



**#2023-53**

**Final Planned Unit Development Amendment for a  
New Community Center Building at Oakbrook  
Estates  
Project Review for Planning and Zoning Commission**

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<b><u>Meeting Date:</u></b>	May 17, 2023
<b><u>Zoning Requests:</u></b>	Final Planned Unit Development Amendment to allow a new community center
<b><u>Location:</u></b>	907 Crookedstick Drive – Oakbrook Estates Mobile Home Park
<b><u>Size:</u></b>	Approximately 64 acres
<b><u>Existing Zoning:</u></b>	R-3B PUD Multi-Family Residential
<b><u>Surrounding Properties:</u></b>	North: B-2 PUD General Commercial South: McHenry County “E1” Estate East: Cary “M” Limited Manufacturing and McHenry County “I1” Light Industrial West: B-2 PUD General Commercial and O Office
<b><u>Staff Contact:</u></b>	Katie Rivard (815.356.3612)

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**Background:**

- **Existing Use:** The existing use is Oakbrook Estates Mobile Home Park.
- **Development History:**
  - In 1999, Oakbrook Estates was annexed and rezoned to R-3B PUD Attached Residence Planned Unit Development. The PUD permitted the existing 179 mobile home units and the proposed 236 mobile home units.
  - In 2022, Oakbrook Estates began the process of the adding the proposed mobile home units.

**Development Analysis:**

**General:**

- **Request:** Final Planned Unit Development Amendment to allow a new community center.

- **Land Use:** The Comprehensive Land Use map shows the area as High Density Residential, which is an appropriate land use.
- **Zoning:** The site is zoned R-3B PUD, which allows manufactured housing parks as a Special Use Permit.

**Request Overview:**

- Oakbrook Estates is seeking an amendment to the Planned Unit Development to allow the addition of a community center to the mobile home park.
- Oakbrook Estates is a 55+ age mobile home park community. The community center would serve Oakbrook’s residents. It would be centrally located and feature a gathering room, fitness room, breakroom and bathrooms.
- The community center would have the following setbacks:
  - 20 feet from Crookedstick Drive (Private Drive)
  - 11 feet from Forestview Drive (Private Drive)
  - 8 feet to the east
  - 5 feet to the north
- The associated parking lot will provide nine parking spaces.
- The petitioner will need to provide brick or stone elements on all elevations of the community center to comply with the UDO design standards.
- Site landscaping and foundation plantings are required where possible.

**Findings of Fact:**

**FINAL PLANNED UNIT DEVELOPMENT AMENDMENT**

The petitioner is requesting approval of a Final Planned Unit Development Amendment to allow a new community center. The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.  
 *Meets*                       *Does not meet*
2. The use will not be detrimental to area property values.  
 *Meets*                       *Does not meet*

3. The use will comply with the zoning districts regulations.  
 *Meets*             *Does not meet*
4. The use will not negatively impact traffic circulation.  
 *Meets*             *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.  
 *Meets*             *Does not meet*
6. The use will not negatively impact the environment or be unsightly.  
 *Meets*             *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.  
 *Meets*             *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.  
 *Meets*             *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.  
 *Meets*             *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.  
 *Meets*             *Does not meet*

**Comprehensive Land Use Plan 2030 Vision Summary Review:**

The Comprehensive Plan designates the subject property as High Density Residential, which permits manufactured housing parks as a Special Use. The following goal is applicable to this request:

Land Use – Commerce

**Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.**

This can be accomplished with the following supporting action:

**Supporting Action:** Encourage a diversity of housing types throughout the city, which satisfy wide-range needs for all persons regardless of age, race, religion, national origin, physical ability and economic level for existing and future city residents.

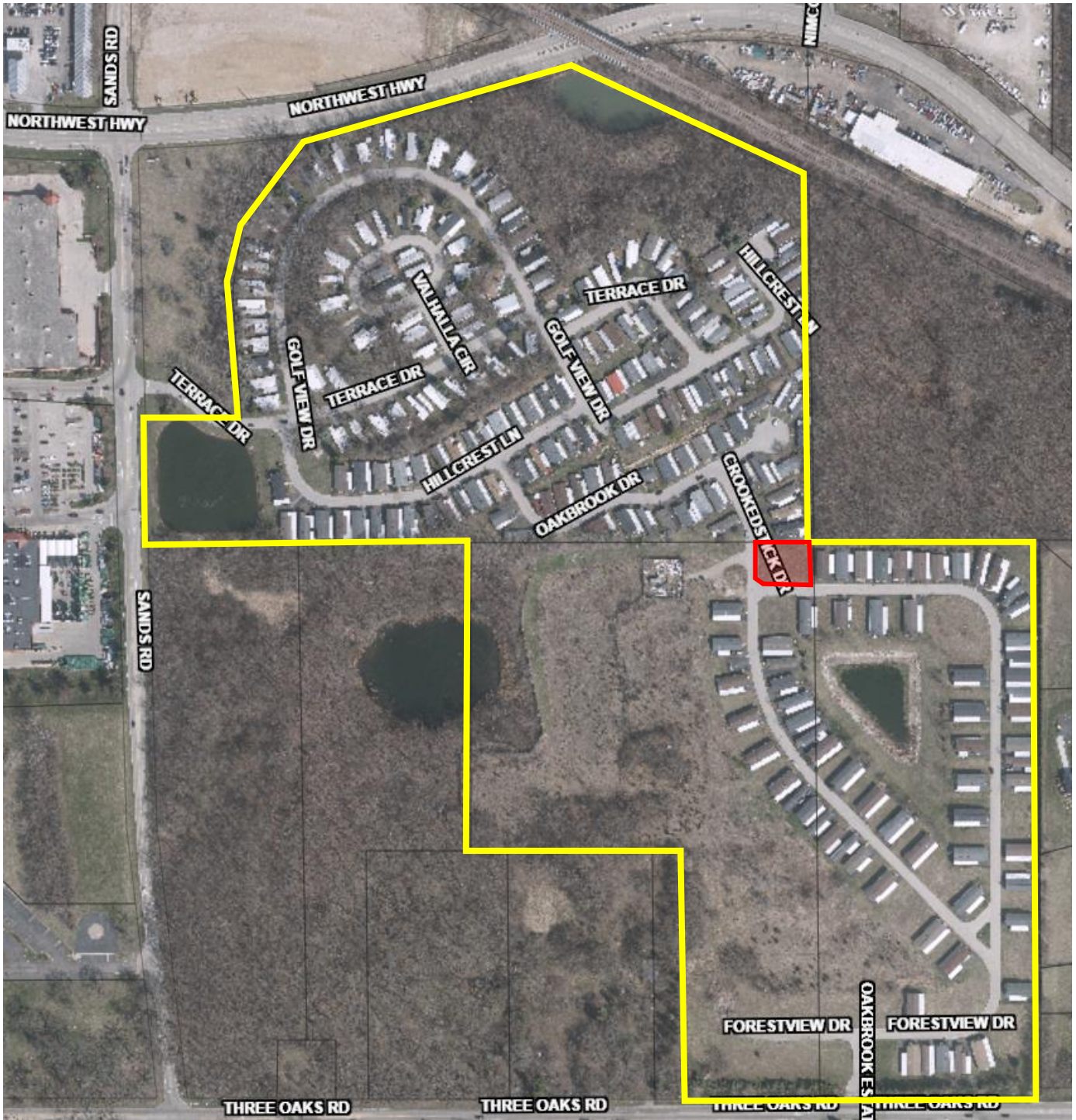
**Recommended Conditions:**

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (Crystal Lake Main Street, LLC, date signed 03/07/2023, received 03/10/2023)
  - B. Site Plan (Weaver Consultants Group, dated 05/04/2023, received 05/04/2023)
  - C. Elevations and Floor Plans (David Cornes Architect, dated 05-03-2023, received 05/04/2023)
2. The Petitioner must provide site and foundation landscaping where possible. Provide a landscape plan during the permit review process.
3. The Petitioner must provide brick or stone elements on all elevations of the community center.
4. All conditions from the original PUD Ordinance and subsequent Ordinances shall remain valid, as applicable, unless specifically modified by this request.
5. The Petitioner shall address all of the review comments and requirements of the Community Development, Public Works and Engineering and Fire Rescue Departments.



PIQ Map  
907 Crookedstick Drive - Oakbrook Estates





**City of Crystal Lake  
Development Application  
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: Ravinia Crystal Lake, LLC

Address: 900 Skokie Blvd, Suite 285

Northbrook, IL 60062

Phone: 847.881.2237

E-mail: dw@raviniacommunities.com

Project Name & Description: Community Center - Oakbrook Estates Manufactured Home Park

The project consists of the construction of a modular building and an asphalt parking

lot on lots #1 and #2 at Oakbrook Estates Manufactured Home Park in Crystal Lake, IL.

The proposed modular building will be used as a community center for the park.

Project Address/Location: 907 & 909 Crookedstick Drive, Crystal Lake, IL 60014

Signature

David Wortz

3/20/23

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

**Northwest Herald**

# NORTHWEST HERALD

Publication Name:

**Northwest Herald**

Publication URL:

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Publication City and State:

**Crystal Lake, IL**

Publication County:

**McHenry**

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Notice Popular Keyword Category:

Notice Keywords:

**oakbrook**

Notice Authentication Number:

**202305090927571127460**

**213731298**

Notice URL:

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Notice Publish Date:

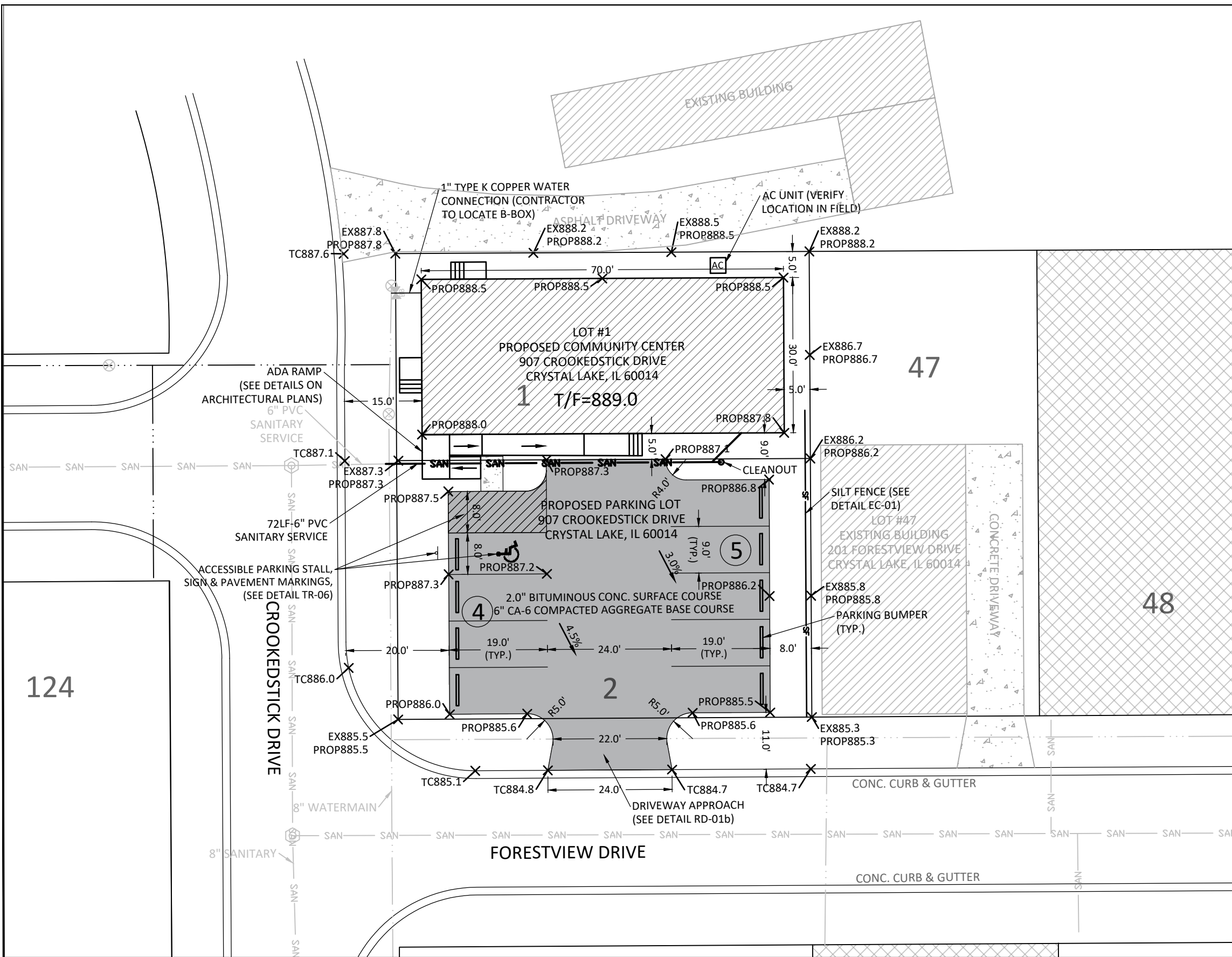
Friday, April 28, 2023

## **Notice Content**

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE PETITION OF Oakbrook Estates Mobile Home Park LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Ravinia Crystal Lake, LLC, for a Final Planned Unit Development Amendment, relating to the property known as Oakbrook Estates Mobile Home Park at 907 Crookedstick Drive in Crystal Lake, Illinois 60014. PINs: 19-10-200-045, 19-10-200-046 and 19-11-100-032. This application is filed for the purpose of seeking an amendment to the Final Planned Unit Development to allow a new community center and any other changes or variations as presented at the hearing, pursuant to Ordinance No. 5233, and Article 4 and Article 9 of the Unified Development Ordinance. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday, May 17, 2023, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald April 28, 2023) 2074339


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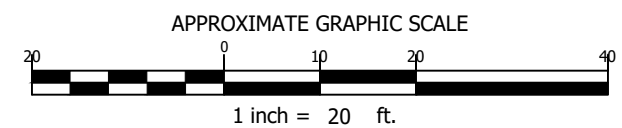




**NOTES:**

1. CONTRACTOR TO COMPLY WITH THE ILLINOIS PLUMBING CODE DATED APRIL 24, 2014 AND CRYSTAL LAKE AMENDMENTS APPROVED BY THE ILLINOIS DEPARTMENT OF PUBLIC HEALTH ON FEBRUARY 7, 2018.
2. SANITARY SERVICE PIPE WITHIN TEN FEET OF WATER SERVICE SHALL BE PVC AWWA C900 (WATERMAIN QUALITY).
3. WATER MAIN SERVICES AND PLUMBING CONNECTIONS SHALL BE INSTALLED BY AN ILLINOIS LICENSED PLUMBING CONTRACTOR WITH A CURRENT ILLINOIS LICENSE, REGISTRATION, AND LETTER OF INTENT ON FILE WITH THE CITY OF CRYSTAL LAKE.
4. PROVIDE MIN. 5' FIRE SEPARATION DISTANCE BETWEEN HOMES. IRC TABLE R302.1(1)
5. MAINTAIN SOIL EROSION MEASURES. INSTALL SILT FENCE ALONG PERIMETER OF THE LOT BEFORE EXCAVATION.
6. KEEP LOT AND STREET CLEAN AT ALL TIMES. DO NOT ALLOW OFF-SITE BLOWING OF DEBRIS.
7. DO NOT STORE, STAGE, OR DUMP MATERIALS INTO THE STREET, RIGHT-OF-WAY, EASEMENTS, FLOODPLAIN OR LANDSCAPE BUFFER.
8. DO NOT TRACK DEBRIS ONTO THE ROADWAY. IF DEBRIS IS TRACKED ONTO THE ROADWAY, IT MUST BE CLEANED UP IMMEDIATELY.
9. FINAL SURFACE RESTORATION MUST BE COMPLETED AS SOON AS WEATHER PERMITS. RESTORATION MUST BE A MINIMUM OF 4 INCHES OF TOPSOIL AND SEED. SILT FENCE MUST REMAIN AND BE MAINTAINED UNTIL FINAL RESTORATION IS COMPLETED.
10. NO USE OF CITY WATER TO SPRINKLE LAWN PER CITY ORDINANCE (JUNE 15 - AUGUST 31).
11. THE ELECTRICAL SERVICE SHALL BE INSTALLED ON THE SERVICE PROVIDER SIDE OF THE DWELLING.
12. ELECTRICAL SERVICE GROUNDING SYSTEM MUST COMPLY WITH THE MANUFACTURER'S SPECIFICATIONS AND THE 2017 NEC (I.E. WATER PIPE, UFER, TRAILER FRAME, GROUND RODS...).
13. ACCESS TO THE SITE FOR INSPECTION AND EMERGENCY SHALL BE MAINTAINED AT ALL TIMES.
14. FINAL SURVEY REQUIRED 5 DAYS PRIOR TO FINAL INSPECTION.
15. SURVEYS TO SHOW ALL "AS BUILT" IMPROVEMENTS AT FINAL .
16. GRADING AND DRAINAGE AS-BUILT TO BE SUBMITTED 5 DAYS BEFORE FINAL INSPECTION.
17. FUTURE ADDITIONS SUCH AS CARPORTS MUST BE STRUCTURALLY INDEPENDENT OF THE HOUSING ITSELF. IF NOT, AN ENGINEERED DEIGN CONSISTENT WITH THAT OF THE MANUFACTURER OF THE DWELLING IS ACCEPTABLE.
18. CONCRETE FOUNDATION TO BE 2500 PSI MINIMUM AT 28 DAYS.
19. SOIL BEARING CAPACITY TO BE MIN. 1500 PSF .
20. CALL FOR INSPECTIONS (815 356-3605) AT LEAST ON BUSINESS DAY IN ADVANCE AND BEFORE 4:00PM.

 CONSTRUCTED LOT

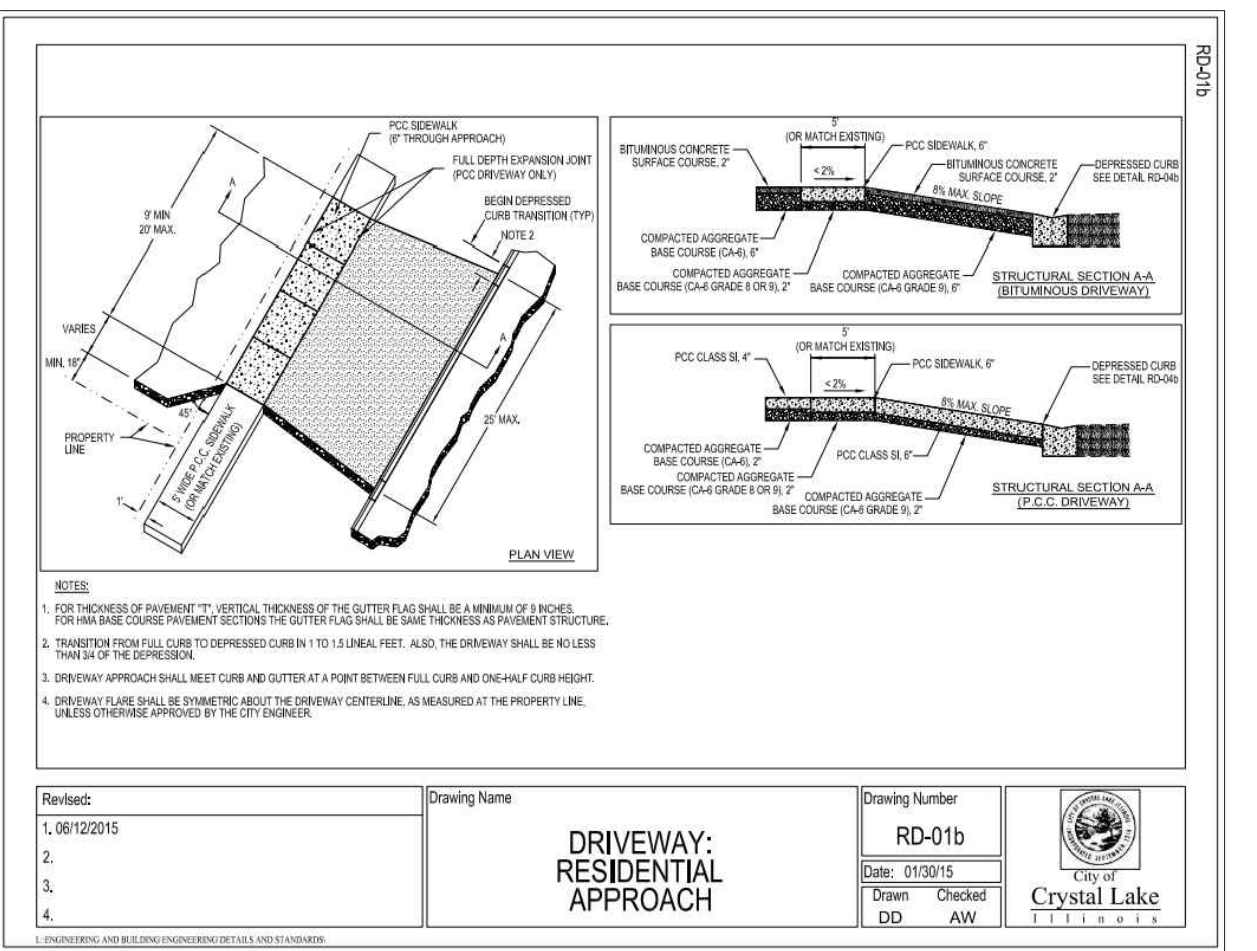
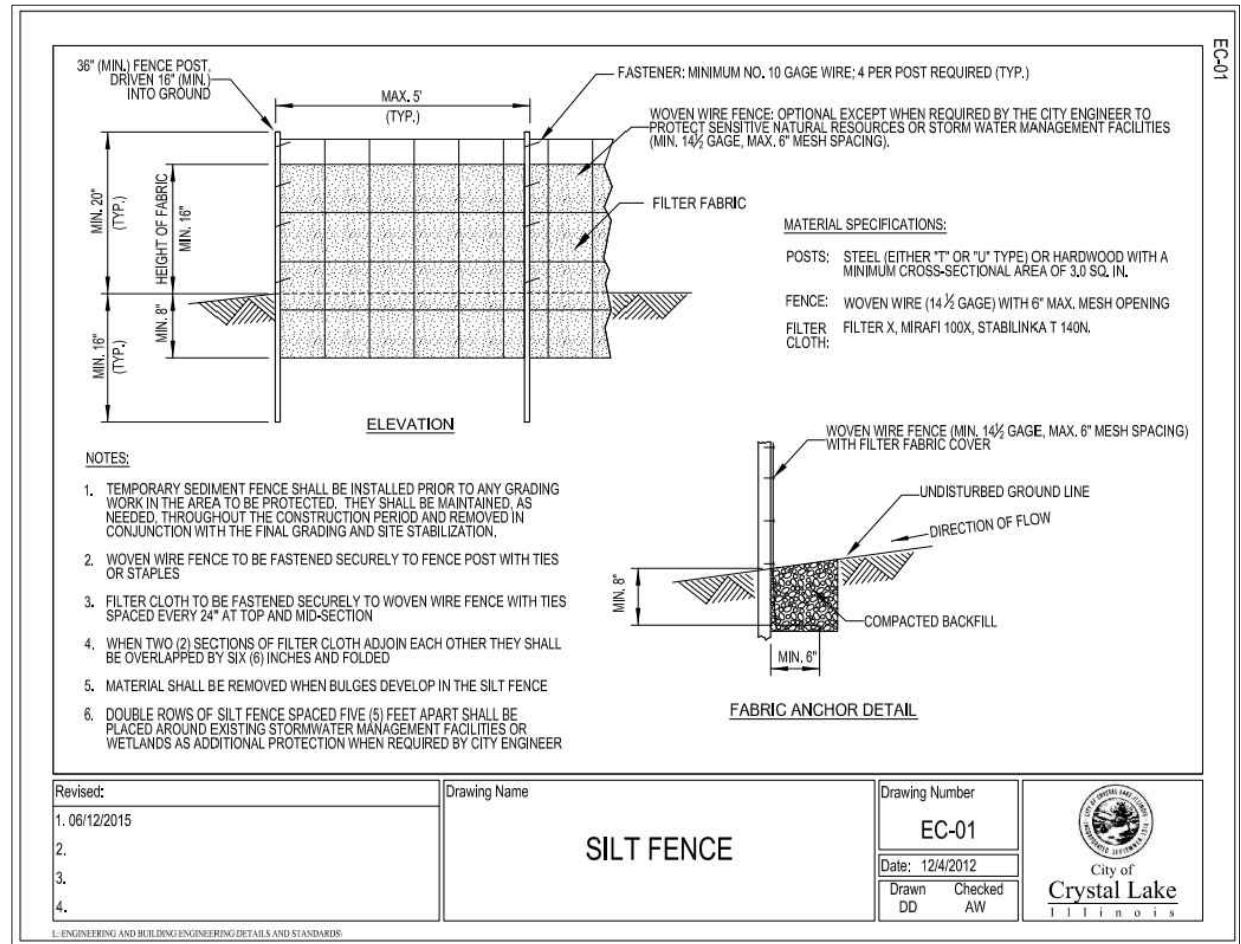
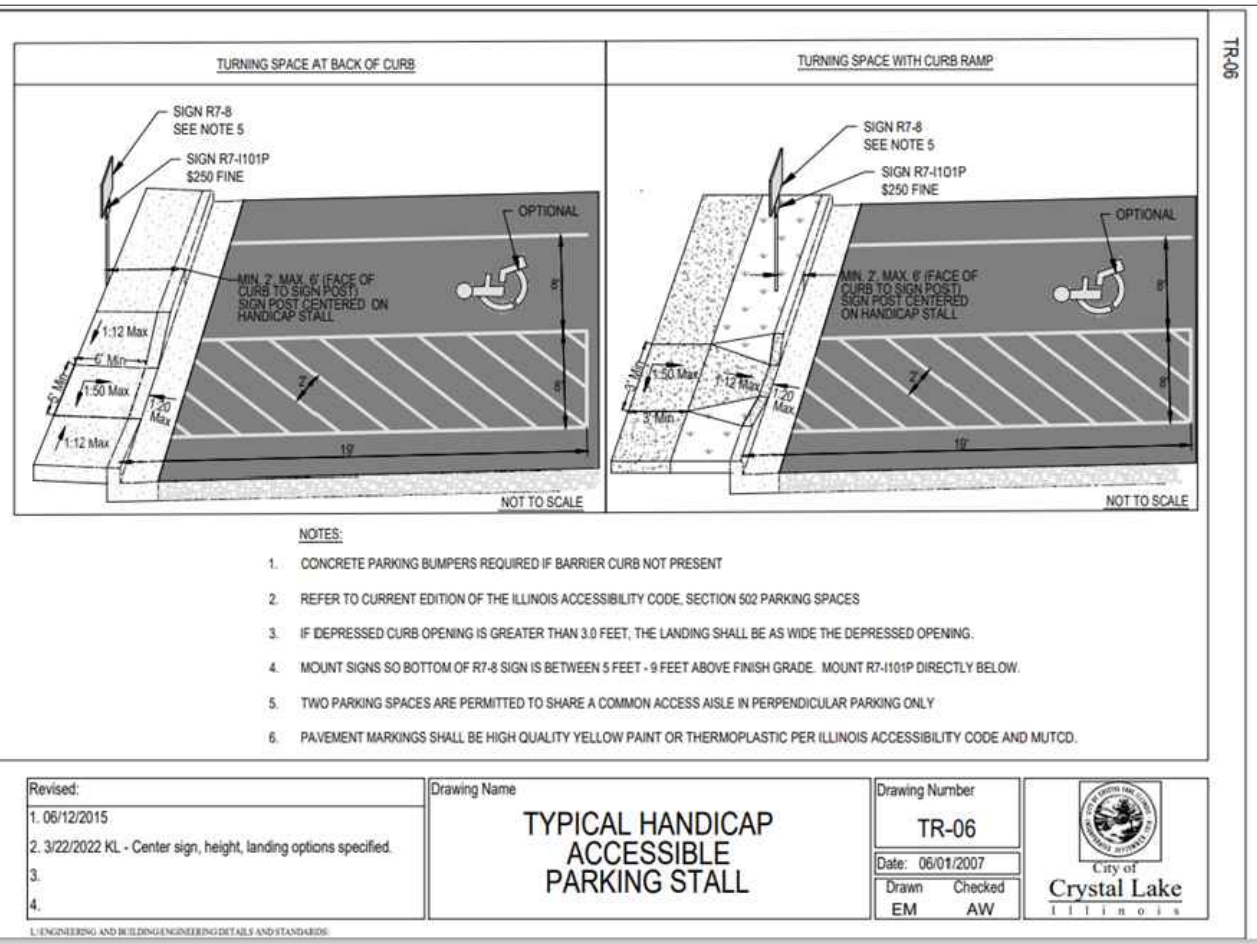


PREPARED FOR:  
RAVINIA COMMUNITIES

PERMIT PLAT - LOT 1 & 2  
907 & 909 CROOKEDSTICK DRIVE  
OAKBROOK ESTATES  
CRYSTAL LAKE, IL

**Weaver Consultants Group**  
CHICAGO, ILLINOIS  
(312) 922-1030 www.wcgrp.com

DRAWN BY: AJ  
REVIEWED BY: JJJ  
DATE: 05/04/2023  
FILE: 3687-308-32  
CAD: 907 & 909 Crookedstick Drive  
SHEET 01



PREPARED FOR: <b>RAVINIA COMMUNITIES</b>	DETAILS <b>907 &amp; 909 CROOKEDSTICK DRIVE OAKBROOK ESTATES CRYSTAL LAKE, IL</b>	 <b>Weaver Consultants Group</b> CHICAGO, ILLINOIS (312) 922-1030 www.wcgrp.com	DRAWN BY: AJ REVIEWED BY: JJT DATE: 05/04/2023 FILE: 3687-308-32 CAD: 907 & 909 Crookedstick Drive SHEET 02
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REUSE OF DOCUMENTS  
THIS DOCUMENT, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF WEAVER CONSULTANTS GROUP, AND IS NOT TO BE USED IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF WEAVER CONSULTANTS GROUP.



**GENERAL NOTES**

- All construction shall be in accordance with:
- 2018 ICC INTERNATIONAL BUILDING CODE
  - 2018 ICC INTERNATIONAL MECHANICAL CODE
  - NFPA 70 NATIONAL ELECTRICAL CODE 2017 EDITION
  - STATE OF ILLINOIS PLUMBING CODE, 2014 EDITION
  - INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION
  - INTERNATIONAL FIRE CODE 2018
  - INTERNATIONAL FUEL GAS CODE 2018
  - ILLINOIS ACCESSIBILITY CODE 2018
  - NFPA LIFE SAFETY 2014
  - Owner shall be responsible for carrying his/her own insurance. Minimum limits shall be in compliance with applicable laws.
  - Contractors shall visit the site to be familiarized with all existing conditions before submitting bids. Verify all dimensions in the field and notify architect of any discrepancies prior to proceeding with construction.
  - Contractor shall be responsible to carry Workman's Compensation, Public Liability, Property Damage, Hold Harmless, etc.; Required Insurance. Owner and Architect shall be listed as additional insured. Copies of insurance shall be submitted to Owner/Architect before commencement of work.
  - Contractor shall be responsible for his own clean up and shall collect rubbish and debris resulting from work and shall be properly disposed away from the site. Owner shall provide dumpster.
  - Contractor shall guarantee his work for a period of one (1) year from date of substantial completion of the work and acceptance by the Owner.
  - It is the responsibility of Owner's Contractors, Sub-Contractors to schedule all inspections and obtain an occupancy permit or certificate.
  - Owner/Contractor is to strictly adhere to building permit approved drawings. Should any changes or modifications be required or desired for any reason, Owner/Contractor is to notify Architect in writing before such changes are made, otherwise Owner shall be responsible at his/her own expense to comply with all applicable codes.
  - Do not scale the drawings, dimensions shall govern. Verify all dimensions in field & notify architect of any discrepancies prior to proceeding.
  - Dimensions shown are to drywall or other finished material unless otherwise noted.
  - The term "provide" as used herein shall mean furnish and install.
  - The term "FCI" as used herein shall mean Owner furnished and Contractor installed.

**ROUGH CARPENTRY**

Provide rough carpentry materials and labor required for proper completion of the work. All wood construction shall conform to the AITC and APA National Design specifications. Identify all lumber and plywood by grade stamps. Use factory pressure treated lumber on all exterior locations and members exposed to weathering and moisture or in direct contact with masonry or concrete. Wood framing lumber shall be southern pine, stress grade #2 with Fb=1,400psi, E=1,600,000 psi containing moisture content no greater than 19%. All exterior decking, posts, joists, handrails, stairs and wood members making contact with the earth or resting on the foundation shall be factory pressure treated. Provide rough hardware such as nails, steel plates, joist hangers, screws, spikes and bolts as required for proper installation. \*CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. EXTERIOR OR LOAD-BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 1/8 GUNGE AND 1-1/2" WIDE FASTENED TO EACH PLATE.

**FINISHED CARPENTRY**

PROVIDE FINISH CARPENTRY MATERIALS AND LABOR REQUIRED FOR PROPER COMPLETION OF THE WORK. THE FOLLOWING ITEMS ARE TO BE FURNISHED BY THE CARPENTRY CONTRACTOR: WOOD BLOCKING, FINISHED FRAMING AND DIMENSIONAL LUMBER, INTERIOR AND EXTERIOR WOOD TRIM, DOORS AND FRAMES, WEATHER STRIPPING, ALL HARDWARE, WOOD HANDRAILS. ALL HARDWARE IS TO BE SUBMITTED FOR OWNER'S APPROVAL PRIOR TO INSTALLATION.

**INSTALLATION**

INSTALL FINISHED CARPENTRY WORK PLUMB, LEVEL, TRUE, STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY ITEMS TO FIT ADJOINING SUBSTRATE, USING CONCEALED FASTENERS AND BLIND NAILING WHERE POSSIBLE. USE FINE FINISHING NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED, COUNTER SINK AND FILL FLUSH WITH FINISHED SURFACE. INSTALL STANDING AND RUNNING TRIM WITH THE MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE. COPE AT RETURN, MITER AT CORNERS TO PRODUCE LIGHT FILING JOINTS. USE SCARF JOINTS FOR END TO END JOINTS. MANUFACTURE TO SIZES AND PATTERNS USING SEASONED LUMBER. USE PIECES MADE FROM SOLID LUMBER FOR TRANSPARENT FINISHED WORK, AND GLUED-UP OR SOLID AT CONTRACTORS OPTION FOR PAINTED WORK.

**WOOD PRODUCTS**

Manufactured stock lumber and molding graded under Wood Molding and Millwork Products Industry Standard WMA, S4S. Provide lumber with 10% moisture content at time of dressing and shipment.

Exterior: Standing and running trim to be vinyl siding to match existing.  
Interior: Standing and running trim on 1st floor to be economy grade of natural yellow birch, or poplar and veneer plywood to match existing.

**DOORS**

Contractor shall install all doors as shown on drawings. All doors shall be snug and operate smoothly.

**GYPSUM DRYWALL**

Provide finish gypsum drywall materials, labor, and other finish and rough products not specifically described but required for proper completion of the work prior to painting. Materials used shall comply with applicable ASTM standards. "Greenboard" to be used in all damp locations.

**MECHANICAL**

Heating and ventilation systems shall be gas forced air furnace. All sheet metal ducts shall be erected securely and anchored to the building and installed to be completely free from vibration. The thickness of the sheet metal and the size and spacing of the stiffeners used shall be in accordance with the requirements of the current edition of ASHRAE Guide and Data Book. All exhaust shall be vented to the exterior with flush caps and back draft damper.

**GRILLES, REGISTERS AND DIFFUSERS**

Equipment shall be as sized and scheduled by contractor. Blades are to be run in long direction. At wood floors, provide wood grills to match hardwood floors with concealed aluminum dampers. Verify the exact location of all outlets in the field with the Owner. Duct connections to all supply outlets and to all exhaust and return air inlets shall be made airtight.

**ELECTRICAL**

Provide all necessary labor, materials, equipment for the installation of a complete and operable electrical system. All work shall be in accordance with the National Electrical Code and the governmental agencies having jurisdiction. Light fixtures to be selected by Owner. Use ground fault circuit interrupter receptacles in all wet locations and at exterior.

**PLUMBING**

Provide all necessary labor, materials, equipment for the installation of a complete and operable plumbing system. All work shall be in accordance with the National Plumbing Code and the governmental agencies having jurisdiction. Plumbing fixtures and faucets to be selected by Owner. Underground sewer lines to S01-40 or S01-35 PVC. Provide new 4" vent stack thru roof.

- ALL INTERIOR WALLS ARE 2x4 UNLESS MARKED OTHERWISE ON MODEL PLANS.
- ALL EXTERIOR WALLS ARE 2x6 UNLESS MARKED OTHERWISE.
- STATE LABEL LOCATION MAY VARY FROM MARKED AS REQUIRED BY SPECIFIC STATE.
- FOR WINDOW AND DOOR SCHEDULE SEE DETAIL IN THIS SECTION.
- RADON VENTS WHERE REQUIRED WILL BE LOCATED IN A WALL CLOSE TO THE ATTIC ACCESS.
- FURNACE AND WATER HEATER MAY BE INSTALLED ON SITE WHERE SHOWN ON PLANS UNLESS NOTED.
- REGISTER BOOTS, WARM AIR AND RETURN AIR DUCTS TO BE INSTALLED BY MANUFACTURER UNLESS NOTED ON MODEL PLANS.
- FIRESTOP ALL MECHANICAL AND PLUMBING CHASES AT FLOOR AND CEILING.
- X INDICATES REQUIRED LOCATION OF MATING BEAM SUPPORT COLUMN(S). SEE FOUNDATION DRAWING.
- ALL ELECTRICAL PANEL BOXES MAY BE MOVED AND OR DELETED SUBJECT TO THE REQUIREMENTS OF THE NEC. TYPICAL BASEMENT LOCATION WILL BE DIRECTLY UNDER WHERE SHOWN ON THE ELECTRICAL DRAWING UNLESS OTHERWISE REQUESTED.
- ALL PENETRATIONS THRU THE CEILING AND FLOOR TO BE FIRESTOPPED.
- WARM SIDE VAPOR BARRIER AT WALLS AND CEILINGS TO BE SPRAYED ON PROKO PRODUCTS "INTERIOR VAPOR BARRIER II". WHEN REQUIRED VAPOR BARRIER SHALL BE CONTINUOUS WITH ALL SEAMS, JOINTS, EDGES, AND PENETRATIONS TO BE CAULKED, TAPED, OR FINISHED IN AN APPROVED MANNER.
- ALL FIELD WORK CONNECTIONS AND INSTALLATIONS TO BE INSPECTED, VERIFIED, AND APPROVED BY LOCAL JURISDICTION.
- A WATER CLOSET, URINAL LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15" FROM CENTER TO ANY SIDEWALL, PARTITION, VANITY OR OTHER OBSTRUCTION OR CLOSER THAN 30" CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21" CLEARANCE IN FRONT OF THE WATER CLOSET, URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30" WIDE BY 60" DEEP.
- WHERE A WIND WASH BARRIER IS REQUIRED ANY JOINTS IN THE EXTERIOR SHEATHING THAT DO NOT HAVE SOLID BACKING MUST BE CAULKED. ANY PENETRATIONS THROUGH THE BARRIER SHALL ALSO BE CAULKED OR GASKETED.
- ALL EXPOSED FASTENERS AND METAL SHALL BE OF CORROSION RESISTANT MATERIALS.
- ALL FASTENERS, STRAPS, FLASHING, ETC. THAT ARE IN DIRECT CONTACT WITH PRESURE PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL PER THE 2012 IBC.
- ALL TREATED LUMBER SHALL BEAR THE QUALITY MARK OF AN ACCREDITED INSPECTION AGENCY SHOWING APA DESIGNATION UC3B OR BETTER.

**ZONING AND PLANNING**  
FACILITY IS WITHIN AN EXISTING PUD  
USE GROUP A-3  
ASSEMBLY AREA = 1,229 SF  
OCCUPANCY LOAD 15 NET/PERSON = 82 PERSONS  
WORKOUT AREA = 317 SF  
OCCUPANCY LOAD 50 GROSS/PERSON = 7 PERSONS  
COMMON PATH OF EGRESS TRAVEL 54-75 OKAY  
EXIT ACCESS TRAVEL DISTANCE 54-250 OKAY  
TOTAL OCCUPANCY = 89; REQUIRES 2 EXITS, OKAY  
PARKING:  
WORKOUT ARE IS 6.4 /1000 = 2  
GATHERING AREA 82 PERSONS@ 1 SPOT PER 4 PERSONS = 21  
TOTAL 23.  
9 SPOTS INCLUDING ACCESSIBLE ON SITE. BALANCE ON STREET.

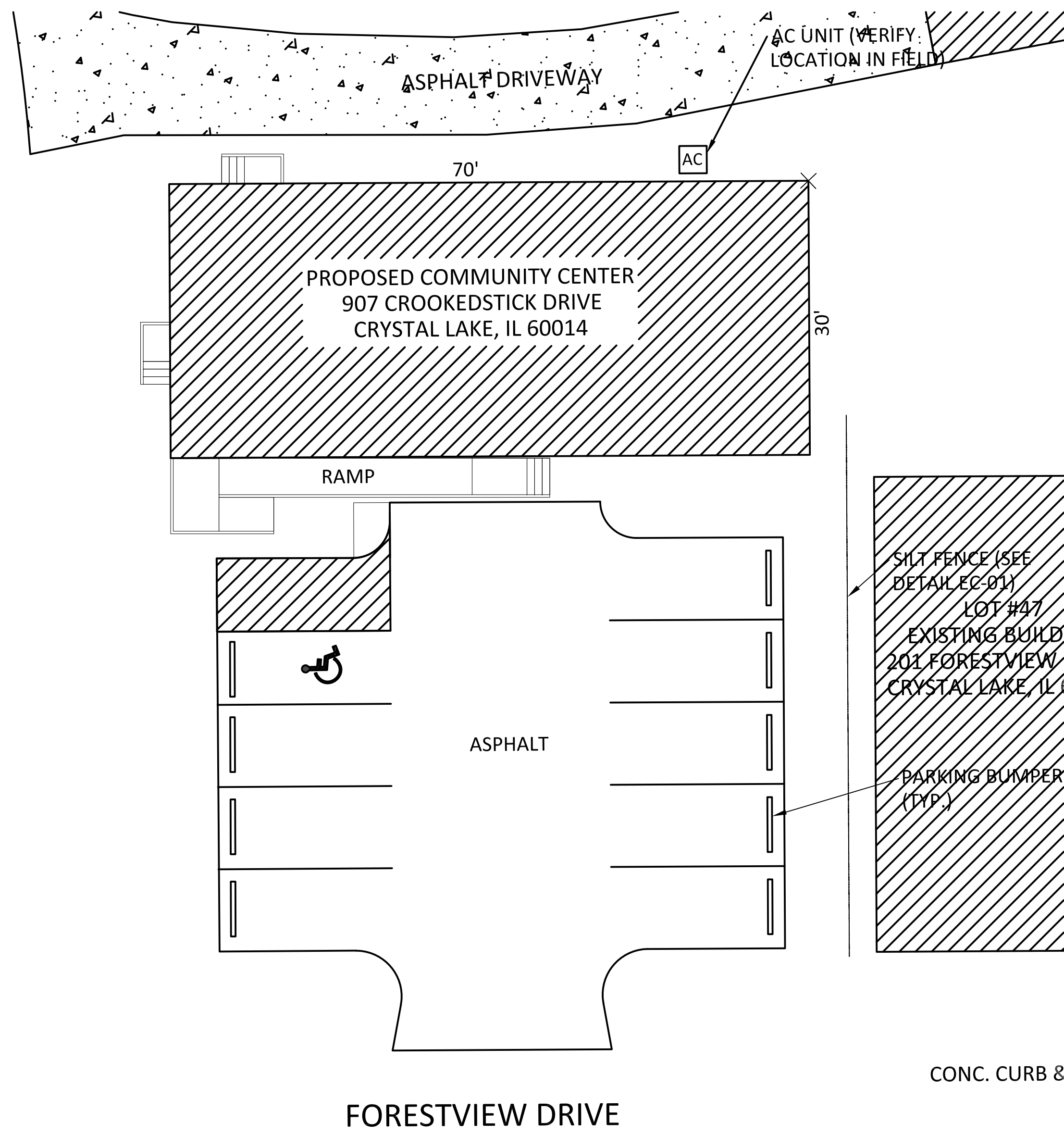
**DRAWING INDEX**

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A6	SECTION
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P1	PLUMBING
M1	MECHANICAL

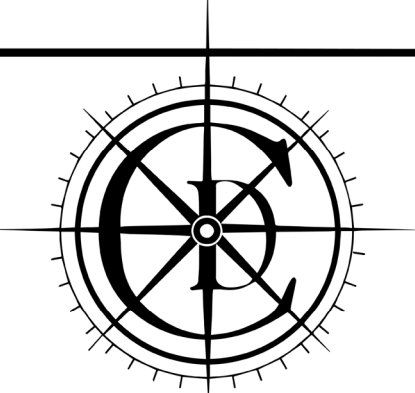


**OAKBROOK ESTATES COMMUNITY CENTER**

CROOKEDSTICK DRIVE



1 SITE PLAN  
1"=10'-0"



**DAVID CORNES ARCHITECT**

928 Main Street  
Antioch, IL 60002  
312-519-1716  
david@cornesco.com  
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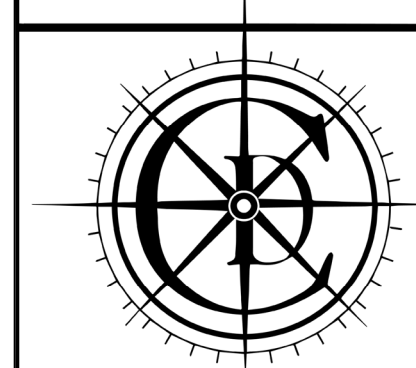
The American Institute of Architects

OAKBROOK ESTATES COMMUNITY CENTER  
907 CROOKEDSTICK DRIVE, CRYSTAL LAKE, IL 60014

SITE PLAN AND NOTES

DATE	5-3-2023
SCALE	A1





DAVID CORNES ARCHITECT

928 Main Street  
Antioch, IL 60002  
312-519-1716  
david@cornesco.com  
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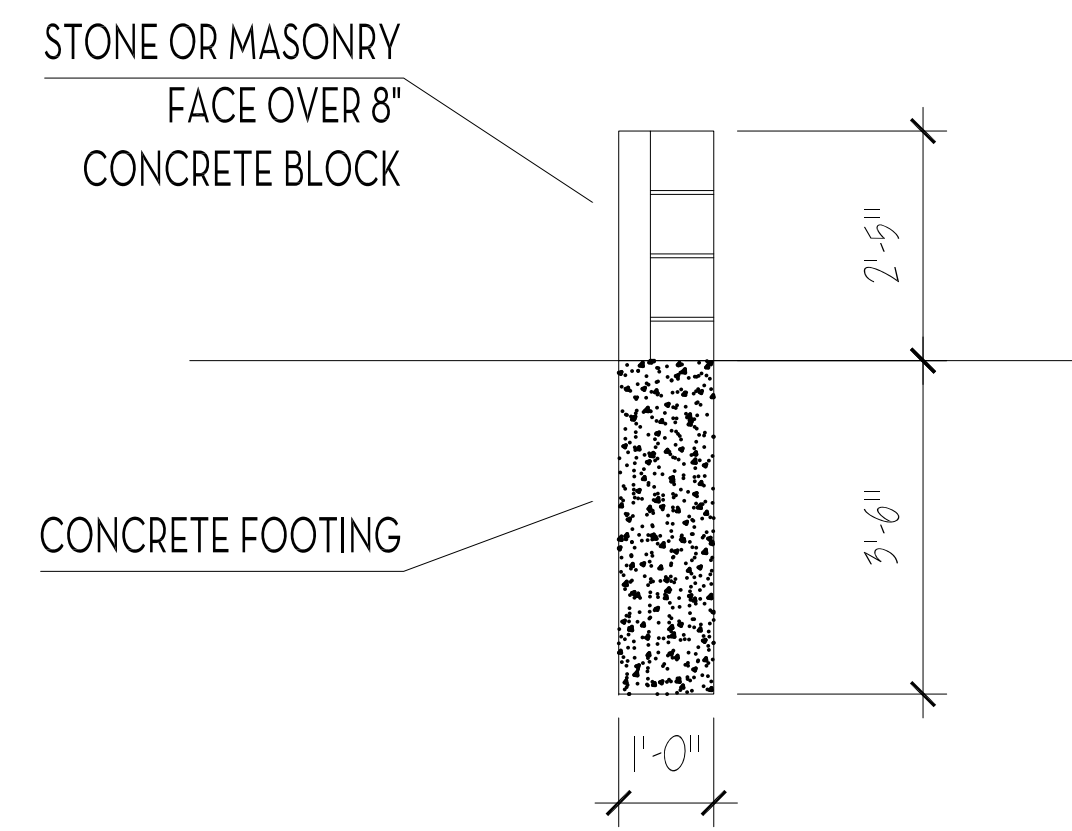
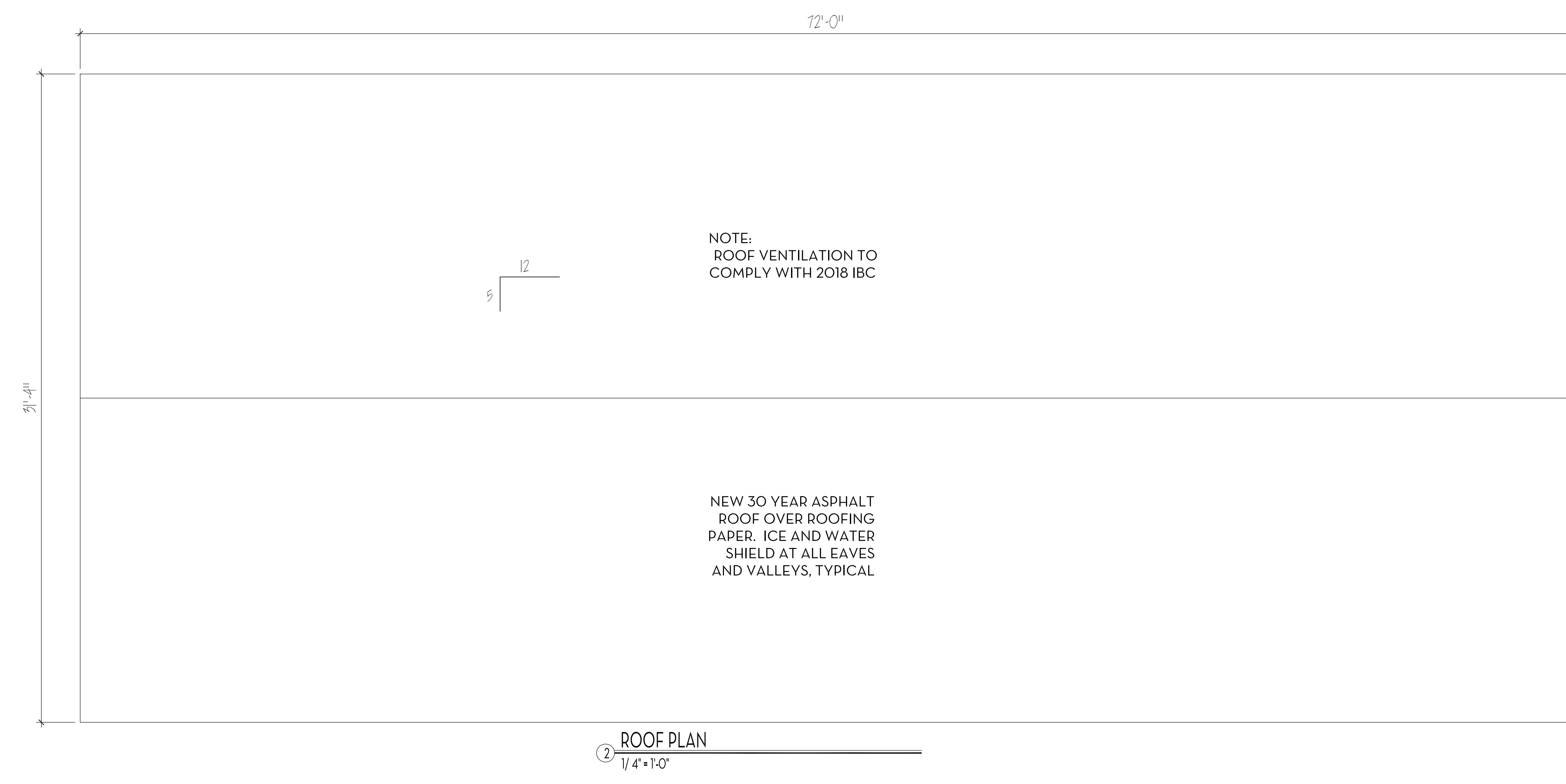
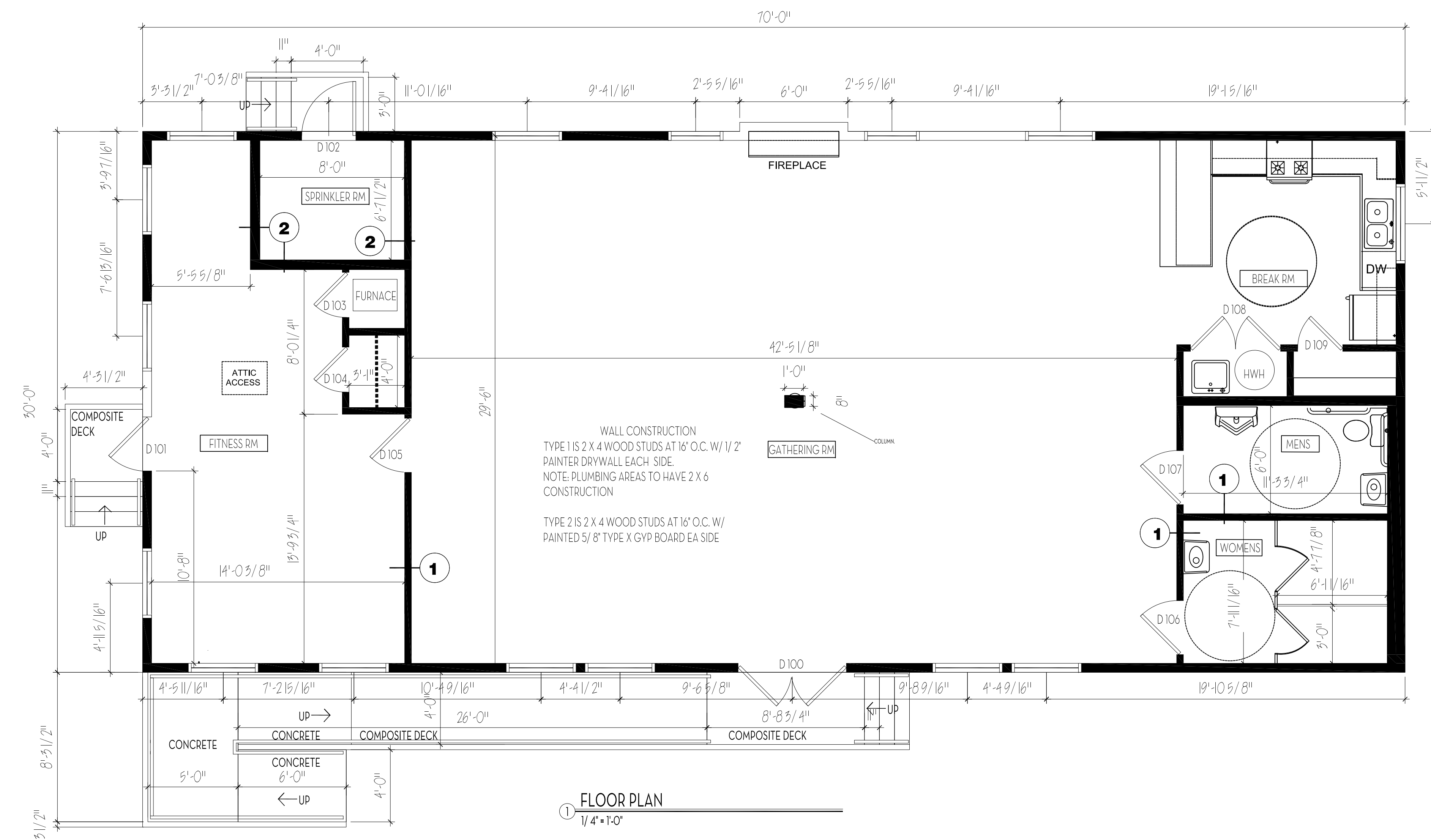


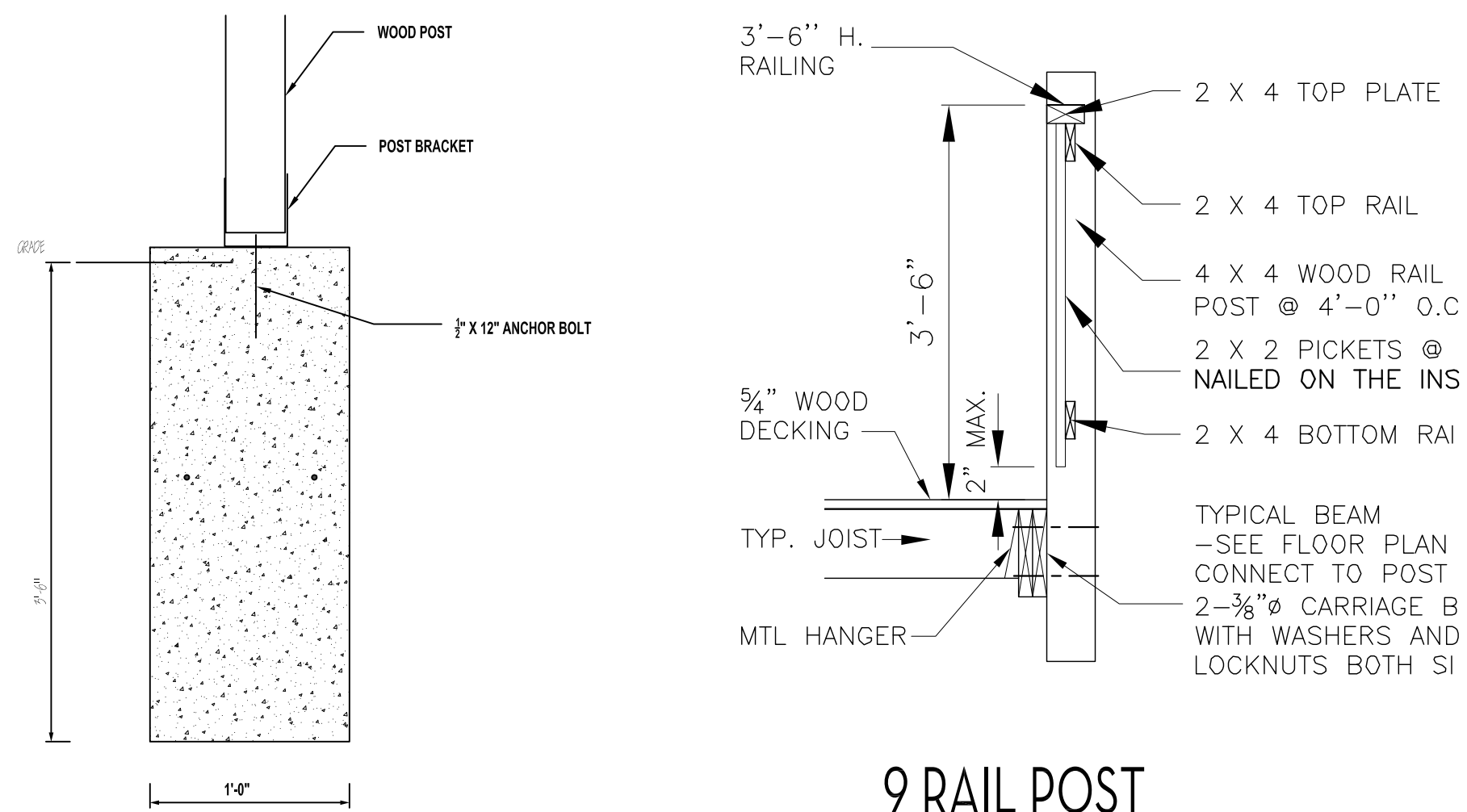
OAKBROOK ESTATES COMMUNITY CENTER  
907 CROOKEDSTICK DRIVE, CHRYSTAL LAKE IL 60014

PLANS

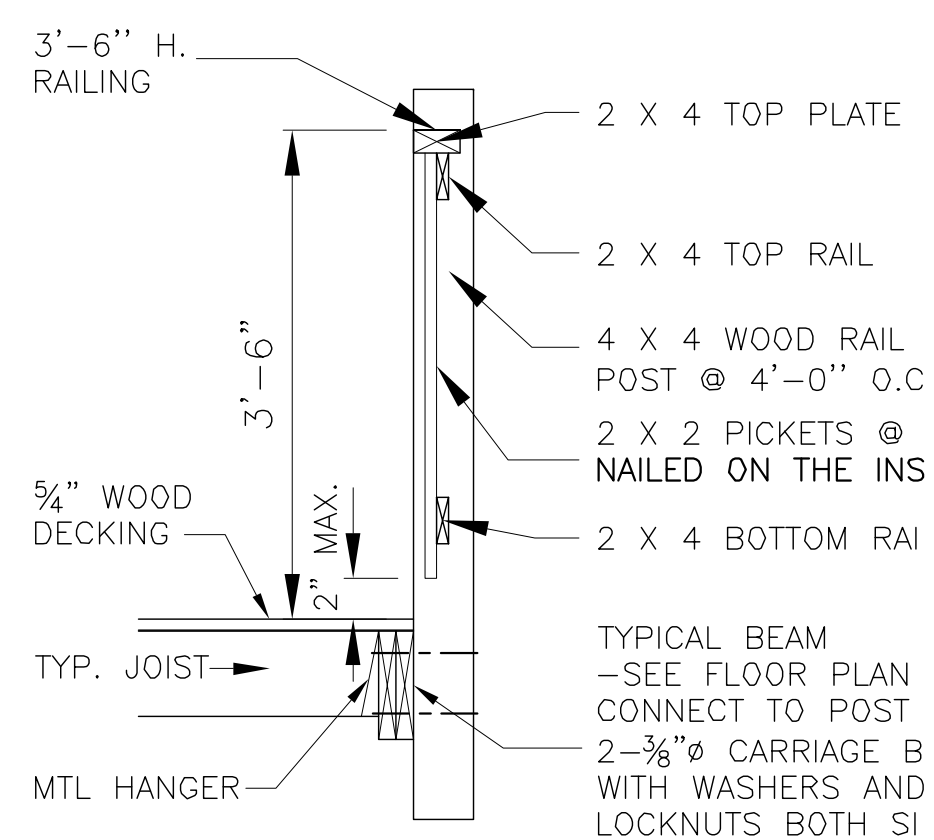
DATE  
5-3-2023

SCALE  
A4

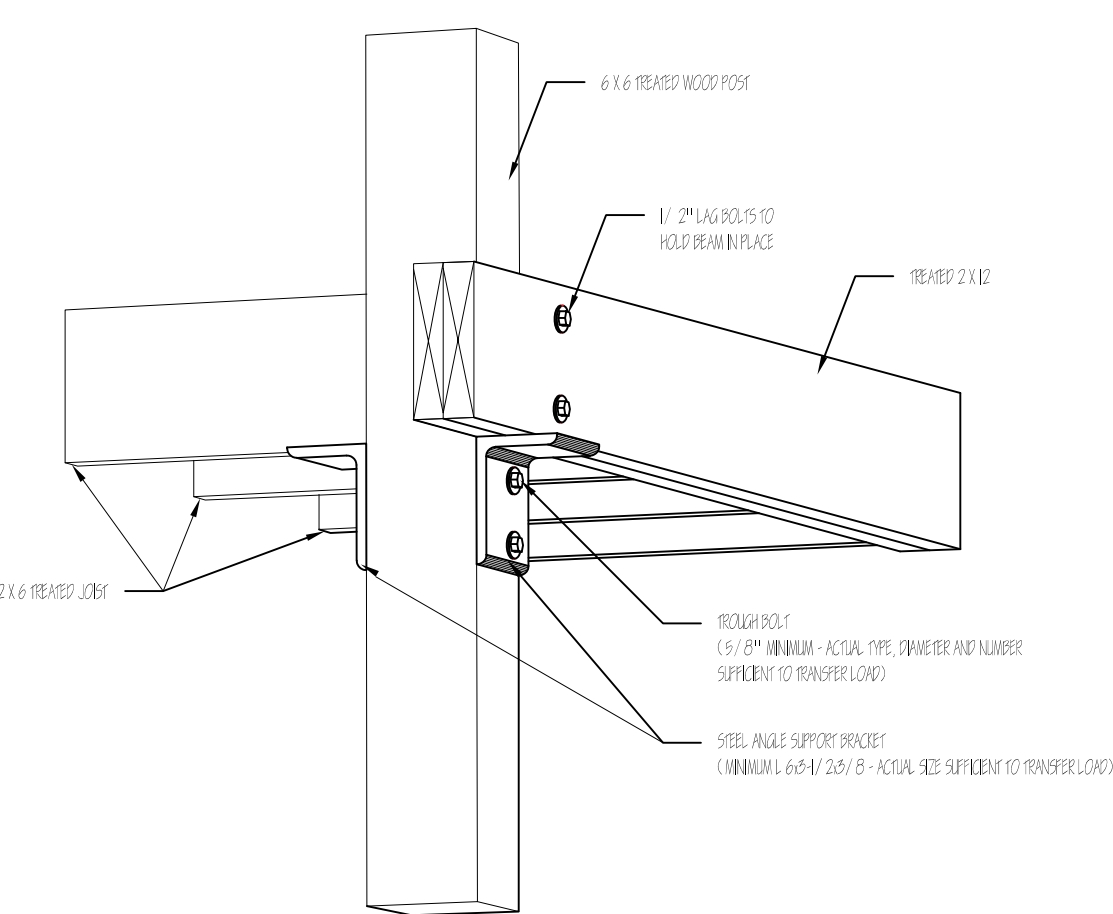




9 RAIL POST



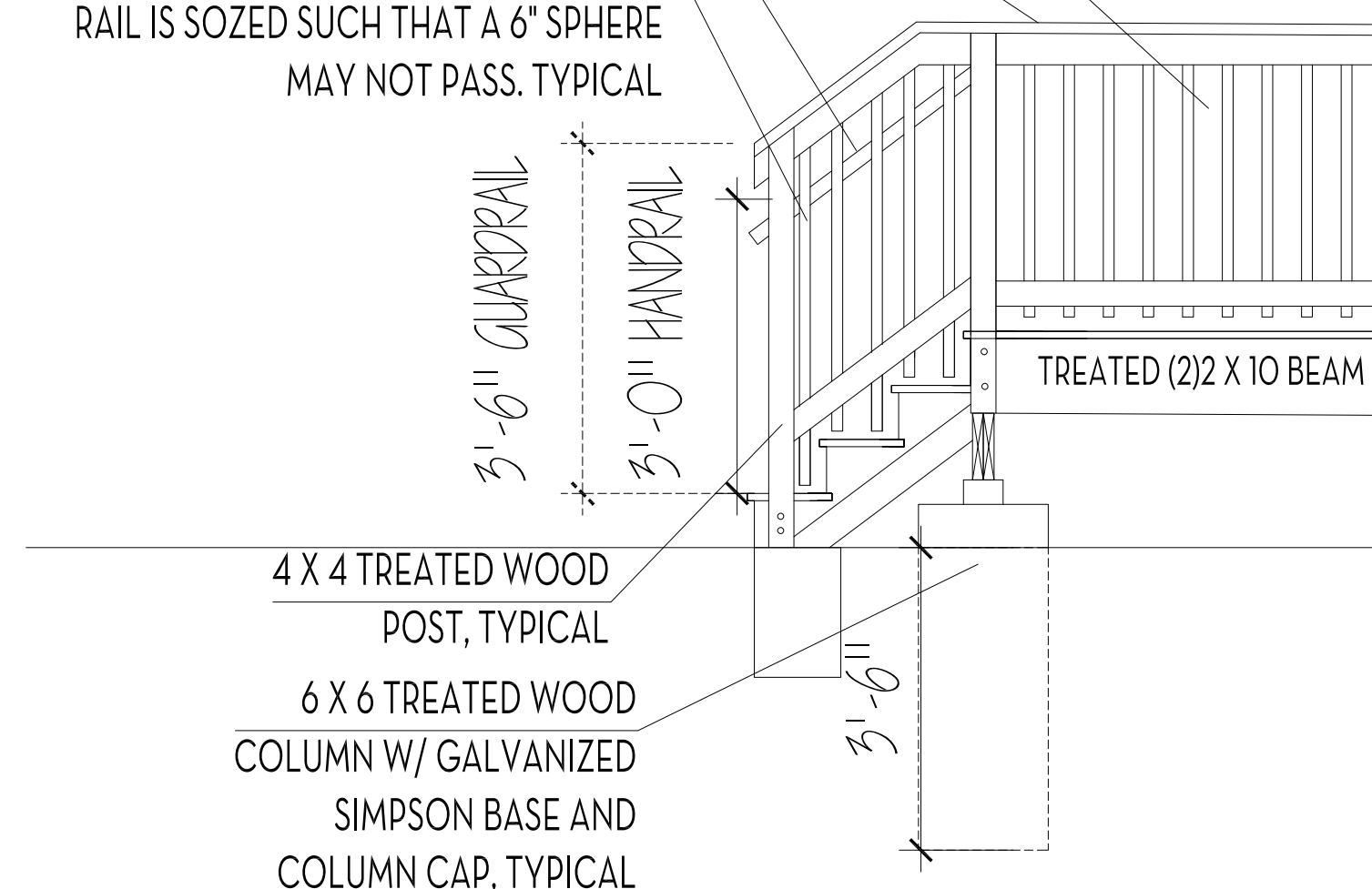
CYLINDRICAL POST FNDTN



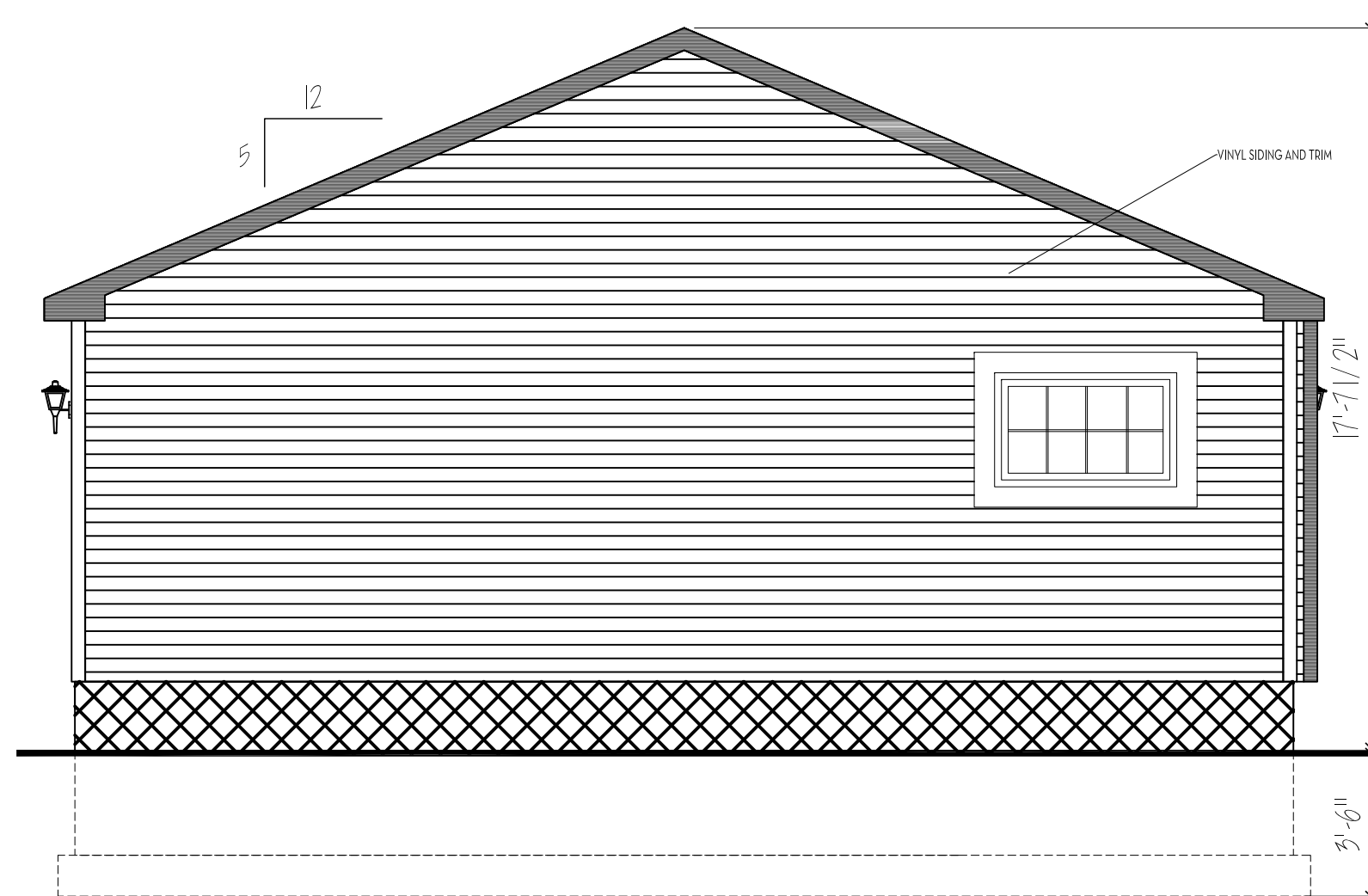
3-BEAM TO POST CONNECTION

NOTE: GUARD RAIL SPACING SHALL NOT ALLOW PASSAGE OF A 4\"/>

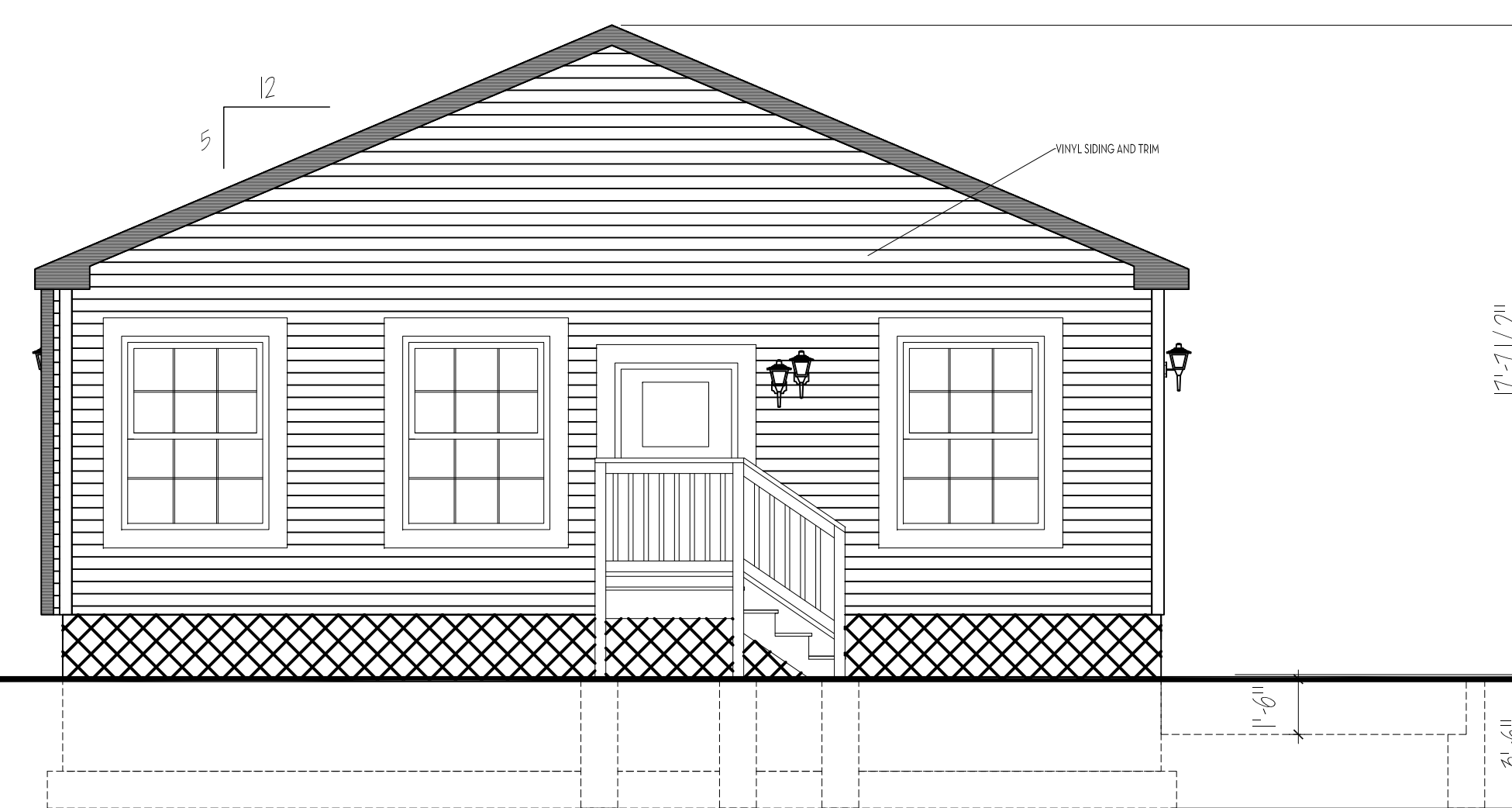
NOTE: TRIANGULAR OPENING FORMED BY STAIR RISER, TREAD AND BOTTOM RAIL IS SOZED SUCH THAT A 6\"/>



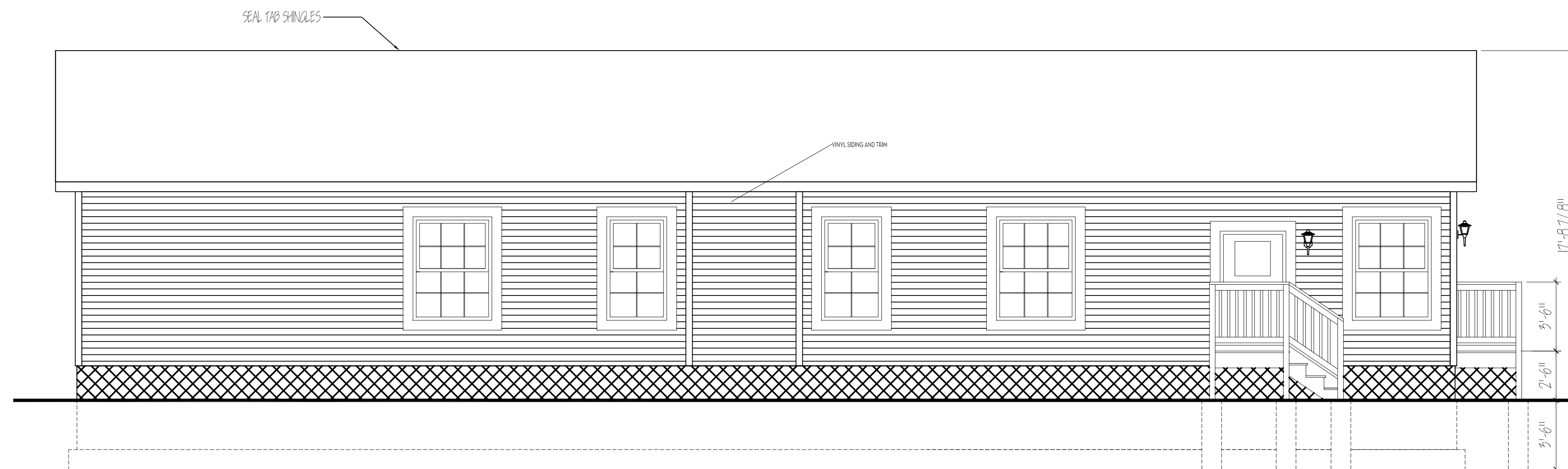
STAIR DETAIL



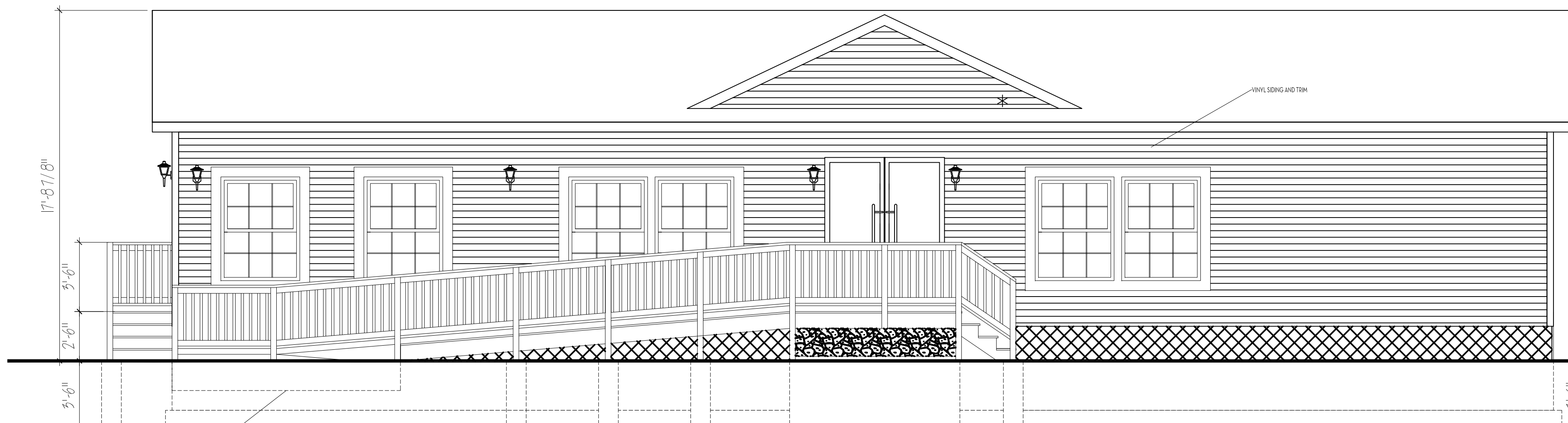
4 EAST ELEVATION  
1/4" = 1'-0"



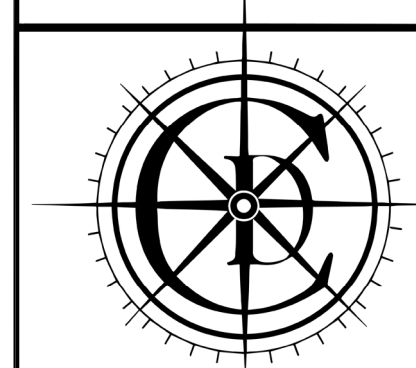
3 WEST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"



DAVID CORNES ARCHITECT

928 Main Street  
Antioch, IL 60002  
312-519-1716  
david@cornesco.com  
© 2023 David Cornes Architect P48

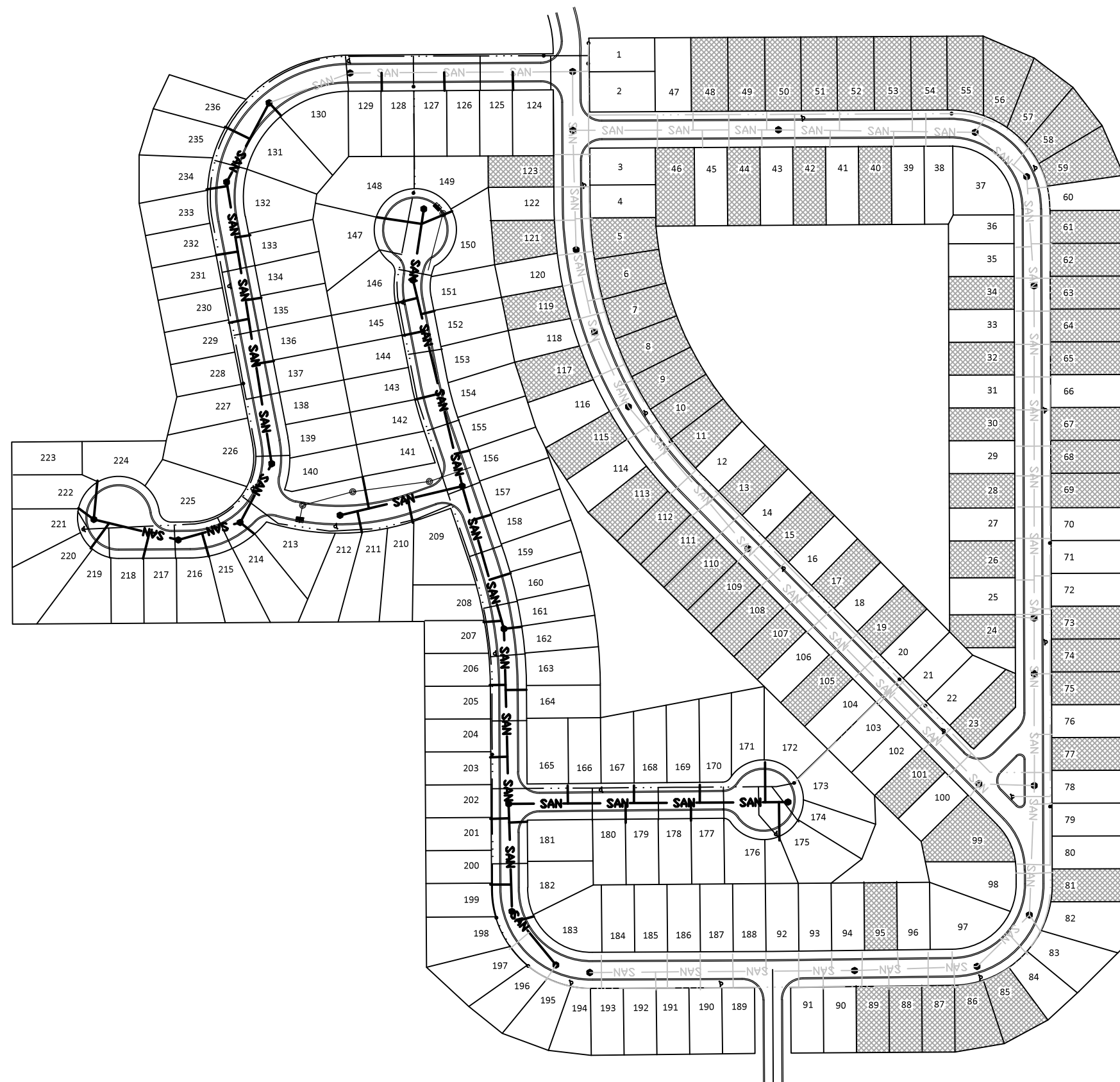


OAKBROOK ESTATES COMMUNITY CENTER  
907 CROOKEDSTICK DRIVE, CHRYSTAL LAKE IL 60014

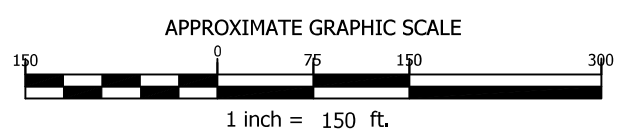
ELEVATIONS  
RAMP AND  
DECK DETAILS

DATE: 5-3-2023  
SCALE: A5





XX NEW HOME LOT  
 XX CONSTRUCTED LOT



PREPARED FOR:  
 RAVINIA COMMUNITIES

OVERALL PARK PLAN  
 OAKBROOK ESTATES  
 CRYSTAL LAKE, IL

REUSE OF DOCUMENTS  
 THIS DOCUMENT, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF WEAVER CONSULTANTS GROUP, AND IS NOT TO BE USED IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF WEAVER CONSULTANTS GROUP.

**Weaver**  
 Consultants  
 Group

CHICAGO, ILLINOIS  
 (312) 922-1030 www.wegrp.com

DRAWN BY: AJ  
 REVIEWED BY: JJT  
 DATE: 1/20/2022  
 FILE: 3687-308-32  
 CAD: Permit Drawings.dwg

**FIGURE 1**



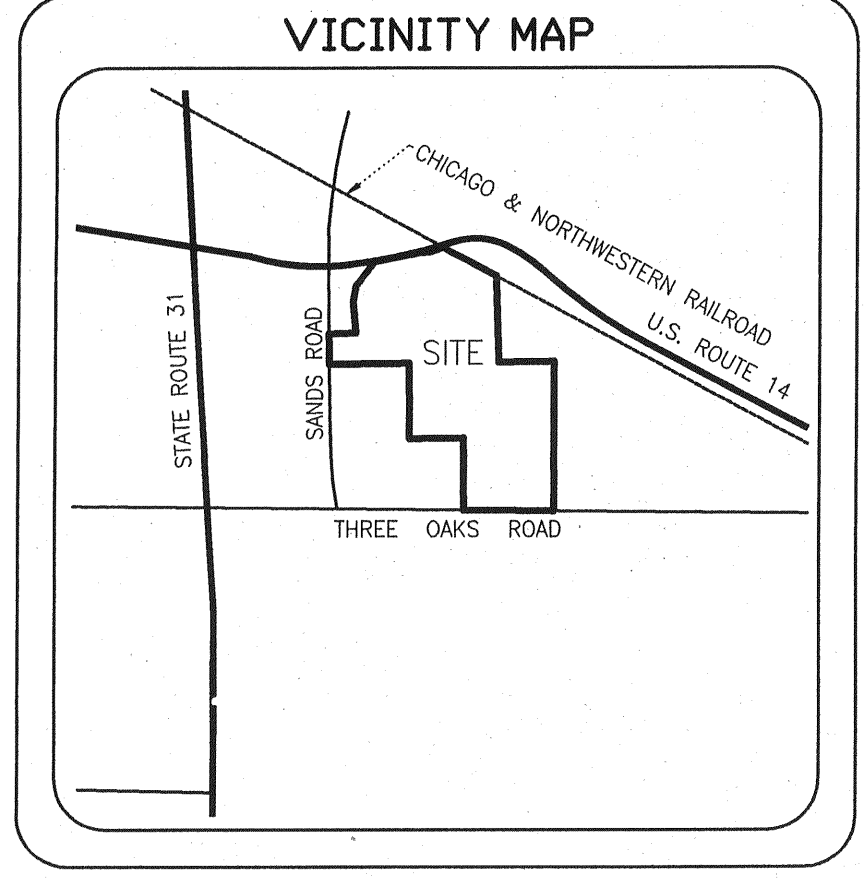
**GENERAL NOTES**

- The bearing base for this survey originated from South line NE 1/4 Section 10-43-8 per Document #2002R0057929.
- This property has an area of 2,812,922± square feet or 64.5758 acres of land.
- This property is designated by McHenry County, as Tax Map Parcel 19-11-100-032, 19-10-200-045 & 19-10-200-046.
- There was no observable evidence of cemeteries found at the time of this survey.
- The property has access via Three Oaks Road & Sands Road, which are public rights of way.
- Interior roadways appear to be private, variable in width and unnamed, unless otherwise shown.
- The title information shown hereon is exclusively that provided to the Surveyor by the Title Insurer or the client. The Surveyor does not warrant the exact location of the Utility Easements shown hereon, but does state that they are located as accurately as possible from the information provided.
- The underground utilities shown have been located from visible field evidence and existing drawings, maps and records supplied to Surveyor. The Surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The Surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information. The Surveyor has physically located visible structures; however, he has not physically located the underground lines.
- Not all buildings/building corners were surveyed. Only building corners violating zoning setbacks were surveyed per client request.
- 241 Residential trailers were observed onsite at the time of survey.

South line NE 1/4 Section 10-43-8 per Document #2002R0057929

**LEGEND OF SYMBOLS & ABBREVIATIONS**

● SET IRON BAR	⊠ ELECTRIC METER	☆ LIGHT
⊙ FOUND NAIL	⊕ CATCH BASIN	— SIGN
⊠ FOUND MONUMENT	⊕ STORM MANHOLE	⊕ SANITARY MANHOLE
⊠ FOUND IRON BAR	⊠ FLARED END SECTION	⊠ TRANSFORMER
✱ FOUND CUT CROSS	⊕ FIRE HYDRANT	⊕ WATER VALVE VAULT
○ FOUND IRON PIPE	⊕ WATER SERVICE VALVE	⊕ ELECTRIC RISER
⊠ STORM INLET	⊕ MANHOLE	⊠ CABLE TV RISER
⊠ MAILBOX	⊕ WATER VALVE	⊠ TELEPHONE RISER
(D) DEED	(M) MEASURE	— FENCE
RCP REINFORCED CONCRETE PIPE		— CMP CORRUGATED METAL PIPE



**LEGAL DESCRIPTION**

**PARCEL 1:** That Part of the Southeast Quarter of the Northeast Quarter of Section 10, Township 43 North, Range 8, East of the Third Principal Meridian, described as follows: Beginning at the Southeast corner of the said Southeast Quarter of the Northeast Quarter of Section 10, aforesaid; thence North 87 degrees 57 minutes 51 seconds West along the South Line thereof 334.00 feet; thence North 02 degrees 02 minutes 09 seconds East at right angles thereto a distance of 600.0 feet; thence West along a line parallel with the South Line of the Southeast Quarter of the Northeast Quarter of Section 10 aforesaid 502.05 feet; thence North 02 degrees 02 minutes 09 seconds East 707.42 feet to a point in the North Line of the Southeast Quarter of the Northeast Quarter of Section 10 aforesaid; thence South 88 degrees 00 minutes 51 seconds East along said North Line to the Northeast corner of the Southeast Quarter of the Northeast Quarter of Section 10, aforesaid; thence Southerly along the East Line of the Southeast Quarter of the Northeast Quarter of Section 10, aforesaid, to the Point of Beginning, all in McHenry County, Illinois.

**PARCEL 2:** That part of the North Half of the Northeast Quarter of Section 10, Township 43 North, Range 8, East of the Third Principal Meridian, lying South of the South right-of-way line of U.S. Route 14, being described as follows: Beginning at the Southeast corner of said North Half; thence South 89 degrees 21 minutes 01 second West along the South Line of said North Half, 1577.91 feet to the centerline of Sands Road; thence North 2 degrees 17 minutes 12 seconds West along said centerline, 282.02 feet; thence North 87 degrees 42 minutes 48 seconds East, 258.03 feet; thence North 05 degrees 30 minutes 38 seconds West, 290.82 feet; thence North 09 degrees 44 minutes 23 seconds East, 154.31 feet; thence North 38 degrees 21 minutes 20 seconds East, 262.32 feet to the South right-of-way line of U.S. Route 14; thence Northeasterly, 437.75 feet along said Southerly right-of-way, being along a curve to the left, having a radius of 2903.90 feet (the chord of said curve bears North 76 degrees 10 minutes 06 seconds East, 437.33 feet); thence North 85 degrees 25 minutes 41 seconds East along said right-of-way line, 103.04 feet; thence North 72 degrees 05 minutes 49 seconds East along said right-of-way line, 119.06 feet to the Southwesterly right-of-way line of the Chicago and Northwestern Railroad; thence South 63 degrees 11 minutes 37 seconds East along said Southwesterly line, 583 ± feet to the East Line of the Northeast Quarter of said Section 10; thence South 0 degrees 38 minutes 13 seconds East 818 ± feet to the Place of Beginning, all in McHenry County, Illinois.

**PARCEL 3:** That part of the Southwest Quarter of the Northwest Quarter of Section 11, lying west of the East 821.00 feet thereof in Township 43 North, Range 8, East of the Third Principal Meridian, all in McHenry County, Illinois.

**PARCEL 4:** Together with the easement contained in that certain grant of easement dated January 31, 2012, recorded on February 2, 2012, with the office of the County Recorder of McHenry County, Illinois.

**SCHEDULE B - TITLE EXCEPTION NOTES**

This survey is based on a title report prepared by Fidelity National Title Insurance Company, Commitment No. 2010 999011079 NCF, dated October 28, 2011.

Items not listed below are standard title exceptions and/or are not matters or issues that pertain to this survey.

- Land taken for road purposes via Plat of Dedication recorded as Document #2002R0057929 affects property as shown on survey.
- Easement in favor of Commonwealth Edison Company, Ameritech Illinois, and its/their respective successors and assigns recorded as Document #2003R0069110 affects property as shown on survey.
- Certification recorded as Doc. #2000R0002111 affects property. Said Certification affects property described as parcels 1 and 3 as shown on survey into the City of Crystal Lake.
- Rights of way for drainage tiles, feeders and laterals, affects property but cannot be plotted. None visible at time of survey.
- Rights of adjoining owners of land bordering on the ponds affects property as shown on survey. Ponds are depicted on survey.
- Easement in favor of MCI Telecommunications Corporation and its/their respective successors and assigns as described in Doc. #93R061851 affects property as shown on survey.
- Easements in favor of Commonwealth Edison, Northern Illinois Gas Company and its/their respective successors and assigns recorded as Doc. #90R020695 and Doc. #90R027184 affect property but cannot be plotted. Dimensions shown on said documents are not legible.
- Easement in favor of public utilities and their respective successors and assigns recorded as Doc. #2001R0044703 affects property as shown on survey.
- Easement in favor of the City of Crystal Lake, its respective successors and assigns recorded as Doc. #2002R0057928 affects property as shown on survey.
- Terms and provision of sanitary sewer maintenance agreement recorded as Doc. #2003R0031603 affects property as shown on survey.

**ZONING NOTES**

Zoned: R-3B - Multi-Family Residential

Permitted Use Classification: Residential  
Observed Use(s): Residential

Existing site conditions appear (from outside observations) to fall within permitted uses as listed above in the City of Crystal Lake's Zoning Regulations Section 3-200.

Zoning Regulations are subject to change and interpretation, for further information contact: City of Crystal Lake (phone: 815-356-3615)  
Contact's Name: Elizabeth Maxwell (email: emaxwell@crystallake.org)

**Site Restrictions:**

- Minimum building setbacks:  
Front: 30' (min. provided: 1502.8')  
Side: 8' (min. provided: N/A)  
Rear: 20' (min. provided: 7.2')
- Minimum lot size: 40,000 Sq.Ft. (min. provided: 2,812,922± Sq.Ft.)
- Minimum lot frontage: 150' (min. provided: 281.90')
- Maximum building height: 40'/3 Stories (max. provided: 13.2'/1)
- Maximum density: 20%
- Maximum floor area ratio: N/A

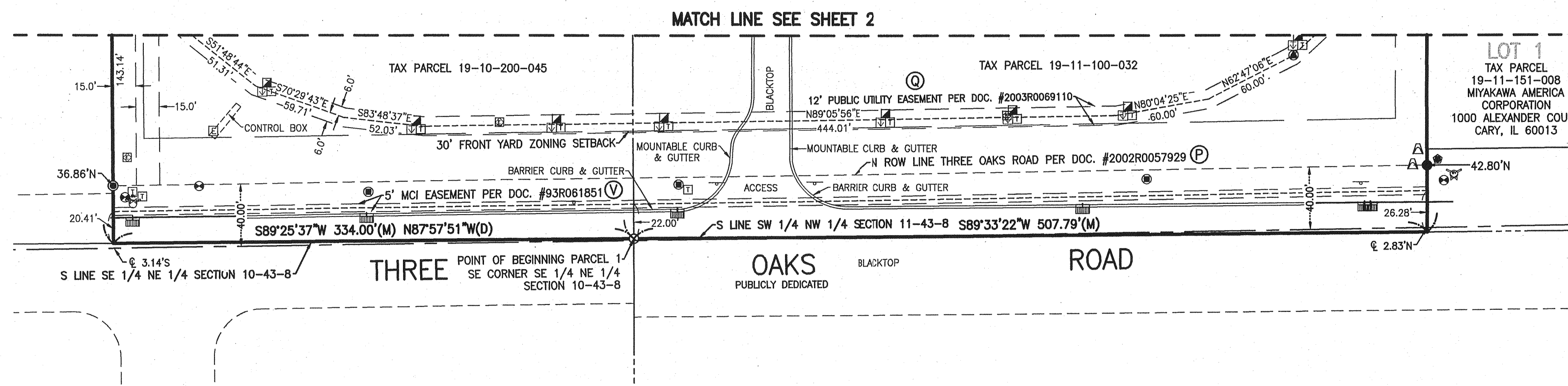
**Parking Tabulation:**

Per table 4-200 D of the Crystal Lake Unified Ordinance

- Household Living:
- Dwelling, Single-Family Detached=2 per dwelling unit, one space shall be an enclosed garage and one can be a driveway at least 21 feet long.
  - Dwelling, Two-Family=2 per dwelling unit, one space shall be an enclosed garage and one can be a driveway at least 21 feet long.
  - Dwelling, Single-Family Attached=2 per dwelling unit, one space shall be an enclosed garage and one can be a driveway at least 21 feet long + 0.25 guest parking per unit.
  - Dwelling, Multi-Family=1 per efficiency unit + 1.5 per 1-bedroom unit + 2 per 2/3/4-bedroom unit + 0.25 guest parking per unit.
  - Dwelling, manufactured home=2 per dwelling unit
  - Dwelling, Upper Story above non-residential use=1 per dwelling unit.
- Congregate Living:
- Group Dwelling=1 per employee + 1 per 3 adults
  - Family Care=1 per employee + 1 per 3 adults
  - Continuing Care Retirement Community=0.5 per dwelling unit (where centralized amenities like dining, housekeeping, etc. are provided)

**POTENTIAL ENCROACHMENT NOTES**

- |   |   |    |  |
|---|---|----|--|
| A | Entire garden is South of property line. South end of garden is 15.3' south of property line. | AA | Shed protrudes over rear zoning setback by 3.7'                |
| B | Wood Fence is 20.4' South of property line.   | BB | Trailer protrudes over rear zoning setback by 9.0'             |
| C | Wood deck/stairs are 4.8' east of property line.  | CC | Shed protrudes over rear zoning setback by 6.3'                |
| D | Wood deck/stairs are 9.0' east of property line.  | DD | Trailer protrudes over rear zoning setback by 2.7'             |
| E | Trailer protrudes over rear zoning setback by 7.9'  | EE | Trailer protrudes over rear zoning setback by 4.1'             |
| F | Trailer protrudes over rear zoning setback by 9.0'  | FF | Trailer protrudes over rear zoning setback by 7.7'             |
| G | Trailer protrudes over rear zoning setback by 8.6'  | GG | Trailer protrudes over rear zoning setback by 6.4'             |
| H | Trailer protrudes over rear zoning setback by 12.5'   | HH | Trailer protrudes over rear zoning setback by 6.8'             |
| I | Trailer protrudes over rear zoning setback by 12.1'   | II | Trailer protrudes over rear zoning setback by 5.6'             |
| J | Trailer protrudes over rear zoning setback by 8.0'  | JJ | Trailer protrudes over rear zoning setback by 7.7'             |
| K | Trailer protrudes over rear zoning setback by 12.1'   | KK | Trailer protrudes over rear zoning setback by 7.4'             |
| L | Trailer protrudes over rear zoning setback by 12.8'   | LL | Trailer protrudes over rear zoning setback by 6.1'             |
| M | Trailer protrudes over rear zoning setback by 2.4'  | MM | Trailer protrudes over rear zoning setback by 3.3'             |
| N | Trailer protrudes over rear zoning setback by 0.1'  | NN | Trailer protrudes over rear zoning setback by 6.9'             |
| O | Trailer protrudes over rear zoning setback by 2.8'  | OO | Trailer protrudes over rear zoning setback by 0.5'             |
| P | Trailer protrudes over rear zoning setback by 0.7'  | PP | Trailer protrudes over rear zoning setback by 3.1'             |
| Q | Trailer protrudes over rear zoning setback by 1.3'  | QQ | Trailer protrudes over rear zoning setback by 3.1'             |
| R | Trailer protrudes over rear zoning setback by 1.6'  | TT | Fence corner is 3.0'± East of property line                    |
| S | Trailer protrudes over rear zoning setback by 8.2'  | UU | Fence line is 0.5'± West of property line                      |
| T | Trailer protrudes over rear zoning setback by 3.6'  | VV | Fence line is 3.3'± North of property line                     |
| U | Shed protrudes over rear zoning setback by 11.3'  | WW | Fence line is 4.1'± North of property line                     |
| V | Trailer protrudes over rear zoning setback by 4.0'  | XX | Fence corner is 2.5'± West of property line                    |
| W | Shed protrudes over rear zoning setback by 3.6'   | YY | Fence corner is 0.7'± West and 0.5'± South of property corner. |
| X | Trailer protrudes over rear zoning setback by 0.7'  | ZZ | Fence line is 0.1'± South of property line.                    |
| Y | Shed protrudes over rear zoning setback by 1.0'   |    |  |
| Z | Metal Clad Pole Barn protrudes over rear zoning setback by 5.7'                               |    |  |



**FLOOD ZONE NOTE**

By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 1711100335J, which bears an effective date of November 16, 2006 and IS NOT in a Special Flood Hazard Area. By telephone call to the National Flood Insurance Program (800-638-6620) we have learned this community DOES currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

**ALTA/ACSM LAND TITLE SURVEY**

Oakbrook Estates MHP  
Loan No. 901000319  
One Oakbrook Estates Drive  
Crystal Lake, IL

**Surveyor's Certification**

To: Genworth Life Insurance Company, Fidelity National Title Insurance Company and MKAssociates, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 11(a), 13, 14 & 21 of Table A thereof.

The field work was completed on December 20, 2011.

Date of Plat or Map: December 28, 2011  
Revised February 1, 2012 to reflect new title commitment.

Surveyor's Signature: *William J. Vanderstappen*  
Registered Surveyor: William J. Vanderstappen  
Registration Number: 035-002709  
In the State of: Illinois

PROJECT NAME: OAKBROOK ESTATES MHP MKA PROJECT No.: 4782-11-2316  
ADDRESS: 1 OAKBROOK ESTATES DRIVE CITY: Crystal Lake STATE: IL

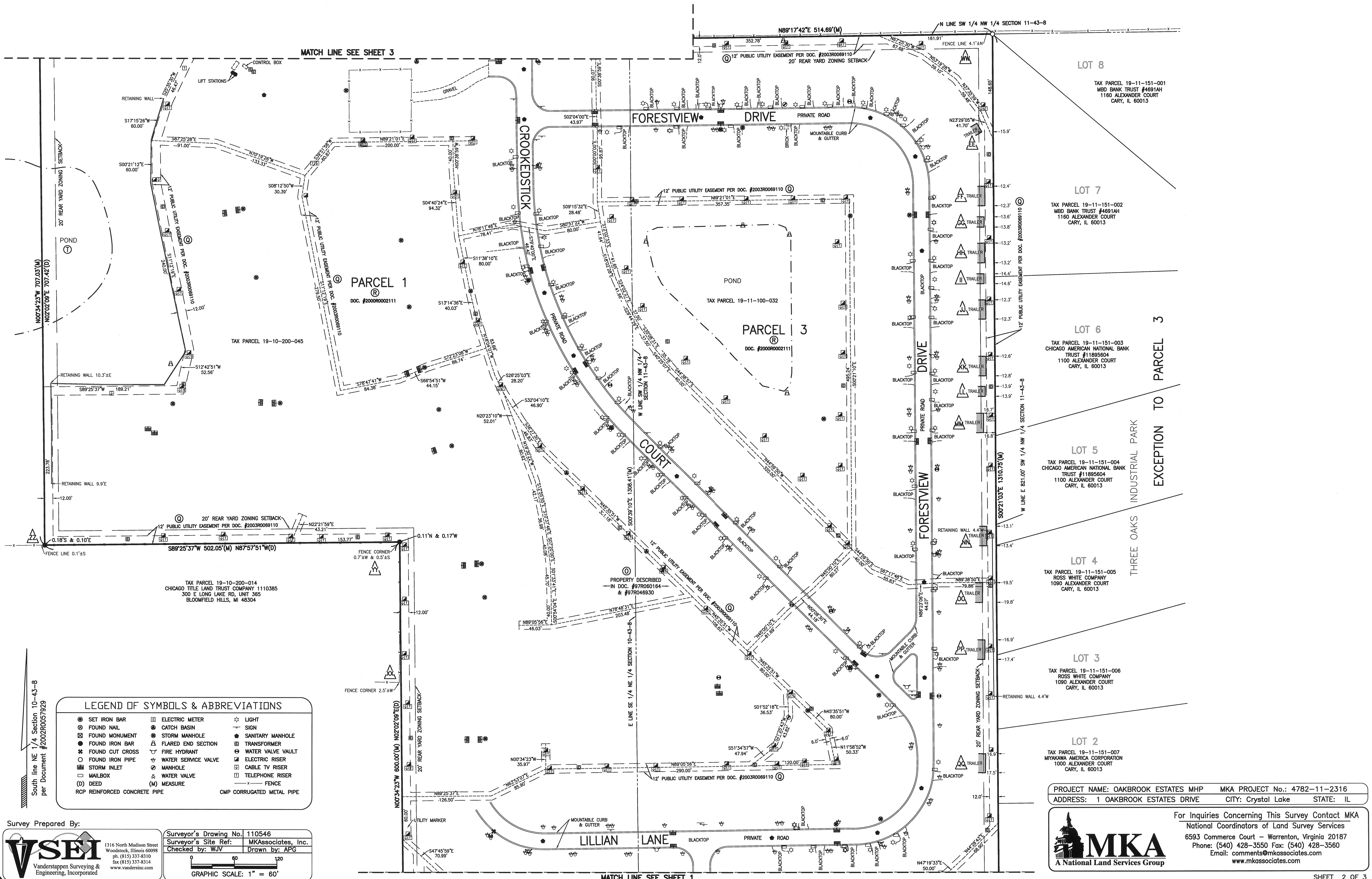
For Inquiries Concerning This Survey Contact MKA  
National Coordinators of Land Survey Services  
6593 Commerce Court - Warrenton, Virginia 20187  
Phone: (540) 428-3550 Fax: (540) 428-3560  
Email: comments@mkaassociates.com  
www.mkaassociates.com

Survey Prepared By: **VSEI**  
Vanderstappen Surveying & Engineering, Incorporated  
1316 North Madison Street  
Woodstock, Illinois 60098  
ph. (815) 337-8310  
fx. (815) 337-8314  
www.vandersinc.com

Surveyor's Drawing No. 110546  
Surveyor's Site Ref: N/A  
Checked by: WJV Drawn by: APG

GRAPHIC SCALE: 1" = 60'





PROJECT NAME: OAKBROOK ESTATES MHP MKA PROJECT No.: 4782-11-2316  
 ADDRESS: 1 OAKBROOK ESTATES DRIVE CITY: Crystal Lake STATE: IL

For Inquiries Concerning This Survey Contact MKA  
 National Coordinators of Land Survey Services  
 6593 Commerce Court - Warrenton, Virginia 20187  
 Phone: (540) 428-3550 Fax: (540) 428-3560  
 Email: comments@mkaassociates.com www.mkaassociates.com

LEGEND OF SYMBOLS & ABBREVIATIONS

● SET IRON BAR	⊠ ELECTRIC METER	☆ LIGHT
⊙ FOUND NAIL	⊠ CATCH BASIN	— SIGN
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Survey Prepared By:  

 1316 North Madison Street  
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 www.vanderstapen.com

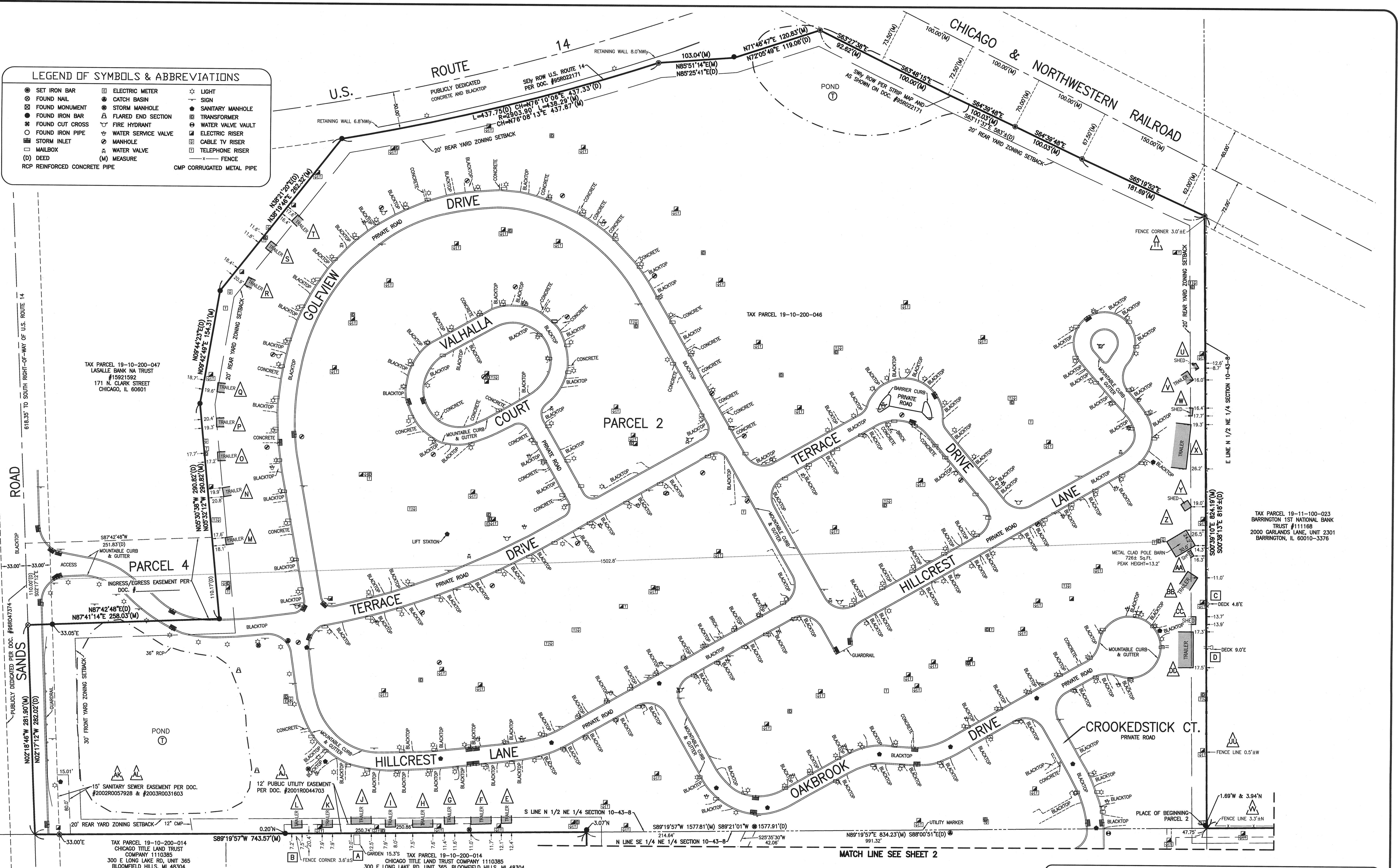
Surveyor's Drawing No. 110546  
 Surveyor's Site Ref: MKAssociates, Inc.  
 Checked by: WJV Drawn by: APG

GRAPHIC SCALE: 1" = 60'



South line NE 1/4 Section 10-43-8  
per Document #2002R0057928

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Survey Prepared By:

**VSEI**  
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1316 North Madison Street  
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**MKA**  
A National Land Services Group