



#2024-172
SWC Congress Parkway & Exchange Drive –
Senior Multi-Family Housing Conceptual PUD
Project Review for Planning and Zoning Commission

<u>Date:</u>	October 2, 2024
<u>Request:</u>	Conceptual Planned Unit Development review for a 24-unit age-restricted apartment building.
<u>Location:</u>	SWC Congress Parkway & Exchange Drive
<u>Acreage:</u>	Approximately 2 acres
<u>Zoning:</u>	B-2 PUD General Commercial Planned Unit Development
<u>Surrounding Properties:</u>	North: M Manufacturing South: O PUD Office East: M Manufacturing West: B-2 PUD General Commercial
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3738)

Background:

- The site is a vacant lot in the Crystal Lake Business Park. It was originally planned for Al & Joe's Deli.
- The petitioner is proposing an age-restricted multi-family development.

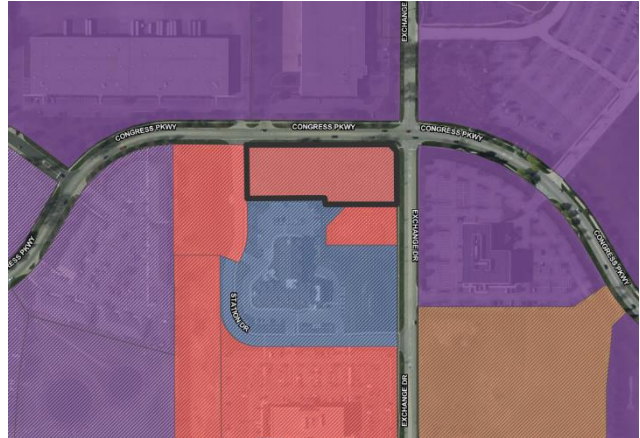
Development Analysis/Discussion Items:

ZONING / LAND USE

- The site is currently zoned B-2 PUD General Commercial.
- The site would need to be rezoned to R-3B PUD Multi-Family Residential.
- The property to the south is zoned O PUD Office and allowed a Continuing Care Residential development for age-restricted assisted housing.
- 551 Congress, south and kitty corner was rezoned to R-3B Multi-Family Residential in 2022. This is a market rate apartment complex.

- In looking at the surrounding zoning districts, would the Planning and Zoning Commission support the rezoning of this parcel and why?

Yes No



- The land use map currently illustrates the site as Commerce.
- The land use map would need to change to High Density Residential.
- 551 Congress, south and kitty corner had the land use map amendment to High Density Residential. This is a market rate apartment complex.

- In looking at the surrounding land use districts, would the Planning and Zoning Commission support the Comprehensive Land Use Plan Map Amendment and why?

Yes No



SITE LAYOUT

- Access into the site would be provided via Station Drive.
- Parking is provided on three sides of the site with ten (10) enclosed garage spaces.
- The building is situated in the center of the property leaving green space on both sides. Dimensions are required to verify if minimum setbacks are being met.
- Staff comments require additional parking, parking lot landscape islands, and a trash enclosure and screening of the enclosure.
- R-3B zoning with the proposed number of units requires a lot area of 97,400 square feet. A lot area of 82,000 square feet exists. This would require a variation from the lot area requirement. Would the Commission support this variation and why?

Yes No

- R-3B zoning with the proposed number of units requires a lot width of 290 feet. A lot width of 173 feet exists. This would require a variation from the lot width requirement. Would the Commission support this variation and why?

Yes *No*

- R-3B zoning allows a maximum of 9 units per acre. The proposed is 12 units per acre. This would require a variation from the maximum permitted density. Would the Commission support this variation and why?

Yes *No*

- The number of units would require 51 parking spaces. After the addition of landscape islands approximately 41 spaces would exist. Would the Commission support a parking variation and why?

Yes *No*

BUILDING ELEVATIONS

- The building is three-stories. Each floor contains one and two bedroom units. The mix is 17 two-bedroom units and seven (7) one-bedroom units.
- The buildings will have a combination of horizontal Hardi-Board siding and a brick base.
- Each unit has access to a balcony. The balcony area is framed with columns and a peaked canopy. The balcony projects out from the main façade of the building.
- Staff comments require additional details to the architecture to break up the roof, increase window trim, change up the window styles, add windows to the side elevations and provide detailed architecture for the garage building.

Planning and Zoning Commission Discussion:

If the Commission recommends the petitioner move forward with an official submittal:

1. Site Design: What aspects of the site layout are preferred and can be enhanced to create a well-designed and functional site? For example, gathering open space, more garage parking, or building orientation.
2. Elevations: What architecture elements and/or features could be enhanced? What changes should be made to the architecture?

Other residential Projects in the Crystal Lake Business Center Subdivision compared to this request.



PIQ Map

Congress Parkway and Station Drive





**City of Crystal Lake
Development Application
Ownership Sign-off Acknowledgement Form**

The following information is related to a development application. As the owner of the property in question, I (we) acknowledge that the information provided in the submittal was reviewed and approved.

Owner Information

Name: ALNJ LLC

Address: 10348 W Addison St

Franklin Park IL 60131

Phone: (630)414-5240

E-mail: mikegapa@gmail.com

Project Name & Description: Sunshine Apartments Crystal Lake

24 units 3 story age restricted (55+), Market rate apartment building

Project Address/Location: SW Corner of Congress Parkway and Exchange Dr

Signature

Michael Capastione Michael Capastione 9-9-2024

Owner: Print and Sign name

Date

NOTE: If the property is held in a trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Sunshine Apartments, Crystal Lake

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input checked="" type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: John Konsor
Address: 20111 Sunshine Ln.
Deer Park IL 60010
Phone: 847 726-8063
Fax: N/A
E-mail: jkonsor@comcast.net

Owner Information (if different)

Name: ALNJ LLC
Address: 10348 W Addison St
Franklin Park IL 60131
Phone: (630) 414-5240
Fax: N/A
E-mail: mikegapa@gmail.com

Property Information

Project Description: 24 units 3 story age restricted (55+), Market rate apartment building

Project Address/Location: SW corner of Congress Pkwy and Exchange Dr in Crystal Lake

PIN Number(s): 19-04-404-001

Development Team

Please include address, phone, fax and e-mail

Developer: John Konsor Realty 20111 Sunshine Ln. Deer Park IL 60010 (847) 726-8063
jks@comcast.net

Architect: Aspect Design, Inc. 26575 Commerce Dr Suite 607 Volo, IL 60073
(847) 875-4372 jletzter@aspectdesigninc.com

Attorney: TBD

Engineer: Schmitt Engineering 215 W Calhoun St. Woodstock IL 60098 (815) 337-7810
als@schmittengineer.com

Landscape Architect: TBD

Planner: TBD

Surveyor: Schmitt Engineering 215 W Calhoun St. Woodstock IL 60098 (815) 337-7810
als@schmittengineer.com

Other: _____

Signatures

John Konsor



09/04/2024

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Michael Capastione Michael Capastione

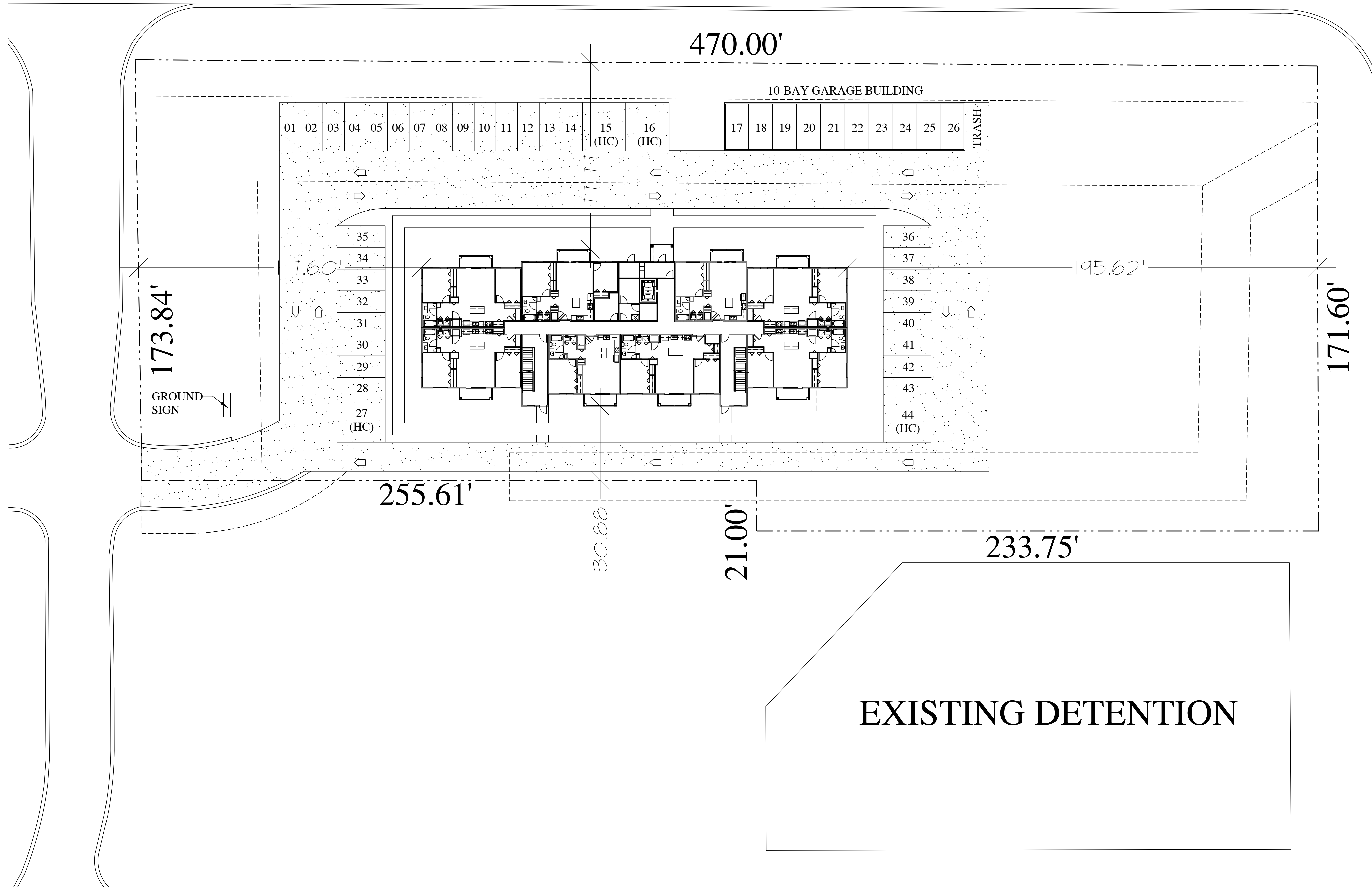
9-9-2024

OWNER: Print and Sign name

Date

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CONGRESS PARKWAY



EXCHANGE DRIVE

REVIEW ONLY - NOT FOR CONSTRUCTION

24-UNIT APARTMENT

MULT-FAMILY CONGRESS PKWY & EXCHANGE CRYSTAL LAKE, IL 60014

KONSOR ENTERPRISES

REVIEW	08/23/2024
REVIEW	08/28/2024
REVIEW	09/04/2024

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
WWW.ASPECTDESIGNINC.COM
IL LICENSE #18400154

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD24182
DRAWN BY:	DB / MB
24 UNIT APARTMENT SITE PLAN	
A 02	
# 2 OF x TOTAL SHEETS	

1 SITE PLAN
A 02

NORTH
SCALE: 1" = 20'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

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2 LEFT ELEVATION (WEST)
A 03

SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION (NORTH)
A 03

SCALE: 1/8" = 1'-0"

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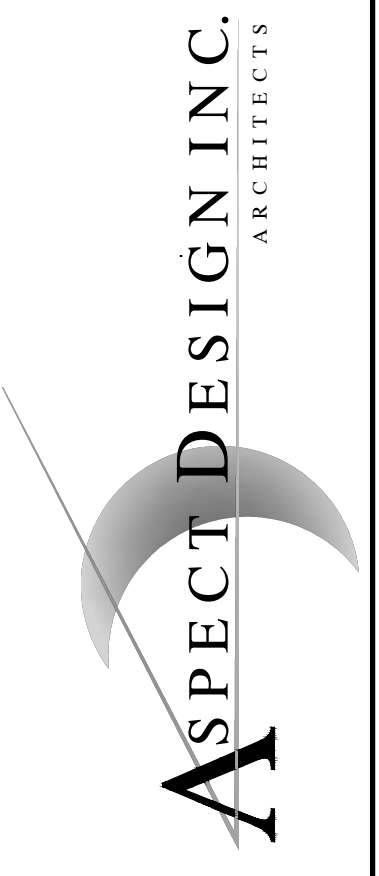
24-UNIT APARTMENT

MULT-FAMILY
CONGRESS PKWY & EXCHANGE
CRYSTAL LAKE, IL 60014

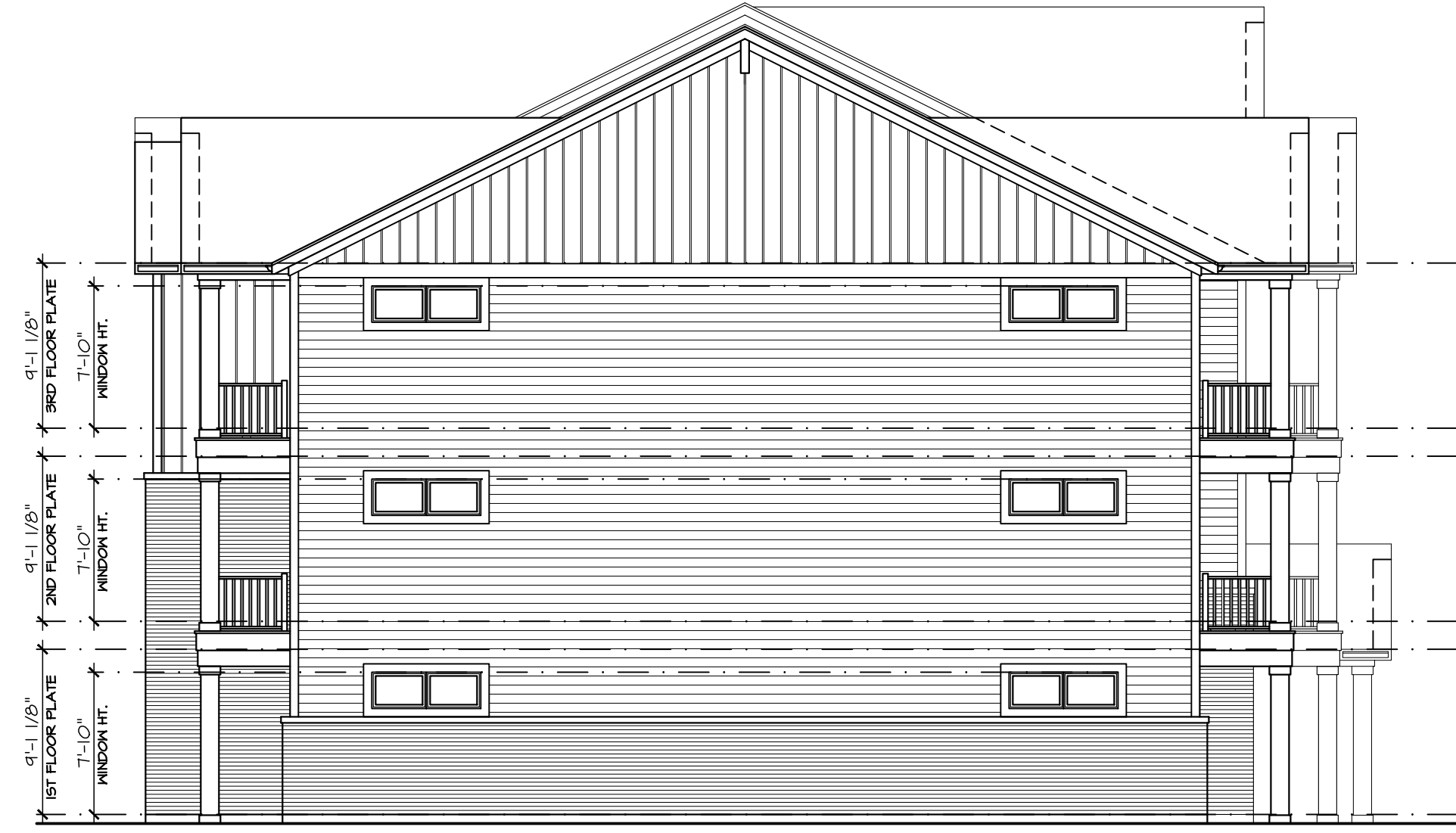
KONSOR ENTERPRISES

REVIEW	08/23/2024
REVIEW	08/28/2024
REVIEW	09/04/2024

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MAIN: 847-457-2500
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PROJECT # AD24182
DRAWN BY: DB / MB
24 UNIT APARTMENT
EXTERIOR ELEVATIONS
A 03
3 OF x TOTAL SHEETS



2 RIGHT ELEVATION (EAST)
A 04 SCALE: 1/8"=1'-0"



1 REAR ELEVATION (SOUTH)
A 04

SCALE: 1/8"=1'-0"

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24-UNIT APARTMENT

MULT-FAMILY
CONGRESS PKWY & EXCHANGE
CRYSTAL LAKE, IL 60014

KONSOR ENTERPRISES

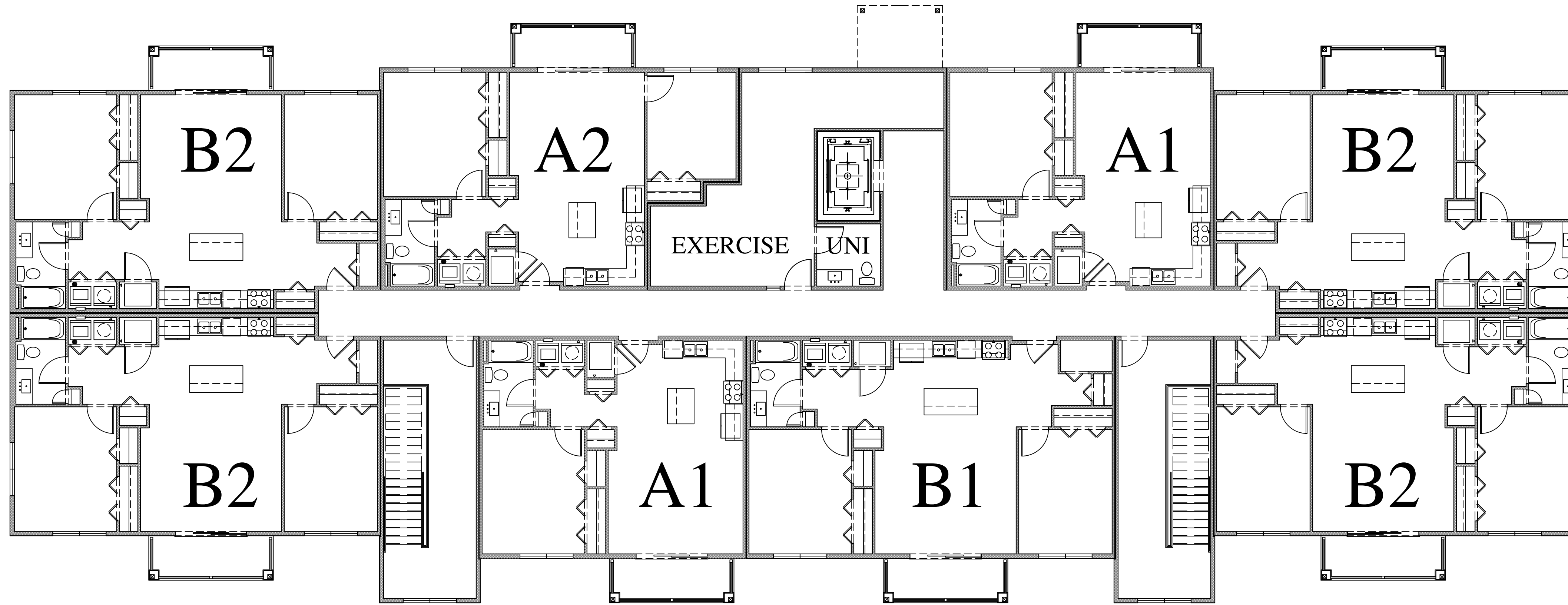
REVIEW	08/23/2024
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REVIEW	09/04/2024

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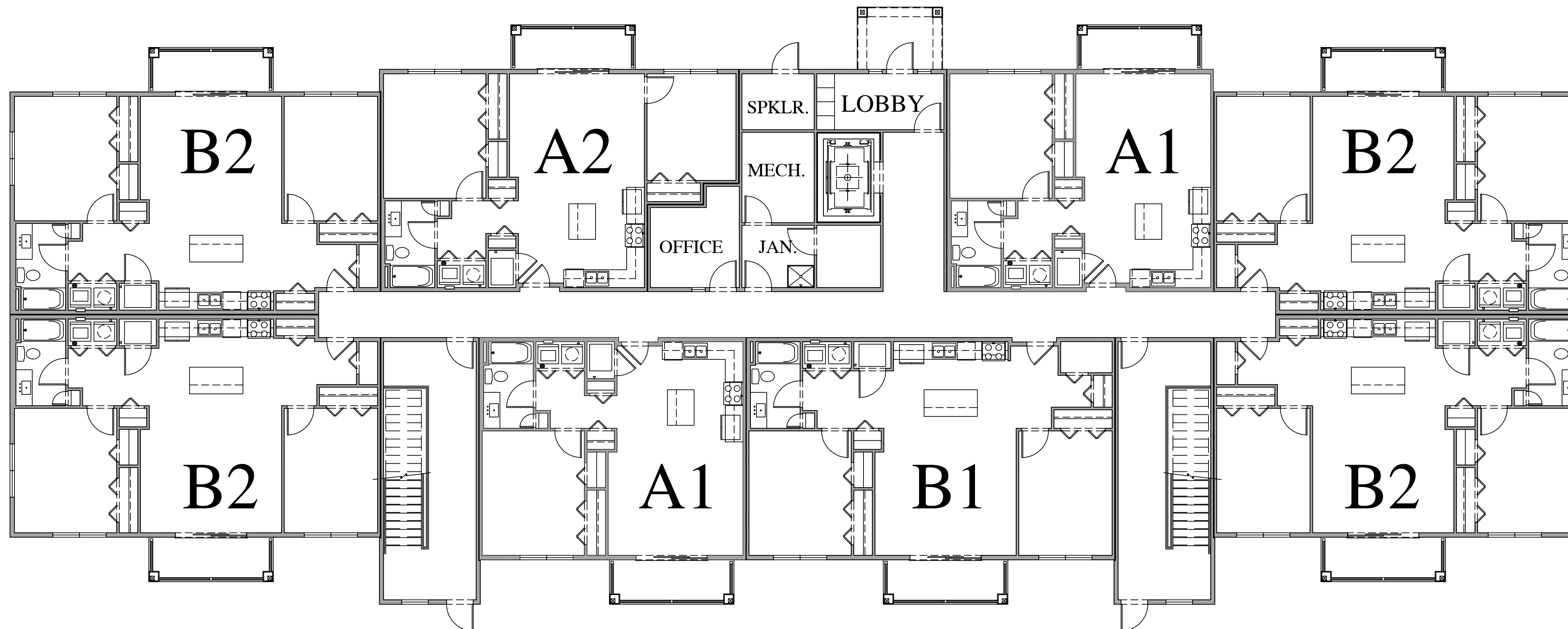
PROJECT # AD24182
DRAWN BY: DB / MB
24 UNIT APARTMENT
EXTERIOR ELEVATIONS

A 04
4 OF x TOTAL SHEETS



2 ASSEMBLY PLAN
 A 05 (SECOND FLOOR 9,454.64 BULK S.F.)

SCALE: 1/8"=1'-0"



1 ASSEMBLY PLAN
 A 05 (FIRST FLOOR 9,454.64 BULK S.F.)

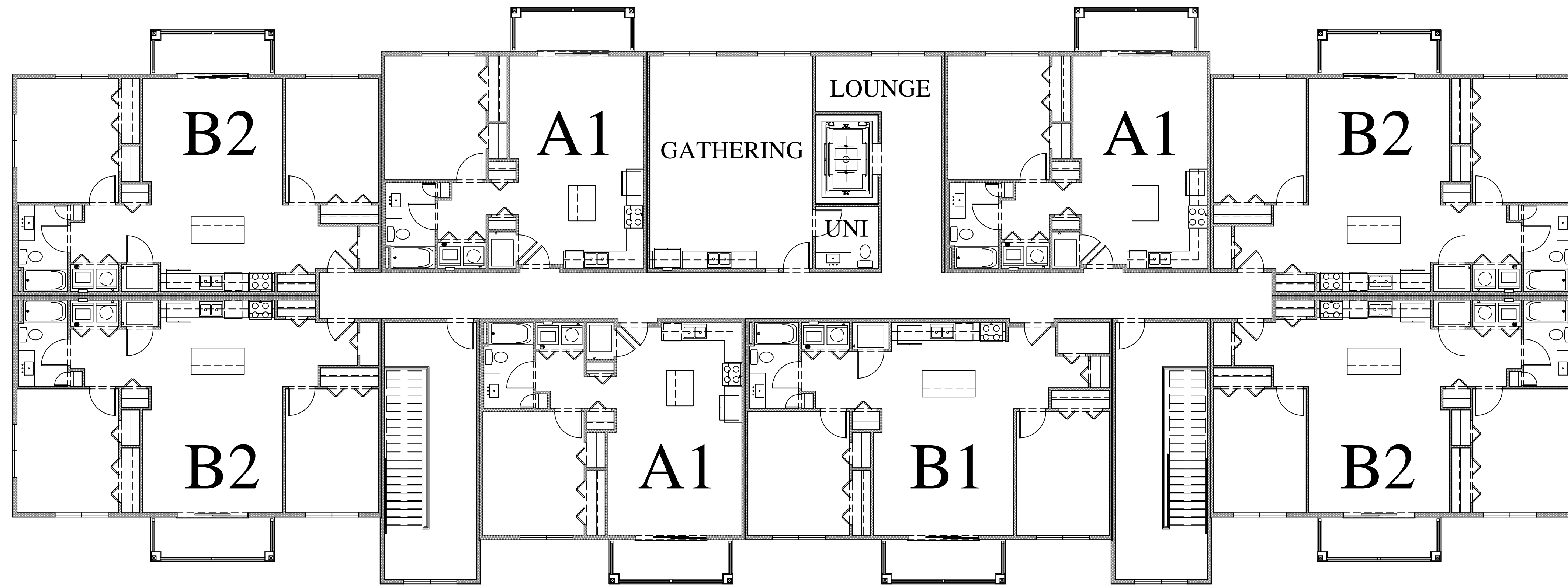
SCALE: 1/8"=1'-0"

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24-UNIT APARTMENT	
MULT-FAMILY CONGRESS PKWY & EXCHANGE CRYSTAL LAKE, IL 60014	
KONSOR ENTERPRISES	
REVIEW	08/23/2024
REVIEW	08/28/2024
REVIEW	09/04/2024
26575 COMMERCE DR. SUITE 607 VOLVO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 18400154	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD24182
DRAWN BY:	DB / MB
24 UNIT APARTMENT ASSEMBLY PLANS	
A 05	
# 5 OF x TOTAL SHEETS	

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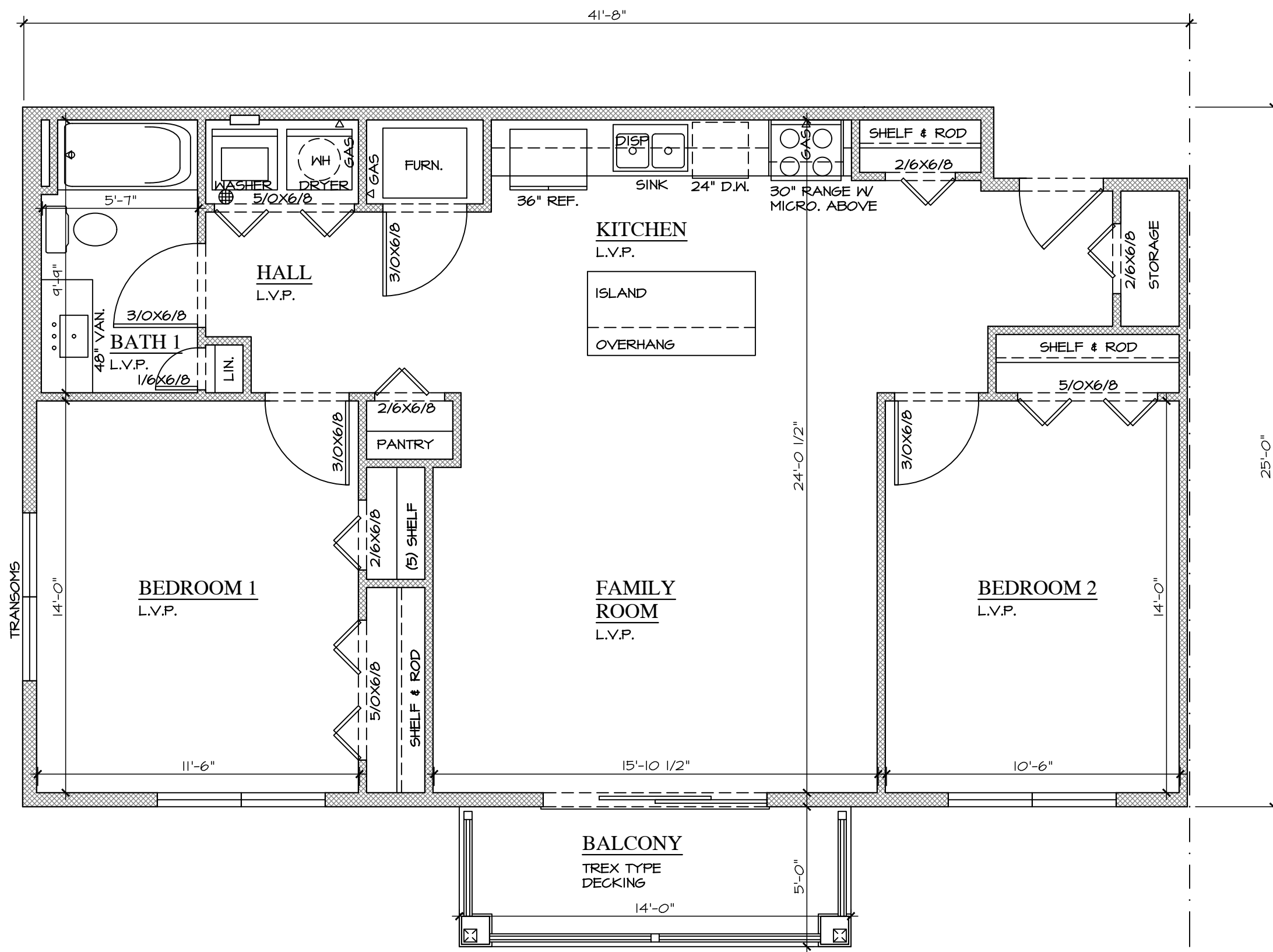
1 ASSEMBLY PLAN
 A 06 (THIRD FLOOR 9,454.64 BULK S.F.)

SCALE: 1/8" = 1'-0"

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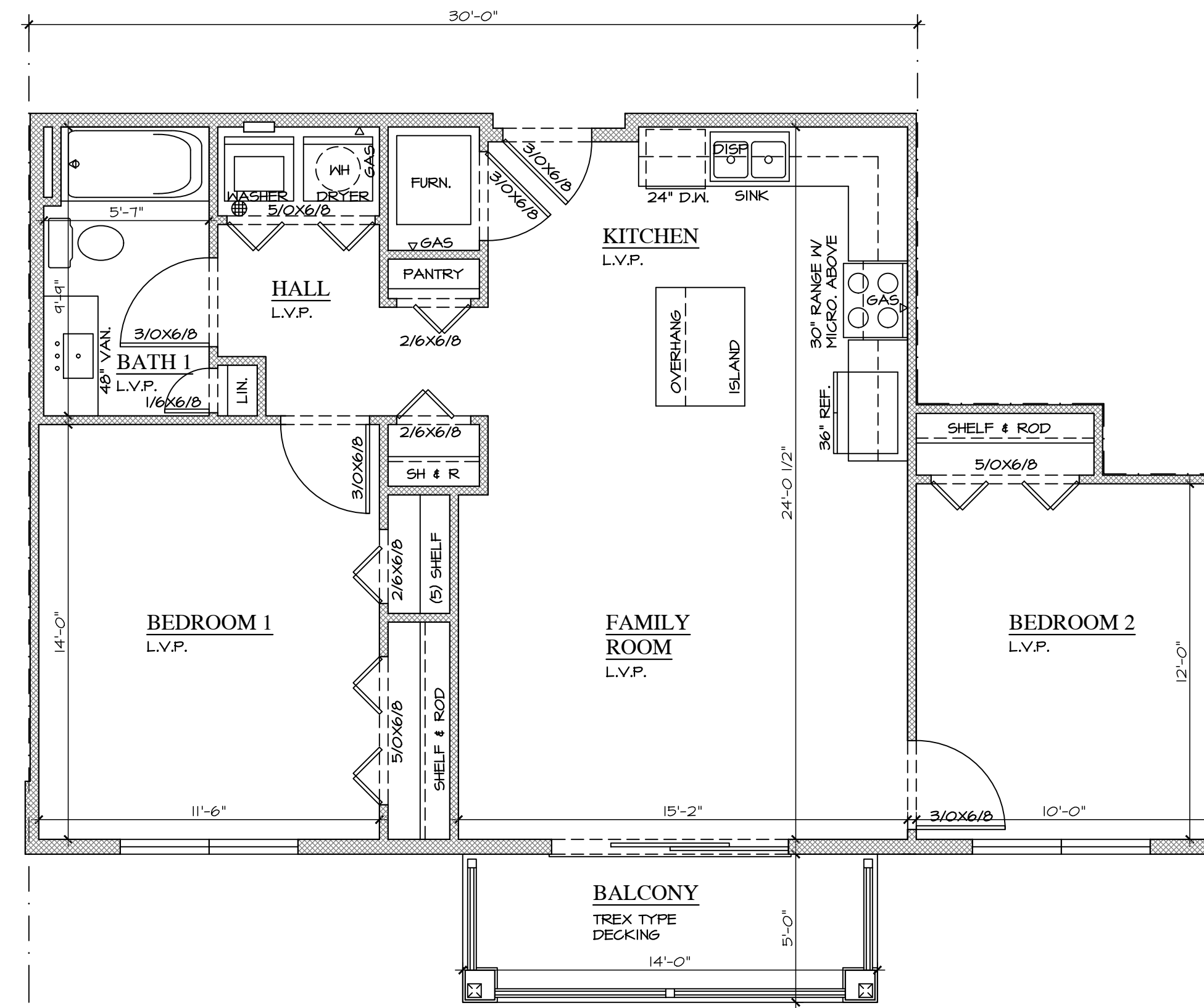
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PROJECT # AD24182 DRAWN BY: DB / MB 24 UNIT APARTMENT ASSEMBLY PLANS A 06 # 6 OF x TOTAL SHEETS		ASPECT DESIGN INC. ARCHITECTS 26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPPECTDESIGNINC.COM IL LICENSE # 18400154	REVIEW 08/23/2024 REVIEW 08/28/2024 REVIEW 09/04/2024	KONSOR ENTERPRISES	24-UNIT APARTMENT MULT-FAMILY CONGRESS PKWY & EXCHANGE CRYSTAL LAKE, IL 60014
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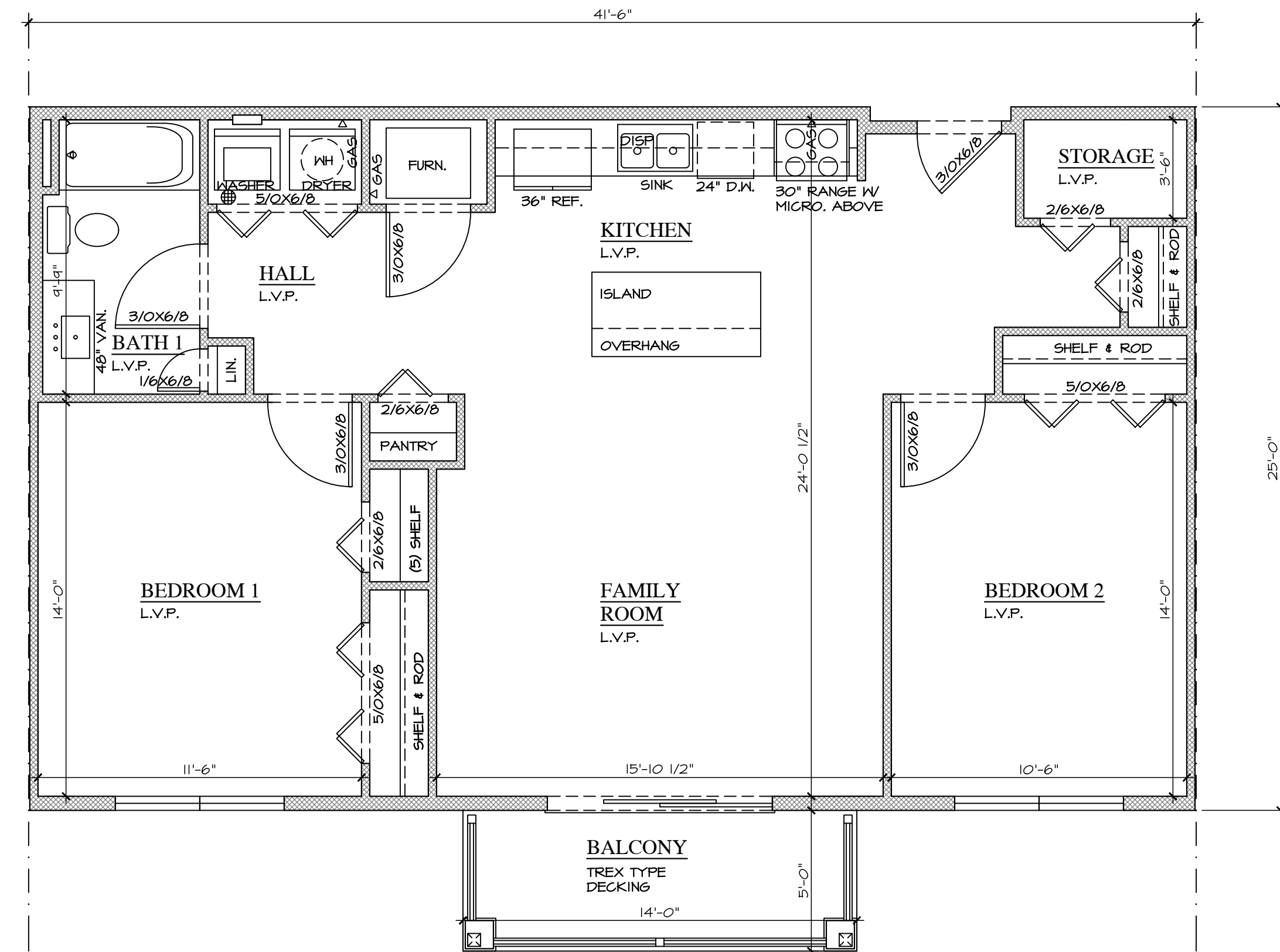
4 UNIT B2 (1,028.27 BULK S.F.)
A 07

SCALE: 1/4" = 1'-0"



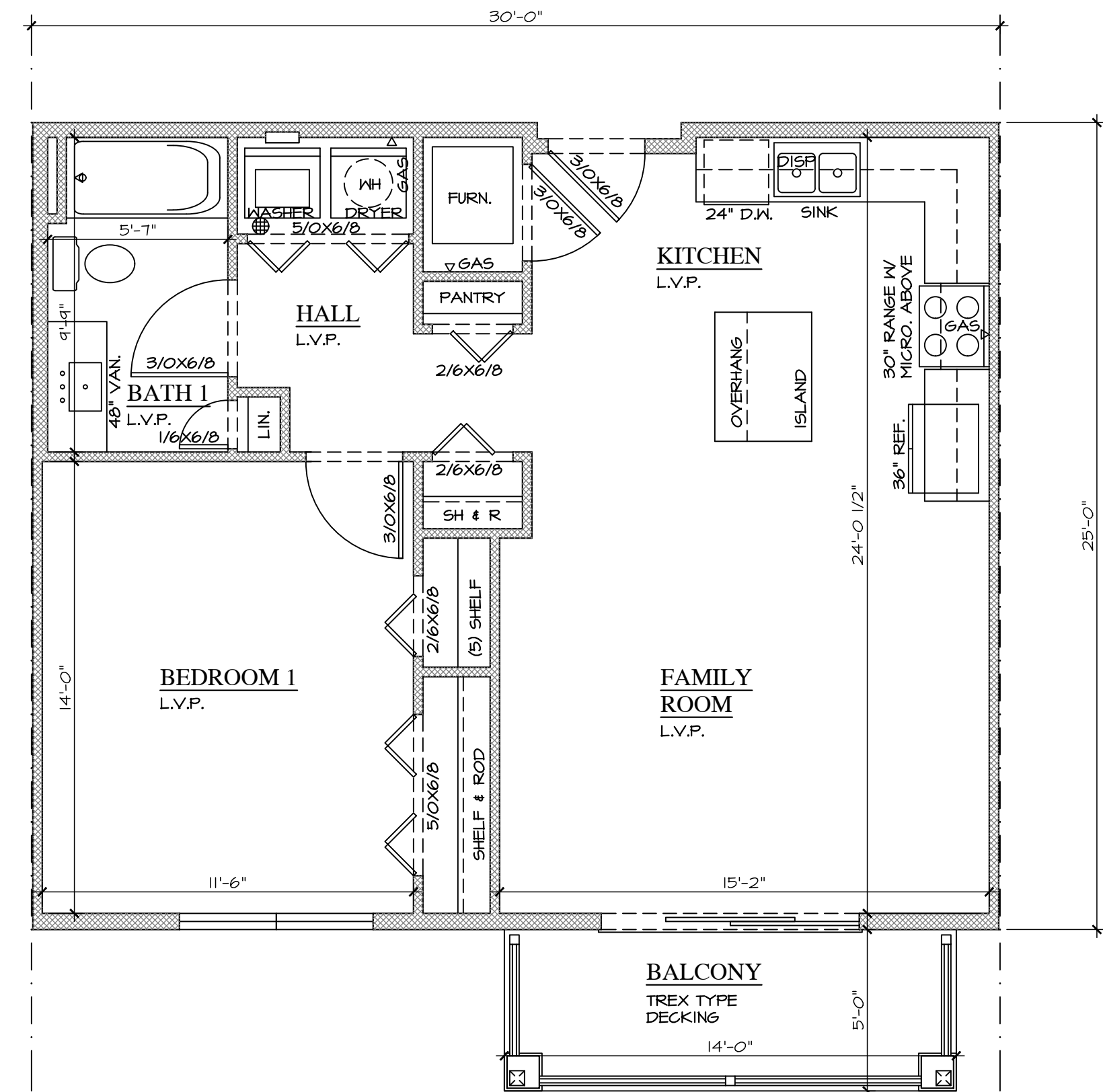
2 UNIT A2 (894.79 BULK S.F.)
A 07

SCALE: 1/4" = 1'-0"



3 UNIT B1 (1,035.00 BULK S.F.)
A 07

SCALE: 1/4" = 1'-0"



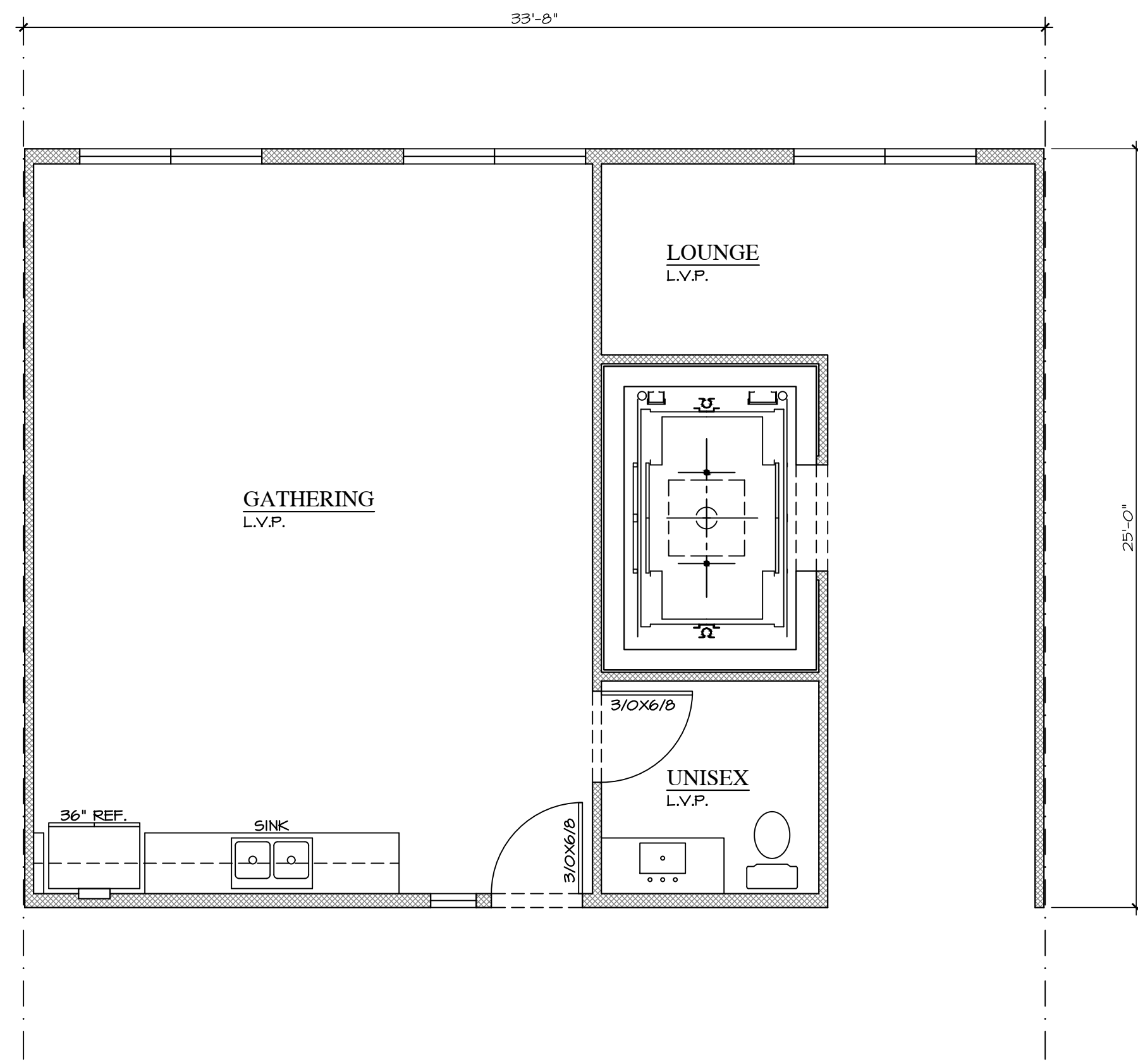
1 UNIT A (746.98 BULK S.F.)
A 07

SCALE: 1/4" = 1'-0"

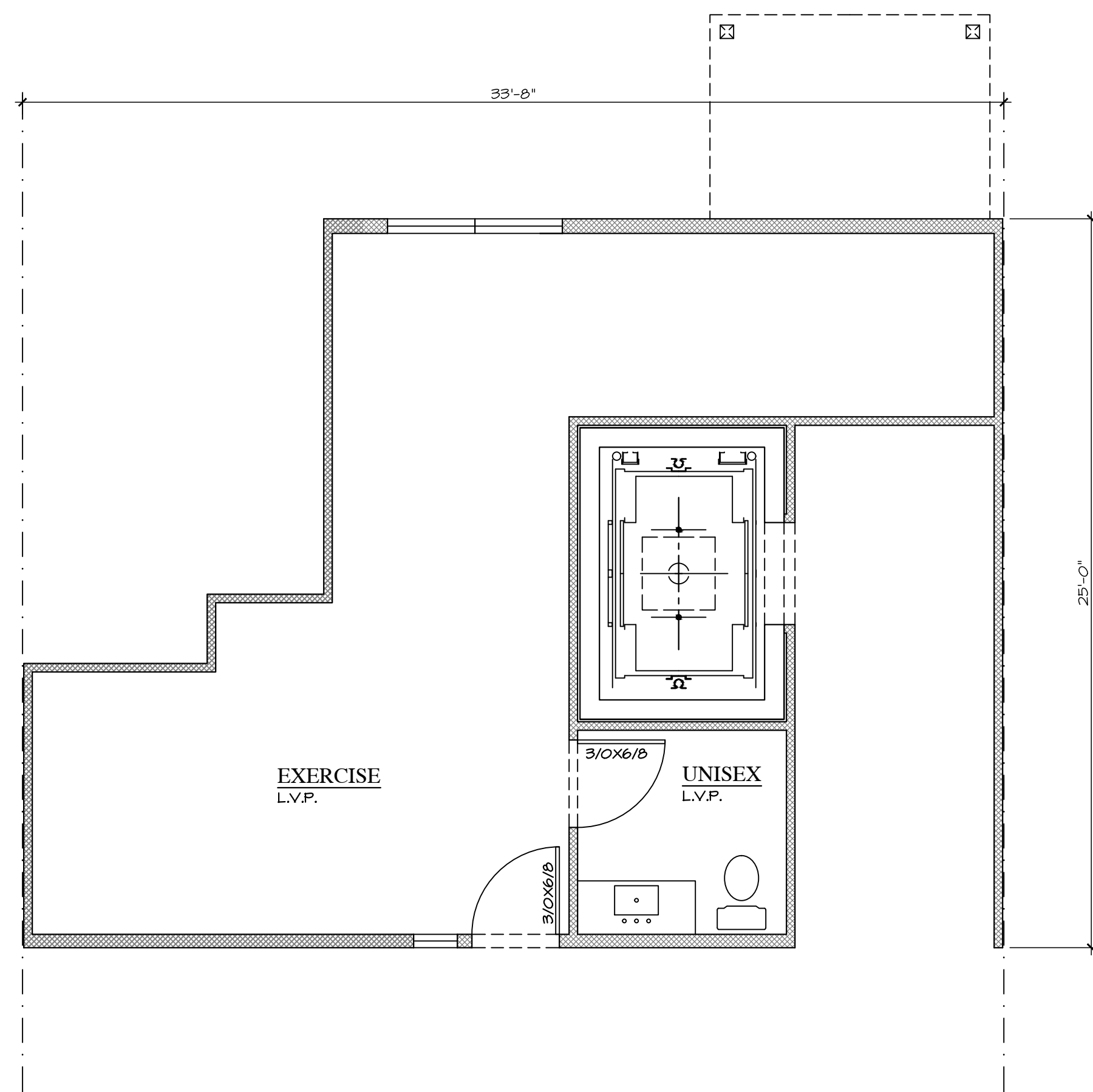
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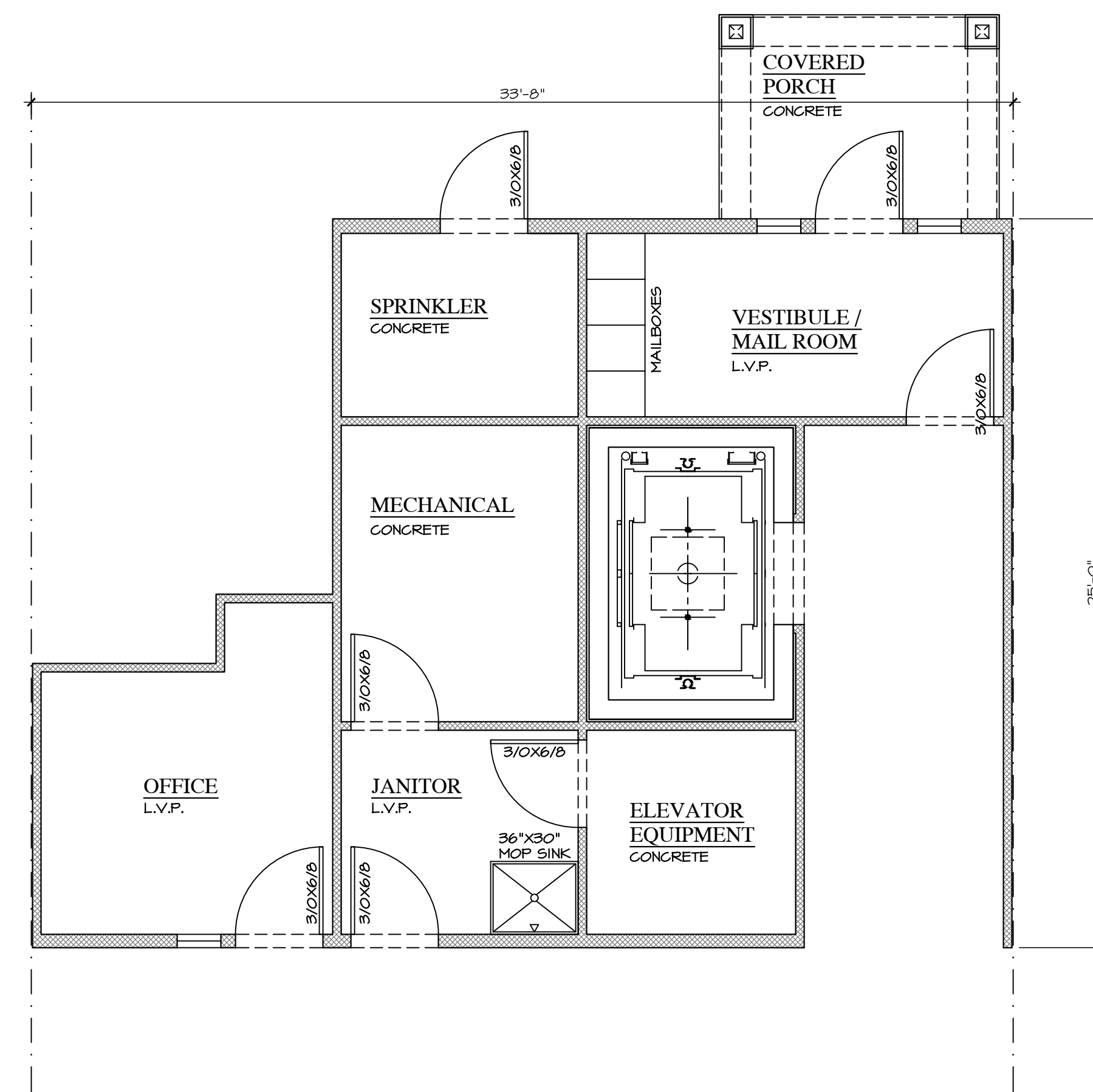
24-UNIT APARTMENT	
MULT-FAMILY CONGRESS PKWY & EXCHANGE CRYSTAL LAKE, IL 60014	
KONSOR ENTERPRISES	
08/23/2024	REVIEW
08/28/2024	REVIEW
09/04/2024	REVIEW
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24 UNIT APARTMENT UNIT PLANS	
A 07	
# 7 OF X TOTAL SHEETS	



3 COMMON SPACE
A 08 (THIRD FLOOR)
 SCALE: 1/4"=1'-0"



2 COMMON SPACE
A 08 (SECOND FLOOR)
 SCALE: 1/4"=1'-0"



1 COMMON SPACE
A 08 (FIRST FLOOR)
 SCALE: 1/4"=1'-0"

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PROJECT # AD24182

24 UNIT APARTMENT COMMON SPACE
A 08

KONSOR ENTERPRISES

24-UNIT APARTMENT
 MULT-FAMILY
 CONGRESS PKWY & EXCHANGE
 CRYSTAL LAKE, IL 60014

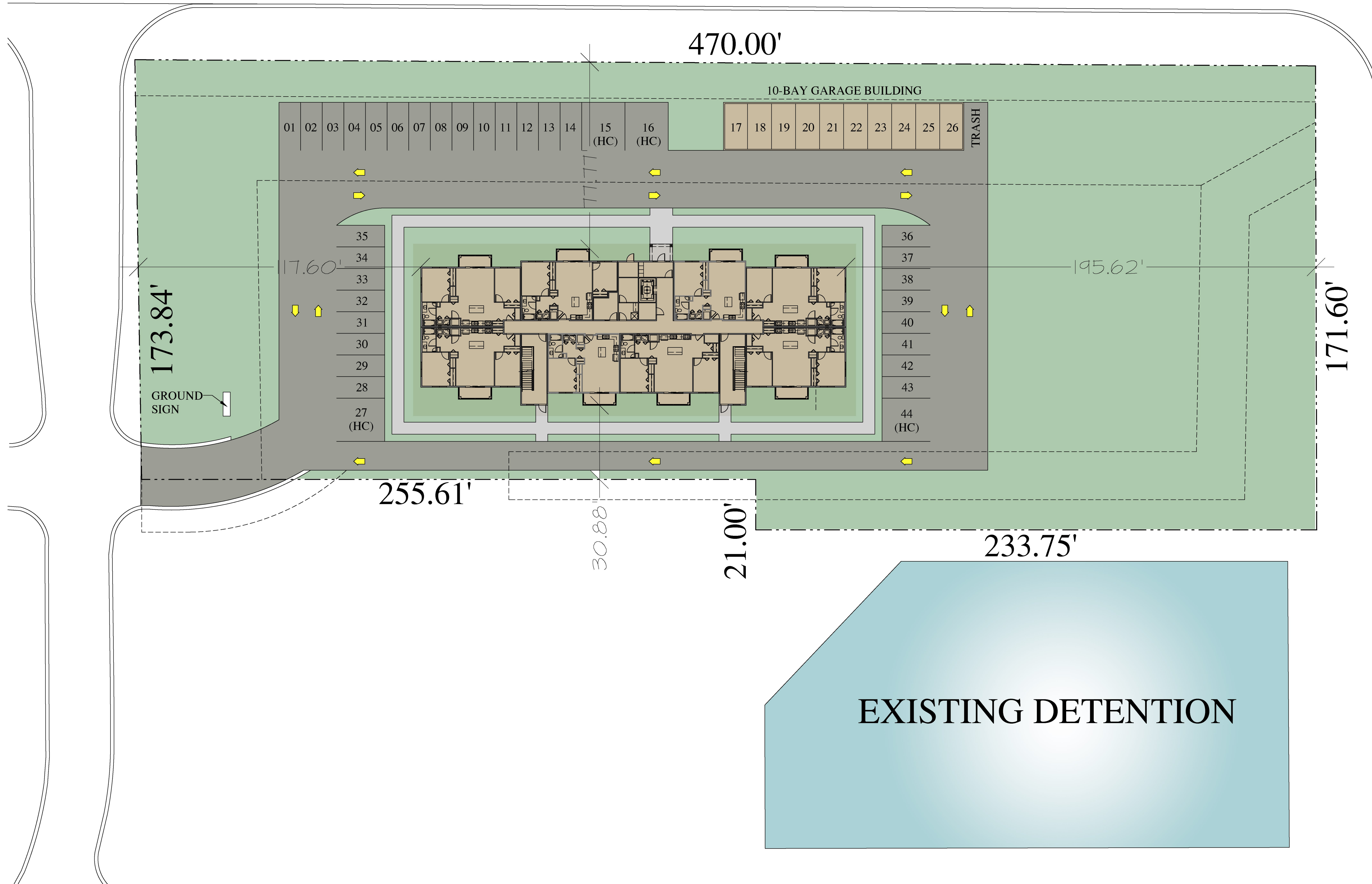
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REVIEW	09/04/2024

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 24 UNIT APARTMENT COMMON SPACE
A 08
 # 8 OF x TOTAL SHEETS

CONGRESS PARKWAY



EXCHANGE DRIVE

24-UNIT
APARTMENT
MULT-FAMILY
CONGRESS PKWY & EXCHANGE
CRYSTAL LAKE, IL 60014

KONSOR
ENTERPRISES

REVIEW	08/23/2024
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REVIEW	09/05/2024

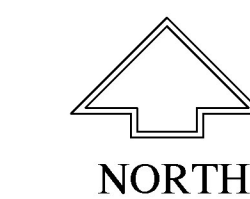
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24 UNIT APARTMENT SITE PLAN	
A 02	
# 2 OF x TOTAL SHEETS	

1
A 02

SITE PLAN



SCALE: 1" = 20'-0"

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CONTINUOUS RIDGE VENT PROVIDE 1 SQ. FT. VENT/300 SQ. FT. OF ATTIC

OUTLINE OF GABLE CONSTRUCTION SHOWN BEYOND

ASPHALT SHINGLES (CLASS 'C' FIRE RATED)

HARDIE BOARD VERTICAL SIDING

ALUMINUM GUTTERS AND DOWNSPOUTS

HARDIE BOARD PANEL T/ SECOND

HARDIE BOARD 6" HORIZONTAL EXPOSED LAP SIDING

T/ FIRST

CUT STONE SILL

BRICK VENEER SEE DETAIL 3/A17

FOUNDATION

9'-1 1/8" 1ST FLOOR PLATE
7'-10" WINDOW HT.
9'-1 1/8" 2ND FLOOR PLATE
7'-10" WINDOW HT.
9'-1 1/8" 3RD FLOOR PLATE
7'-10" WINDOW HT.