



#2024-173 1141 North Shore Drive – Variations Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	October 2, 2023
<u>Request:</u>	Variations from Article 3: <ol style="list-style-type: none">1. To allow a 5.75-foot encroachment into the required 30-foot street side setback,2. To allow a 2.13-foot encroachment into the required 63-foot lake side setback,3. To allow a 3.91-foot encroachment into the required 11-foot side yard setback,4. To allow 53.18% hard surface coverage, a variation from 50% maximum, and5. To allow an observation tower at 37 feet high a variation from the 28-foot maximum height.
<u>Location:</u>	1141 North Shore Drive
<u>Acreage:</u>	Approximately 11,925 square feet
<u>Existing Zoning:</u>	R-2 Single Family
<u>Surrounding Properties:</u>	North: R-2 Single Family South: R-2 Single Family East: R-2 Single Family West: R-2 Single Family
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The property is an existing single-family residential lot in Crystal Lake.
- The house was constructed very close to some property lines and it is considered legal non-conforming. The house is only 2.9 feet from the south property line.
- The lot is a conforming lot, meaning it meets the minimum lot width and lot area requirements. A conforming lot requires a minimum 7-foot side yard setback and 18-foot combined side yard setbacks. Since the house is very close to the south side staff selected that side yard to be the 7-foot side yard.

Development Analysis:

General

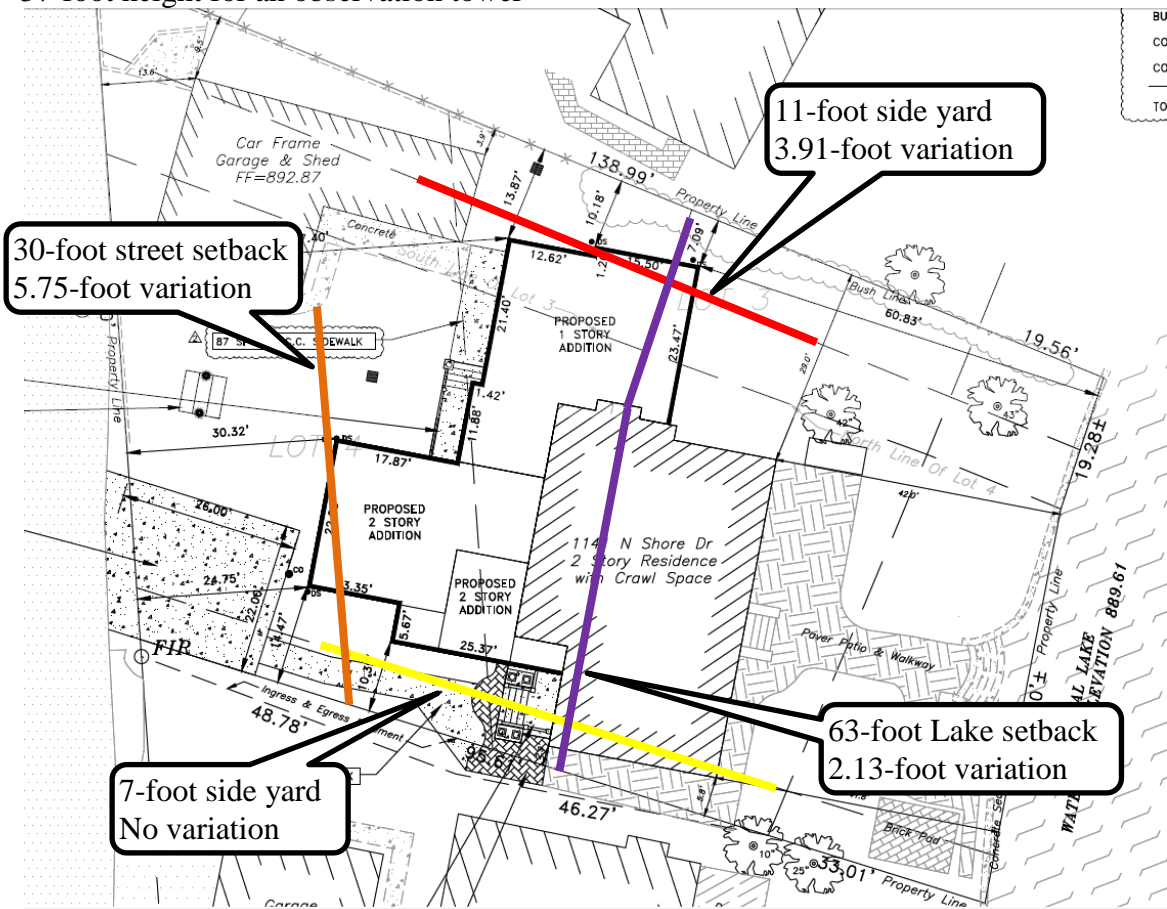
- **Request:** To construct an addition to the house. The addition is one and two-stories with a center observation tower. The addition will encroach into the street side, lake side and side yard setbacks. In addition, variations for height for the observation tower and hard surface coverage are needed.
- **Zoning:** The site is zoned R-2 Single Family.
- **Land Use:** The land use map shows the area as Urban Residential.
- The construction will match the existing residential structure.
- For properties located on the lake, the lakeside (front yard) setback is calculated by using the average of lots within 400 feet.

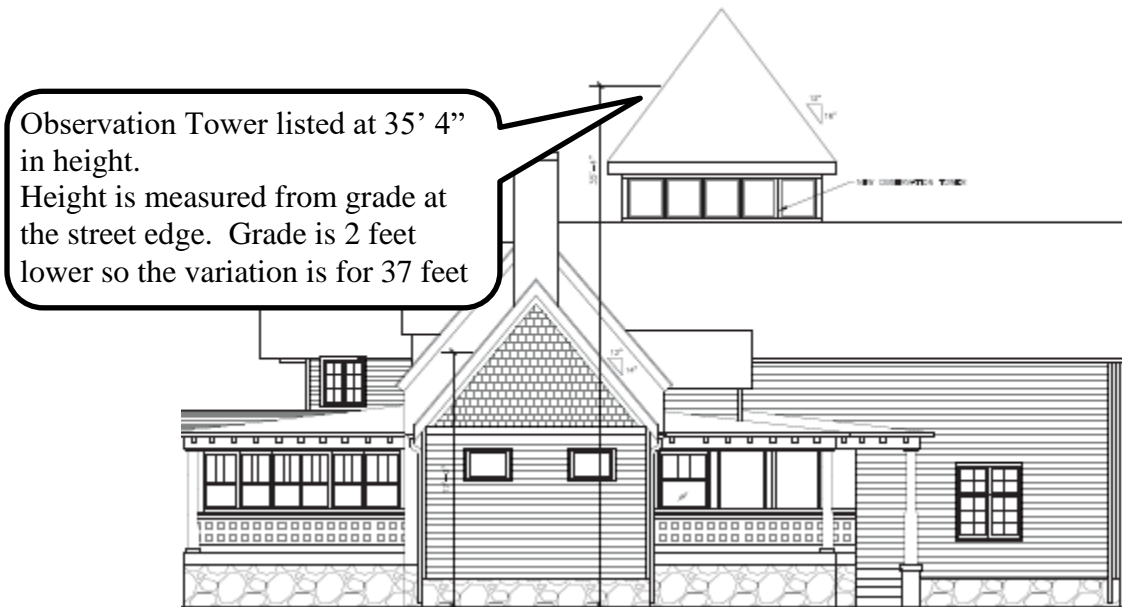
Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting Simplified Residential Zoning Variations to allow a new addition. The following variations are requested:

- 5.75-foot encroachment into the required 30-foot street side setback
- 2.13-foot encroachment into the required 63-foot lake side setback
- 3.91-foot encroachment into the required 11-foot side yard setback
- 53.18% hard surface coverage
- 37-foot height for an observation tower





The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
- Meets* *Does not meet*
- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
- Meets* *Does not meet*
- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
- Meets* *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

Supporting Actions: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines.

Supporting Actions: Provide for a reasonable rate of residential growth especially infill growth and mixed-use development which take advantage of existing city services.

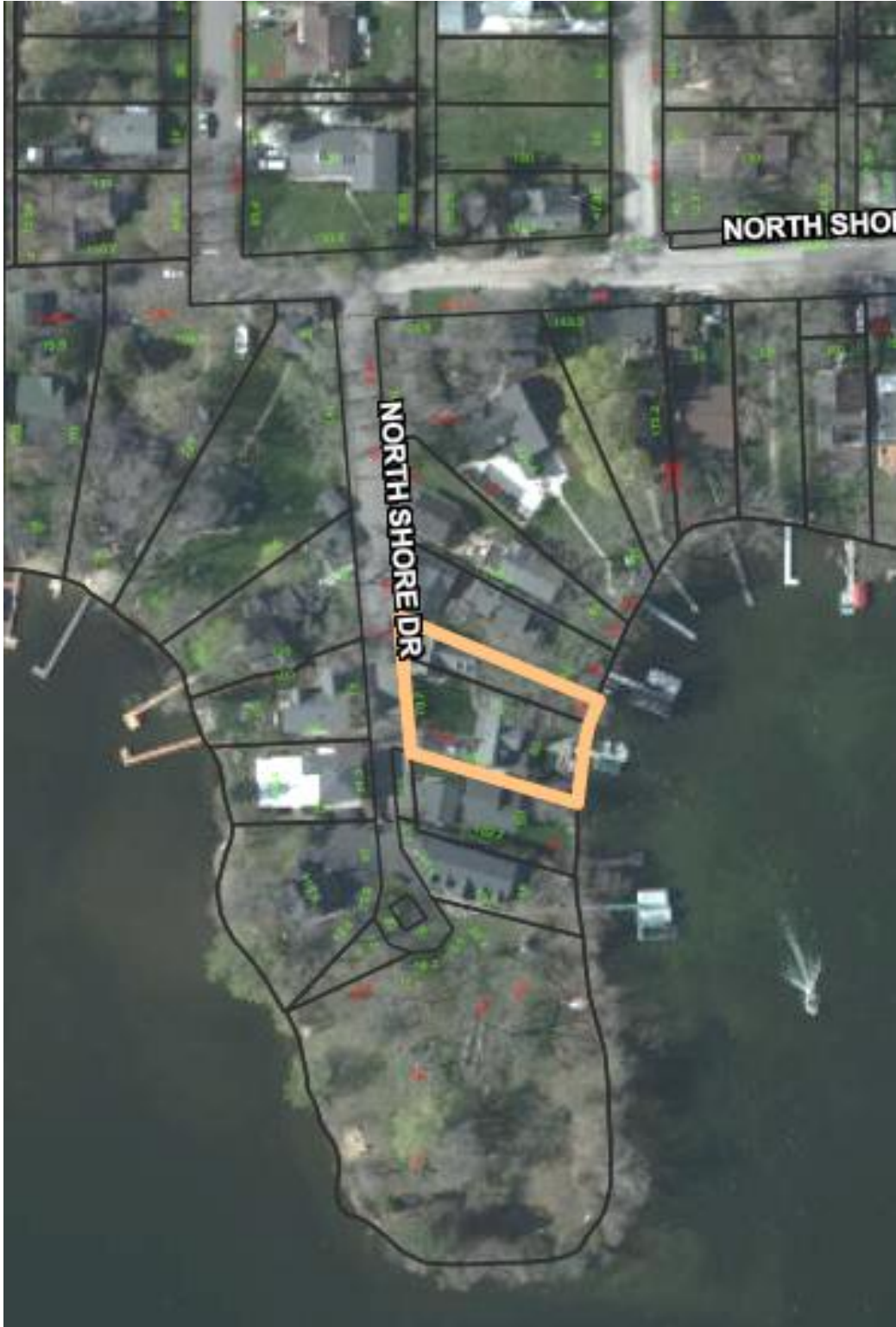
Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Bevill, received 9/12/24)
 - B. Engineering Plans and Site Plan (Scheflow Engineers, dated 11/4/23, received 9/24/24)
 - C. Architecture Elevations (John Kelly Architects, dated 9/4/24, received 9/24/24)
2. No improvements can be constructed over the property line.

-
-
3. The petitioner shall address all of the review comments and requirements of Engineering and Public Works Department, Community Development Department and the City's Stormwater Consultant.

PIQ Map
1141 North Shore Drive







**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: Grant & Judith Bevill

Address: 1141 North Shore Dr. Crystal Lake, IL. 60014


Phone: 224-619-6100

E-mail: bevillg@ab-controls.com

Project Name & Description: Addition to Bevill Residence

Project Address/Location: same as above

Signature



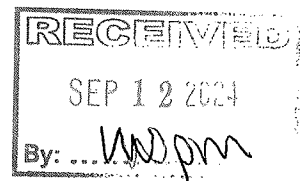
9-12-24

Owner: Print and Sign name

Grant Bevill

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



PUBLIC NOTICE BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF
CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION OF Grant Bevill

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission upon the application by Grant Bevill for approval of a Variations at the following real estate known as 1141 North Shore Drive, Crystal Lake, Illinois 60014, PIN: 18-01-229-005.

This application is filed for the purpose of seeking Simplified Residential Zoning Variations to allow additions to a house whereas the addition will encroach 5.75 feet into the required 30-foot street side setback, 2.13 feet into the required 63-foot lake side setback, and 4.2 feet into the required 11-foot interior side yard setback. With a variations from the maximum 50% hard surface coverage to allow 6,342 square feet or 53.18% of the lot, from the maximum 28-foot height limit to allow 37 feet for an observation tower and any other variations as presented at the public hearing pursuant to Unified Development Ordinance Article 3, Article 4, and Article 9. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:00 p.m. on Wednesday, October 2, 2024, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Jeff Greenman, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in Northwest Herald September 14, 2024) 2192211

STATE OF ILLINOIS

COUNTY OF MCHENRY

IN THE MATTER OF THE APPLICATION OF

Grant Seville (NAME);

AFFIDAVIT

Grant Seville (Name), being first duly sworn on oath deposes and states as follows:

- A. That a copy of the legal notice, concerning the hearing date for the above mentioned Petitioner, was sent to each of the persons named on the attached list by regular mail notifying them of the hearing before the Planning and Zoning Commission on October 2, 2024, at 7:00 p.m., at the City of Crystal Lake City Hall, 100 West Woodstock Street in Crystal Lake, Illinois. Said notice was mailed to each of the below mentioned persons by regular mail on 9-16-24 (date)

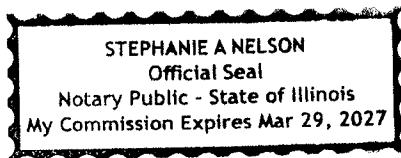
- B. That the posting requirements of the Unified Development Ordinance have been complied with by placing the customary public notice sign on the subject property on 9-17-24 (date)

[Signature]
(name) (Signature)

Subscribed and Sworn to me before

This 17th day of September, 2024

[Signature]
Notary Public



GENERAL NOTES:

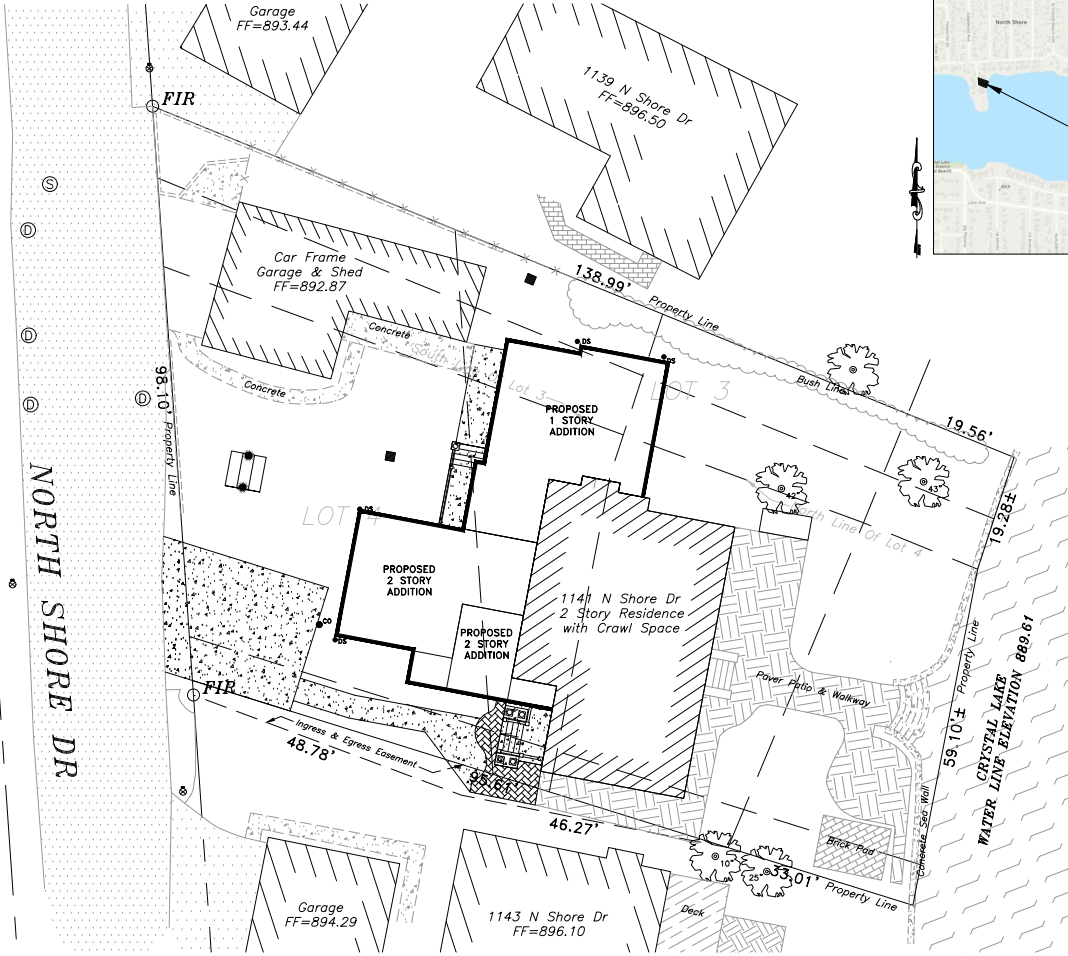
- REFERENCED SPECIFICATIONS**
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, 8TH EDITION (STANDARD SPECIFICATIONS), FOR INSTALLATION OF SEWERS.
- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED JANUARY 1, 2022 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT STANDARD SPECIFICATIONS) RIGHT OF WAYS.
- CITY OF CRYSTAL LAKE ORDINANCES, REQUIREMENTS AND STANDARD DETAIL SHALL GOVERN IN THE EVENT OF CONFLICTING SPECIFICATIONS.
- STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PUBLISHED BY ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
- ILLINOIS URBAN MANUAL FOR SOIL EROSION CONTROL PRACTICES
- NOTIFICATION**
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE FOLLOWING:
- THE CITY OF CRYSTAL LAKE 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE ELECTRIC, COMMUNICATIONS AND GAS UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PERMITS**
OWNER SHALL SECURE PERMITS AS FOLLOWS AND COMPLY WITH ALL REQUIREMENTS OF THE PERMITS:
- CITY OF CRYSTAL LAKE
- QUANTITIES**
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AS INDICATED ON THE PLANS. THE QUANTITIES WHICH ARE INDICATED ARE FOR BIDDING PURPOSES ONLY AND MUST BE VERIFIED. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGN ENGINEER.
- EXAMINATION OF THE SITE**
THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND IS TO COMPARE THE SITE CONDITIONS AS INDICATED ON THE ENGINEERING PLANS.
- INDEMNIFICATION**
THE CONTRACTOR(S) SHALL INDEMNIFY THE ENGINEER AND THEIR AGENTS, THE CITY OF CRYSTAL LAKE AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THIS WORK ON THIS PROJECT.
- LOCATION OF EXISTING UNDERGROUND UTILITIES**
THE LOCATION OF VARIOUS EXISTING UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO THE CONSTRUCTION OPERATIONS.
- DAMAGE TO PROPERTY**
ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAYS, ETC., DAMAGED BY THE CONTRACTOR'S OPERATIONS AND NOT CALLED FOR IN THE CONTRACT TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR TO VERIFY ELEVATIONS**
THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK AND, IF THERE ARE ANY DISCREPANCIES, IS TO NOTIFY THE ENGINEER AT ONCE. NO WORK SHALL BE DONE UNTIL THE DISCREPANCY IS RESOLVED.
- EROSION AND SEDIMENTATION CONTROL**
THE CONTRACTOR SHALL PROVIDE CONTROL FACILITIES SHOWN ON THE PLANS TO CONTROL EROSION AND SEDIMENTATION. ADDITIONAL MEASURES MUST BE UNDERTAKEN AS REQUIRED TO ACCOMMODATE SPECIAL CONDITIONS THAT ARISE DURING THE INSTALLATION OF THE FACILITIES. THE CONTRACTOR SHALL ALSO PROVIDE SUCH EROSION AND SEDIMENTATION CONTROL AS IS NECESSARY TO MEET THE REQUIREMENTS OF THE REFERENCED SPECIFICATIONS.

**BEVILL RESIDENCE
1141 NORTH SHORE DR
CRYSTAL LAKE, ILLINOIS**



LOCATION MAP
SCALE NTS

PROJECT LOCATION



INDEX OF SHEETS:

- OVERALL PLAN
- CITY OF CRYSTAL LAKE - NOTES
- CITY OF CRYSTAL LAKE - DETAILS
- CITY OF CRYSTAL LAKE - DETAIL DETAIL SHEET
- DEMOLITION PLAN
- SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- STORMWATER POLLUTION PREVENTION PLAN

SITE BENCHMARKS:

- CITY BENCHMARK:**
- BENCHMITE ON NORTH FACE OF POWER POLE INFRONT OF 1083 NORTH SHORE DR
ELEVATION 901.42 (NAV88)
- SITE BENCHMARK 2:**
- NAIL ON PAVEMENT NEAR FIRE HYDRANT ON NORTH SIDE OF OLD RAND RD AS SHOWN
ELEVATION 852.90 (NAV88)

LOT INFORMATION:

LOT AREA: 11,925 SF

EXISTING IMPERVIOUS AREA:

BUILDINGS	2,438 SF
CONCRETE PAVER	1,319 SF
CONCRETE	774 SF
BRICK	373 SF
ASPHALT	869 SF
TOTAL	5,773 SF

PROPOSED IMPERVIOUS AREA:

BUILDING	1,592 SF
CONCRETE	868 SF
PAVERS	57 SF
TOTAL	2,517 SF

IMPERVIOUS CHANGE: 565 SF

FINAL IMPERVIOUS AREA: 6,338 SF

FINAL IMPERVIOUS SURFACE RATIO: 53.15%

EXISTING IMPERVIOUS TO BE REMOVED:

ASPHALT	869 SF
BRICK	265 SF
BUILDING	125 SF
CONCRETE PAVER	353 SF
CONCRETE	340 SF
TOTAL	1,952 SF

PROPERTY INFORMATION:

PARCEL NUMBER: 18-01-229-004
18-01-229-005
COMMON ADDRESS: 1141 N. SHORE DR
CRYSTAL LAKE, ILLINOIS 60014
LAND AREA: 11,925 SF

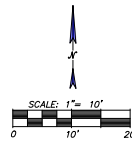
J.U.L.I.E.

JOINT
UTILITY
LOCATION
INFORMATION FOR
EXCAVATION
CALL 811



Know what's below.
Call before you dig.

THE ONE PERCENT ANNUAL CHANCE
FLOOD ELEVATION FROM THE MCHENRY
COUNTY FLOOD INSURANCE STUDY
TABLE 5 IS 892.6 FEET NAVD 1988.



DATE	REMARKS
11-9-24	PER OWNER
11-9-24	PER ARCH CHANGES
8-19-24	PER ARCH CHANGES

SCHFLOW
1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schfeloweng.com
Firm License No. 184-001104

**CRYSTAL LAKE HOME ADDITION
1141 NORTH SHORE DR
OVERALL PLAN**

LLN005

DATE: 11/4/23
SCALE: 1"=10'
DRAWN BY: AI
CHECKED BY: FCC
SHEET NO.: 1 of 9



11/25 9/19/24
LIC. EXP. DATE DATE
Frank C. Quina
REGISTERED PROFESSIONAL ENGINEER

GENERAL SITE-WORK

- Pre-Construction meeting shall be conducted with City Staff and all Contractors prior to commencing any grading or underground utility construction activities (schedule meeting with the Community Development Department at 815-586-3605).
- 24-hour Emergency contact numbers shall be provided to City Staff at the Pre-Construction meeting.
- Working hours shall be limited to the hours of 7:00 a.m. and 7:00 p.m. on weekdays only (except in cases of emergency). Non-emergency work on weekends or holidays is not permitted per City Code except under written permission from the City Engineer. The owner is responsible for the City Inspector cost of overtime inspection beyond the normal eight (8) hour day, including weekends and holidays.
- Pulverized streets shall be kept free of dirt and debris with regular cleaning, sweeping, and watering conducted by the Contractor. Junk and debris shall not be allowed to accumulate, blow, or scatter onto streets or adjacent properties.
- J.U.L.I.E. shall be contacted for utility locations on-site and in the adjacent rights-of-way.
- Contractor shall provide and maintain fencing, barricades, traffic control signs, and other subgrading measures during the course of work to protect the public from the construction operation.
- Maintain access to adjacent streets during construction. No closing of streets unless approval is first obtained from the agency with jurisdiction (City of Crystal Lake, McHenry County Department of Transportation, Illinois Department of Transportation, etc).
- Any damage to public right-of-way, public utilities, streets, curbs, etc. shall be repaired/replaced as soon as possible and as directed by the City Engineer.
- The contractor shall give the City of Crystal Lake, Illinois Department of Transportation, and any other governmental agency having jurisdiction, at least two (2) working days notice excluding Saturday and Sunday prior to the initiation of any phase of construction. Contractor shall immediately notify if construction has ceased and renew the two (2) working day notification thereafter.
- The Contractor shall be responsible for obtaining all required permits for construction prior to commencement along or across existing streets or highways. The Contractor shall make arrangements for the proper trapping, storage and other protection of all roadways before construction begins.

GRADING:

- The grading and construction of the site improvements shall not cause ponding of storm sewer water. All areas adjacent to these improvements shall be graded to allow positive drainage.
- The proposed grading elevations shown on the plans are finished grade. A minimum of an (8) inches of topsoil is to be placed before finished grade elevations are achieved.
- Establishment material within pathway and open space areas shall be compacted to a minimum of ninety percent (90%) of maximum density in accordance with ASTM Specification D-1557 (modified proctor method), or to such other density as may be determined appropriate by the soils engineer.
- All subgrade material shall have a minimum CBR (California Bearing Ratio) of 30 as determined by the soils engineer, or below replacement and pavement design reviews shall be provided which are adequate to obtain equivalent pavement strength.
- Proposed pavement areas, building pads, driveways and sidewalks and yard/patio space areas shall be excavated or filled to plus or minus ±1.1 foot of design subgrade elevations by the Contractor.
- Any borrow pit locations shall be identified by the Contractor on a copy of the approved site plans and forwarded to the Engineering Division at least 24-hours prior to excavation. Provide backfill compaction reports from a geotechnical engineer and soil-bank plans to the Engineering Division for any borrow pit area.
- Backfill shall be monitored by a geotechnical engineer on-site with compaction reports forwarded to the Engineering Division for review.
- Water truck shall be on-site at all times during mass-grading operations and be available as needed for the purposes of dust control or at the request of City Staff.
- Use of City fire hydrants is not allowed unless approved (separate from this permit) by the Public Works Department and a hydrant meter and RFD is obtained from the City of Crystal Lake Water Division (815-356-3814). Only the City of Crystal Lake Water Division may operate valves and hydrants.

Revised: 1.06/12/2015
 Drawing Name: STANDARD NOTES AND SPECIFICATIONS
 Drawing Number: GE-02a
 Date: 01/30/15
 Drawn: DD
 Checked: AW
 City of Crystal Lake
 ILLINOIS

TOPSOIL STOCKPILES:

- Location of any on-site topsoil stockpiles shall be identified on the approved plans with all fences installed around the perimeter of the stockpile.
- Topsoil stockpiled for future use shall be retrieved free from large roots, sticks, weeds, brush, stones larger than one (1) inch diameter, or other litter and waste products including other extraneous materials not conducive to plant growth.
- Topsoil shall be stockpiled in sequence to minimize any re-handling or double movement by the Contractor. Failure to properly sequence the stockpiling operations shall not constitute a claim for additional compensation. No material shall be stockpiled in front yards, in utility easements, or in the right-of-way lines.
- If a stockpile is to remain in place for more than (14) calendar days, it is required that the stockpile meet the requirements as outlined in section 556 of the City Code.

EROSION CONTROL:

- All specified erosion control measures shall be installed and maintained per the requirements of the Crystal Lake Stormwater Ordinance in accordance with the active NPODES permit.
- All slopes 4:1 or steeper shall be sodded or blanketed immediately after mass earthwork.
- All overland flow routes to be stabilized by sod or blanket.
- Erosion control measures to be inspected and approved by City Engineering Division prior to additional work on site.
- Continuous monitoring of erosion control measures is required. Maintain records of weekly reports per the City of Crystal Lake Stormwater Ordinance.
- The Contractor shall implement any additional erosion control measures deemed necessary by the City per the standards of the City of Crystal Lake Stormwater Ordinance.
- All storm sewer catch basins, sumps and/or collector basins provided are to be cleaned at the end of construction of the project prior to final acceptance. Cleaning may also be required during the course of the construction of the project if it is determined that the site and debris traps are not properly functioning and their performance is impaired.
- Rip-rap material RR 2 (R) - R94 (R) shall be in accordance with Article 281
- Projects of 1 Acre or greater must obtain an NPODES permit prior to commencement of any construction activity.

UNDERGROUND UTILITY:

- The Contractor shall coordinate water main, water service, sanitary and storm sewer inspections and testing with the Community Development at least 24 hours in advance.
- All main line sanitary shall be cleaned and televised (provide DVD to the City Engineering Division).
- All manhole or valve covers shall be imprinted "City of Crystal Lake Sanitary" or "City of Crystal Lake Storm" or "City of Crystal Lake Water" as directed by the City.
- Reference the latest edition of the Standard Specifications for Water and Sewer Main Construction in Illinois.
- Existing manholes to be circular corund and booted.

Revised: 1.06/12/2015
 Drawing Name: STANDARD NOTES AND SPECIFICATIONS
 Drawing Number: GE-02b
 Date: 01/30/15
 Drawn: DD
 Checked: AW
 City of Crystal Lake
 ILLINOIS

WATER MAIN:

- Water main shall be Ductile Iron or Molecularely Oriented PolyVinyl Chloride (PVC0).
 - Ductile iron water main shall be Class S2 conforming to ANSI/AWWA C151A(21.51-03).
 - Ductile iron fittings shall conform to ANSI/AWWA C153(A)(1.53) with mechanical joint gaskets.
 - PVC0 - See City Detail UW-12 and UW-13.
- All bolted connections shall be torqued to the manufacturer's specification. The Contractor shall verify the manufacturer's specification with an approved torque wrench.
- Three blocking or Mega-Lugs with Mega-flored coating or pre-approved equal shall be installed on water mains at all bends, tees, elbows, etc. except as noted below.
- Trust blocks not permitted with 45 degree vertical bends in water main (these shall be restaired with Mega-Lug or pre-approved equal).
- When specified, ductile iron pipe shall be encased in polyethylene and shall conform with ANSI/AWWA C100(A)(1.10) - 10 and ASTM A828-10.
- Minimum cover from finished grade to top of water main shall be six (6) feet. Maximum cover shall be eight (8) feet.
- Water Main Taps: An Illinois licensed plumber is required for any water main tap.
- All water mains shall be subjected to a pressure test and a separate leakage test at system pressure for 24 hours by the Contractor. Hydraulic pressure test and leakage test shall be based on 125 PSI for two (2) hours. Water mains shall be chlorinated in accordance with the Standard Specifications.
- The Underground Contractor shall consider incidental to the contract any orientation and testing of existing water main where connections to and occlusion of such mains is indicated on the drawing.

PAVING:

- All subgrades and bases shall be proof rolled and approved by the Excavation Contractor prior to base or binder installation.
- Subgrade and proposed pavements shall be finished by the Excavation Contractor to within 1/4" foot plus or minus of grade elevation.
- The Paving Contractor shall ensure that the subgrade has been properly prepared and that the finished top of subgrade elevation has been graded within the tolerances allowed in these specifications. Unless the Paving Contractor advises the owner and engineer in writing prior to fine grading for base course construction, it is understood that the Contractor has approved and accepts responsibility for the subgrade.
- For the purpose of providing handicap accessibility and complying with the American Disability Act and City Standards, curbs shall be depressed at locations where public walks or pedestrian paths intersect curb lines at street intersections and other locations as directed.
- 1/2 inch thick preformed fiber expansion joints with two (2) No. 4 plain round steel dowel bars shall be installed at designated intervals and at all P.C., P.T., curb returns and at the end of each pour. Alternate ends of the dowel bars shall be grouted and fixed with metal expansion tubes.
- 1/2 inch thick fiber expansion joints shall be used in every case where the sidewalk coincides with the curb and gutter. Contractor joints shall be set out at designated intervals in the curb. The cost of these joints shall be considered as incidental to the cost of the contract.
- All poured in place concrete curb and gutter shall incorporate two (2) No. 4 reinforcing bars installed wherever the curb and gutter crosses utility service lines, the cost of which shall be considered incidental to the cost of concrete curb and gutter.
- Sidewalks (unless required) shall be of the thickness and dimensions as shown in the construction plans. All sidewalk concrete shall be a minimum of 6.1 bag mix (or DOT class S1 concrete) and shall develop a minimum of 3,500 psi compressive strength at fourteen (14) days. Contractor joints shall be set at the (2) foot centers and one-half inch (1/2) inch preformed fiber expansion joints at (3) foot centers and where the sidewalk meets the curb or another sidewalk, or at the end of each pour. All sidewalks constructed over utility trenches and/or abutting driveway aprons shall be reinforced with three (3) No. 4 reinforcing bars (10 foot minimum length).

Revised: 1.06/12/2015
 Drawing Name: STANDARD NOTES AND SPECIFICATIONS
 Drawing Number: GE-02d
 Date: 01/30/15
 Drawn: DD
 Checked: AW
 City of Crystal Lake
 ILLINOIS

STORMWATER MANAGEMENT

595 Attachment 3
 City of Crystal Lake
 Appendix 3
 Standard Drain Tile Notes

- Drain tiles disturbed during regulated development shall be reconnected by those responsible for their disturbance, unless the development plans specify abandonment of the drain tiles.
- All abandoned drain tiles within disturbed areas shall be removed in their entirety.
- Drain tiles within the disturbed area of a development site shall be replaced, bypassed around the development site or intercepted and connected to the stormwater management system for the development site. The size of the replaced or bypassed drain tile shall be equivalent to the existing drain tile.

595 Attachment 3.1
 02 - 41 - 2014

#	DATE	REMARKS
1	8-4-24	PER OWNER
2	8-24-24	PER ARCH CHANGES
3	8-19-24	PER ARCH CHANGES

SCHFLOW
 1814 GRANDSTAND PLACE
 ELGIN, ILLINOIS 60123
 phone 847.697.7095
 fax 847.697.7099
 schfelloweng.com
 Firm License No. 184-051104

CRYSTAL LAKE HOME ADDITION
 1141 NORTH SHORE DR
CITY OF CRYSTAL LAKE - NOTES

HOME	DATE
NONE	11/4/23
DRAWN BY	
AI	5955
CHECKED BY	
FCC	2 of 9

EC-01

SILT FENCE

NOTES:

- TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 4' AT TOP AND MID-SECTION.
- WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 18" (6" MINIMUM AND 24" MAXIMUM).
- MATERIAL SHALL BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
- DOUBLE ROWS OF SILT FENCE SHOULD BE PLACED 50 FEET APART SHALL BE PLACED AROUND EXISTING STORMWATER MANAGEMENT FACILITIES OR NETWORKS AS ADDITIONAL PROTECTION WHEN REQUIRED BY CITY ENGINEER.

MATERIAL SPECIFICATIONS:

POSTS: STEEL (EITHER 1" OR 1 1/2" TYPE) OR HARDWOOD WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.5 SQ. IN.

FENCE: WOVEN WIRE (14 1/2 GAGE) WITH 6" MAX. MESH OPENING.

FILTER: FILTER X, MIRAIR 100X, STABILINKA T 140X, CLOTH.

WOVEN WIRE FENCE (MIN. 14 1/2 GAGE, MAX. 6" MESH SPACING) WITH FILTER FABRIC COVER

FABRIC ANCHOR DETAIL

Revised: 1. 06/12/2015
 Drawing Name: EC-01
 Drawing Number: UD-01
 Date: 12/24/2012
 Drawn: DD
 Checked: AW
 City of Crystal Lake

UD-02

DRIVEAWAY RESIDENTIAL APPROACH

NOTES:

- FOR THICKNESS OF PAVEMENT "1" VERTICAL THICKNESS OF THE GUTTER FLAG SHALL BE A MINIMUM OF 8 INCHES FOR THE BASE COURSE. THICKNESS OF THE GUTTER FLAG SHALL BE THE THICKNESS OF THE PAVEMENT STRUCTURE.
- TRANSITION FROM FULL CURB TO DEPRESSED CURB IN LINAL FEET.
- DRIVEWAY APPROACH SHALL HAVE DEPRESSED CURB ACROSS ENTIRE WIDTH OF DRIVEWAY APPROACH.
- DRIVEWAY LAINE SHALL BE 2" WIDE SET ON BOTH SIDES. LAINE SHOULD BE PROPORTIONATELY EXTENDED AND SHALL BE 1/2" ABOVE THE CURB FOR DRIVEWAY CENTERLINE, AS MEASURED AT THE PROPERTY LINE. ALL CURB APPROACHES BY THE CITY ENGINEER.
- MAX. CONSTRUCTED APPROACH AND DRIVEWAY GRADE: PCC DRIVEWAY AND APPROACH SHALL BE DESIGNED AT A GRADE OF 0%.

Revised: 1. 06/12/2015
 Drawing Name: UD-02
 Drawing Number: RD-01b
 Date: 01/30/15
 Drawn: DD
 Checked: AW
 City of Crystal Lake

UD-04

SUMP PUMP OR DOWNSPOUT CONNECTION

NOTES:

- A PERMIT WILL BE REQUIRED FOR ANY CONNECTION INTO A CITY UTILITY. A SCALED DRAWING IS REQUIRED.
- DRAIN LINE IS PRIVATE AND OWNER IS RESPONSIBLE FOR ALL MAINTENANCE AND REPAIR TO THE LINE.
- RESTORATION OF THE PARKWAY (WHEN APPLICABLE) WILL REQUIRE USING 4" OF TOP SOIL, SOD AND WATERING TO ENSURE GROWTH.
- CONNECTION TO STORM SEWER PIPE SHALL BE CORED AND BOOTED OR HYDRAULIC CEMENTED. CONNECTION MUST BE INSPECTED PRIOR TO BEING BACKFILLED.
- "ALL" LOCATES ARE REQUIRED PRIOR TO ANY EXCAVATIONS.
- WHEN CONNECTING TO A PVC STORM SEWER, THE USE OF A SADDLE IS MANDATORY.
- ALL EXCAVATIONS MUST BE BARRICADED SECURELY.
- USE CITY STANDARD UG-03 FOR TRENCH CROSS SECTION WHEN INSTALLING UNDER OR WITHIN 2' OF A PAVED SURFACE.
- IF WORK IS WITHIN THE RIGHT-OF-WAY, CONTRACTOR MUST HAVE \$10,000 LICENSE AND PERMIT BOND ON FILE WITH THE BUILDING DIVISION.

Revised: 1. 06/12/2015
 Drawing Name: UD-04
 Drawing Number: UD-04
 Date: 05/29/2015
 Drawn: Checked: JH
 Checked: AW
 City of Crystal Lake

UD-05

INFILTRATION TRENCH

NOTES:

- CITY ENGINEER MAY PERMIT ALTERNATE CHAMBER CONFIGURATION DEPENDING ON SITE CONDITIONS.
- COARSE AGGREGATE SHALL CONSIST OF 1" TO 2" WASHED STONE OR DOT GRADATION CA-1.
- SEE PLAN FOR LENGTH (L) DIMENSION.
- THE VERTICAL RISERS SHALL BE SPACED AT THE FOLLOWING INCREMENTS AT A MINIMUM OF 4 FEET APART WITH ONE LOCATED AT EACH END OF THE TRENCH (DRAIN). (SEE CHART)
- SLUMP PUMPS OR DOWNSPOUTS SHALL BE CONNECTED TO INFILTRATION TRENCHES WHENEVER POSSIBLE.
- INFILTRATION TRENCH SHALL BE PLACED IN A MINIMUM FOOT WIDE RECORDED STORMWATER MANAGEMENT EASEMENT.

LENGTH OF TRENCH (L)	NUMBER OF RISERS
12'-24'	3
25'-37'	4
37'-52'	5

Revised: 1. KL 4/16/2020 Quick 4 Chamber
 2. KL 1/25/2021 Sump Pump/Downspout Connection
 Drawing Name: UD-05
 Drawing Number: UD-05
 Date: 08/01/2019
 Drawn: DD
 Checked: MM
 City of Crystal Lake

EC-02

CONSTRUCTION ENTRANCE

NOTES:

- FILTER FABRIC SHALL MEET THE REQUIREMENTS OF SECTION 282 OF THE DOT STANDARD SPECIFICATIONS AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO THE PLACEMENT OF ROCK.
- ROCK OR RECLAIMED CONCRETE SHALL MEET ONE OF THE FOLLOWING DOT COARSE AGGREGATE GRADATIONS: CA-1, CA-2, CA-3 OR CA-4.
- ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

Revised: 1. 06/12/2015
 Drawing Name: EC-02
 Drawing Number: EC-02
 Date: 07/31/2012
 Drawn: DD
 Checked: AW
 City of Crystal Lake

UG-03

TYPICAL TRENCH CROSS SECTION

LEGEND:

- FILTER BACKFILL TO SUBGRADE AND WITHIN 2 FEET OF PROCESSED PAVEMENT. DRIVEWAY, CURB AND GUTTER OR SIDEWALK, TRENCH BACKFILL MATERIAL SHALL BE DOT APPROVED GRADATION CA-4, GRADE 1, OR 2 COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. IN NON-STRUCTURAL AREAS BACKFILL WITH APPROVED EXCAVATED MATERIALS.
- PIPE BEDDING SHALL BE WASHED MATERIAL DOT GRADATION CA-7 OR CA-11 FROM 4 INCHES BELOW BOTTOM OF PIPE TO HEIGHT SHOWN ON EACH SECTION.
- UNSATURABLE MATERIAL TO BE REMOVED WHERE DIRECTED BY THE ENGINEER AND REPLACED WITH COMPACTED SUITABLE MATERIAL.
- TRENCH WIDTH: PIPE OD + 12 INCHES MINIMUM PIPE ID + 18 INCHES MINIMUM.
- CONTRACTORS SHALL COMPLY WITH ALL CURRENT OSHA STANDARDS.

*NOTE: ALL DUCTILE IRON SHALL BE WRAPPED WITH APPROVED POLYETHYLENE PIPE WRAP

Revised: 1. 06/12/2015
 Drawing Name: UG-03
 Drawing Number: UG-03
 Date: 05/29/2015
 Drawn: Checked: JH
 Checked: AW
 City of Crystal Lake

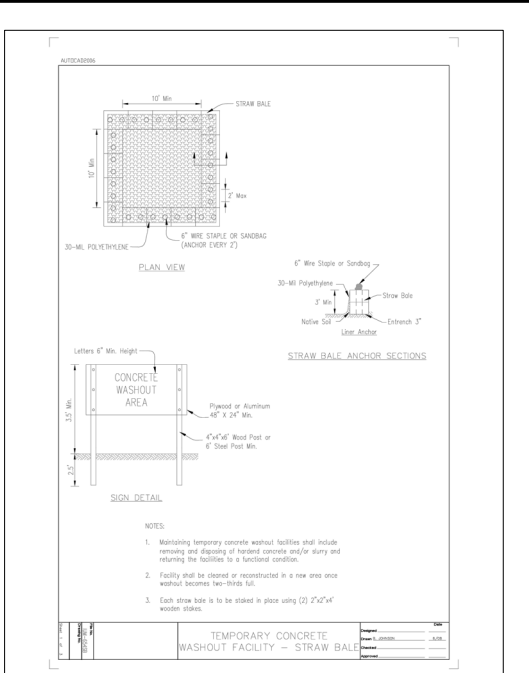
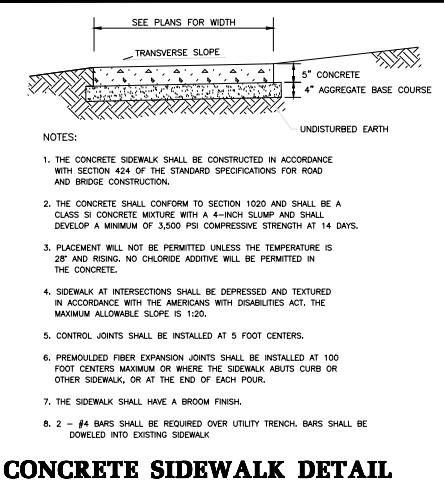
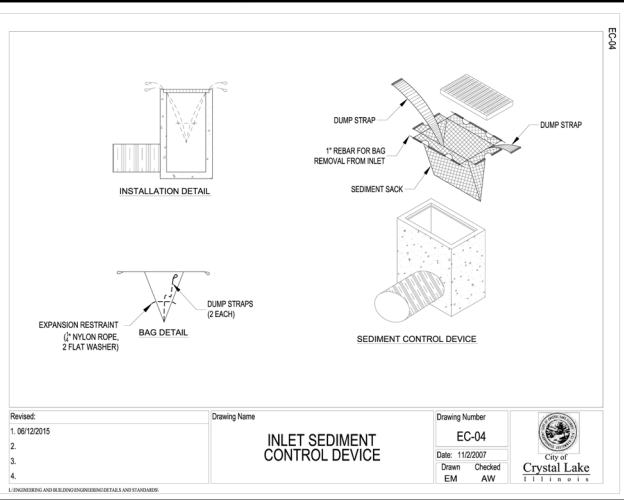
DATE	REVISIONS
8-19-24	PER OWNER
8-19-24	PER ARCH CHANGES

SCHFLOW
 1814 GRANDSTAND PLACE
 ELLON, ILLINOIS 60123
 phone 847.697.7095
 fax 847.697.7099
 schfloweng.com
 Firm License No. 184-001104

CRYSTAL LAKE HOME ADDITION
 1141 NORTH SHORE DR
CITY OF CRYSTAL LAKE - DETAILS

ILLINOIS

ROLE	DATE
NONE	11/4/23
AI	5955
CREATED BY	FCC
SHEET NO.	3 OF 9



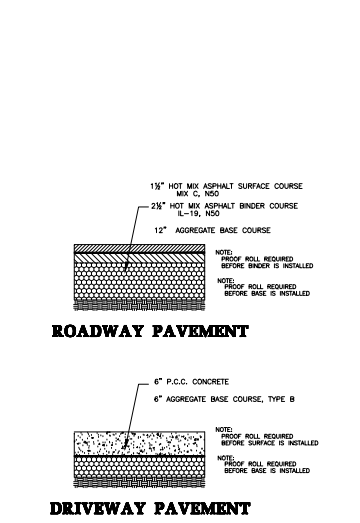
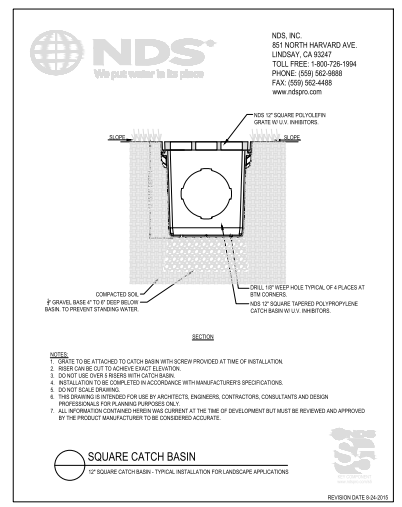
We put water in its place

CATCH BASINS

12" Catch Basin Series

Part No.	Description	Color	Pkg. Qty.	Wt. (lbs.)	Product Class	Specifications
120012	12" Catch Basin Filter	Wood Frame Black Bag	4	6.75	1000	Phenolic Resin Frame Fabric to capture debris permeable bag 100% PVC
120001	12" x 12" Catch Basin, 2 Open Sides	Black	4	4.25	1000	Phenolic Resin Catch Basin Phenolic Resin
120002	12" x 12" Catch Basin	Black	4	14.45	1000	Phenolic Resin Catch Basin Phenolic Resin
120003	Open Sides for 120002	Black	4	4.80	1000	Phenolic Resin Phenolic Resin
120004	Plug Sides for 120002	Black	4	5.30	1000	Phenolic Resin Phenolic Resin
120005	Compatible with 12" x 12" Catch Basin Brackets and Grates					
120006	12" x 12" Catch Basin Kit	Black/Gray	4	7.50	1000	12" x 12" Topset Catch Basin Black/Phenolic Resin
120007	12" x 12" Catch Basin Kit	Black/Gray	4	7.50	1000	Kit Includes 2-opening Catch Basin, Grate, Screen, 2 Ductile and 1 Plug
120008	12" x 12" Catch Basin, 4 Openings	Black	4	4.25	1000	DSP Includes 4 kits with black grates and 4 plugs
120009	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120010	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120011	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120012	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120013	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120014	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120015	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120016	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120017	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120018	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120019	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120020	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120021	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120022	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120023	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120024	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120025	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120026	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120027	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120028	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120029	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs
120030	12" x 12" Catch Basin, 4 Openings	Black	4	13.75	1000	DSP Includes 4 kits with black grates and 4 plugs

for videos, specs, detail drawings and case studies, visit: ndspro.com



DATE	REVISION	BY	DATE	DATE
11-14-24	PER OWNER	JKL		11/14/23
11-14-24	PER ARCH CHANGES	JKL		

SCHFLOW
1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schefloweng.com
Firm License No. 184-051104

CRYSTAL LAKE

HOME ADDITION

1141 NORTH SHORE DR

CITY OF CRYSTAL LAKE - DETAIL SHEET

IL0003

SCALE: NONE

DATE: 11/14/23

JOB NO.: NONE

DRAWN BY: AI

SHEET NO.: 5955

CHECKED BY: FCC

DATE: 4 of 9

LOT INFORMATION:

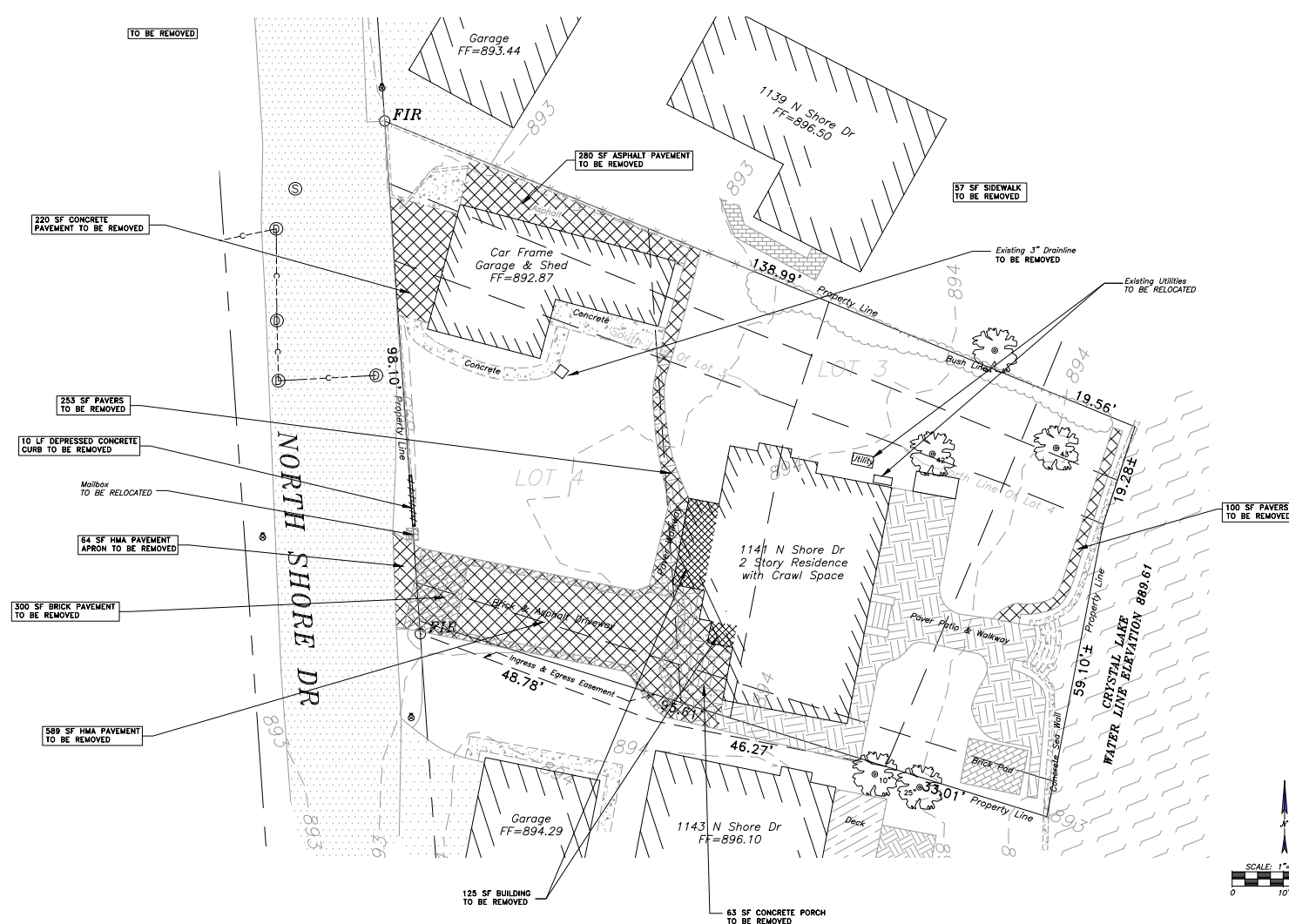
LOT AREA: 11,925 SF

EXISTING IMPERVIOUS AREA:

BUILDINGS	2,438 SF
CONCRETE PAVER	1,319 SF
CONCRETE	774 SF
BRICK	373 SF
ASPHALT	869 SF
TOTAL	5,773 SF

EXISTING IMPERVIOUS TO BE REMOVED:

ASPHALT	869 SF
BRICK	265 SF
BUILDING	125 SF
CONCRETE PAVER	353 SF
CONCRETE	340 SF
TOTAL	1,952 SF



J.U.L.I.E.
JOINT
UTILITY
LOCATION
INFORMATION FOR
EXCAVATION
CALL 811

Know what's below.
Call before you dig.

DATE	REMARKS
11-9-24	PER OWNER
2-9-24	PER ARCH CHANGES
3-9-24	PER ARCH CHANGES

SCHFLOW
1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schelloweng.com
Firm License No. 184-001104

CRYSTAL LAKE HOME ADDITION
1141 NORTH SHORE DR
DEMOLITION PLAN

SCALE	1"=10'
DATE	11/4/23
DRAWN BY	AI
CHECKED BY	FCC
SHEET NO.	5 of 9

LOT INFORMATION:

LOT AREA: 11,925 SF

EXISTING IMPERVIOUS AREA:

BUILDINGS	2,438 SF
CONCRETE PAVER	1,319 SF
CONCRETE	774 SF
BRICK	373 SF
ASPHALT	869 SF
TOTAL	5,773 SF

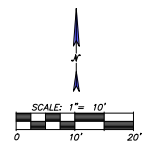
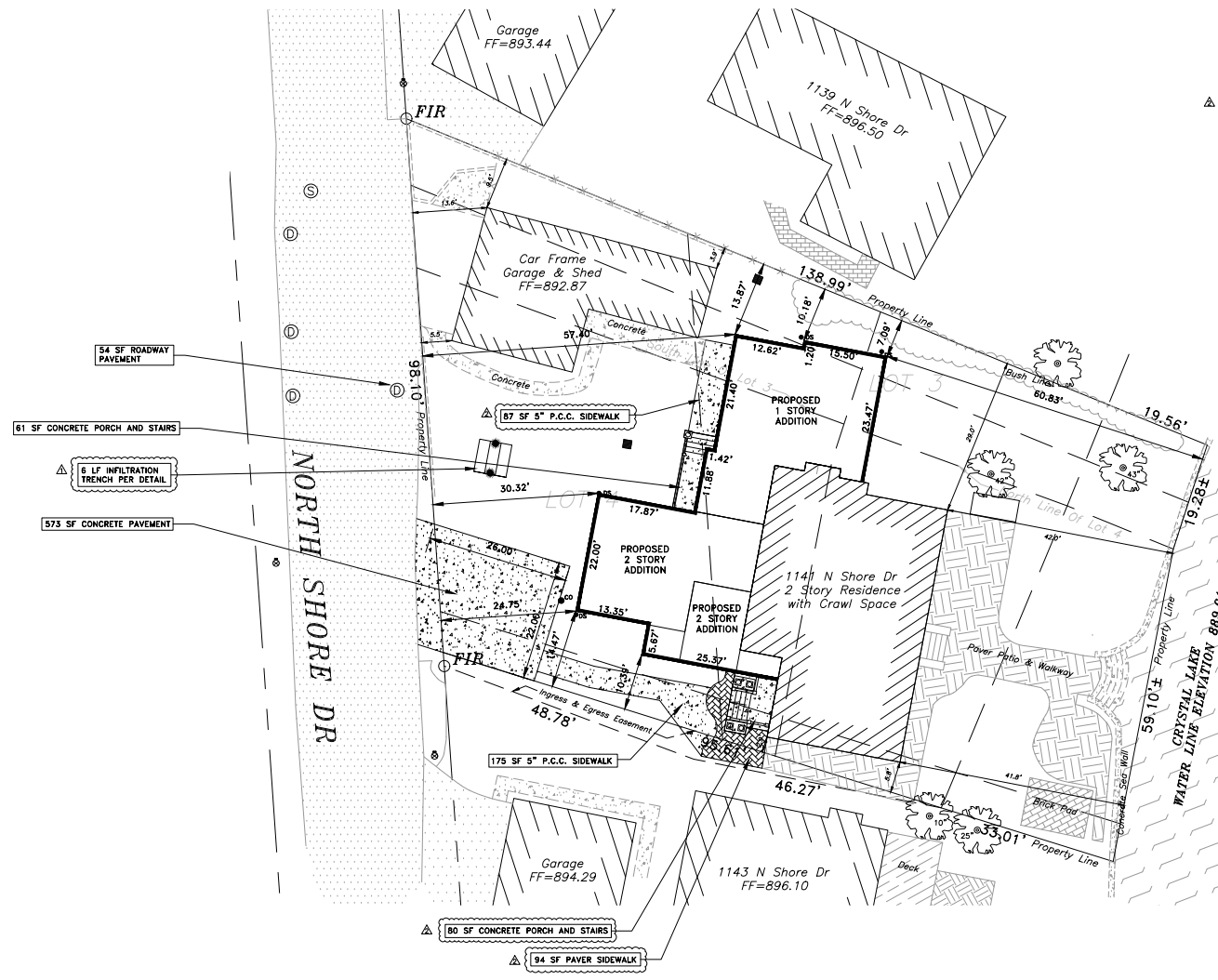
PROPOSED IMPERVIOUS AREA:

BUILDING	1,592 SF
CONCRETE	868 SF
PAVERS	57 SF
TOTAL	2,517 SF

IMPERVIOUS CHANGE: 565 SF
FINAL IMPERVIOUS AREA: 6,338 SF
FINAL IMPERVIOUS SURFACE RATIO: 53.15%

EXISTING IMPERVIOUS TO BE REMOVED:

ASPHALT	869 SF
BRICK	265 SF
BUILDING	125 SF
CONCRETE PAVER	353 SF
CONCRETE	340 SF
TOTAL	1,952 SF



J.U.L.I.E
JOINT
UTILITY
LOCATION
INFORMATION FOR
EXCAVATION
CALL 811

811

Know what's below.
Call before you dig.

THE ONE PERCENT ANNUAL CHANCE FLOOD
ELEVATION FROM THE MOHAWY COUNTY
FLOOD INSURANCE STUDY
TABLE 5 IS '892.6 FEET NAVD 1988.

DATE	REMARKS
11-9-24	PER OWNER
11-9-24	PER ARCH CHANGES
11-9-24	PER ARCH CHANGES

SCHFLOW

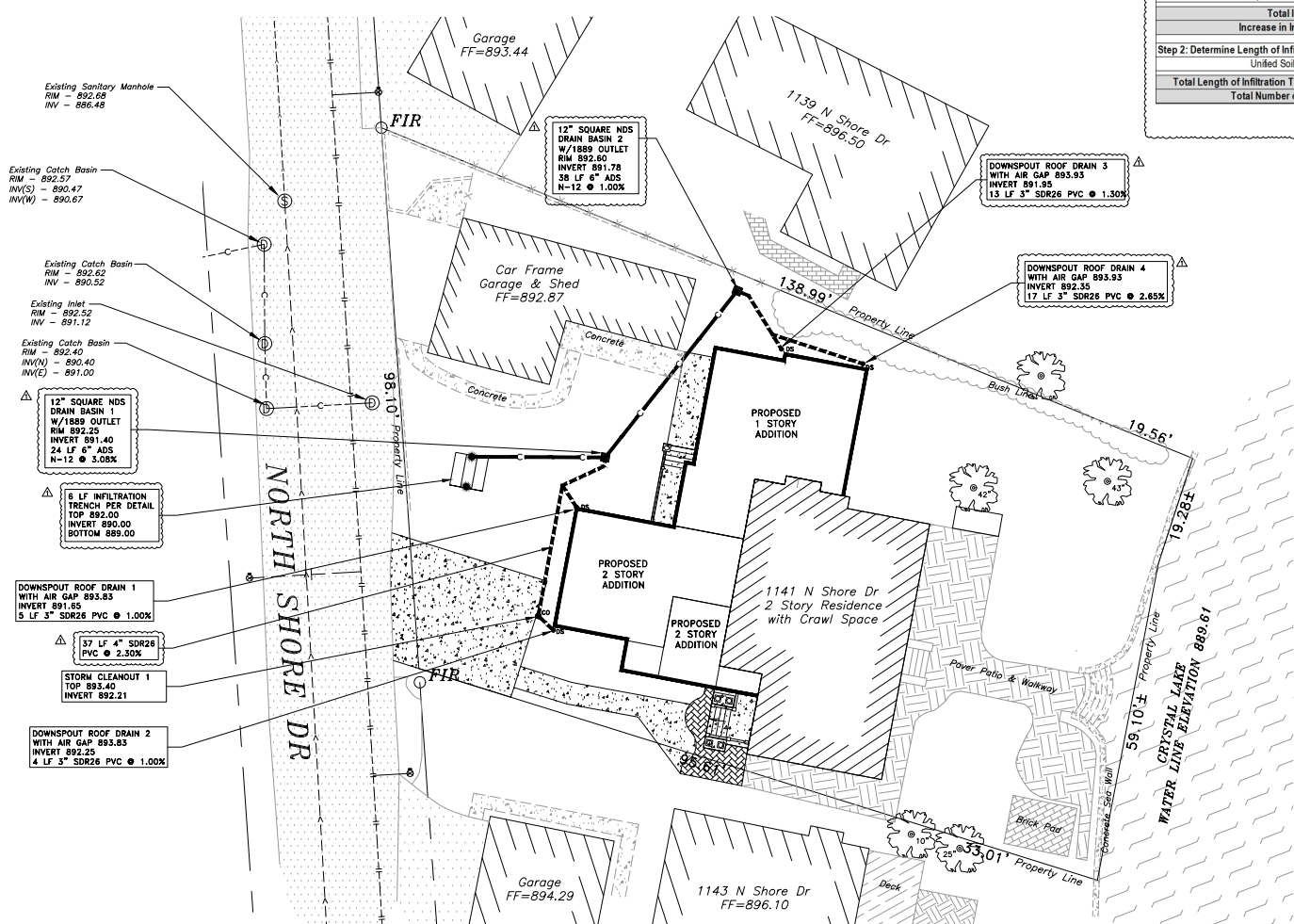
1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schfelloweng.com
Firm License No. 184-001104

CRYSTAL LAKE HOME ADDITION
1141 NORTH SHORE DR
SITE PLAN

LLNORS

SCALE	1"=10'	DATE	11/4/23
DRAWN BY	AI	SHEET NO.	5955
CHECKED BY	FCC	DATE	6 of 9

SIMPLIFIED ANALYSIS CALCULATOR			
ENTER VALUES IN THE YELLOW FIELDS ONLY			
Step 1: Determine Total Impervious Lot Coverage			
Enter Total Lot Area in Square Feet	11925		
Existing Impervious Area in Square Feet	5773		
Proposed Impervious Area Added in Square Feet	565		
Total Impervious Surface (maximum 50%)	53.1%	Contact the Planning Division	
Increase in Impervious Surface (maximum 1.5%)	4.7%	Continue to Step 2	
Step 2: Determine Length of Infiltration Trench Required			
Unified Soil Classification System (USCS) Symbol	325b		
Total Length of Infiltration Trench Required (maximum 50 feet)	4 feet	OK	
Total Number of Days to Drain (maximum 3 days)	1 days	OK	



Existing Sanitary Manhole
RIM - 892.68
INV - 886.48

Existing Catch Basin
RIM - 892.57
INV(S) - 890.47
INV(W) - 890.67

Existing Catch Basin
RIM - 892.62
INV - 890.52

Existing Inlet
RIM - 892.52
INV - 891.12

Existing Catch Basin
RIM - 892.40
INV(N) - 890.40
INV(E) - 891.00

12" SQUARE NDS DRAIN BASIN 1
W/1889 OUTLET
RIM 892.25
INVERT 891.40
34 LF 4" ADS
N-12 @ 3.00%

6 LF INFILTRATION TRENCH PER DETAIL
TOP 892.00
INVERT 890.00
BOTTOM 889.00

DOWNSPOUT ROOF DRAIN 1
WITH AIR GAP 893.83
INVERT 891.85
5 LF 3" SDR26 PVC @ 1.00%

57 LF 4" SDR26 PVC @ 2.30%

STORM CLEANOUT 1
TOP 893.40
INVERT 892.21

DOWNSPOUT ROOF DRAIN 2
WITH AIR GAP 893.83
INVERT 892.25
4 LF 3" SDR26 PVC @ 1.00%

12" SQUARE NDS DRAIN BASIN 2
W/1889 OUTLET
RIM 892.80
INVERT 891.78
38 LF 4" ADS
N-12 @ 1.00%

DOWNSPOUT ROOF DRAIN 3
WITH AIR GAP 893.93
INVERT 891.95
13 LF 3" SDR26 PVC @ 1.30%

DOWNSPOUT ROOF DRAIN 4
WITH AIR GAP 893.93
INVERT 892.35
17 LF 3" SDR26 PVC @ 2.65%

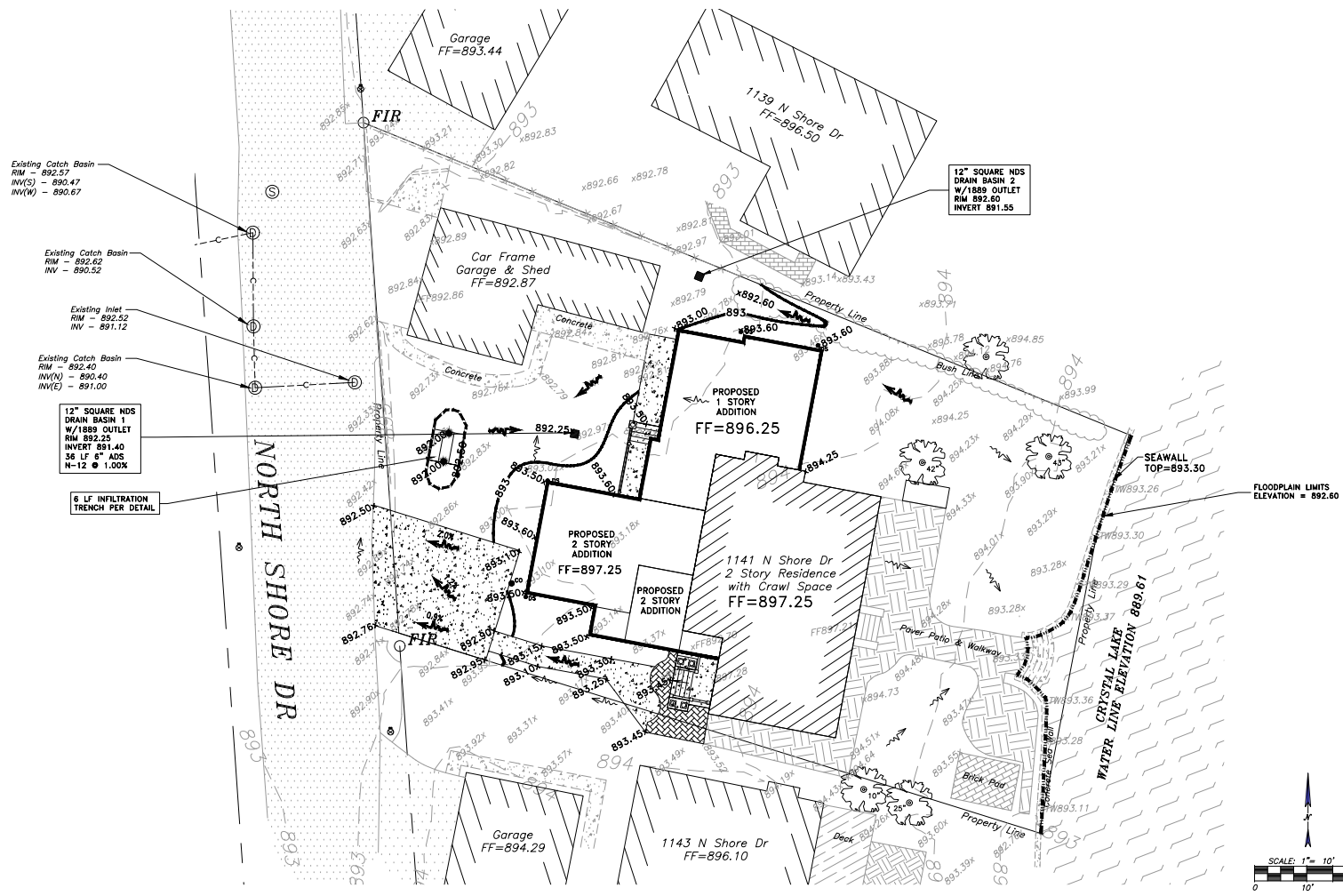
J.U.L.I.E.
JOINT UTILITY LOCATION INFORMATION FOR EXCAVATION CALL 811
Know what's below. Call before you dig.

THE ONE PERCENT ANNUAL CHANGE FLOOD ELEVATION FROM THE MCHEERY COUNTY FLOOD INSURANCE STUDY TABLE 5 IS 892.6 FEET NAVD 1988.

DATE	REMARKS
11-8-24	PER OWNER
11-9-24	PER ARCH CHANGES
11-9-24	PER ARCH CHANGES

SCHFLOW
1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schfelloweng.com
Firm License No. 184-001104

CRYSTAL LAKE HOME ADDITION 1141 NORTH SHORE DR UTILITY PLAN
SCALE: 1"=10'
DATE: 11/4/23
SHEET NO. 7 of 9



Existing Catch Basin
 RIM - 892.57
 INV(S) - 892.47
 INV(W) - 890.67

Existing Catch Basin
 RIM - 892.62
 INV - 890.52

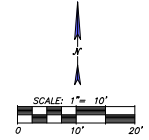
Existing Inlet
 RIM - 892.52
 INV - 891.12

Existing Catch Basin
 RIM - 892.40
 INV(N) - 890.40
 INV(E) - 891.00

12" SQUARE NDS
 DRAIN BASIN 1
 W/1889 OUTLET
 RIM 892.25
 INVERT 891.40
 36 LF 6" ADS
 N=1.2 @ 1.00%

6 LF INFILTRATION
 TRENCH PER DETAIL

12" SQUARE NDS
 DRAIN BASIN 2
 W/1889 OUTLET
 RIM 892.60
 INVERT 891.55



J.U.L.I.E.
 JOINT
 UTILITY
 LOCATION
 INFORMATION FOR
 EXCAVATION
 CALL 811
 Know what's below.
 Call before you dig.

THE ONE PERCENT ANNUAL CHANCE FLOOD
 ELEVATION FROM THE MCHEMRY COUNTY
 FLOOD INSURANCE STUDY
 TABLE 5 IS 892.6 FEET NAVD 1988.

DATE	REMARKS
11-9-24	PER OWNER
2-9-24	PER ARCH CHANGES
3-19-24	PER ARCH CHANGES

S
SCHFLOW
 1814 GRANDSTAND PLACE
 ELGIN, ILLINOIS 60123
 phone 847.697.7095
 fax 847.697.7099
 schfloweng.com
 Firm License No. 184-001104

CRYSTAL LAKE
HOME ADDITION
1141 NORTH SHORE DR
GRADING PLAN

SCALE	DATE
1"=10'	11/4/25
AI	5955
CREATED BY FCC	SHEET NO. 8 of 9

STORMWATER MANAGEMENT

595 Attachment 2

City of Crystal Lake

Appendix 2
Standard Soil Erosion and Sediment Control Notes

- Control measures shall meet the minimum standards and specifications of the Illinois Urban Manual unless stated otherwise. [Amended 11-17-2020 by Ord. No. 7671]
- Soil disturbance shall be conducted in such a manner as to minimize erosion. Areas of the development site that are not to be disturbed shall be protected from construction traffic or other disturbance until final stabilization is achieved.
- Soil stabilization measures shall consider the time of year, development site conditions and the use of temporary or permanent measures.
- Stabilization by seeding shall include topsoil placement and fertilization, as necessary.
- Native seed mixtures shall include rapid-growing annual grasses or small grains to provide initial, temporary soil stabilization.
- Off-site property shall be protected from erosion and sedimentation. Velocity dissipation devices shall be placed at concentrated discharge locations and along the length of any outfall channel, as necessary to prevent erosion.
- Sediment control measures shall be installed prior to the disturbance of tributary areas.
- Stabilization of disturbed areas shall be initiated immediately whenever any clearing, grading, excavating or other earth-disturbing activities have permanently ceased on any portion of the development site, or temporarily ceased on any portion of the development site and will not resume for a period exceeding 14 calendar days. Stabilization of disturbed areas shall be initiated within one working day of permanent or temporary cessation of earth-disturbing activities and shall be completed as soon as possible, but not later than 14 calendar days from the initiation of stabilization work in an area. Exceptions to these time frames are specified below.
 - Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable, and
 - In areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method may be used.
- Disturbance of steep slopes shall be minimized. Areas or embankments having slopes steeper than 3:1 shall be stabilized with staked-in-place sod, erosion control blankets in combination with seeding, or an equivalent control measure.

595 Attachment 2.1

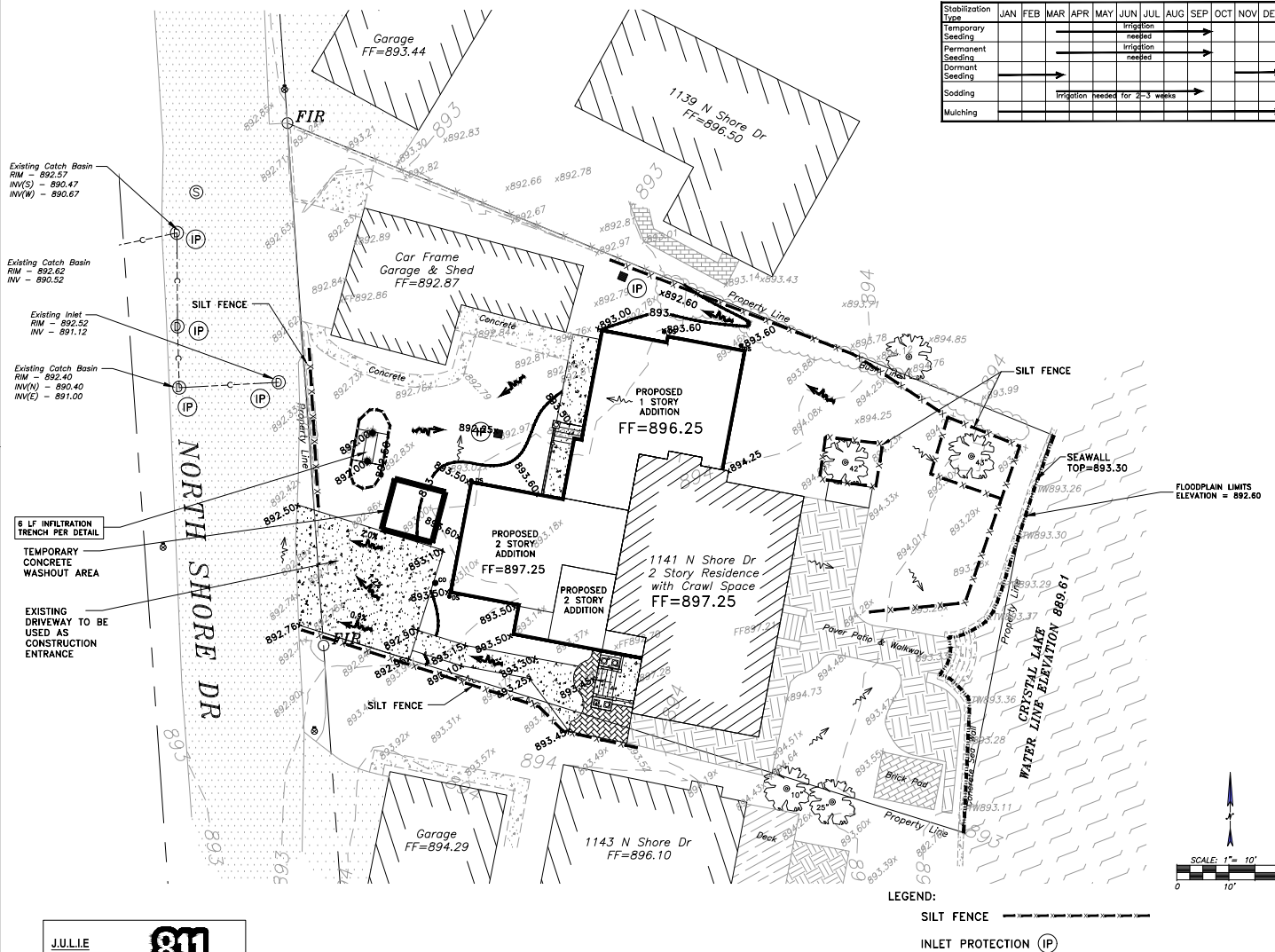
Supp 02, Nov 2020

CRYSTAL LAKE CODE

- Perimeter control measures shall be provided downslope and perpendicular to the flow of runoff from disturbed areas, where the tributary area is greater than 5,000 square feet, and where runoff will flow in a sheet flow manner. Perimeter erosion control shall also be provided at the base of soil stockpiles.
- The stormwater management system shall be protected from erosion and sedimentation downslope from disturbed areas. Inlet protection that reduces sediment loading, while allowing runoff to enter the inlet, shall be required for all storm sewers. Check dams, or an equivalent control measure, shall be required for all channels. Filter fabric, inlet protection and straw bale ditch checks are not acceptable control measures.
- If dewatering services are used, discharges shall be routed through an effective sediment control measure (e.g., sediment trap or an equivalent control measure). The enforcement officer shall be notified prior to the commencement of dewatering activities.
- All temporary soil erosion and sediment control measures shall be removed within 30 days after final stabilization of the development site is achieved or after the temporary measures are no longer necessary. Trapped sediment shall be removed and disturbed areas shall be permanently stabilized.
- Stockpiled soil and materials shall be removed from flood hazard areas at the end of each work day. Soil and materials stockpiled in IWMC or buffer areas shall be placed on timber mats, or an equivalent control measure.
- Effective control measures shall be utilized to minimize the discharge of pollutants from the development site. As a minimum, control measures shall be implemented in order to:
 - Minimize the discharge of pollutants from equipment and vehicle washing, wheel wash water, and other wash water; and
 - Minimize the exposure of building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, vehicle fluids, sanitary waste, and other materials present on the development site to precipitation and to stormwater.
- Adequate receptacles shall be provided for the depositing of all construction material debris generated during the development process. The applicant shall not cause or permit the dumping, depositing, dropping, throwing, discarding or leaving of construction material debris upon or into any development site, channel, or IWMC. The development site shall be maintained free of construction material debris.
- The enforcement officer may require additional or alternate soil erosion and sediment control measures, based on development-site-specific considerations and the effectiveness of the installed control measures.

595 Attachment 2.2

Supp 02, Nov 2020



VEGETATIVE COVER

- PERMANENT SEEDING - SEEDING MIXTURE TO BE KENTUCKY BLUEGRASS @ 200 LBS/ACRE - SEED BED PREPARATION SHALL BE ACCORDING TO GREEN BOOK. FERTILIZE AT 130 LBS/ACRE OF NITROGEN AND 40 LBS/ACRE EACH OF PHOSPHORUS AND POTASSIUM.
- TEMPORARY SEEDING - SEEDING MIXTURE TO BE CEREAL RYE OR WHEAT @ 300 LBS/ACRE - SEED BED REQUIRED. TOPSOIL TO BE BROUGHT ON-SITE AND PLACED AT A 4" THICKNESS IN AREAS BEING PREPARED FOR SEED.
- MULCHING - MULCH ALL TEMPORARY AND PERMANENT SEEDING AREAS WITH AIR DRIED STRAW @ 2 TONS/ACRE. APPLY NETTING ON TOP OF MULCH AND SECURE WITH STAPLES. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

Stabilization Type	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Temporary Seeding					Irrigation needed							
Permanent Seeding												
Dormant Seeding												
Sodding												
Mulching												

JULIE
JOINT UTILITY LOCATION INFORMATION FOR EXCAVATION CALL 811
Know what's below. Call before you dig.

THE ONE PERCENT ANNUAL CHANCE FLOOD ELEVATION FROM THE MCHEMERY COUNTY FLOOD INSURANCE STUDY TABLE 5 IS 892.6 FEET NAVD 1988.

DATE	REVISIONS
11-18-24	PER OWNER
9-19-24	PER ARCH CHANGES
	PER ARCH CHANGES

S
SCHFLOW
1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schfloweng.com
Firm License No. 184-001104

CRYSTAL LAKE HOME ADDITION
1141 NORTH SHORE DR
STORMWATER POLLUTION PREVENTION PLAN

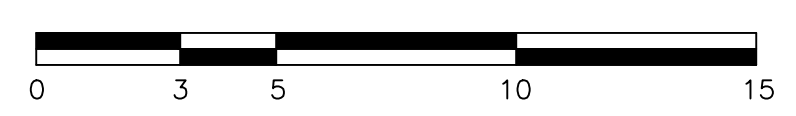
ILLINOIS
SCALE: 1"=10'
DATE: 11/4/23
DRAWN BY: AI
SHEET NO.: 5955
CHECKED BY: FCC
SHEET NO.: 9 of 9

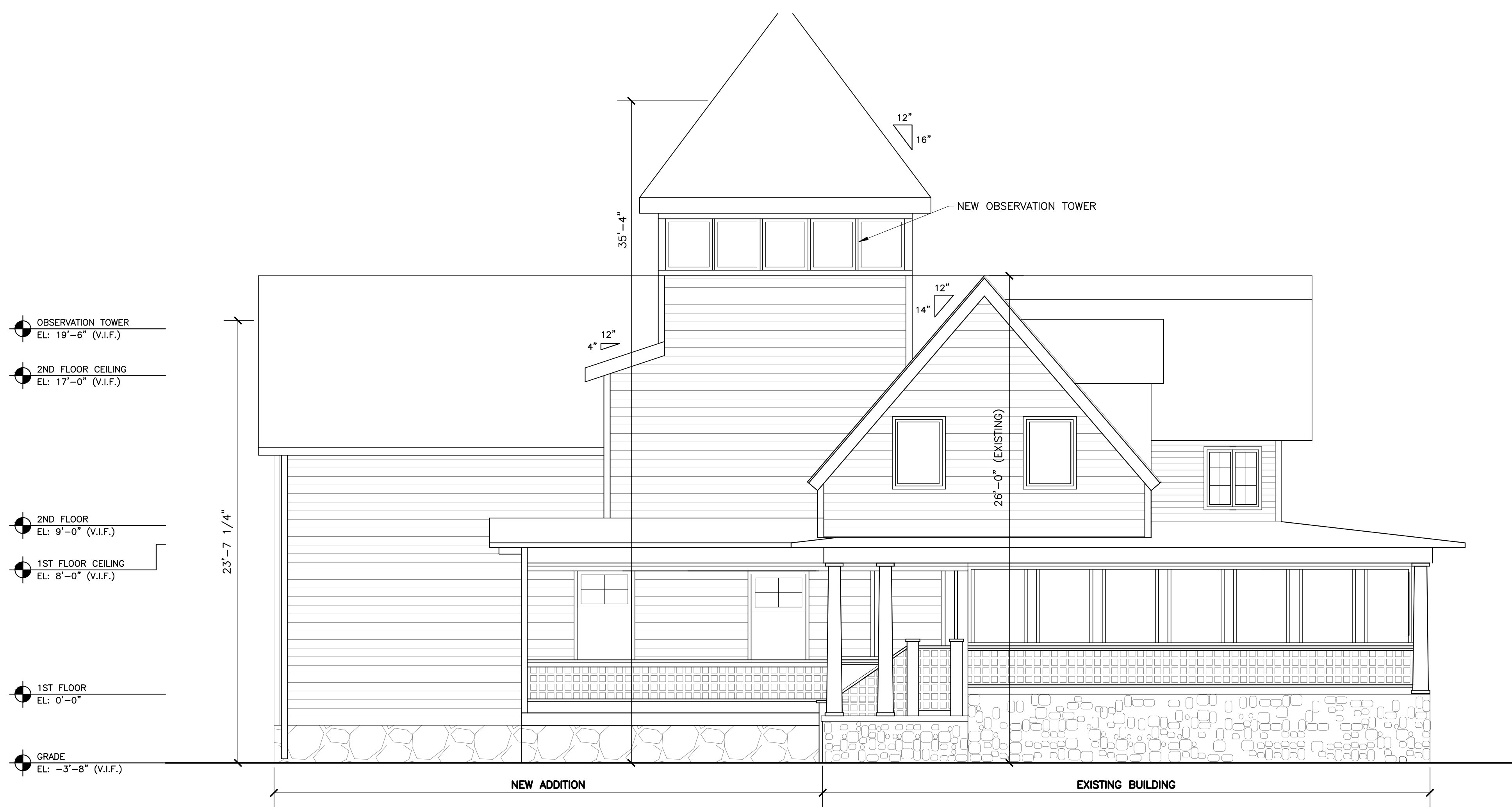


1 EXTERIOR ELEVATION - north
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - east
SCALE: 1/4" = 1'-0"





1 EXTERIOR ELEVATION - south
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - west
SCALE: 1/4" = 1'-0"

