COLUMN PLATES SHALL BE SHOP PRIMED
- WALLS SHALL BE BRACED @ EACH END & 20'-0" BETWEEN PANELS MAX.
- ALL JOISTS, STUDS & RAFTERS TO BE SPP #2 (CANADIAN), UNLESS OTHERWISE NOTED
- ALL HEADERS TO BE (2) 2 X 12 SPP #2 (CANADIAN), UNLESS OTHERWISE NOTED
- THE DIAMETER OF HOLES BORED INTO SOLID SHIM FRAMING MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER & SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE.
- THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED FRAMING MEMBERS SHALL FOLLOW MFG. APPROVED SPECIFICATIONS
- PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOISTE AT THE TIME OF INSPECTIONS
- PRE-ENGINEERED FLOOR JOIST TO BE BY "TRUSJOIST" MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS
- PRE-ENGINEERED FLOOR JOIST SUPPLIER SHALL PROVIDE JOIST LAYOUT FROM MANUFACTURER PRIOR TO START OF ROUGH FRAMING
- PROVIDE (2) 2x STUDS IN INTERIOR PARTITIONS WITH DOUBLE JOIST BELOW, UNLESS OTHERWISE NOTED
- PROVIDE (2) 2x STUDS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED
- POINT LOAD FROM ABOVE WITH DOUBLE JOIST BELOW, UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS OVER 10'-0" TALL TO BE MIN. 2 X 6 STUDS @ 16" O.C.
- ADD 2x HORIZONTAL BLOCCING, SAME WITH 4x STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 6'-0" IN HEIGHT. FASTEN EXTERIOR SHEATHING TO BLOCCING & TO STUDS.
- HALF WALLS TO BE MIN. 36" TALL, UNLESS OTHERWISE NOTED
- FRIBRELOCATIONS SHALL BE INSTALLED @ THE FOLLOWING LOCATIONS:
- CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING STAGGERED OR PARALLEL ROWS OF STUDS, VERTICAL AT CEILING & FLOOR LEVELS AND HORIZONTAL AT 10'-0" INTERVALS
- ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COLE CEILING
- CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP & BOTTOM OF THE STAIR RUN
- OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND PREFRAMES AT CEILING & AT FLOOR LEVEL WITH NONCOMBUSTIBLE MATERIALS

ELECTRICAL NOTES

- ALL OUTLETS ABOVE KITCHEN COUNTERTOP TO BE GFI & MAXIMUM 48" O.C.
- ALL OUTLETS WITHIN 72" OF ANY SINK OR WATER FEATURE TO BE GFI
- ALL OUTLETS IN GARAGE TO BE GFI
- ALL TYPICAL ROOM OUTLETS TO BE SPACED MAX. 12'-0" APART, UNLESS OTHERWISE NOTED
- VERIFY THAT NO POINT ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET
- PROVIDE SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODE:
(1) COMBO SMOKE/CARBON MONOXIDE DETECTOR @ EACH FLOOR LEVEL
(2) SMOKE DETECTOR IN EACH BEDROOM
(3) COMBO SMOKE/CARBON MONOXIDE DETECTOR WITHIN 15'-0" OF EACH BEDROOM DOOR/ENTRANCE
- ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING
- ALL OUTLETS SHALL BE ARC FAULT PROTECTED
- ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT
- RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED 6" MIN. IN FRONT OF THE TOP SHELF. SURFACE MOUNTED INCANDESCENT FIXTURES IN WALK-IN CLOSETS SHALL BE 12" MIN. IN FRONT OF TOP SHELF & SHALL BE FULLY ENCLOSED WITH A GLOBE. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN CLOSETS
- ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN
- PROVIDE SEPARATE 20 AMP CIRCUITS FOR KITCHEN REFRIGERATORS, MICROWAVES, GARABGE DISPOSALS & DISHWASHERS
- PROVIDE SEPARATE LOCAL DISCONNECTS FOR KITCHEN GARABGE DISPOSALS & DISHWASHERS
- PROVIDE MIN. 36" DEEP X 30" WIDE X 78" HIGH CLEAR WORK AREA IN FRONT OF ELECTRICAL PANEL
- PROVIDE 200 AMP ELECTRICAL SERVICE FOR BUILDINGS UP TO 6,000 SF
- PROVIDE 400 AMP ELECTRICAL SERVICE FOR BUILDINGS OVER 6,000 SF
- PROVIDE GAS SHUTOFF VALVES TO ALL GAS APPLIANCES & FIREPLACES
- ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES TO BE IN A 2 X 6 MIN. STUD WALL
- ALL WATER LINES TO A SECOND FLOOR TO HAVE 18" AIR CHAMBERS
- ABOVE GROUND WASTE - SCHEDULE 40 PVC, 1120 SERIES
- BELOW GROUND WASTE - SCH 40 PVC OR CAST IRON
- ABOVE GROUND WATER - TYPE L COPPER, NO LEAD SOLDER
- BELOW GROUND WATER - TYPE K COPPER
- INDERSORNDING SANITARY SHALL BE 4" MIN.
- COLORSD PRIMER & STACK TEST REQUIRED ON ALL PVC PIPING
- AIR TESTING OF THE PLUMBING SYSTEM SHALL BE IN COMPLIANCE WITH ISPC 880.1030.

HVAC NOTES:

- HVAC CONTRACTOR TO VERIFY LOCATION OF ALL HVAC SYSTEMS IN FIELD
- FOR ANY PROPOSED ATTIC FURNACES, PROVIDE A SMOKE/CO2 DETECTOR, PROVIDE FLOOR DRAIN WITH PAN & AUTO SHUT OFF VALVE (FOR DRAIN BACK UP) ALONG WITH ANY OTHER REQUIREMENTS WHICH MAY BE NEEDED TO SATISFY LOCAL & NATIONAL BUILDING CODES
- DUCT JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT
- DUCTS SHALL BE SUPPORTED @ 10'-0" MIN. INTERVALS
- PROVIDE MIN. 36" DEEP X 30" WIDE X 78" HIGH CLEAR WORK AREA IN FRONT OF FURNACE SERVICE PANEL.

PRELIMINARY DESIGN	11-09-22 AM	11-09-22 AM	11-09-22 AM
DESIGN DEVELOPMENT	01-05-23 AM	01-05-23 AM	01-05-23 AM
PERMITTING	01-10-23 AM	01-10-23 AM	01-10-23 AM
RELEASE FOR PERMIT	01-27-23 AM	01-27-23 AM	01-27-23 AM
REVISION			

HUTCHINS RESIDENCE
997 NORTH SHORE DRIVE
CRYSTAL LAKE, IL 60014

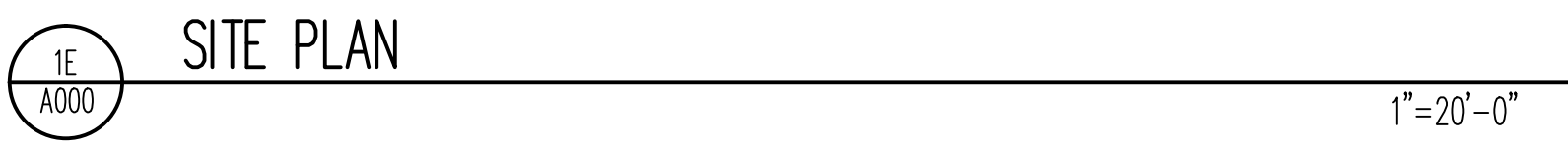
PRELIMINARY

Architects & Planners, Inc.
111 Telephone: 815-788-5200 | W Telephone: 262-250-0021
2600 Behan Road at Rt. 176 | 98 W. Main St.
Crystal Lake, IL 60014 | Lake Geneva, WI 53147
40 Crystal St. | 170 E. Racine Ave.
Crystal Lake, IL 60013 | Waukesha, WI 53186

Job Number: 22353
Sheet Number: A000
File Name: 22353-000

NOTES:

- VERIFY UTILITY LOCATIONS.
- VERIFY TREES TO BE REMOVED WITH OWNER
- VERIFY STRUCTURE LOCATION WITH OTHERS.
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
- REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
- BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.



CRYSTAL LAKE SPECIFIC NOTES:

NOTE:
SOME NOTES LISTED IN THIS SECTION MAY NOT APPLY TO THE THIS SPECIFIC PROJECT DRAWING SET. ALL NOTES LISTED SHALL BE ACKNOWLEDGED WHETHER RELEVANT TO THIS PROJECT OR NOT.

NOTE:
PROVIDE 1 1/2" X 3/8" FLOOR-TO-FLOOR FLAT STRAP TIES @ 2ND FLOOR DECK WITHIN 6'-0" OF CORNERS & 12'-0" ON CENTER.

NOTE:
ANY PORTION OF EAVES & WALLS SHOWN WITHIN 5'-0" OF THE PROPERTY LINE SHALL HAVE A MINIMUM FIRE RATING OF 1-HR. TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 WITH EXPOSURE FROM BOTH SIDES. ANY PORTION OF SOFFITS & FASDA WITHIN 5'-0" OF THE PROPERTY LINE SHALL HAVE 3/4" GYP. BD. UNDER THE NORMAL WEATHER PROTECTIVE MATERIAL SPECIFIED.



ELEVATION NOTES

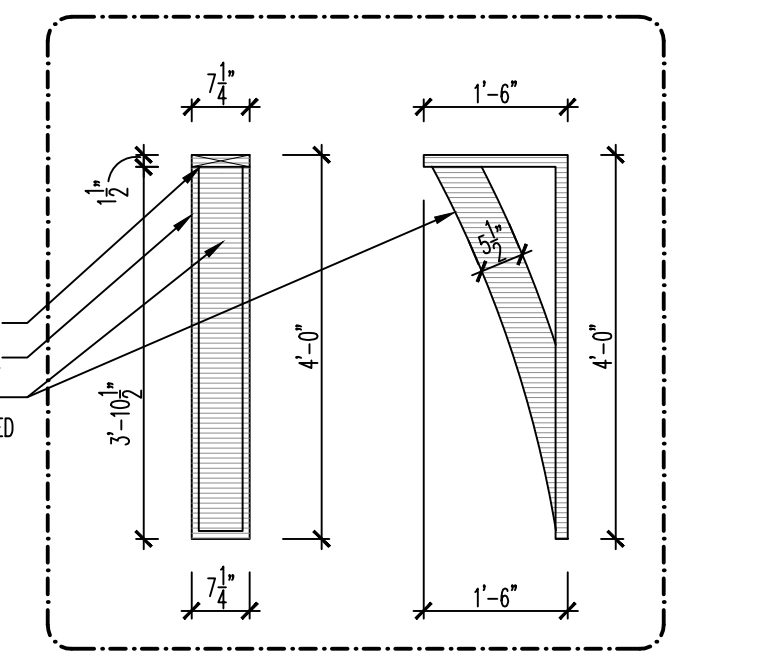
- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS.
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

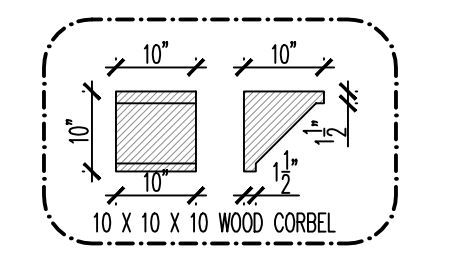
- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES TO BE MET WITHIN 2" OR EXCEEDED, DEPENDING ON MFG.
- EXAMPLE: 2555 = 2'-5" X 5'-5"
- EXAMPLE: 3068 = 3'-0" X 6'-8"
- EXAMPLE: 18080 = 18'-0" X 8'-0"

TEMPERED GLASS = (T)
 FIXED WINDOW = (F)
 EGRESS WINDOW = (E)

EGRESS WINDOW BREAKDOWN =
 MIN. CLEAR OPEN AREA OF 5.7 SF.
 MIN. CLEAR OPEN WIDTH OF 20"
 MIN. CLEAR OPEN HEIGHT OF 24"
 MAX. SILL HEIGHT OF 44"



7B BRACKET DETAIL 1/2"=1'-0"



7C CORBEL DETAIL 1/2"=1'-0"

NO.	DATE	REVISION
1	10-14-23	PRELIMINARY DESIGN
2	10-14-23	DESIGN DEVELOPMENT
3	10-14-23	DESIGN DEVELOPMENT
4	10-14-23	DESIGN DEVELOPMENT
5	10-14-23	DESIGN DEVELOPMENT
6	10-14-23	DESIGN DEVELOPMENT
7	10-14-23	DESIGN DEVELOPMENT
8	10-14-23	DESIGN DEVELOPMENT
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49	10-14-23	DESIGN DEVELOPMENT
50	10-14-23	DESIGN DEVELOPMENT

HUTCHINS RESIDENCE
 997 NORTH SHORE DRIVE
 CRYSTAL LAKE, IL 60014
PRELIMINARY
 ARCHITECTS & PLANNERS, INC.
 2800 BELAIR ROAD AT RT. 176
 CRYSTAL LAKE, IL 60014
 815-788-9200
 WILSONVILLE, IN 46093
 317-838-1111
 LAKE GENEVA, WI 53147
 1700 E. RASINE AVE.
 WAUKESHA, WI 53186
 262-259-0021
 Job Number: 22353
 Sheet Number: A200
 File Name: LA7017E00



1C
A201 LEFT SIDE ELEVATION

1/4"=1'-0"



1E
A201 RIGHT SIDE ELEVATION

1/4"=1'-0"

DESIGN STAGE	REVISION
PRELIMINARY DESIGN	1
DESIGN DEVELOPMENT	2
RELEASE FOR BID	3
FINAL REVIEW	4
RELEASE FOR PERMIT	5

HUTCHINS RESIDENCE
997 NORTH SHORE DRIVE
CRYSTAL LAKE, IL 60014

LEFT SIDE ELEVATION
RIGHT SIDE ELEVATION
PRELIMINARY

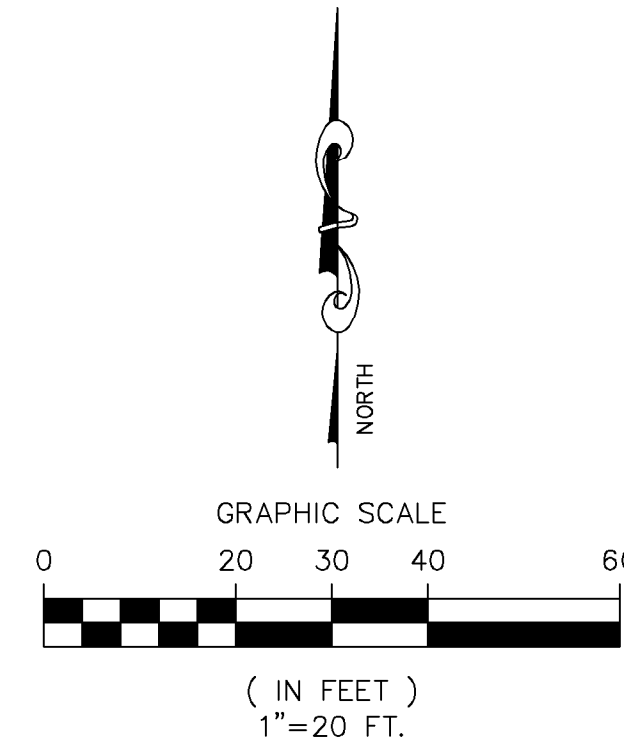
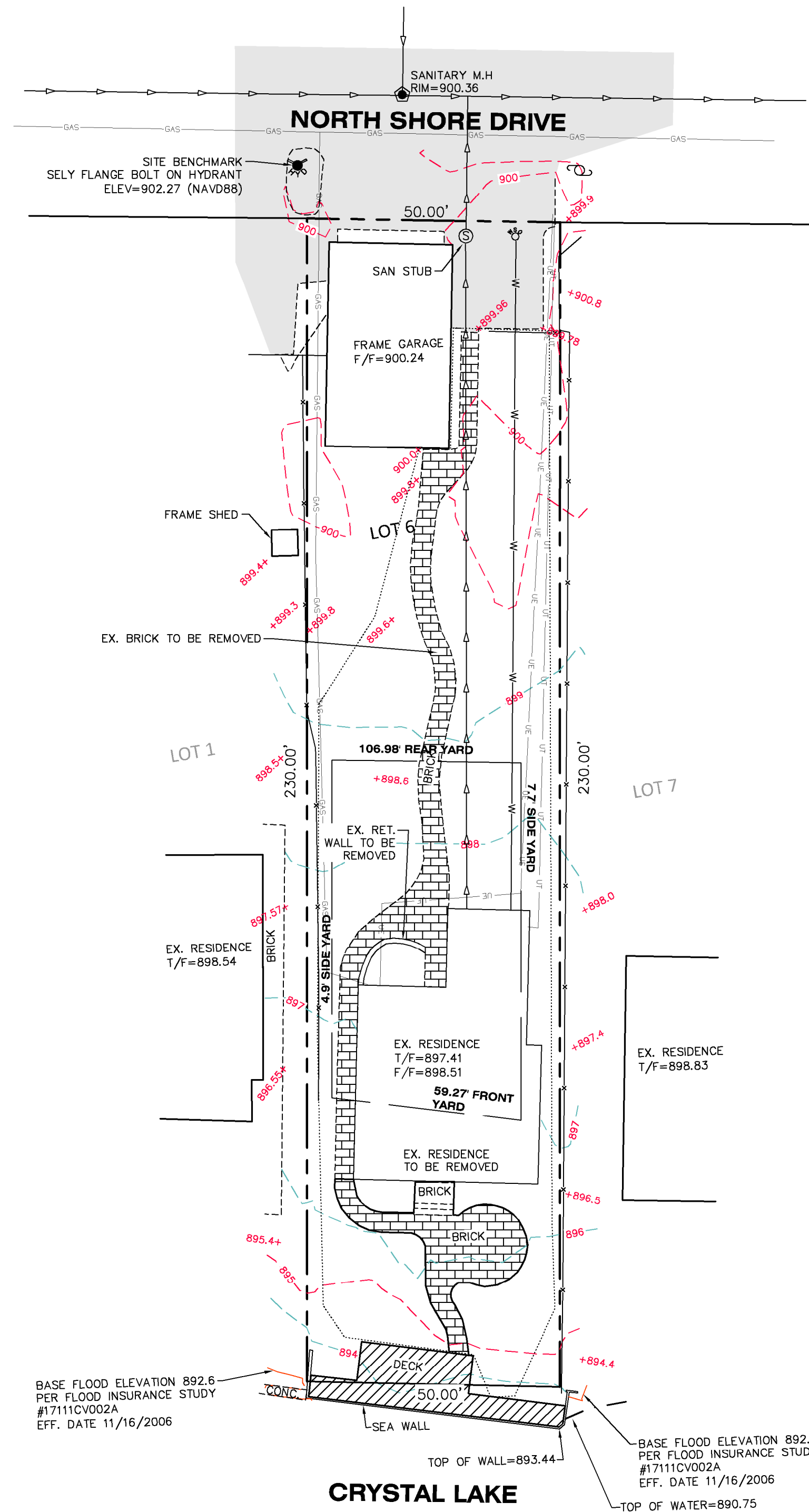
Architects & Planners, Inc.
IL Telephone: 815-788-9200 WI Telephone: 262-259-0021
2800 Belton Road at Rt. 176
Crystal Lake, IL 60014
40 Crystal St.
Cary, IL 60013

98 W. Main St.
Lake Geneva, WI 53147
1700 E. Basine Ave.
Waukegan, WI 53186

Job Number:
22353
Sheet Number:
A201

IMPERVIOUS EXHIBIT (LAKESIDE)

EXISTING CONDITIONS



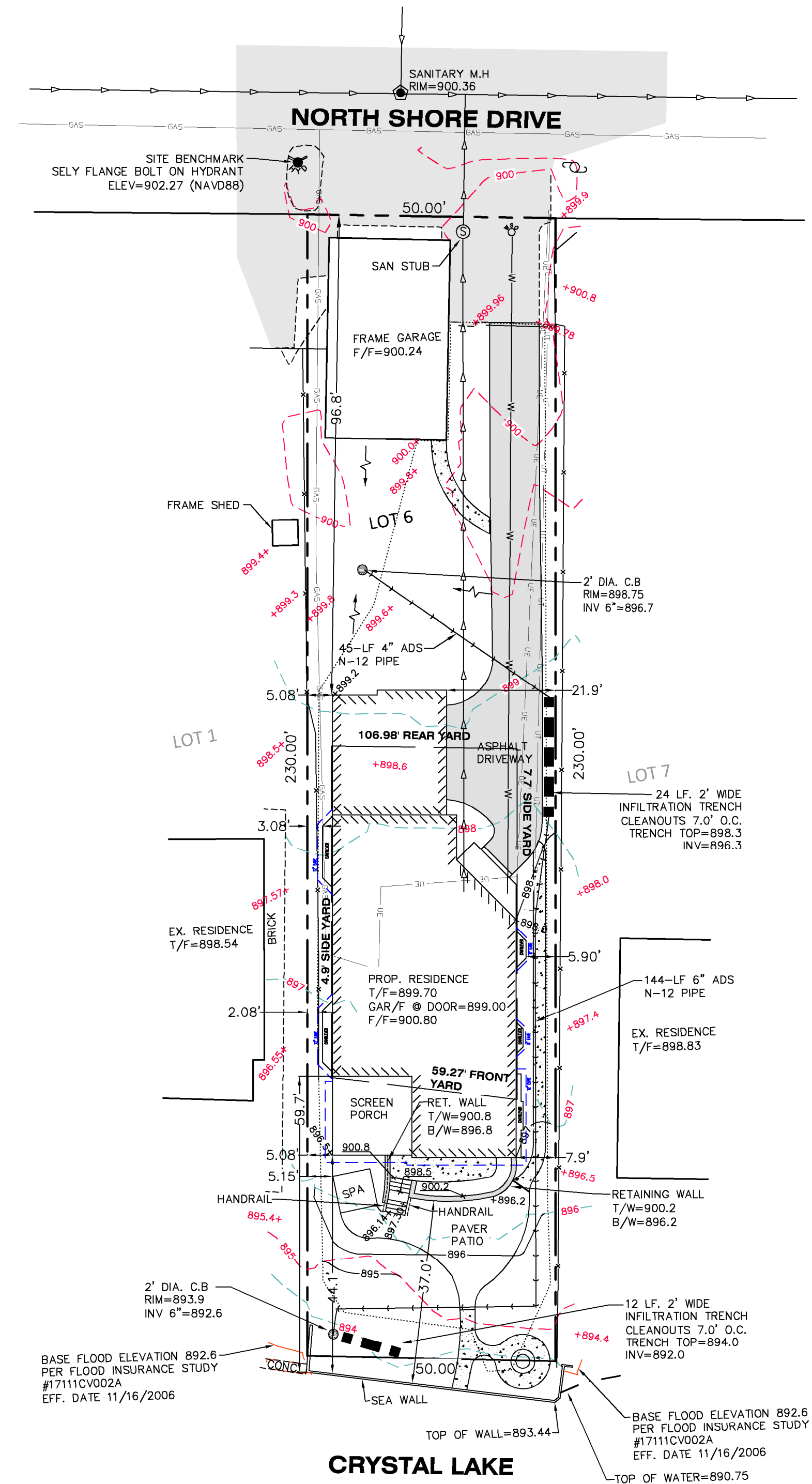
EXISTING IMPERVIOUS BETWEEN HOUSE AND LAKE

DECK:	387 SQ.FT.
BRICK:	470 SQ.FT.
TOTAL EXISTING IMPERVIOUS:	857 SQ.FT.

PROPOSED IMPERVIOUS BETWEEN HOUSE AND LAKE

RETAINING WALLS:	39 SQ.FT.
CONCRETE:	275 SQ.FT.
PAVERS:	480 SQ.FT.
SPA:	87 SQ.FT.
TOTAL EXISTING IMPERVIOUS:	831 SQ.FT.

PROPOSED CONDITIONS



CHRIS & ANGIE HUTCHINS
6180 STANSBURY LANE
LAKEWOOD, IL 60014
312-339-3271
chutchins04@gmail.com

NGS SOURCE BENCHMARK:
MCHEERY COUNTY GEODETIC
CONTROL STATION
DESIGNATED "MCH176-2A"
ELEVATION 907.25 NAVD88

REVISIONS	DESCRIPTION	DATE

Permit Number
HEALTH

Permit Number
PLANNING

LOT 6 IN BLOCK 2 IN CLOWS
CRYSTAL LAKE PARK
997 NORTH SHORE DRIVE
CRYSTAL LAKE, IL 60014
P.I.N. 18-01-229-031
NE 1/4, SEC 01, T43N, R07E



Drawn By
TJM

Checked By
AMS

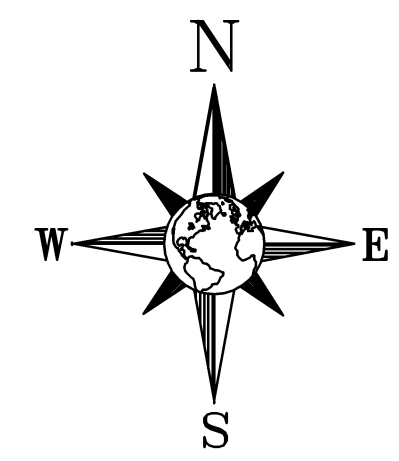
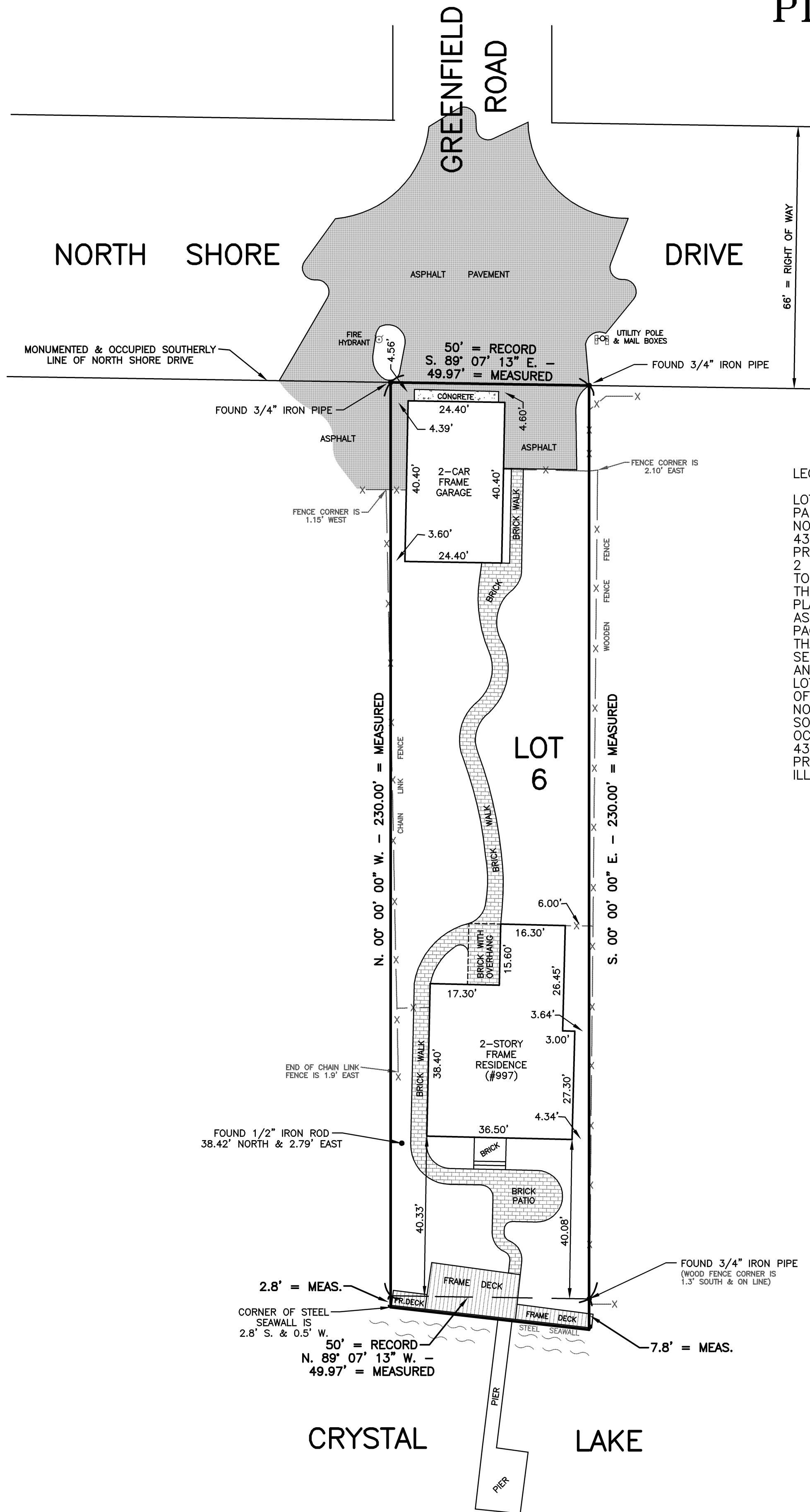
Date
03/16/2023

Scale
1" = 20 Ft.

Sheet
1 of 1

Job Number
230114

PLAT OF SURVEY



LEGAL DESCRIPTION:

LOT 6 IN BLOCK 2 IN CLOWS CRYSTAL LAKE PARK, A SUBDIVISION OF PART OF LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE WEST HALF OF LOT 2 OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 6, 1894 AS DOCUMENT NO. 13360, IN BOOK 1 OF PLATS, PAGE 54, IN MCHENRY COUNTY, ILLINOIS. ALSO, THAT PART OF SAID NORTHEAST QUARTER OF SECTION 1, LYING NORTHERLY OF SAID LOT 6 AND EASTERLY OF THE WESTERLY LINE OF SAID LOT 6 EXTENDED NORTH, AND LYING WESTERLY OF THE EASTERLY LINE OF SAID LOT 6 EXTENDED NORTH, AND LYING SOUTHERLY OF THE SOUTHERLY LINE, AS MONUMENTED AND OCCUPIED, OF NORTH SHORE DRIVE, TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS.

NOTE: NO BUILDING OR EASEMENT LINES APPEAR ON THE FACE OF THE PLAT OF SUBDIVISION.

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Heritage Land Consultants LLC

Surveying
Site Plans
Septic Design

HLC SURVEYING

758 RIDGEVIEW DRIVE
MCHENRY, ILLINOIS 60050
(815) 344-3252

P.I.N. #18-01-229-031	INDICATES IRON STAKE (UNLESS NOTED OTHERWISE)	BEARING SYSTEM : ASSUMED (UNLESS NOTED OTHERWISE)
PREPARED FOR: CAMPION CURRAN LAW, P.C.	SCALE : 1" = 20'	DATE : 6-23-2022
ADDRESS: 997 NORTH SHORE DRIVE CRYSTAL LAKE, ILLINOIS	DATE OF FIELD WORK: 6-16-2022	DISK: 220620 FILE NAME: 22152SUR DISK: 22152 PAC. NO. 22152P
DRAWN BY: MTB CHECKED BY: MWR	REVISIONS	
JOB NO. 2022-152 SUR		

ABBREVIATIONS

- R. = DISTANCE ON RECORDED PLAT OF SUBDIVISION
- REC. = DISTANCE ON RECORDED PLAT OF SUBDIVISION
- M. = MEASURED OR CALCULATED DISTANCE
- MEAS. = MEASURED OR CALCULATED DISTANCE
- RAD. = RADIUS
- ARC = ARC LENGTH
- CH. = CHORD LENGTH
- C./CONC. = CONCRETE
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT

SURVEYS ARE BASED UPON RECORDED SUBDIVISION INFORMATION IN CASES OF REGULAR SUBDIVISION LOTS. SURVEYS OF PROPERTIES NOT A PART OF A REGULAR SUBDIVISION ARE BASED UPON TITLE INFORMATION PROVIDED BY THE CLIENT OR PARTY REQUESTING THE SURVEY. PLATS OF SURVEY REFLECT INFORMATION DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY AS MONUMENTED, EASEMENTS, SERVITUDES, BUILDING ORDINANCES, ZONING, AND OTHER LEGAL ENCUMBRANCES MAY EXIST AND ARE NOT SHOWN HEREON. CONSULT A TITLE ATTORNEY IF YOU WISH TO DISCOVER ANY OF THE LEGAL ENCUMBRANCES THAT MAYBE ATTACHED TO ANY PROPERTY.

REFER TO DEED OR GUARANTEE POLICY AND LOCAL ORDINANCES FOR BUILDING LINES AND EASEMENTS NOT SHOWN HEREON. COMPARE YOUR DESCRIPTION AND POINTS WITH THIS PLAT AND AT ONCE REPORT ANY APPARENT DIFFERENCE TO THE SURVEYOR.

BUILDING THE DIMENSIONS SHALL NOT BE USED TO DETERMINE LOT LINE LOCATIONS. THIS PLAT OF SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

HLC SURVEYING IS A SERIES OF HERITAGE LAND CONSULTANTS, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY.

ILLINOIS PROFESSIONAL LAND SURVEY AND PROFESSIONAL ENGINEERING DESIGN FIRM CORPORATION LICENSE NO. 184.004955 EXPIRES : 04/30/2023

STATE OF ILLINOIS
S.S.
COUNTY OF MCHENRY

WE, HERITAGE LAND CONSULTANTS, LLC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT AS DRAWN REPRESENTS SAID SURVEY. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT MCHENRY, ILLINOIS
THIS 23rd DAY OF JUNE, 2022

MARK T. BERNHARDT
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3028
LICENSE RENEWAL DATE : 11-30-2022