



**#2023-142 Storage of America
439 E. Terra Cotta Avenue – Rezoning, Preliminary
Planned Unit Development, Special Use Permit,
Comprehensive Land Use Map Amendment and
Variations for a Self-Storage
Project Review for Planning and Zoning Commission**

Meeting Date:

August 16, 2023

Requests:

1. Rezoning from E Estate to M PUD Manufacturing.
2. Comprehensive Land Use Map Amendment from Commerce to Industry
3. Preliminary Planned Unit Development to allow multiple buildings on a zoning lot
3. Special Use Permit for Self-Storage
4. Variation from the SUP criteria requiring installation of landscape at the ends of each building
5. Deferral from the requirement to bury the overhead utility lines until there is an area wide program.

Location:

439 E. Terra Cotta Avenue

Acreage:

Approximately 22 acres

Existing Zoning:

E Estate (vacant)

Proposed Zoning:

M PUD Manufacturing Planned Unit Development

Surrounding Properties:

North: M Manufacturing
South: M PUD Manufacturing
East: M-L PUD Manufacturing Limited
West: B-2 PUD General Commercial, M and M PUD Manufacturing

Staff Contact:

Elizabeth Maxwell (815.356.3615)

Background:

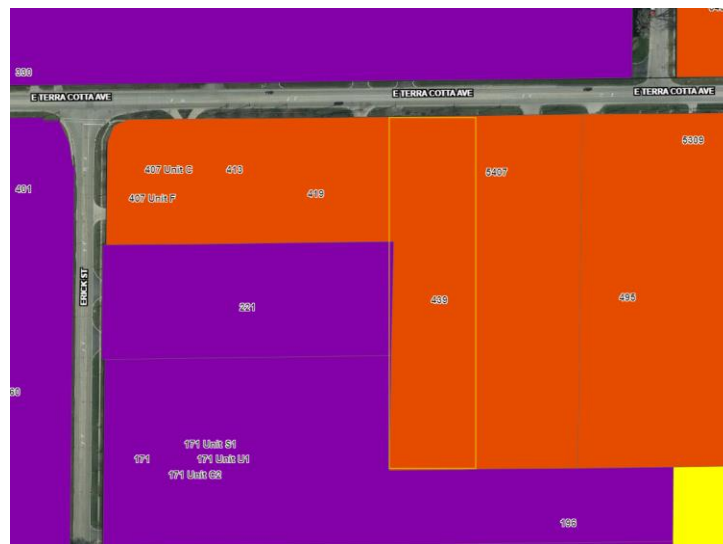
- The property is vacant and was annexed in 2016. When properties are annexed they are zoned Estate.

- The property is surrounded by other commercial and storage uses to the west, south and east, with commercial along the Route 176 frontage to the west.
- Self-Storage requires a Special Use Permit in the Manufacturing zoning district. There are five SUP criteria and the petitioner is requesting a variation from the landscape requirement.

Development Analysis:

General

- **Requests:**
 - Rezoning from E Estate to M PUD with a Special Use Permit to allow Self-Storage.
 - Comprehensive Land Use Plan Amendment from Commerce to Industry.
 - A Preliminary Planned Unit Development and Special Use Permit to allow self-storage.
 - Variation from the SUP criteria from the requirement to plant landscape at the ends of the buildings.
- **Zoning:** The site is zoned E Estate Residential. The property was annexed involuntarily and brought in as E Estate. The requested zoning is M PUD Manufacturing. This is an appropriate zoning for the self-storage use.
- **Land Use:** The land use map shows the area as Commerce. The petitioners are requesting to amend the map to Industry. This land use designation is appropriate for this use.



- **Site Plan:**
 - The site driveway is from Route 176.
 - The access drives around the site meet all the fire truck turning requirements.
 - Complies with impervious surface coverage and setbacks?

- Three parking spaces are provided by the kiosk. The proposal does not include an office space for employees.
- Landscape Plan:
 - The project will be installing the required street trees, the required landscape buffer along Route 176 and the required landscape buffer between manufacturing property and commercial property.
 - Additional landscape will need to be added or the fence detail changed to a solid fence in order to comply with the screen requirement for self-storage.
- Elevations:
 - The buildings are metal unheated self-storage buildings.
 - Any building facades facing Route 176 will be clad with Affinity Stone Siding colored Glacier.
 - The buildings will be white with blue overhead doors.
- Engineering Plans:
 - Full engineering plans including all detailed calculations are required to be submitted for Final PUD.
 - The basin illustrated is likely not large enough to accommodate the stormwater and revisions to the site plan will be required.
 - After full engineering is reviewed by staff, the petitioner will come back with a Final PUD request.

Findings of Fact:

Comprehensive Land Use Plan Amendment

Amendment from the existing Comprehensive Land Use Plan designation of Commerce to allow Industry. Industry would be the appropriate designation for the M zoning district and the proposed storage use.

Rezoning

- The property is currently zoned E Estate.
- The property would be rezoned to M PUD Manufacturing. The Manufacturing zoning criteria are:
 - ✓ General: This district is for “clean” (low environmental impact) industrial uses that are compatible with neighboring residential, office, and commercial districts.
 - ✓ Character: This district is characterized by large-scale buildings, exterior storage of materials, and/or exposed equipment. To mitigate impacts on the City’s visual character and to ensure a high-quality industrial park setting, landscape buffers, architectural and design controls are established.
 - ✓ Uses: This district is intended to provide for heavy industrial uses with high nuisance potential.

Criteria for Rezoning

(a) The existing uses and zoning of nearby property.

Meets *Does not meet*

(b) The extent to which property values are diminished by a particular zoning classification or restriction.

Meets *Does not meet*

(c) The extent to which the destruction of property value of a petitioner property owner promotes the health, safety, morals or general welfare of the public.

Meets *Does not meet*

(d) The relative gain to the public as opposed to the hardship imposed on a petitioning property owner.

Meets *Does not meet*

(e) The suitability of the subject property for its zoned purposes.

Meets *Does not meet*

(f) The length of time the property has been vacant as zoned, considered in the context of land development in the area.

Meets *Does not meet*

(g) The Comprehensive Plan designation and the current applicability of that designation.

Meets *Does not meet*

(h) The evidence or lack of evidence, of community need for the use proposed.

Meets *Does not meet*

Special Use Permit

Preliminary Planned Unit Development

The petitioner is requesting approval of a Special Use Permit Preliminary/Final Planned Unit Development and Special Use Permit to allow a Freight Terminal with Outside Storage as an Accessory Use. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.

Meets *Does not meet*

2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.
 Meets *Does not meet*
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets *Does not meet*
3. PUDs must provide transitional uses to blend with adjacent development.
 Meets *Does not meet*
4. PUD phases must be logically sequenced.
 Meets *Does not meet*

5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets Does not meet
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets Does not meet
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets Does not meet
8. Any private infrastructure shall comply with the city standards.
 Meets Does not meet
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets Does not meet
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets Does not meet

Self-Storage, mini warehouses. Self-Storage and mini-warehouse uses must comply with the following standards:

1. General: No business activity other than the rental of storage units shall be conducted on the premises. The storage of hazardous, toxic or explosive substances, including, but not limited to hazardous waste, industrial solid waste, medical waste, municipal solid waste, septage or used oil is prohibited.
 Meets *Does not meet*
2. Site layout: Buildings shall be situated such that the doorways or access points are facing away from the yards abutting street right of way.
 Meets *Does not meet*
3. Screening: An eight-foot-tall solid screen consisting of a solid wooden fence in accordance with the provision of Section 4-700, Fences, walls and screening, or opaque landscape along the perimeters of the property in accordance with the provisions of Section 4-400 Landscape and screening standards, shall be provided.
 Meets *Does not meet*

Additional landscape will need to be added or the fence detail changed to a solid fence.

4. Landscaping: Landscaping shall be provided within a minimum five-foot wide landscape beds along the foundations of the ends of the storage buildings in accordance with the provisions of Section 4-400 Landscaping and screening standards.

Meets Does not meet

The petitioner is requesting a variation from this criterion as they have five-foot deep end storage units on the ends of the buildings so they cannot place landscape there.

5. Security: Security lighting shall be provided to safely illuminate all areas of the facility. The use of photocell units and motion sensors is encouraged as a means of saving energy. If overnight security personnel will be staying at the facility, provide details regarding the location of the proposed residence. Appropriate utilities to service the unit shall be provided. No more than one overnight unit shall be provided per facility.

Meets Does not meet

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Industry, which allows for existing and future manufacturing and service uses. The following goal is applicable to this request:

Land Use – Industry

Goal: Supporting manufacturing uses within the community, which contribute to the regional and local economy and Crystal Lake’s live, work, play philosophy.

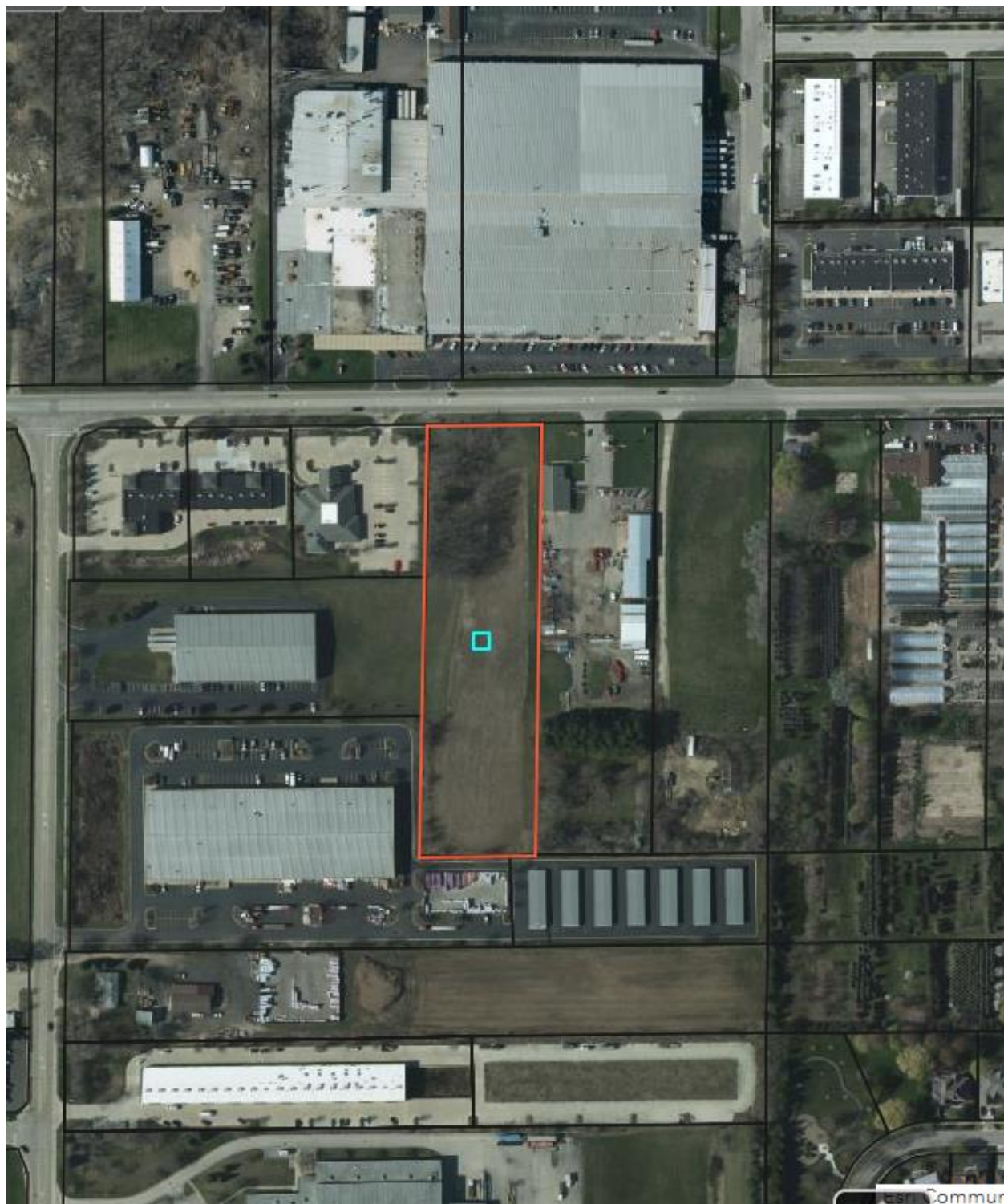
Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Fitzpatrick, received 06/22/23)
 - B. Site Plan (Gresham Smith, dated 07/27/23, received 07/27/23)
 - C. Landscape Plan (Gresham Smith, dated 07/27/23, received 07/27/23)
 - D. Elevations (SY Design, dated 06/12/23, received 06/22/23)
 - E. Grading Plan (Gresham Smith, dated 07/27/23, received 07/27/23)
 - F. Fence Detail (American Fence, dated 02/15/23, received 06/22/23)
 - G. Survey (American National, undated, received 06/22/23)
2. Revise fence to solid wooden or PVC fence style.
3. Provide full engineering for staff review for Final PUD.
4. Provide a detail of the kiosk for Final PUD.
5. Provide a final landscape plan with species, size and locations identified, as well as, a tree removal survey.

6. Provide a photometric plan for Final PUD.
7. Signage must comply with UDO Section 4-1000. Provide a sign package for Final PUD.
8. The petitioner shall be required to participate in an area wide program for the burial of the overhead utility lines, should the City undertake one.
9. The petitioner shall address all of the review comments and requirements of the City Departments of Public Works, Fire Rescue, Engineering, and Community Development and the City's Stormwater Consultant.

PIQ MAP
439 E. Terra Cotta Avenue



City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Storage of America

Action Requested

Administrative Variation

Petitioner Information

Name: Tom Fitzpatrick, P.E.

Address: 1201 E. 5th Street

Anderson, IN 46012

Phone: 616-209-2162

Fax: _____

E-mail: tfitzpatrick@storageofamerica.com

Owner Information (if different)

Name: Grethe Christensen TR

Address: 1305 Lake Drive

Daniels, WV 25832

Phone: 304-673-4495

Fax: _____

E-mail: mac.cavensdish@gmail.com

Property Information

Project Description: Rezone and P.U.D of a 3.96 acre tract PIN # 14-33-401-003. Existing zoning is E-Estate. Need to rezone to M-Manufacturing for a storage unit development.

Project Standard of Approval Being Applied for:

- The petitioner is performing maintenance, on a legally permitted structure, which may include removal and replacement, but shall not increase the nonconformity.
- The improvement is to meet a building code requirement; such as a stoop or landing for egress purposes that would encroach into the setback, provided the improvement is the minimum necessary to meet the code.
- The construction of an accessory structure (deck, fence, etc.) which does not increase the nonconformity as established by the principal structure (e.g., A deck may be constructed off the rear of the house, provided it does not extend farther into the setback than the farthest point of the house. A fence, which does not meet the setback requirement for the proposed height, may be constructed, provided it does not extend farther into the setback than the house.)

The addition/enlargement to a nonconforming structure which does not increase the nonconformity into the setback, as established by the farthest point of the existing structure.

The variation is the result of right-of-way taking.

The minimum parking space requirements of Section 4-200 cannot be met and if one of the following is met:

The parking requirements of a specific use or development necessitate fewer parking spaces than required by this Ordinance. In support of such request, the applicant must present a trip generation and parking demand study or such other information deemed to be reliable by the Zoning Administrator which demonstrates the reduced parking demand for the development.

For existing buildings in the Downtown District and Virginia Street Corridor, when a change of use to a more intensive use makes compliance with the required number of parking spaces impossible because of specific site constraints, the applicant may request to reduce the required number of off-street parking spaces.

Project Address/Location: 439 E. Terra Cotta Avenue, Crystal Lake, IL 60014

PIN Number(s): 14-33-401-003

Development Team

Please include address, phone, fax and e-mail

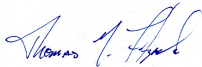
Developer: Thomas M. Fitzpatrick, VP Dev. Storage of America, 1201 E. 5th Street, Anderson, IN 616-209-2162, tfitzpatrick@storgaeofamerica.com

Architect: Engineer: Gresham Smith, Michael D. Hunkler, P.E. 222 Second Avenue South, Suite 1400, Nashville, TN, 615-770-8156, mike.hunkler@greshamsmith.com

Attorney: _____

Other: _____

Signatures



Thomas M. Fitzpatrick, VP Development Storage of America

6/20/2023

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Please see attached purchase agreement

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Northwest Herald

NORTHWEST HERALD

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Publication County:

McHenry

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Notice Keywords:

439

Notice Authentication Number:

202308011426445503493

213731298

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Notice Publish Date:

Saturday, July 29, 2023

Notice Content

PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS IN THE MATTER OF THE PETITION OF Storage of America LEGAL NOTICE Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by Tom Fitzpatrick, representing Storage of America for Rezoning to M Manufacturing, a Comprehensive Land Use Amendment to Industry, a Preliminary Planned Unit Development, and a Special Use Permit, relating to the property at 439 E. Terra Cotta Avenue Crystal Lake, Illinois 60014. PIN: 14-33-401-003. This application is filed for the purpose of seeking a Rezoning from E Estate to M Manufacturing, a Comprehensive Land Use Map Amendment from Commercial to Industry, a Preliminary Planned Unit Development and Special Use Permit to allow a self-storage, mini-warehousing with a variation from the requirement to install landscape at the ends of buildings, and any other variations as presented at the hearing, pursuant to Article 1, Article 2, Article 3, Article 4, and Article 9. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall. A public hearing before the Planning and Zoning Commission for this request will be held at 7:00 p.m. on Wednesday August 16, 2023, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present. Jeff Greenman, Chairperson Planning and Zoning Commission City of Crystal Lake (Published in the Northwest Herald July 29, 2023) 2097391

[Back](#)



GreshamSmith.com

222 Second Avenue South
Suite 1400
Nashville, TN 37201
615.770.8100

STORAGE OF AMERICA

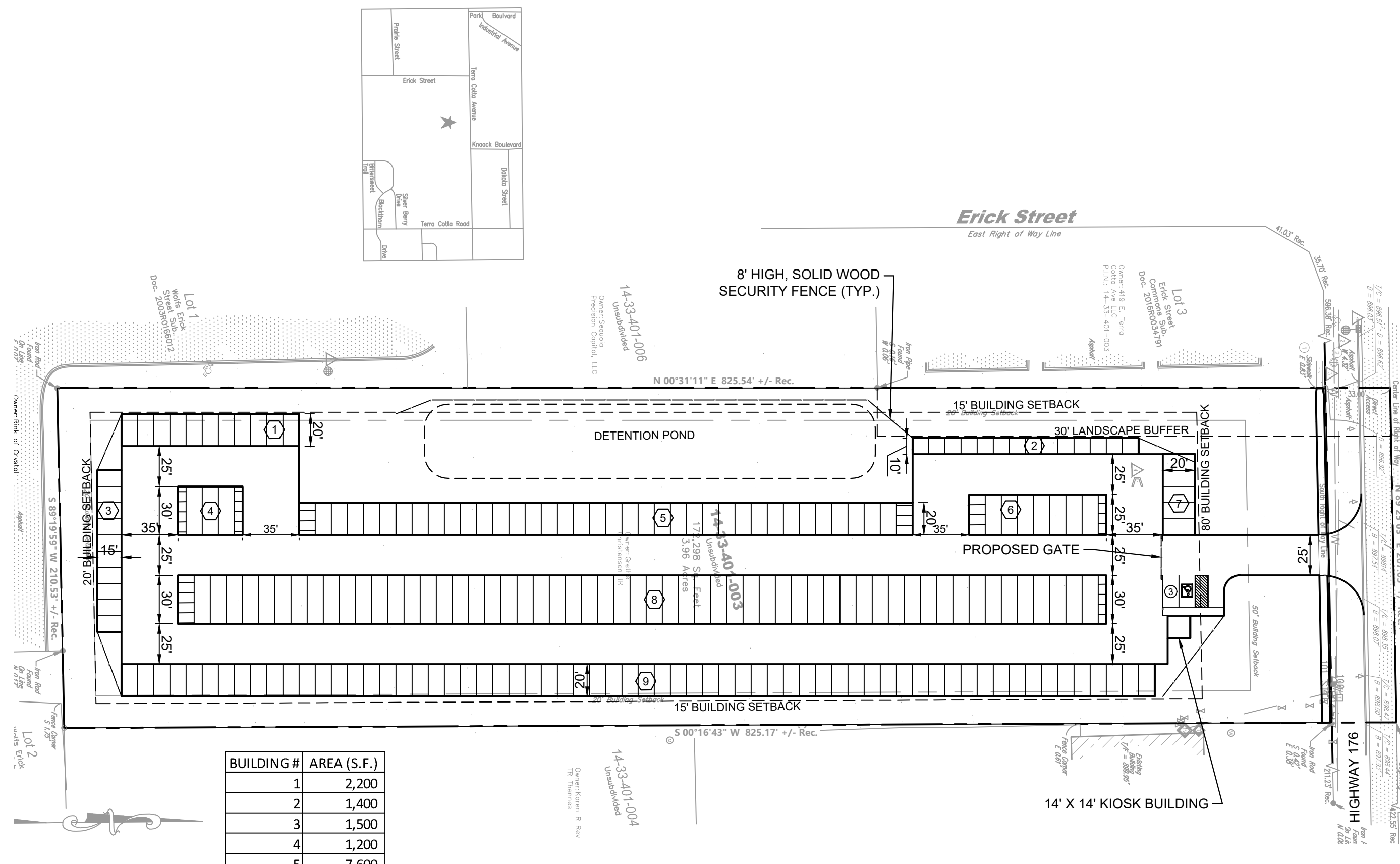
439 E TERRA COTTA AVENUE
CRYSTAL LAKE, IL 60014

Revision		
No.	Date	Description

CONCEPT PLAN

Project Number 46724.01
07.27.2023

This Line Is 3 Inches When Printed Full Size



8' HIGH, SOLID WOOD SECURITY FENCE (TYP.)

DETENTION POND

15' BUILDING SETBACK

30' LANDSCAPE BUFFER

50' BUILDING SETBACK

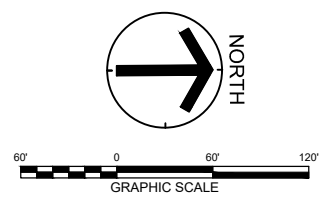
PROPOSED GATE

15' BUILDING SETBACK

14' X 14' KIOSK BUILDING

BUILDING #	AREA (S.F.)
1	2,200
2	1,400
3	1,500
4	1,200
5	7,600
6	2,125
7	1,000
8	17,250
9	12,800
Total	47,075

TOTAL SITE AREA = 164,013 S.F. = 3.77 ACRES
 TOTAL SITE IMPERVIOUS AREA = 96,634 S.F. = 2.22 ACRES
 = 58.9% TOTAL SITE AREA (70% MAX.)



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the property has direct physical access to Terra Cotta Avenue, a public road.

the record description of property mathematically closes with no gaps, overlaps.

the distance to the nearest intersecting street, Erick Street, is 673.11 feet and is shown on the survey.

there was no evidence of any refuse or use as a solid waste dump at the time of fieldwork.

there was no evidence of any cemeteries, individual grave sites, or utility grounds at the time of fieldwork.

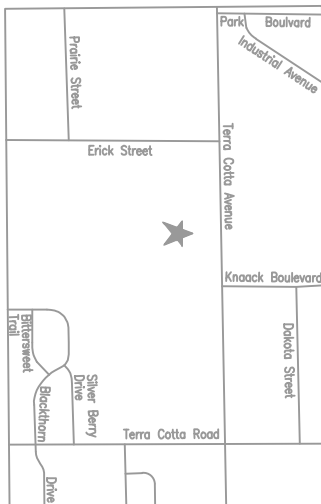
no building was located on the property at the time of fieldwork.

benchmark - On Site

Bolt on power pole located near the northeast corner of property (as shown on survey).
Elevation = 904.58'

benchmarks established using GPS Topnet Network. Benchmark datum system SPCIL83/NAV83.

no wetlands were located on property at time of fieldwork.



LANDSCAPE LEGEND



2" CALIPER ORNAMENTAL TREE (REDBUD, FLOWERING CRABAPPLE, JAPANESE TREE LILAC)



6' HEIGHT EVERGREEN TREE (WHITE PINE, NORWAY SPRUCE, EASTERN RED CEDAR)



SHRUB MASSING. 24" HEIGHT/5 GALLON CONTAINER, SPACED 4' O.C. (VIBURNUM, FORSYTHIA, YEW, JUNIPER, ARBORVITAE, SHRUB DOGWOOD)

LANDSCAPE CALCULATIONS

207 L.F. FRONTAGE	6
STREET TREES REQUIRED @ 1/40 L.F.	8
FRONTAGE PLANTINGS REQUIRED	6
TREES @ 1/40 L.F.	60
SHRUBS @ 1/40 L.F.	
FRONTAGE PLANTINGS PROVIDED	
9 TREES	
75 SHRUBS	

NOTE: UNDERSTORY TREES USED FOR STREET PLANTING DUE TO OVERHEAD WIRES.

UTILITIES

	Storm Inlet 1 RIM = 895.86' Unable to Open
	Storm Catch Basin 2 RIM = 894.85' N = 891.54'
	Water Manhole 3 RIM = 895.80' E/W 15" Watermain TIP = 890.37' B/P = 891.95'
	Conduit Pipe 4 8" Metal = 894.58'
	Storm Catch Basin 5 RIM = 889.29' Unable to open



GreshamSmith.com

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615.770.8100

STORAGE OF AMERICA
439 E TERRA COTTA AVENUE
CRYSTAL LAKE, IL 60014

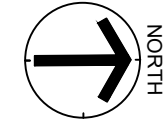
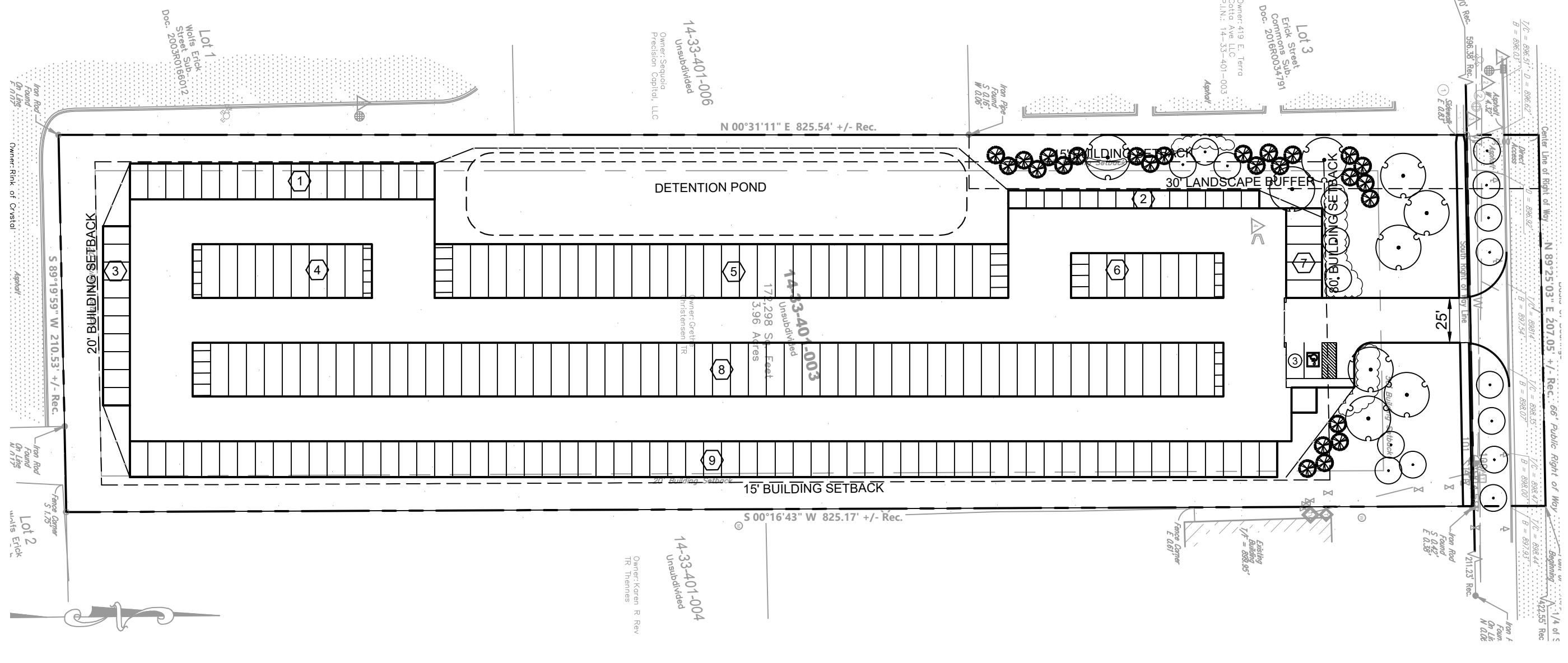
Revision

No.	Date	Description

LANDSCAPE PLAN

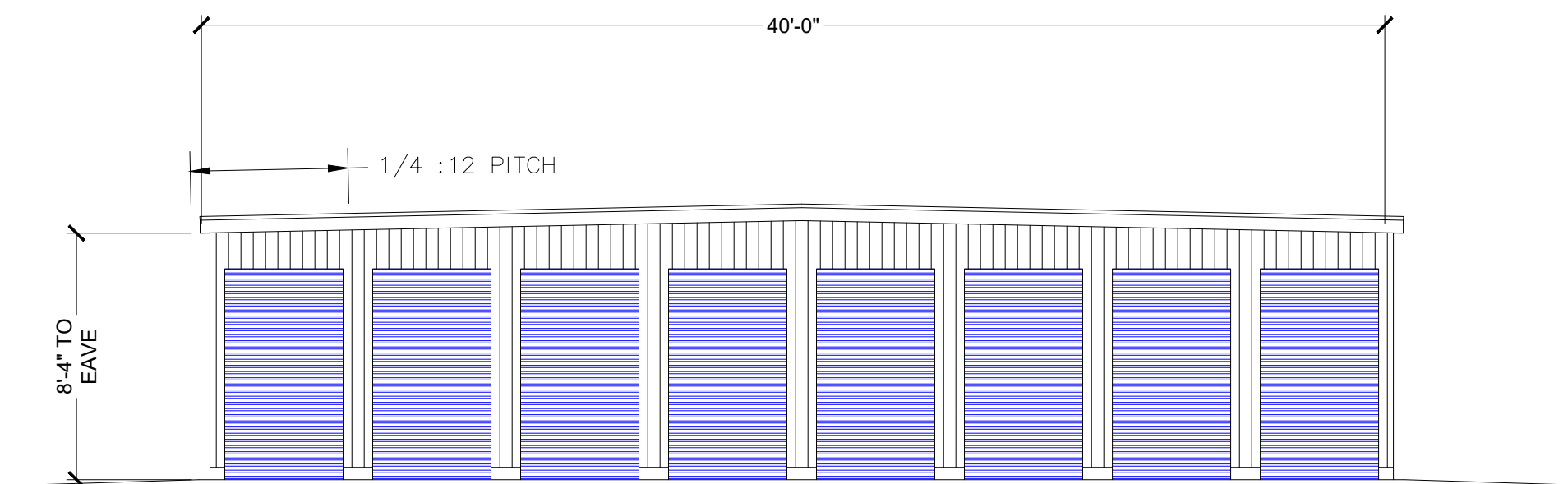
Project Number 46724.01
07.27.2023

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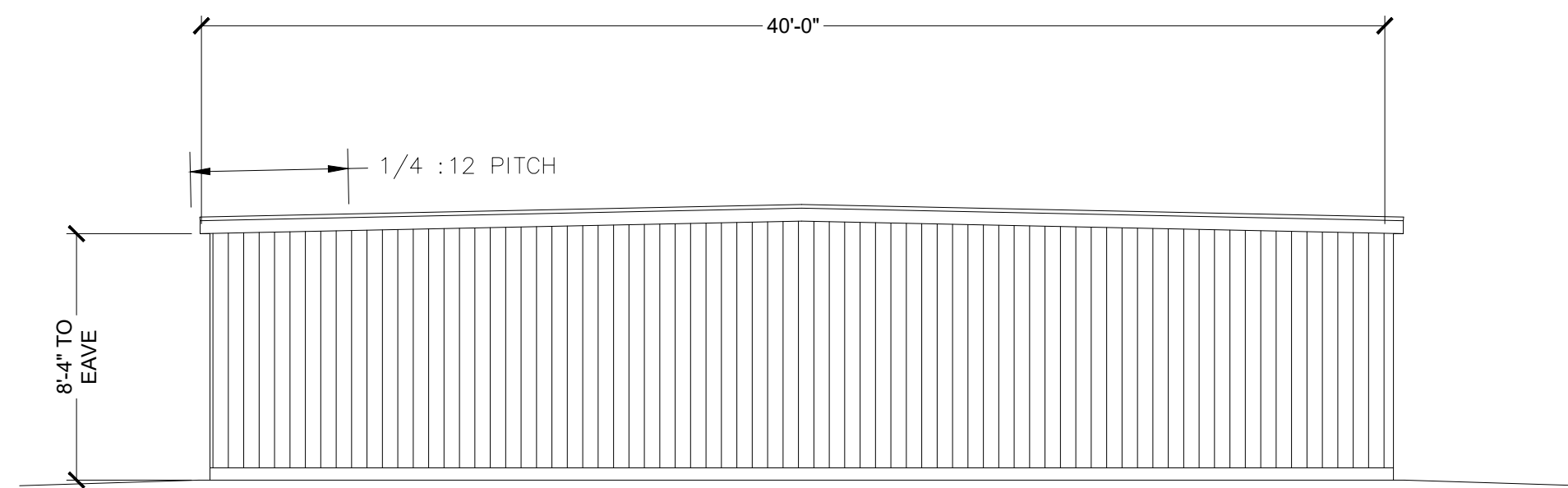


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DO NOT SCALE THE DRAWINGS.
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS, DETAILS, AND FIELD CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 IMMEDIATELY NOTIFY THE ARCHITECT OF DISCREPANCIES OR CONCERNS.



TYPICAL BUILDING END WALL ELEVATION
 WHITE METAL SIDING WITH BLUE DOORS

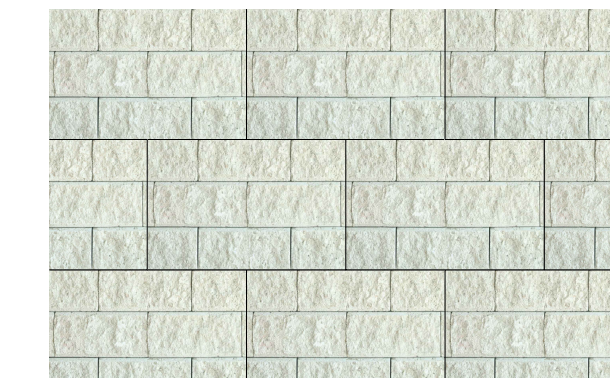


TYPICAL BUILDING END WALL ELEVATION
 WHITE METAL SIDING

TYPICAL COLOR SCHEME
 METAL SIDING - WHITE
 DOORS - BLUE
 ROOF - WHITE
 STONE VENEER - OFF WHITE

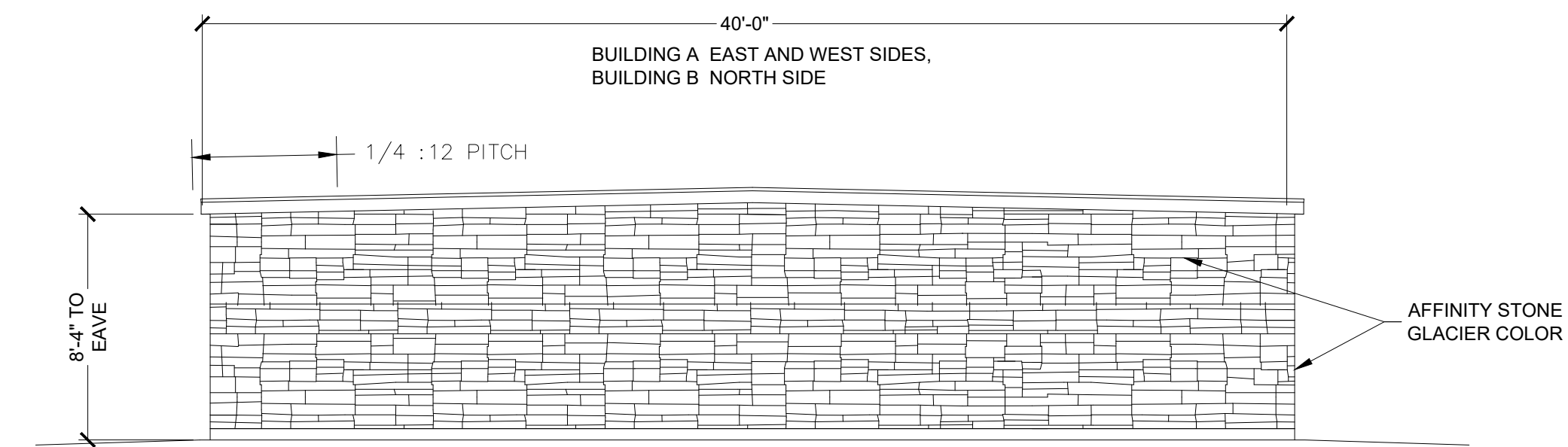


AFFINITY STONE SIDING
 GLACIER COLOR

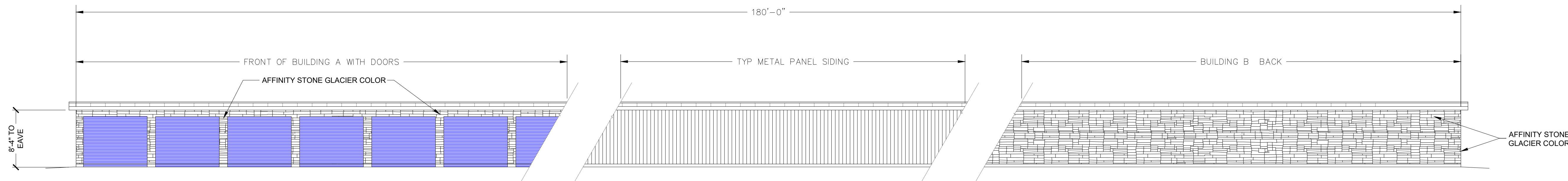


NOVABRICK SPLIT FACE
 MARBLE WHITE COLOR

OR STORAGE OF AMERICA APPROVED EQUAL



BUILDING A & B END WALL ELEVATIONS - VISIBLE FROM BUSHA HWY
 AFFINITY STONE SIDING - GLACIER COLOR



BUILDING A NORTH WALL ELEVATION - VISIBLE FROM BUSHA HWY
 AFFINITY STONE SIDING - GLACIER COLOR WITH BLUE DOORS

TYPICAL BUILDING WALL ELEVATION
 WHITE METAL SIDING

BUILDING B WEST WALL ELEVATION - VISIBLE FROM BUSHA HWY
 AFFINITY STONE SIDING - GLACIER COLOR

BUILDING PERMIT	xx-xx-xxxx
ISSUE FOR	REV. ISSUE DATE
DRAWN	TON
CHECKED	JSY
APPROVED	JSY

SEAL

06-12-23

ARCHITECT

SYDESIGN
 PO BOX 595705
 4350 24th Ave - Ste 324
 FORT GRATIOT, MI 48059
 PH: 810-985-3905
 CL: 810-434-9393
 jyu@sydesign.us

M/E/P ENGINEERING CONSULTANTS

GENERAL CONTRACTOR

OWNER

STORAGE OF AMERICA
 4225 W 67th ST
 INDIANAPOLIS, IN 46268
 Owner Rep: Tom Fitzpatrick
 PH: 606-209-2162

PROJECT

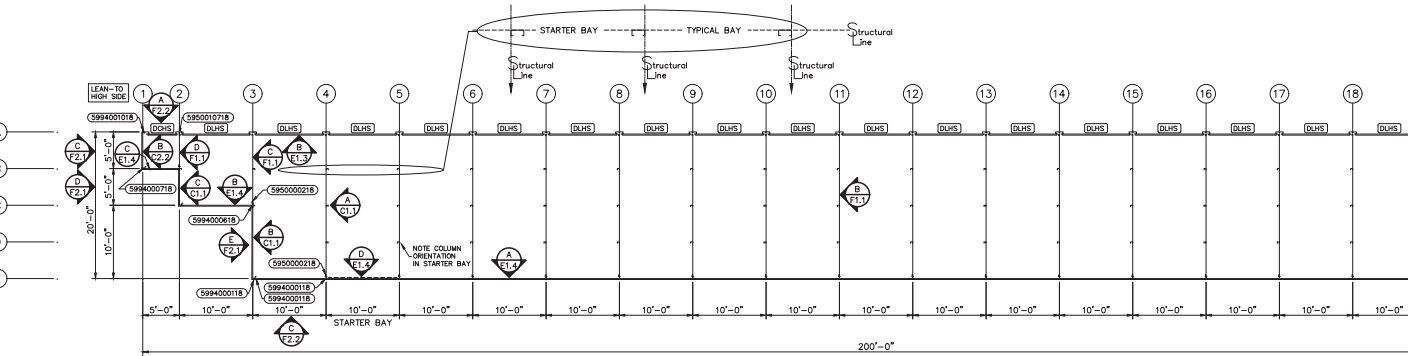
Storage of America
OUTDOOR STORAGE
 99999 Main St. Anytown, ST 99999

SHEET

TYPICAL EXTERIOR
 ELEVATION FINISH
 MATERIALS

PROJECT NUMBER
2215SOA
 SHEET NUMBER
A400

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FLOOR PLAN FOR 8'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING #6 1/8" = 1'-0"

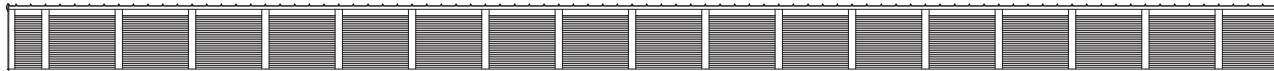
DOOR SCHEDULE							
QTY	CODE	TYPE	SIZE	ROUGH OPENING (REF.)	MANUF.	DESCRIPTION	COLOR
2	DB	ROLL-UP	3'-8" x 7'-0"	3'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	ROYAL BLUE
2	DC	ROLL-UP	4'-0" x 7'-0"	4'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	ROYAL BLUE
1	DCDH	ROLL-UP	3'-8" x 7'-5"	3'-8" x 7'-5"	TRAC-RITE/eq.	NON-OPERATIONAL DOOR	ROYAL BLUE
1	DCHS	ROLL-UP	3'-8" x 7'-5"	3'-8" x 7'-5"	TRAC-RITE/eq.	ROLL-UP DOOR	ROYAL BLUE
19	DLHS	ROLL-UP	9'-0" x 7'-5"	9'-0" x 7'-5"	TRAC-RITE/eq.	ROLL-UP DOOR	ROYAL BLUE

ROLL-UP DOORS MEET ASTM E330

DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE ERECTION SCHEDULE. DOOR AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.



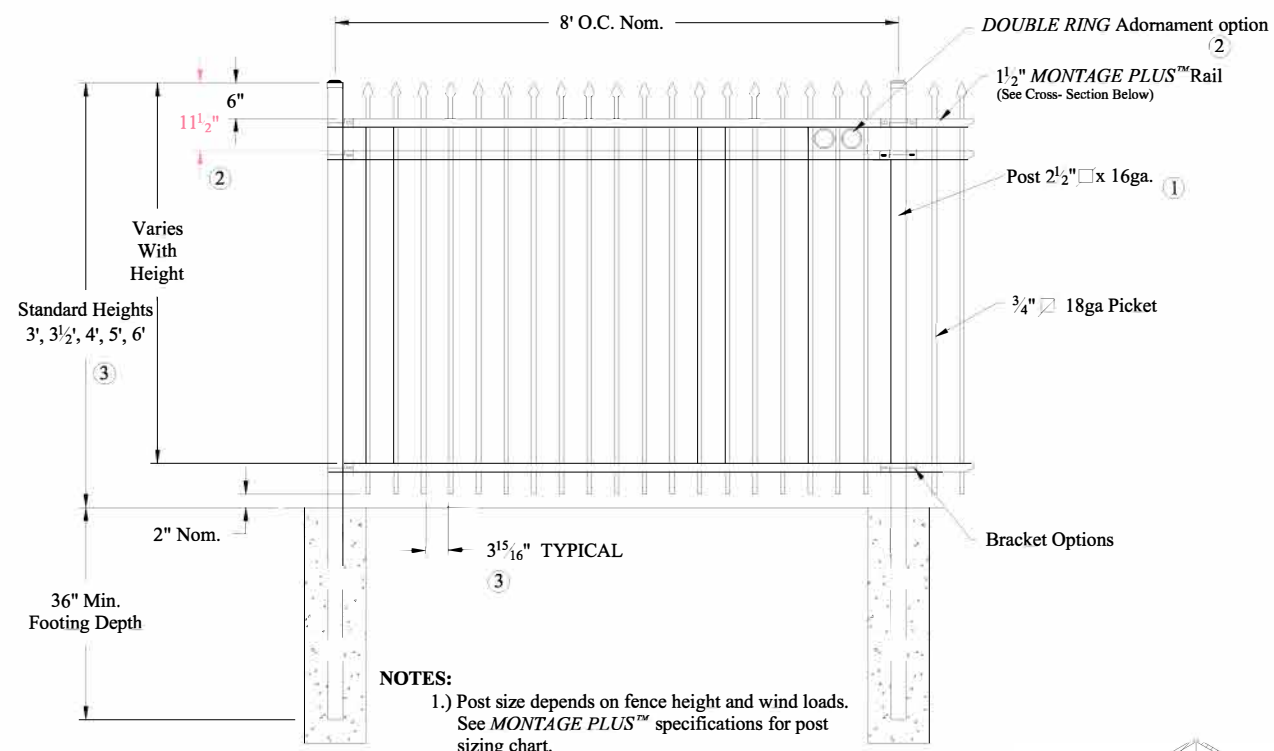
END WALL ELEVATION



SIDE WALL ELEVATION



SIDE WALL ELEVATION

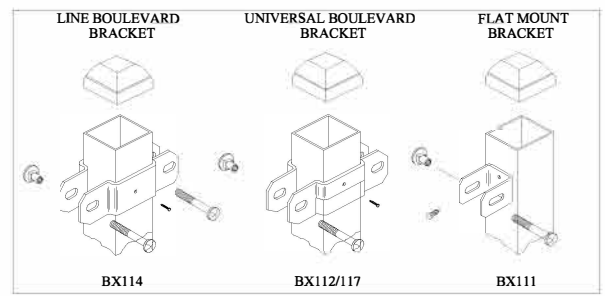
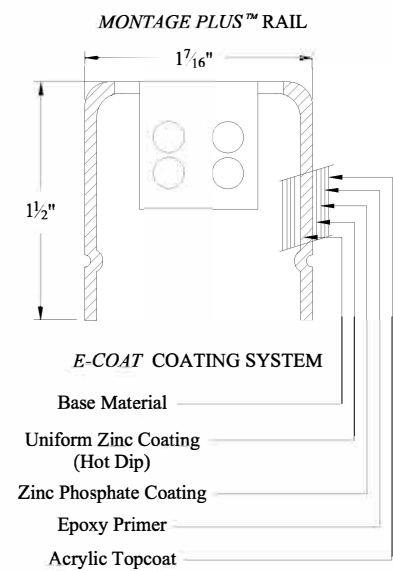


- NOTES:**
- 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.
 - 2.) Third rail required for Double Rings.
 - 3.) Available in 3" air space and/or Flush Bottom on most heights.

RAKING DIRECTIONAL ARROW
 Welded panel can be raked 30° over 8' with arrow pointing down grade.

PROFUSION™ WELDING PROCESS
 No exposed welds, Good Neighbor profile - Same appearance on both sides

MONTAGE PLUS™ RAIL
 Specially formed high strength architectural shape.



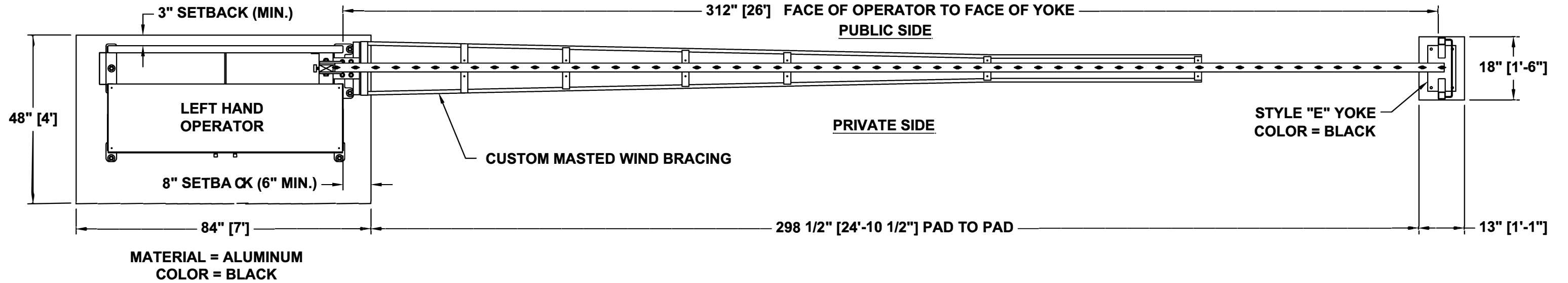
Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

AMERICAN FENCE & SUPPLY
 21200 SCHOENHERR
 WARREN, MI 48089
 248.545.7070 PHONE
 248.545.6581 FAX
 www.AMERIFENCE.com

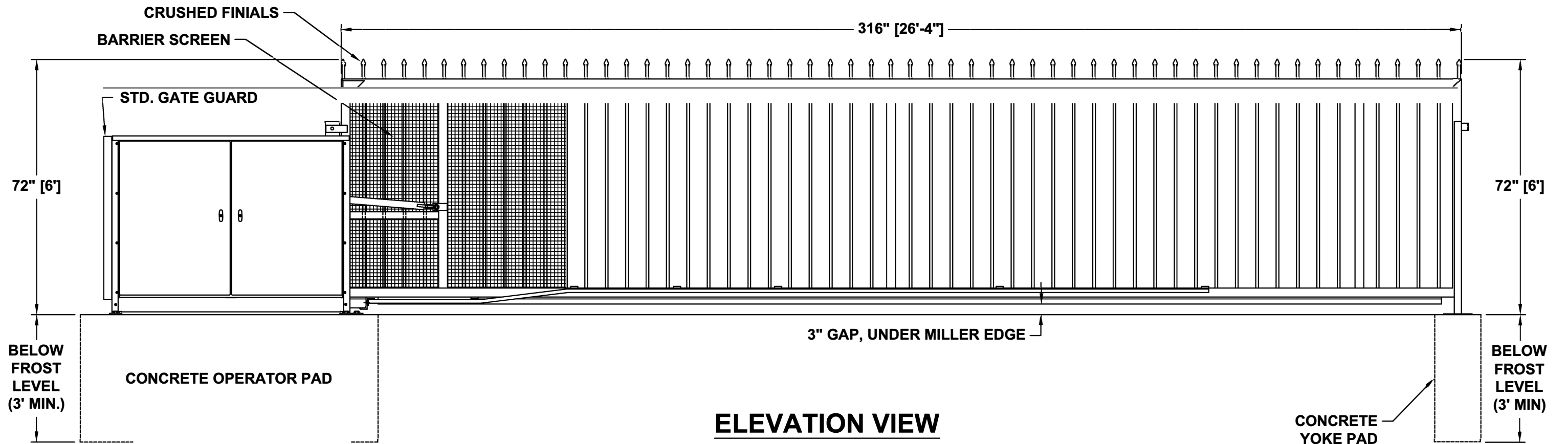


PROJECT:	STORAGE OF AMERICA - Eewalling, Beantown Harbor MI
SALESMAN:	MARC RUDDOFF
JOB No:	18-1365
DATE:	02-15-2023
PAPER SIZE:	□ 11 x 17 □ 8 1/2 x 11
TYPE:	SUBMITTAL
DESIGN BY:	XXXX
DRAWN BY:	TOM YAMIN
CHECKED BY:	XXXX
SCALE:	AS NOTED

NO.	BY	REVISION PER	DATE



PLAN VIEW



ELEVATION VIEW


Viewed from the PRIVATE SIDE

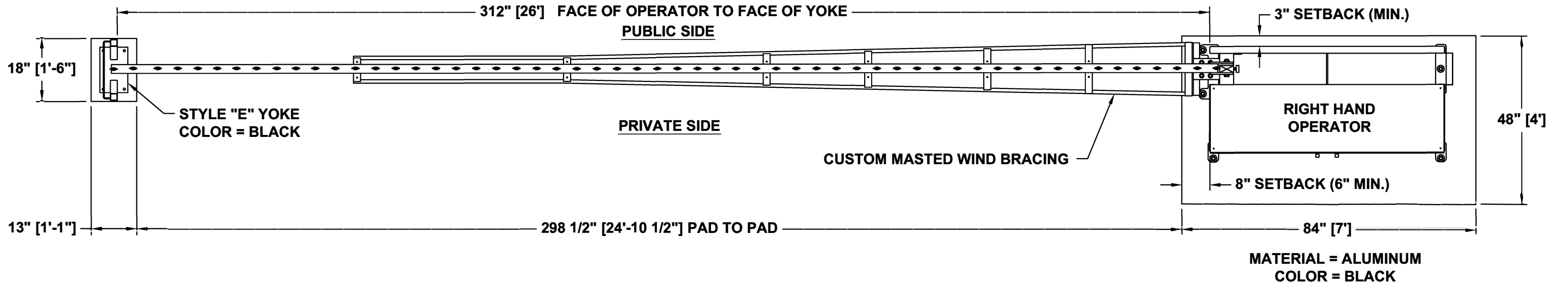
CUSTOMER PROVIDED AUTOGATE WITH A SITE DRAWING OR SKETCH (YES NO)

CUSTOMER SIGNATURE: _____

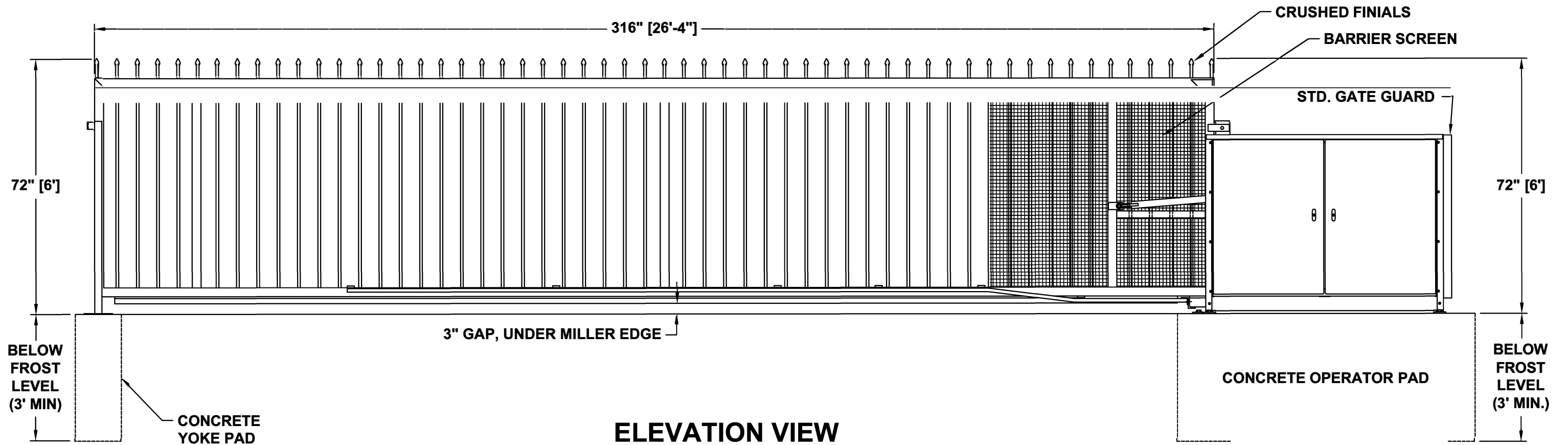
DATE SIGNED: _____

Rev.:	Description:	Date:	Drn. By:	Ckd. By:

<p>NOTICE</p> <p>THE INFORMATION CONTAINED ON THIS DOCUMENT IS CONFIDENTIAL AND ANY DISSEMINATION, UNAPPROVED DISCLOSURE OR COPYING OF THIS INFORMATION IS STRICTLY PROHIBITED</p> <p>UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES ANGLES ± 1° XX ± 1/32, .XX ± .01, .XXX ± .005</p>	Date Drawn: 02/15/23	 <p>AutoGate Gate Entry Systems Berlin Heights, Ohio FAX (419) 588-3514</p>
	Drawn By: MKS	
	Checked By: KAY	
	Dwg.: AG# 10685-86 Storage Of America, American Fence & Supply-MI	
Title: Buckeye "500" VPG (26'-4" x 6'-0")		



PLAN VIEW



ELEVATION VIEW

Viewed from the PRIVATE SIDE

CUSTOMER PROVIDED AUTOGATE WITH A SITE DRAWING OR SKETCH (YES NO)

CUSTOMER SIGNATURE: _____

DATE SIGNED: _____

Rev.:	Description:	Date:	Drn. By:	C kd. By:

DO NOT SCALE

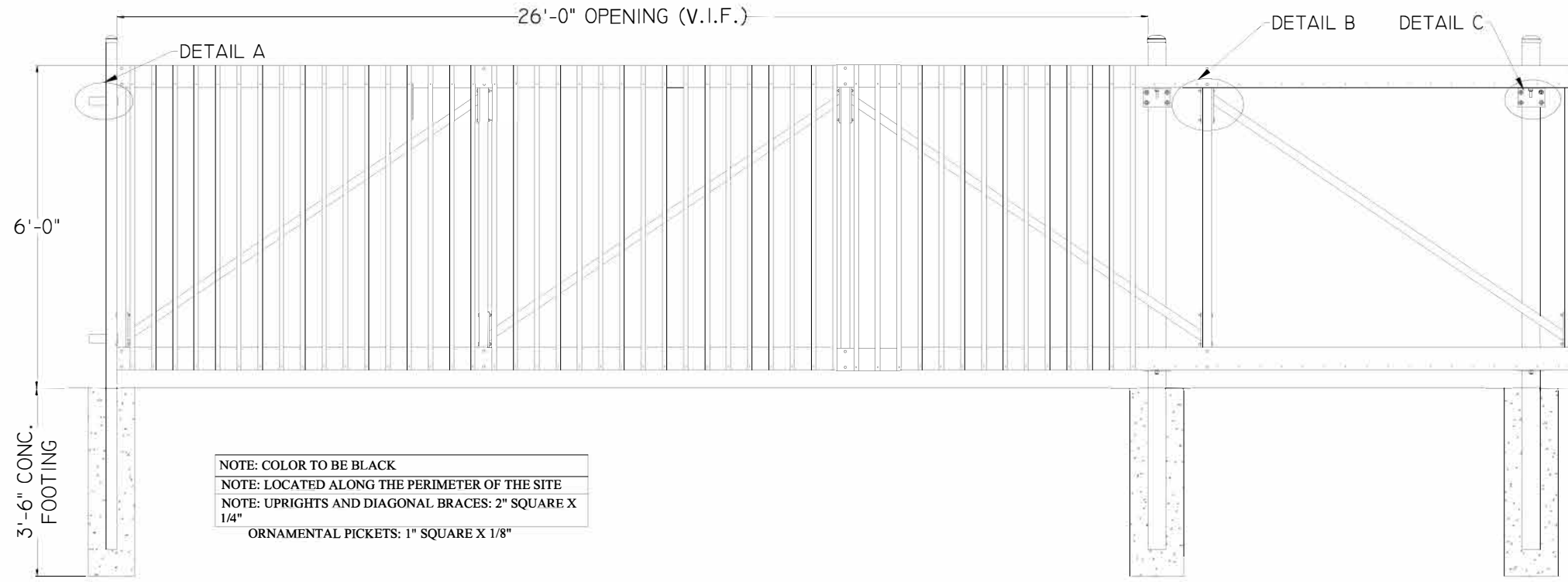
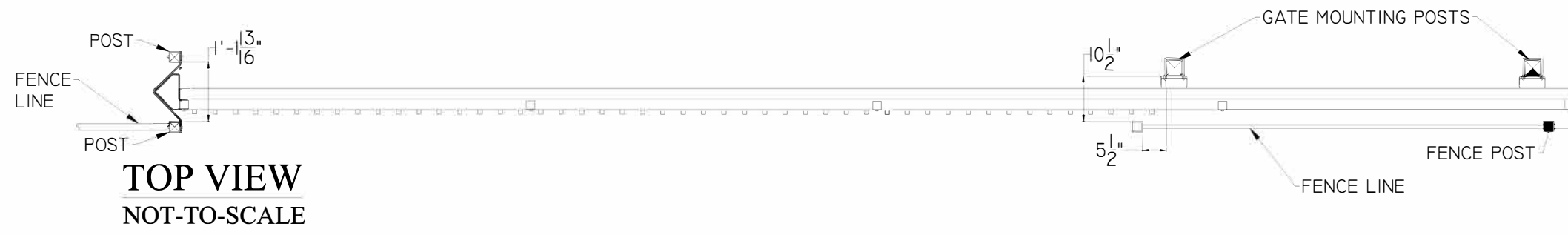
NOTICE
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UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES
ANGLES ± 1°
XX ± 1/32, .XX ± .01, .XXX ± .005

Date Drawn: 02/15/23
Drawn By: MKS
Checked By: KAY

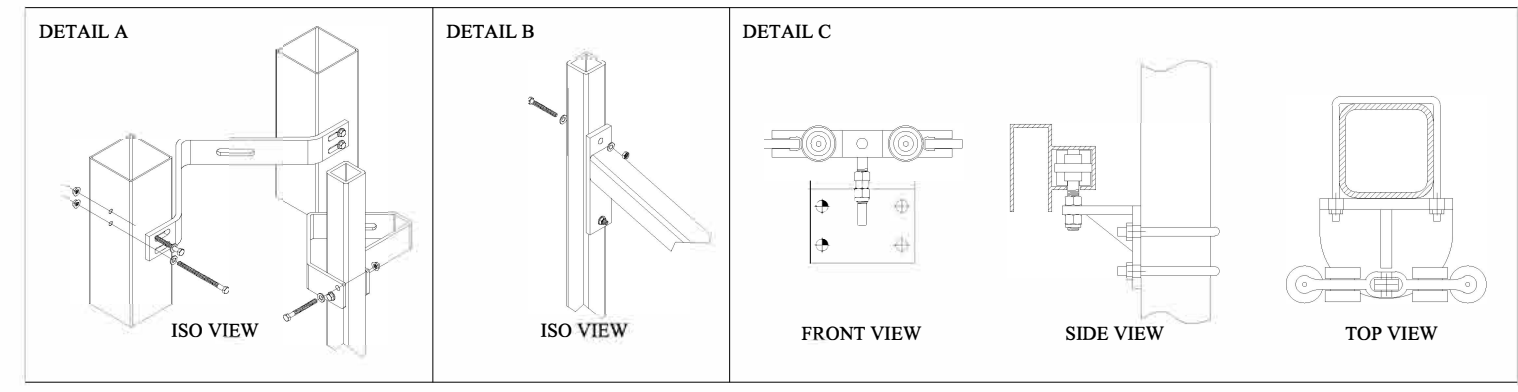


Dwg.: AG# 10685-86 Storage Of America, American Fence & Supply-MI
Title: **Buckeye "500" VPG (26'-4" x 6'-0")**



NOTE: COLOR TO BE BLACK
 NOTE: LOCATED ALONG THE PERIMETER OF THE SITE
 NOTE: UPRIGHTS AND DIAGONAL BRACES: 2" SQUARE X 1/4"
 ORNAMENTAL PICKETS: 1" SQUARE X 1/8"

TYPICAL ALUMINUM SLIDE GATE - ELEVATION
 NOT-TO-SCALE



APPROVAL OF THE DETAILS CONTAINED WITHIN THIS SUBMITTAL DOCUMENT SHALL CONSTITUTE A BINDING AGREEMENT TO ACCEPT FABRICATION AND CONSTRUCTION OF SUCH, AS INDICATED HEREIN.

PROJECT: STORAGE OF AMERICA - Benton Harbor MI		SHEET NO. A6.0	
SALESMAN: MARC RUDOLF		DESIGN BY: XXXX	
JOB No: 18-1365		DRAWN BY: TOM YAMIN	
DATE: 02-15-2019		CHECKED BY: XXXX	
PAPER SIZE: 11 x 17		SCALE: AS NOTED	
TYPE: SUBMITTAL		NO. BY REVISION PER DATE	

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Commercial Real Estate
Due Diligence Management
3465 South Arlington Rd Suite E#183
Akron, OH 44312
866.290.8121
www.amnational.net

ALTA/NSPS Land Title Survey

XXXXX
XXXXX
Surveyor Certification

5413 E. Terra Cotta Avenue
Crystal Lake, IL 60014

TO: AMERICAN NATIONAL, LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 7b1, 8, 9, 11a, 11b, 13, 16, 17, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 24, 2023.

DATE OF PLAT OR MAP:

Surveyor's signature
Gloria Jean Koter
Land Surveying Services Inc.
1182 Heather Drive, Lake Zurich, IL 60047
JKoter@LandSurveyingServices.com
Project Reference Number: 20223245-001

Drawing Revisions	

Legal Description

NO TITLE PROVIDED

The land shown in this survey is the same as that described in XXXXX Commitment Number XXXXX with an effective date of XXXXX, 2023.

General Notes

- Field Work Completed on 3-24-2023
- Prepared for American National.
- Site Address: 5413 E. Terra Cotta Avenue, Crystal Lake, IL 60014
- Pin No: 14-33-401-003
- The easements shown hereon are provided from the current title. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
- Refer to a current title commitment for any building lines or easements not shown on this plat.
- There is no evidence of recent earth moving work, building construction or building additions at time of fieldwork.
- There is no evidence of proposed changes in street right of way lines at time of fieldwork.
- Property Area: 172,298 Square Feet (3.96 Acres)
- Parking Spaces: 0 Spaces
- Basis of Bearing is the center line of Terra Cotta Avenue as labeled on survey as N89°25'03"E 207.05' Rec.
- The property has direct physical access to Terra Cotta Avenue, a public right-of-way.
- The record description of property mathematically closes with no gaps, gores or overruns.
- The distance to the nearest intersecting street, Erick Street, is 673.11 feet and is shown on the survey.
- There was no evidence of any refuse or use as a solid waste dump at time of fieldwork.
- There was no evidence of any cemeteries, individual grave sites, or burial grounds at the time of fieldwork.
- No building was located on the property at the time of fieldwork.
- Benchmark - On Site
- BM Bolt on power pole located near the northeast corner of property (as shown on survey).
Elevation = 904.58'
- Benchmarks established using GPS Topnet Network. Benchmark coordinate system SPCL83NAVD88.
- No wetlands were located on property at time of fieldwork.

Notes Corresponding to Schedule B

NO TITLE PROVIDED

Vicinity Map



Legend of Symbols & Abbreviations

- FOUND IRON PIPE
- SET IRON PIPE
- FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- TRANS. POLE
- UTILITY POLE
- CULVERT PIPE
- CATCH BASIN
- J.U.L.I.E. WATER
- J.U.L.I.E. CATV
- INLET
- TELEPHONE PED
- TELEPHONE BOX
- MONITORING WELL
- ELEC. METER
- CATV BOX
- WELL
- J.U.L.I.E. GAS
- TOP CURB
- BOTTOM CURB
- DEPRESSED CURB
- TOP PIPE
- BOTTOM PIPE
- METAL FENCE
- CHAIN LINK FENCE
- OVERHEAD WIRES
- STORM LINE
- WATER LINE

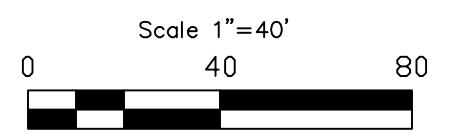
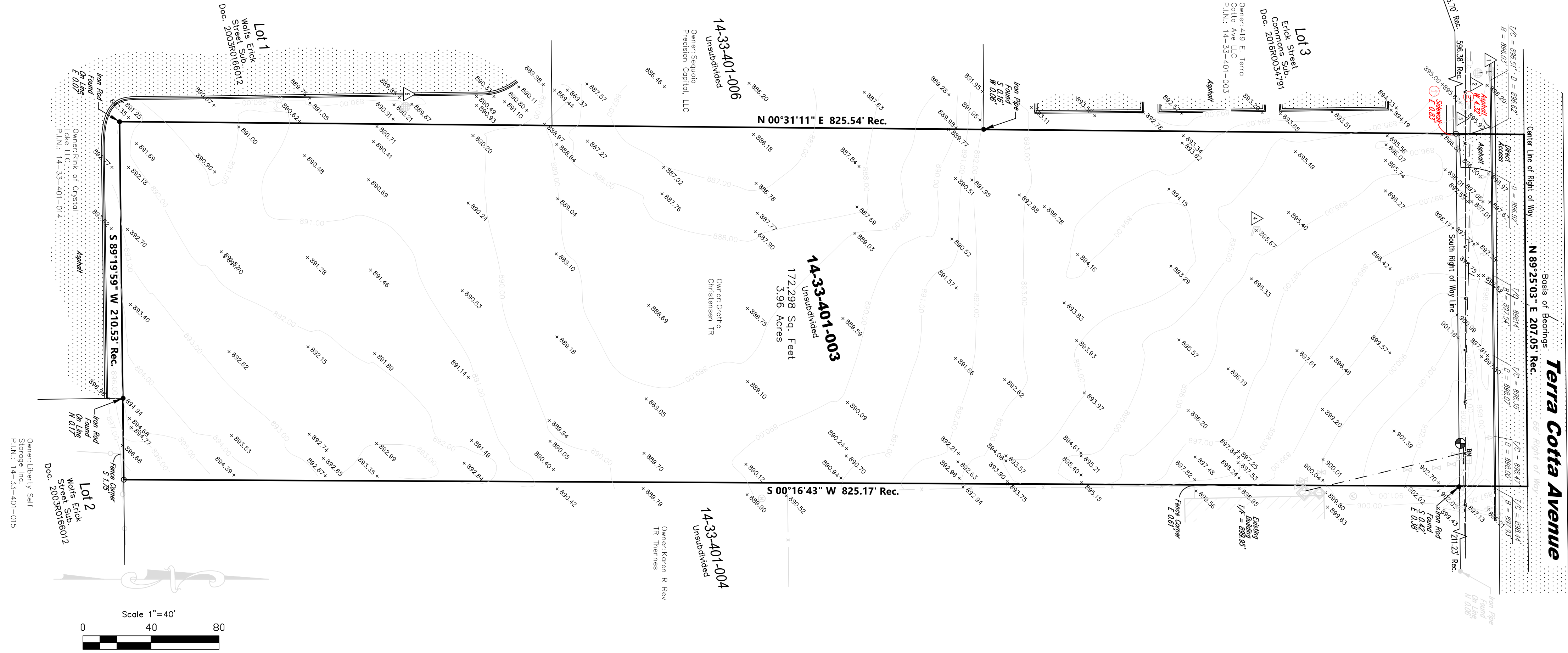
Zoning Information

ZONING INFORMATION	Requirement	Actual
Minimum Front Setback		
Minimum Street Side Setback		
Minimum Interior Side Setback		
Minimum Rear Setback		
Minimum Lot Size		
Minimum Lot Width/Frontage and Depth		
Maximum Density		
Maximum Building Height		
Minimum Number of Parking Spaces Required		

NO ZONING REPORT PROVIDED

Inverts

- Storm Inlet 1
DIM = 895.89'
Unable to Open
- Storm Catch Basin 2
DIM = 894.92'
N = 891.54'
- Water Manhole 3
DIM = 895.02'
EAV 12' Maximum
DIP = 890.12'
BSP = 891.82'
- Culvert Pipe 4
2' Area x 50' Len
- Storm Catch Basin 5
DIM = 899.02'
Unable to open



FLOOD NOTE: By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 17111C0335J, which bears an effective date of 11/16/2006 and is not in a Special Flood Hazard Area.

Encroachment Statement

- ① Sidewalk extends East 0.83' over East Property Line
- ② Asphalt extends West 4.32' over East Property Line

Utility Notes

The location of the utilities shown here on are above ground appearances only in the observed evidence in the process of conducting the fieldwork, which may indicate utilities on, over or below the surveyed property.

Surveyors Name: Gloria Jean Koter

Land Surveying Services, Inc.
 1182 Heather Drive Lake Zurich, Illinois 60047
 Ph: (847)847-1079 Fax: (847)847-1279
 Professional Design Firm License No. 104-003632
 email: jkoter@landsurveyingservices.com